

If you need assistance completing this application (general inquires only) please contact Susan Walker, 974-2202; 505 Barton Springs Road, 2nd Floor (One Texas Center).

CASE # CLS-2010-0092
ROW # 10467131
TP-0301020102

CITY OF AUSTIN
APPLICATION TO BOARD OF ADJUSTMENT
GENERAL VARIANCE/PARKING VARIANCE

WARNING: Filing of this appeal stops all affected construction activity.

PLEASE: APPLICATION MUST BE TYPED WITH ALL REQUESTED
INFORMATION COMPLETED.

STREET ADDRESS: 808 Rutherford Pl. Austin Tx.

LEGAL DESCRIPTION: Subdivision - Tavis Heights

Lot(s) 12 Block 1 Outlot _____ Division _____

I/we Duan P. Macias on behalf of myself ourselves as authorized agent for

Gordon Murphy & Mary Field affirm that on 07, 16, 2010

hereby apply for a hearing before the Board of Adjustment for consideration to:

(check appropriate items below)

____ ERECT ____ ATTACH ____ COMPLETE ☒ REMODEL ____ MAINTAIN

1. Add Second Story Addition, with New -
complet west side building setback

in a SF-3 - NP district.
(zoning district)

Daniel River City N.P.

NOTE: The Board must determine the existence of, sufficiency of and weight of evidence supporting the findings described below. Therefore, you must complete each of the applicable Findings Statements as part of your application. Failure to do so may result in your application being rejected as incomplete. Please attach any additional support documents.

VARIANCE FINDINGS: I contend that my entitlement to the requested variance is based on the following findings (see page 5 of application for explanation of findings):

REASONABLE USE:

1. The zoning regulations applicable to the property do not allow for a reasonable use because:

THE CURRENT REGULATIONS LIMIT THE OWNER OF THE
PROPOSED SYMMETRICAL DESIGN OF THE PROPOSED
ADDITION

HARDSHIP:

2. (a) The hardship for which the variance is requested is unique to the property in that:

THE OWNER BOUGHT THE HOUSE WITH THE ALREADY
COMPLIANT CONDITIONS AS IS.

- (b) The hardship is not general to the area in which the property is located because:

THE VIOLATING BUILDING SET BACK ON THE WEST SIDE
OF THE PROPERTY IS UNIQUE TO THIS AREA.

AREA CHARACTER:

3. The variance will not alter the character of the area adjacent to the property, will not impair the use of adjacent conforming property, and will not impair the purpose of the regulations of the zoning district in which the property is located because:

IT IS LIMITED TO THIS LOT AND IT IS NOT AREA
WIDE

PARKING: (Additional criteria for parking variances only.)

~~Request for a parking variance requires the Board to make additional findings. The Board may grant a variance to a regulation prescribed Section 479 of Chapter 25-6 with respect to the number of off-street parking spaces or loading facilities required if it makes findings of fact that the following additional circumstances also apply:~~

- ~~1. Neither present nor anticipated future traffic volumes generated by the use of the site or the uses of sites in the vicinity reasonable require strict or literal interpretation and enforcement of the specific regulation because:~~

2. The granting of this variance will not result in the parking or loading of vehicles on public streets in such a manner as to interfere with the free flow of traffic of the streets because:

3. The granting of this variance will not create a safety hazard or any other condition inconsistent with the objectives of this Ordinance because:

4. The variance will run with the use or uses to which it pertains and shall not run with the site because:

NOTE: The Board cannot grant a variance that would provide the applicant with a special privilege not enjoyed by others similarly situated or potentially similarly situated.

APPLICANT CERTIFICATE – I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Signed [Signature] Mail Address 14408 Sandifer St.

City, State & Zip Austin Tx. 78725

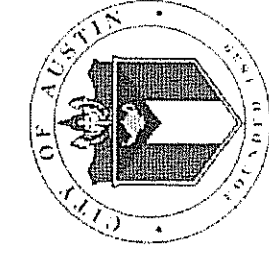
Printed Juan Pedro Murillo Phone (512) 906-9846 Date 07/16/2010

OWNERS CERTIFICATE – I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Signed [Signature] Mail Address 808 Rutledge Pl.

City, State & Zip Austin, TX 78704

Printed Gordon Murphy Phone 512-585-7381 Date 7/15/2010



BOARD OF ADJUSTMENTS

ZONING CASE#: C15-2010-0092
LOCATION: 808 RUTHERFORD PL
GRID: J20
MANAGER: SUSAN WALKER

 SUBJECT TRACT

 ZONING BOUNDARY



This map has been produced by the Communications Technology Management Dept. on behalf of the Planning Development Review Dept. for the sole purpose of geographic reference. No warranty is made by the City of Austin regarding specific accuracy or completeness.

ONE STOP SHOP
505 Barton Springs
Austin, Texas 78701
(512) 974-2632 phone
(512) 974-9112 phone
(512) 974-9779 fax
(512) 974-9109 fax



Austin Energy
Electric Service Planning Application (ESPA)
For Residential and Commercial "SERVICE ONLY"
Under 350 amps 1 ϕ or 225 amps 3 ϕ

Check this box if
this is for a
building permit
only.

(Please print or type. Fields left blank will be considered Not Applicable.)

Responsible Person for Service Request Juan Pedro Maguas Phone (512) 906-9876
Email jpmac1972@hotmail.com Fax _____
Project Name Murphy Field Residence ☒ New Construction ☐ Remodeling
Project Address 808 Rutherford place Austin Tx. **OR**
Legal Description _____ Lot 12 Block 1

Requested Service Duration: ☒ Permanent Service ☐ Construction Power/Temp Service
(Usually less than 24 months)
Who is your electrical service provider? ☒ AE ☐ Other _____

☒ Overhead or ☐ Underground Voltage RF ☒ Single-phase (1 ϕ) or ☐ Three-phase (3 ϕ)
Service Main Size(s) _____ (amps) Number of Meters? _____
AE Service Length _____ (ft.) Conductor _____ (type & size)
SqFt Per Unit _____ #Units _____ ☐ All Electric ☐ Gas & Electric ☐ Other _____
Total AC Load _____ (Tons) Largest AC unit _____ (Tons)
LRA (Locked Rotor Amps) of Largest AC Unit _____ (Amps)
Electric Heating _____ (kW) Other _____ (kW)

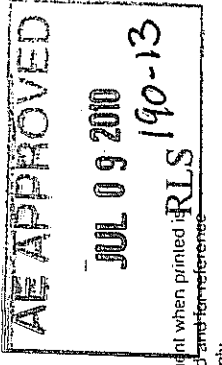
Comments: Addition to existing home / adding 2nd story

ESPA Completed by (Signature & Print name) _____ Date _____ Phone _____
AE Representative _____ Approved: ☒ Yes ☐ No (Remarks on back) 974-2632 Date _____ Phone _____

Application expires 180 days after date of Approval
(Any change to the above information requires a new ESPA)

All structures etc. must maintain 7'5"
clearance from AE energized power
lines. Enforced by AE & NESC codes.

Version 1.1.0.0









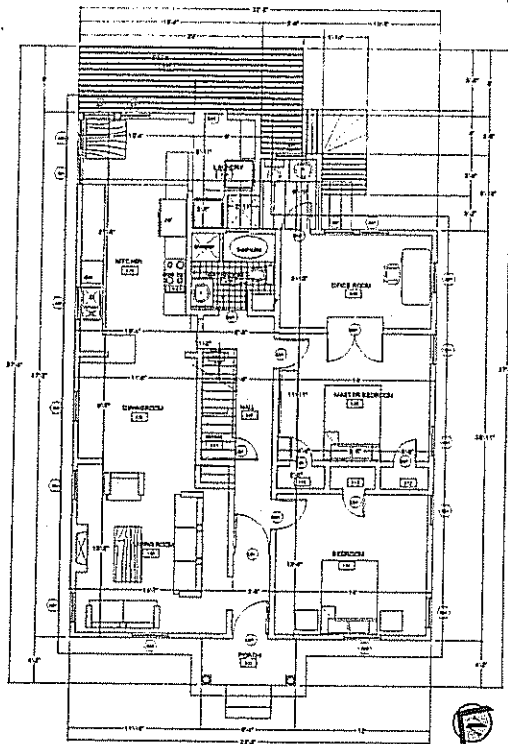




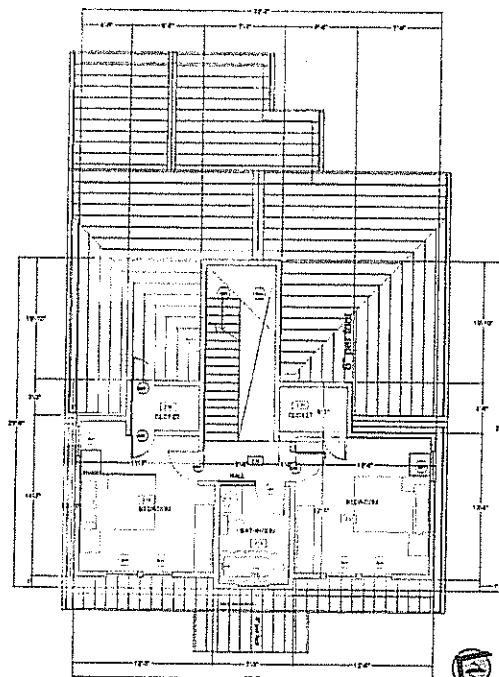




SITE PLAN
Scale: 1" = 100'



FIRST FLOOR PLAN
Scale: 3/16" = 1'-0"



SECOND FLOOR PLAN
Scale: 3/16" = 1'-0"

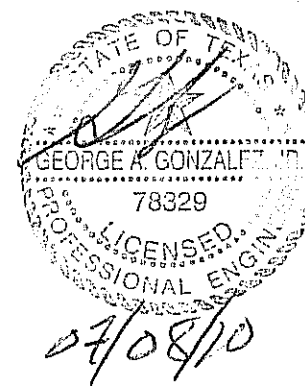
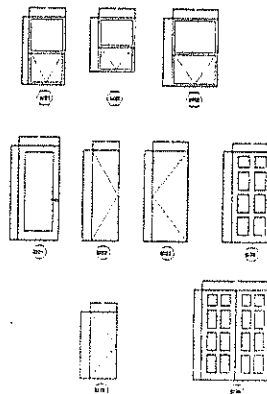
FLOOR AREA RATIO (F.A.R.)		
Total Lot Area	0.129 Acres (5,653.0 Sqft.)	
Allowed	40% (2,261.2 Sqft.)	
Existing	1,250.3 Sqft.	1,848.8 Sqft.
Proposed	2,176.6 Sqft.	33,400 Sqft.

IMPERVIOUS COVERAGE				
Lot Area	0.129 Acres (5,653.0 Sqft.)			
Zoning	SF-3 - NP			
	Existing		Proposed	
Building	1,230.3 Sqft.	21.76%	1,391.2 Sqft.	24.60%
Garage	404.0 Sqft.	7.14%	404.0 Sqft.	7.14%
Entry porch	46.7 Sqft.	0.82%	46.7 Sqft.	0.82%
Wood deck (50% credit)	---	---	85.2 Sqft.	1.50%
Concrete Walkway	36.2 Sqft.	0.64%	36.2 Sqft.	0.64%
Concrete Runners	499.3 Sqft.	8.83%	499.3 Sqft.	8.83%
TOTAL COVERAGE	2,216.5 Sqft.		2,420.8 Sqft.	
ALLOWED			45%	
IMPERVIOUS	39.20%		43.56%	

NAME	Window Size	Operation	Color	Details	Comments
W1	36" x 48"	Double Hung	White	See Detail	
W2	36" x 48"	Double Hung	White	See Detail	
W3	36" x 48"	Double Hung	White	See Detail	

NAME	Door Size	Operation	Color	Details	Comments
D1	36" x 80"	Single Swing	White	See Detail	
D2	36" x 80"	Single Swing	White	See Detail	
D3	36" x 80"	Single Swing	White	See Detail	

Room No.	Room Name	Area	Volume	Notes	Comments
101	Living Room	1,230.3	1,230.3		
102	Dining Room	404.0	404.0		
103	Kitchen	46.7	46.7		
104	Breakfast Room	85.2	85.2		
105	Master Bedroom	36.2	36.2		
106	Bedroom	499.3	499.3		
107	Bath	36.2	36.2		
108	Closet	36.2	36.2		



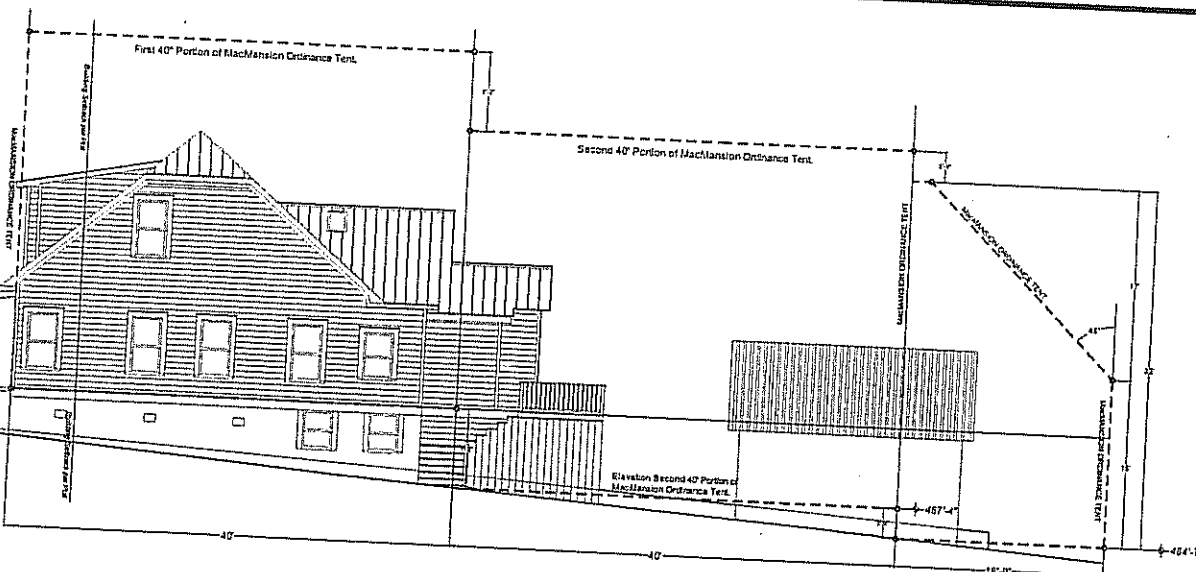
VERSION 2.00

No. Revision/Issue Date

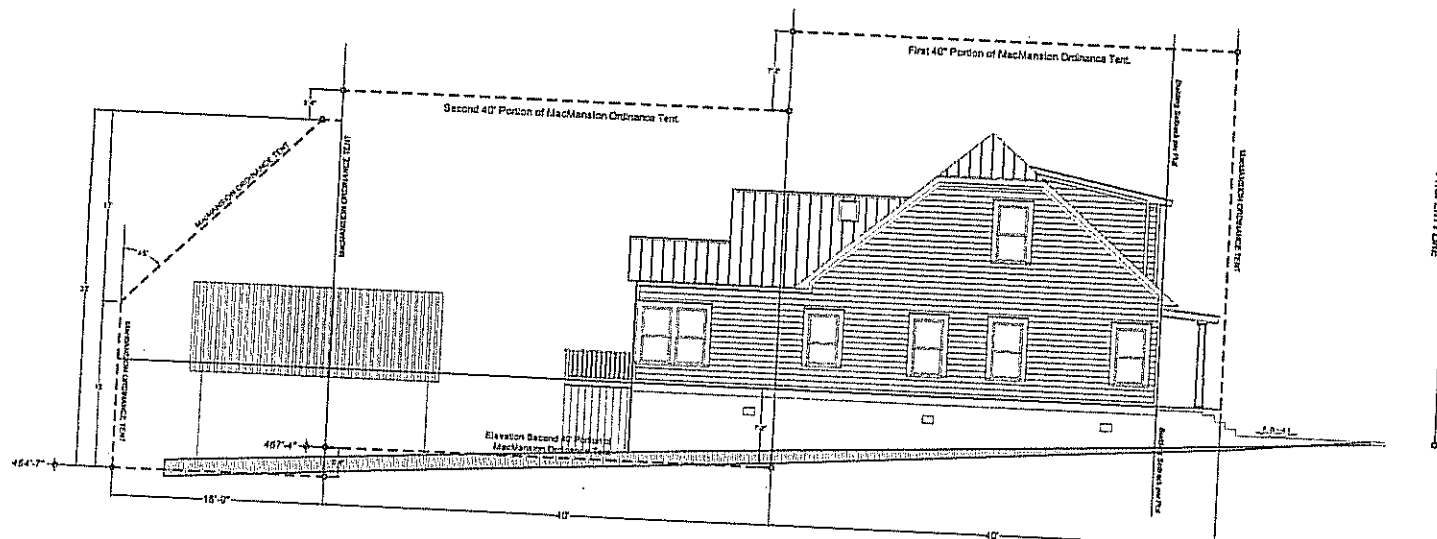
Form Name and Address
G/E
Gentile Engineering Company
A.T.B.P.C. Registered Firm #72503
2415 Jones Road, Suite E, Austin, Tx. 78745
(512) 899-2246 Office
(512) 899-2246 Fax
engineer1@gentileengineering.com

Project Name and Address
**PROPOSED NEW ADDITION
TO EXISTING FAMILY
RESIDENCE
MURPHY FAMILY
801 RUTHERFORD PLACE
AUSTIN, TEXAS 78704**

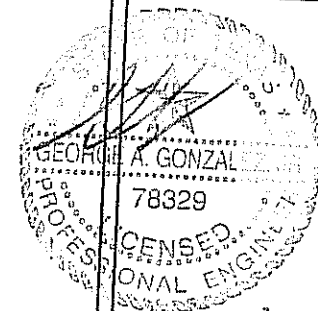
Project
AU-10-79
Date
CE 2
Sheet
OF 6
AS SHOWN



EAST ELEVATION
Scale: 1/8" = 1'-0"



WEST ELEVATION
Scale: 1/16" = 1'-0"



07/08/10

VERSION 2.00

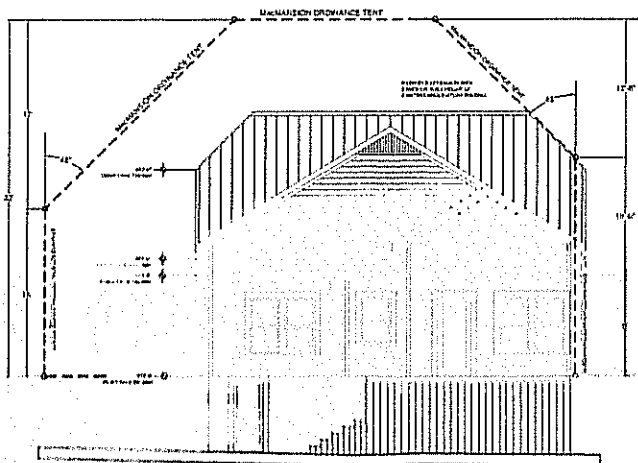
No.	Revision/issue	Date
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G/E
Genesis I Engineering Company
A.T.B.P.E. (Registered Firm #F-2363)
7603 Jones Road, Suite B, Austin, TX 78745
(512) 899-2246 Office
(512) 899-2203 Fax
engineer1@genesisengineering.com

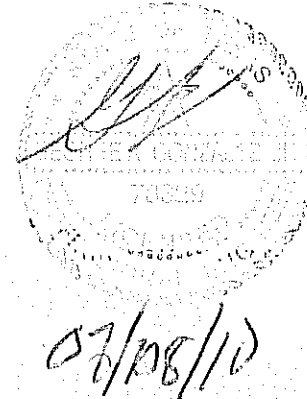
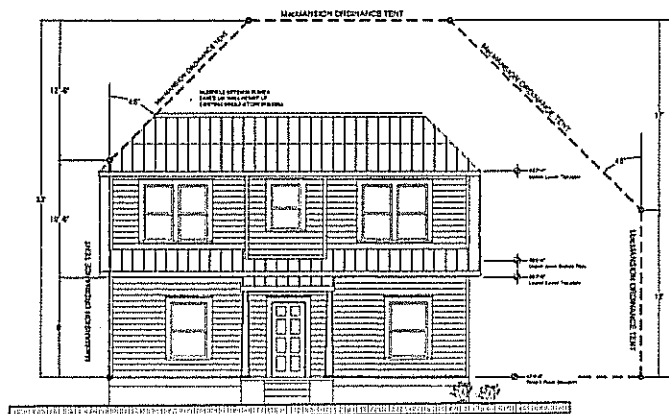
PROPOSED NEW ADDITION
TO EXISTING FAMILY
RESIDENCE
MURPHY FAMILY
808 RUTHERFORD PLACE
AUSTIN, TEXAS 78704

Project	AU-10-79	Date	
Zone		CE 3	
Room	AS SHOWN	OF 6	

GENESIS ENGINEERING
 SMART SOLUTIONS AND DESIGN
 J. PEDRO MADARI MTZ
 14408 SANDLER ST.
 SUITE 100
 DALLAS, TX 75245
 (512) 906-9346



NORTH ELEVATION
 Scale: 1/4" = 1'-0"



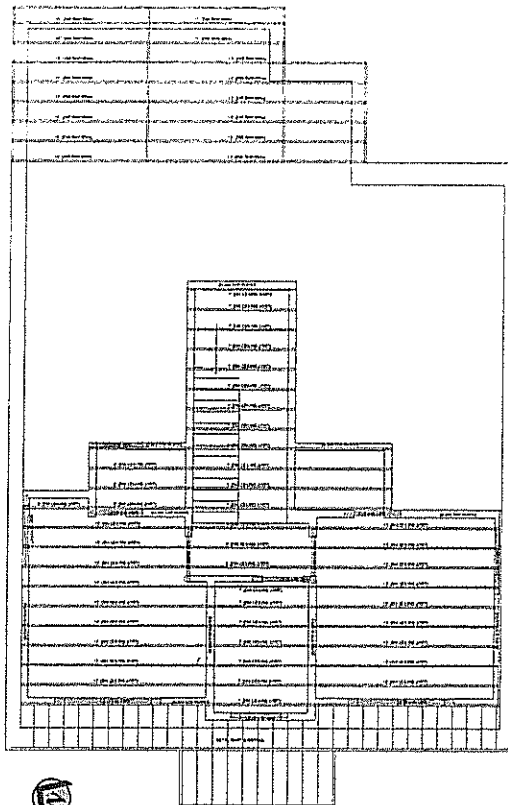
General Notes

VERSION 2.00

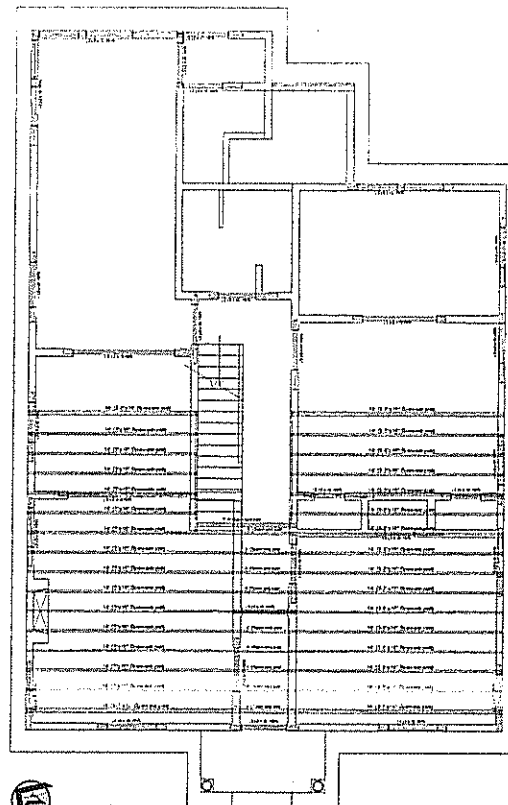
No.	Revision/Issue	Date

GENESIS ENGINEERING
 Genesis Engineering Company
 A.T.B.P.E. Registered Firm #P-2345
 2005 Jones Road, Suite E, Austin, Tx. 78745
 (512) 899.2246 Office
 (512) 899.2203 Fax
 enginfo@genesisengineering.com

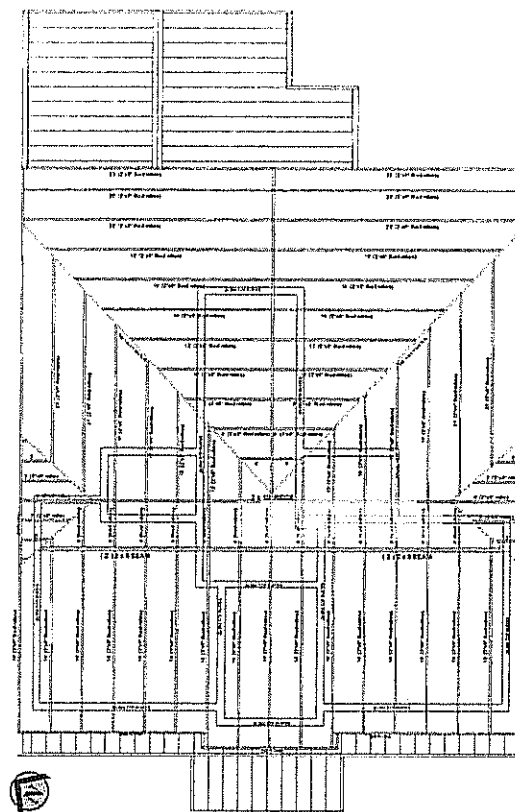
Project Name and Number
 PH/11



SECOND CEILING JOIST
Scale: 1/4" = 1'-0"



SECOND FLOOR JOIST
Scale: 1/4" = 1'-0"



ROOF FRAMING PLAN
Scale: 1/4" = 1'-0"

MAXIMUM CLEAR SPAN FOR CEILING JOIST W/ GYPSUM Cg. 20Lbs Live, 10Lbs Dead (ATTIC STORAGE)					
12" O.C.		16" O.C.		24" O.C.	
Size	Span	Size	Span	Size	Span
2x4	8'-10"	2x4	8'-11"	2x4	7'-8"
2x6	10'-4"	2x6	12'-6"	2x6	11'-0"
2x8	12'-1"	2x8	17'-5"	2x8	14'-2"
2x10	22'-11"	2x10	25'-5"	2x10	18'-11"

MAXIMUM CLEAR SPAN FOR RAFTERS NO GYPSUM CEILING STANDARD ROOF COVERING, 20Lbs Live, 10Lbs Dead					
12" O.C.		16" O.C.		24" O.C.	
Size	Span	Size	Span	Size	Span
2x6	17'-2"	2x6	15'-1"	2x6	12'-3"
2x8	22'-5"	2x8	19'-5"	2x8	15'-10"
2x10	XX'-X"	2x10	23'-2"	2x10	18'-11"
2x12	XX'-X"	2x12	XX'-X"	2x12	27'-2"

MAXIMUM CLEAR SPAN FOR RAFTERS W/ GYPSUM CEILING STANDARD ROOF COVERING, 20Lbs Live, 10Lbs Dead					
12" O.C.		16" O.C.		24" O.C.	
Size	Span	Size	Span	Size	Span
2x6	15'-1"	2x6	13'-2"	2x6	10'-8"
2x8	19'-5"	2x8	16'-10"	2x8	13'-8"
2x10	23'-2"	2x10	20'-1"	2x10	16'-5"
2x12	XX'-X"	2x12	23'-7"	2x12	19'-3"

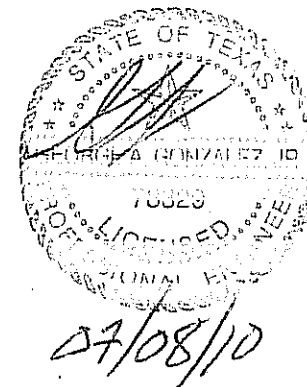
HEADER LIST	
Opening (Span)	Header Beam
Less than 4'-0"	2 - 2"x6"
Between 4'-0" and 6'-0"	2 - 2"x8"
Between 6'-0" and 12'-0"	2 - 2"x10"
More than 12'-0"	Must be engineered

FRAMING NOTES:

1. All framing shall be done in accordance with nationally-recognized framing standards, as referenced in the adopted per International Residential Code.
2. Special pre-final framing inspection shall be conducted by Genesis 1 Engineering Co. prior to installation of exterior insulation.
3. Framing contractor shall contact Genesis 1 Engineering for clarifications to discrepancies found on the field.
4. All exterior and interior walls shall have 2"x4" wood studs at 16" o.c., unless noted otherwise.
5. All wood beams and other wood structural members shall be supplied by a qualified manufacturer.
6. Joist manufacturer shall submit a list of the wood structural elements to the owner to get concurrence from Genesis 1 Engineering Company.

ADDITIONAL FRAMING NOTES:

1. Framing contractor to install temporary wind bracing while main structure frame is being constructed.
2. Contractor to use 2" x 6" strong-backs for roof rafter purging, set a top load bearing walls beneath.
3. Contractor to install 2" x 6" wall blocking @ upper kitchen cabinet press.



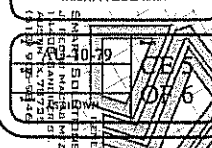
General Notes

VERSION 2.00

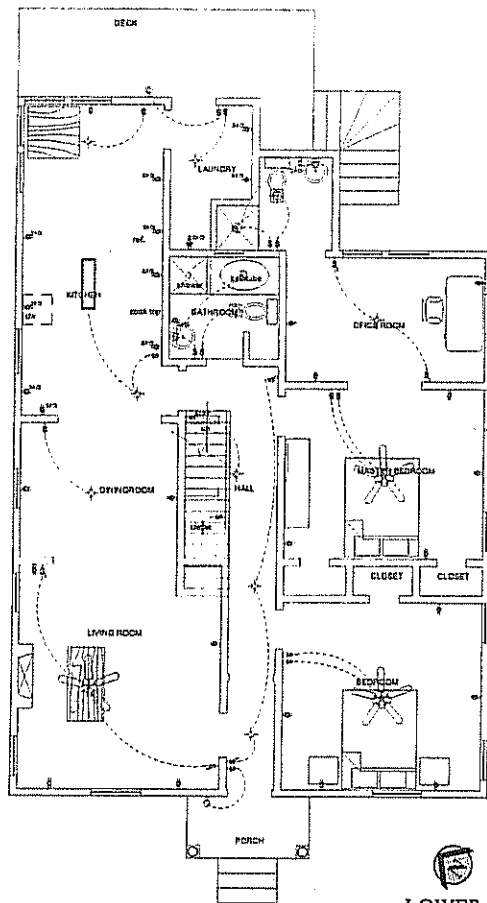
No.	Revision/Issue	Date
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For Name and Address:
G/E
Genesis 1 Engineering Company
A.T.P.E.-Regional Firm #5-2545
2603 Jones Road, Suite E, Austin, TX 78745
(512) 891-2346 Office
(512) 891-2303 Fax
engineer1@genesis1engineering.com

Project Name and Address:
**PROPOSED NEW ADDITION
TO EXISTING FAMILY
RESIDENCE**
MURPHY FAMILY
404 RUTHERFORD PLACE
AUSTIN, TEXAS 78704

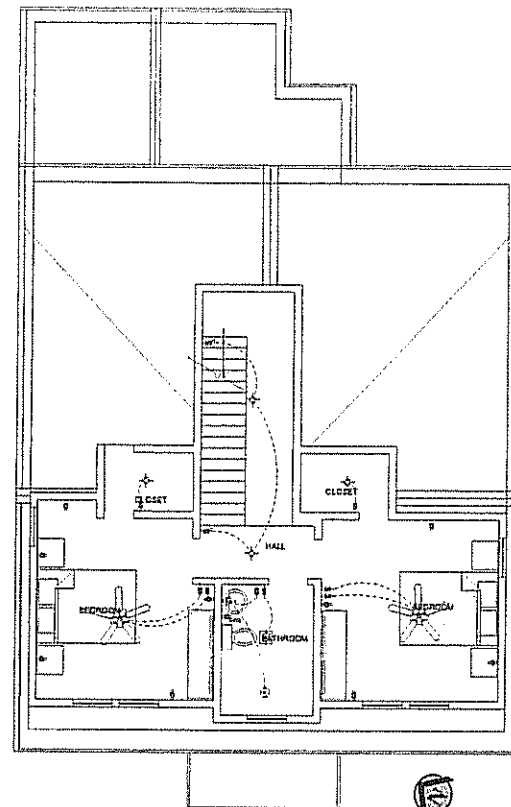


CONSTRUCTION
AND DESIGN



LOWER LEVEL ELECTRICAL PLAN

Scale: 1/4" = 1'-0"

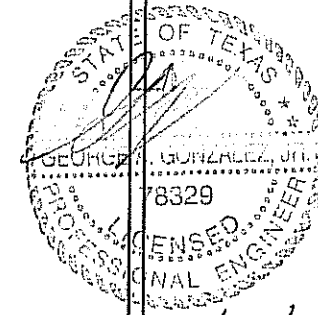


UPPER LEVEL ELECTRICAL PLAN

Scale: 1/4" = 1'-0"

LEGEND:

- | | |
|--|-------------------------------|
| ◁ Wall light fixture. | ☼ Ceiling bath fan/light. |
| ⋈ Surface mounted incandescent fixture. | ☐ Recessed fluorescent light. |
| ⊙ Recessed incandescent fixture. | ☼ Recessed light. |
| ⊙ Single fixture switch. | ☼ Ceiling fan. |
| ⊙ 3-Way fixture switch. | ☼ Smoke detector. |
| ⊙ 110V. Wall plug. | ☼ Telephone outlet. |
| ⊙ 110V. Wall plug W/Ground Fault Circuit Interruption. | ☼ TV Cable. |
| ⊙ Ceiling mounted duplex outlet 110V. | ☼ Carbon monoxide detector. |
| ⊙ 220V. Wall plug. | |
| ☐ Electrical panel. | |



07/08/10

VERSION 2.00

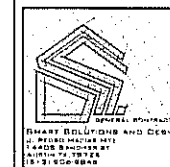
No.	Revision/Issue	Date

G/E
Genesis Engineering Company
A.T.B.P.E. Registered Firm #1-2505
2605 Jones Road, Suite E, Austin, TX 78745
(512) 899-2244 Office
(512) 899-2213 Fax
engineer@genesis-engineering.com

**PROPOSED NEW ADDITION
TO EXISTING FAMILY
RESIDENCE**
MURPHY FAMILY
1608 RUTHERFORD PLACE
AUSTIN, TEXAS 78704

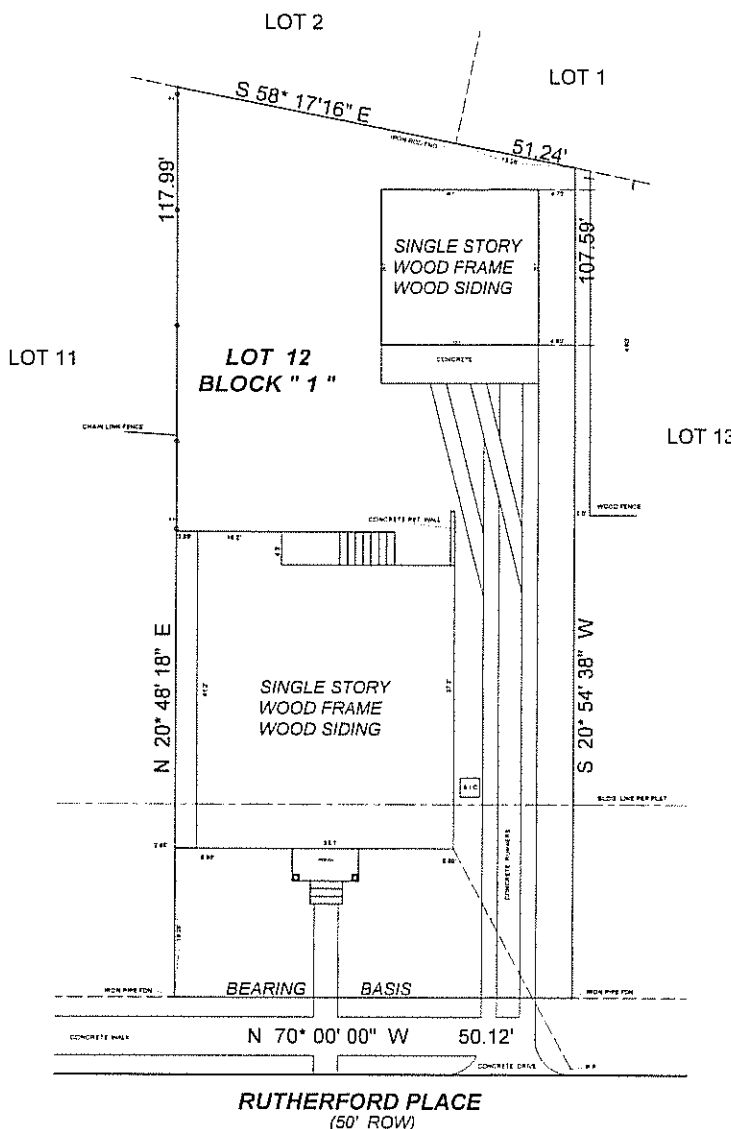


NOT FOR CONSTRUCTION
NO DESIGN



Project Title
Murphy Residence
 additions and improvements
 808 RUTHERFORD
 PLACE, AUSTIN TX,
 Z C 78704

Sheet Title
SITE PLAN



PROJECT INFORMATION

1. IN THIS DOCUMENT, PROJECT SHALL REFER TO THE SCOPE OF WORK HEREIN DESCRIBED. OWNER SHALL REFER TO INCORPORATED MUNICIPALITY OR OTHER GOVERNMENTAL JURISDICTION. THE ARCHITECT'S REPRESENTATIVE (CONTRACTOR) SHALL REFER TO THE GENERAL CONTRACTOR RETAINED BY THE OWNER TO CONSTRUCT THE PROJECT AND ARCHITECT SHALL REFER TO
2. PROJECT IS LOCATED AT 808 RUTHERFORD ST. AUSTIN TX 78704

GENERAL NOTES

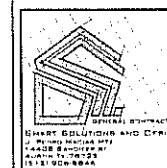
1. ALL WORK DESCRIBED BY THESE DOCUMENTS SHALL BE PERFORMED IN FULL COMPLIANCE WITH ALL APPLICABLE CODES AS MANAGED BY A GOVERNING JURISDICTION.
2. THE PROJECT IS LOCATED OUTSIDE OF AN INCORPORATED MUNICIPALITY OR OTHER GOVERNMENTAL JURISDICTION. ALL WORK PERFORMED BY THESE DOCUMENTS SHALL BE PERFORMED IN FULL COMPLIANCE WITH THE CITY OF AUSTIN RESIDENTIAL CODE REQUIREMENTS. THE PROJECT SHALL BE INSPECTED BY QUALIFIED INDEPENDENT INSPECTOR AS MANAGED BY THE TEXAS RESIDENTIAL CONSTRUCTION COMMISSION. COUNTY INSPECTOR PROGRAM AND INTELLECTUAL PROPERTY INSPECTION, A SINGLE INSPECTION AND A FINAL INSPECTION SHALL RELIEVE THE ARCHITECT FROM ANY CONSEQUENCES THEREBY ARISING.
3. RELEASE OF THESE CONSTRUCTION DRAWINGS ANTICIPATES FURTHER COORDINATION BETWEEN THE OWNER AND CONTRACTOR IN THE FIELD AND THE CONSTRUCTION OF THE PROJECT. ALL PARTIES AGREE TO WORK IN FULL COOPERATION IN THE INTERESTS OF THE PROJECT AND PROTECT THE OWNER.
4. OWNER IS RESPONSIBLE FOR ALL FEES AND PERMITS REQUIRED FOR CONSTRUCTION.
5. CONTRACTOR SHALL REVIEW THE CONSTRUCTION DRAWINGS THOROUGHLY AND MAKE A DETAILED SITE VISIT TO REVIEW THE FIELD CONDITIONS. ANY DISCREPANCY, AMBIGUITY, OR ANY OTHER QUESTIONS SHALL BE IMMEDIATELY REPORTED TO ARCHITECT FOR CLARIFICATION AND RESOLUTION PRIOR TO THE DELIVERY OF ANY BID AND PRIOR TO PROCEEDING WITH THE WORK IN QUESTION. ANY OTHER RELATED WORK FAILURE TO DO SO SHALL CAUSE THE CONTRACTOR TO BE INDOLIGENT FOR EXTRA RELATING TO SUCH MATTERS AND SHALL RELIEVE THE ARCHITECT FROM ANY CONSEQUENCES THEREBY ARISING.
6. DRAWINGS AND NOTES TO DRAWINGS, INCLUDING THOSE OF THE ENGINEER OR CONSULTANT, ARE COMPLEMENTARY AND HAVE EQUAL AUTHORITY AND PRIORITY. SHOULD THERE BE DISCREPANCIES IN THE WELVES OR BETWEEN THEM, CONTRACTOR SHALL BASE BID PRICING ON THE MOST EXPENSIVE COMBINATION OF QUALITY AND QUANTITY OF THE WORK INDICATED AT THE EVENT OF DISCREPANCIES. THE APPROPRIATE METHOD OF PERFORMANCE WORK AND/OR ITEMS TO BE INCORPORATED INTO THE SCOPE OF THE WORK SHALL BE DETERMINED BY THE ARCHITECT OR ENGINEER.
7. WRITTEN CORRECTIONS SHALL GOVERN THESE DRAWINGS. THESE DRAWINGS ARE NOT TO BE SCALED.
8. CONTRACTOR IS SOLELY RESPONSIBLE FOR THE SAFETY, ACTION, AND CONDUCT OF HIS EMPLOYEES AND HIS SUBCONTRACTOR'S EMPLOYEES WHILE IN THE PROJECT AREA. ADJACENT AREAS AND THE BUILDING AND ITS VARIETY.
9. CONTRACTOR SHALL COORDINATE WITH ALL TRADES AND SUBCONTRACTORS TO PROVIDE COMPLETE WORKING SYSTEMS THROUGHOUT THE PROJECT.
10. CONTRACTOR SHALL SUBMIT ALL REQUIRED SHOP DRAWINGS BEFORE PROCEEDING WITH THE WORK RELATED TO THE SHOP DRAWINGS.
11. ALL WORK NOTED BY OTHERS OR NOT IN CONFORMANCE BY A CONTRACTOR OTHER THAN THE GENERAL CONTRACTOR AND IS NOT TO BE A PART OF THE CONSTRUCTION AGREEMENT. THE GENERAL CONTRACTOR IS TO COORDINATE WITH OTHER CONTRACTORS AS REQUIRED AND SHALL PROVIDE ACCESS TO THE PROJECT AS NEEDED.
12. PRIOR TO THE START OF CONSTRUCTION, CONTRACTOR SHALL FURNISH THE ARCHITECT A SCHEDULE OF VALUES THAT INCLUDES A DETAILED LIST OF ENTIRE SCOPE OF WORK AND THE MATERIALS, QUANTITIES INVOLVED IN THE PROJECT AND THEIR RESPECTIVE CONTRACTOR DOLLAR AMOUNTS INCLUDING A SEPARATE COLUMN FOR SALES TAX.
13. CONTRACTOR SHALL FURNISH THE ARCHITECT A FURNISH LIST INCLUDING ALL THE ITEMS TO BE COMPLETED PRIOR TO THE PROJECT'S SUBSTANTIAL COMPLETION. ARCHITECT SHALL REVIEW CONTRACTOR'S FURNISH LIST AND PROVIDE ADDITIONAL ITEMS TO BE INCLUDED IN THE FURNISH LIST.
14. ALL MATERIALS, FINISHES, MANUFACTURED ITEMS, AND EQUIPMENT SHALL BE INSTALLED IN FULL ACCORDANCE WITH THE SUPPLIER'S MANUFACTURER'S WRITTEN RECOMMENDATIONS OR THESE DOCUMENTS, WHICHEVER IS MORE STRINGENT.
15. STORE AND HANDLE ALL MATERIALS IN STRICT COMPLIANCE WITH MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS. PROTECT ALL MATERIALS DAMAGE, WEATHER, EXCESSIVE TEMPERATURES, AND CONSTRUCTION OPERATIONS.
16. ALL DIMENSIONS, NOTES, FINISHES, AND FINISHES SHOWN ON TYPICAL DRAWINGS SHALL APPLY TO ALL SIMILAR, SYMMETRICAL, OR OPPOSITE-SIDE DETAILS.
17. REQUESTS TO SUBSTITUTE ANY PRODUCT OR MATERIAL SHALL BE SUBMITTED IN WRITING TO THE ARCHITECT FOR APPROVAL. SAMPLES, PRODUCT INFORMATION, AND DRAWINGS SHALL BE REQUIRED PRIOR TO SUBSTITUTION APPROVAL. PROPOSED SUBSTITUTION SHALL BE OF EQUAL QUALITY AND PERFORMANCE SPECIFICATION TO THAT ORIGINALLY SPECIFIED.
18. CONTRACTOR SHALL PROVIDE ALLOWANCES AND NOTIFY THE ARCHITECT AND OWNER OF AMOUNTS THAT SEEM INSUFFICIENT OR NOT ACCURATE. ALLOWANCE AMOUNTS INCLUDE THE FULL COST OF THE MATERIALS INCLUDING DELIVERY AND SALES TAX.
19. ALL WORKMANSHIP, MATERIAL, AND EQUIPMENT SHALL BE GUARANTEED FOR THE GREATER OF THE TREE'S LEGAL REQUIREMENTS, MANUFACTURER'S WARRANTY, OR ONE YEAR FROM DATE OF OWNER ACCEPTANCE. ANY FAILURE OR DETERIORATION WITHIN THIS PERIOD SHALL BE CORRECTED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
20. CONTRACTOR SHALL PROVIDE THE OWNER WITH AN OPERATION MANUAL FOR THE HOUSE THAT INCLUDES MAINTENANCE SCHEDULE, MAINTENANCE INSTRUCTIONS, EQUIPMENT LITERATURE, WARRANTY INFORMATION AND PHOTO RECORD OF FRAMES WITH WIRING AND OUTLETS INSTALLED. PROVIDE KEY TO LOCATIONS TO PHOTOGRAPHICAL LOCATIONS.
21. CONTRACTOR SHALL EXERCISE REASONABLE PRECAUTION IN THE PROTECTION OF THE OWNER'S PROPERTY, SITE VEGETATION, AND ALL TREES THAT ARE TO REMAIN.
22. CONTRACTOR SHALL BE RESPONSIBLE ON A DAILY BASIS FOR SITE CLEAN UP AND ANY REMOVAL OF ANY AND ALL DEBRIS GENERATED BY CONSTRUCTION OPERATIONS. MAKING READY FOR ALL SUBSEQUENT SUBCONTRACTORS.
23. PROVIDE CONSTRUCTION WASTE MANAGEMENT INCLUDING THE SEPARATION OF REUSABLE OR RECYCLABLE MATERIALS INTO SEPARATE CONTAINERS.
24. THE DRAWINGS SPECIFICATIONS, AND IDEAS CONTAINED HEREIN ARE THE INTELLECTUAL AND MATERIAL PROPERTY OF THE ARCHITECT AND SHALL NOT BE REUSED, REPRODUCED, OR ALTERED WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE ARCHITECT. FAILURE TO OBTAIN PERMISSION VIOLATES UNITED STATES COPYRIGHT LAWS AND SUBJECTS THE VIOLATOR TO LEGAL PROSECUTION.

SITE PLAN NOTES

1. SITE PLANS BASED ON SURVEY INFORMATION PROVIDED BY OWNER. ALL FIELD CONDITIONS SHALL BE VERIFIED BY CONTRACTOR.
2. PROJECT MAY BE SUBJECT TO EASEMENTS, EASEMENTS, EASEMENTS, RIGHTS, RESTRICTIONS, ENCUMBRANCES, SERVITUDES, AND RESERVATIONS AS DESCRIBED IN COUNTY PLAT AND CDED RECORD BOOKS. CONTRACTOR SHALL VERIFY ALL SITE LIMITATIONS PRIOR TO CONSTRUCTION.
3. CITY REPRESENTATIVES MAY REQUIRE LAND STATUS DETERMINATION OR FLOORPLAN DETERMINATION. VERIFY AND COORDINATE ALL REQUIREMENTS AS NECESSARY.
4. REFER TO FLOOR PLANS AND STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION ON SITE ELEMENTS.
5. FINISH GRADES SHALL BE 1" MINIMUM BELOW TOP OF FINISH GRADE.
6. PROVIDE POSITIVE DRAINAGE AWAY FROM FOUNDATION AND DIVERSITY TO EXISTING DRAINAGE PATTERNS OR DRAINS IF FINAL GRADES AS REQUIRED.
7. OWNER AND CONTRACTOR SHALL PROVIDE TEMPORARY POWER IN ALL OTHER UTILITIES REQUIRED FOR THE CONSTRUCTION OF THE PROJECT.
8. ALL TREES NOT LOCATED WITHIN THE LIMITS OF CONSTRUCTION AND OUTSIDE OF DISTURBED AREAS SHALL BE PRESERVED. EXISTING TREES AND VEGETATION INDICATED ON THIS SURVEY ARE APPROXIMATE AND NOT EXTENSIVE. FIELD VERIFY LOCATIONS OF ALL TREES AND VEGETATION SITE PRIOR TO SITE WORK.
9. ALL TREES AND NATURAL AREAS WITHIN LIMITS OF CONSTRUCTION OR SHOWN ON PLAN TO BE PRESERVED SHALL BE FULLY PROTECTED TO PREVENT SOIL COMPACTION IN THE ROOT ZONE FROM VEHICULAR TRAFFIC OR STORAGE OF EQUIPMENT ON MATERIALS. ROOT ZONE DISTURBANCE DUE TO GRADE CHANGES VICINITY TO EXPOSED ROOTS. TRUNK OR LIMBS BY MECHANICAL EQUIPMENT OR OTHER ACTIVITIES DETRIMENTAL TO TREES.
10. TREE PROTECTION FENCING IS REQUIRED FOR TREES WITHIN THE LIMITS OF CONSTRUCTION. FENCING SHOULD PROTECT THE ENTIRE CRITICAL ROOT ZONE (CRZ) AREA. FENCING IS REQUIRED TO BE CHAIN LINK WITH A MINIMUM HEIGHT OF FIVE FEET. A BROWN LAYER OF MULCH WITHIN THE CRITICAL ROOT ZONE (CRZ) AREA IS REQUIRED FOR TREES WHICH HAVE ANY DISTURBANCE INDICATED WITHIN ANY PORTION OF THE CRITICAL ROOT ZONE.
11. TREES SHOWN TO BE REMOVED SHALL BE REMOVED IN A MANNER THAT HAS NO IMPACT ON EXISTING TREES TO BE PRESERVED.
12. ALL TREES WITHIN CRITICAL ROOT ZONE OF TREES SHALL BE HAND DUG. SMALL LIGNER ALL MAJOR TREE ROOTS WHERE EXPOSED AT TRENCHES.
13. ALL ROCKS THAT ARE EXPOSED DURING CONSTRUCTION SHALL BE REMOVED FLUSH WITH THE SOIL. BACKFILL ROOT AREAS WITH GOOD QUALITY TOP SOIL. WITHIN 2 DAYS OF EXPOSURE OR COVER WITH ORGANIC MATERIAL TO REDUCE SOIL TEMPERATURE AND MINIMIZE WATER LOSS.
14. ALL CUTS TO DRAIN SHALL BE PAVED IMMEDIATELY TO PREVENT SOIL LOSS WITH TREE PLANT.
15. CITY REPRESENTATIVES MAY REQUIRE ADDITIONAL TREE PROTECTION BEFORE OR DURING CONSTRUCTION. VERIFY AND COORDINATE ALL REQUIREMENTS AS NECESSARY.

N SITE PLAN
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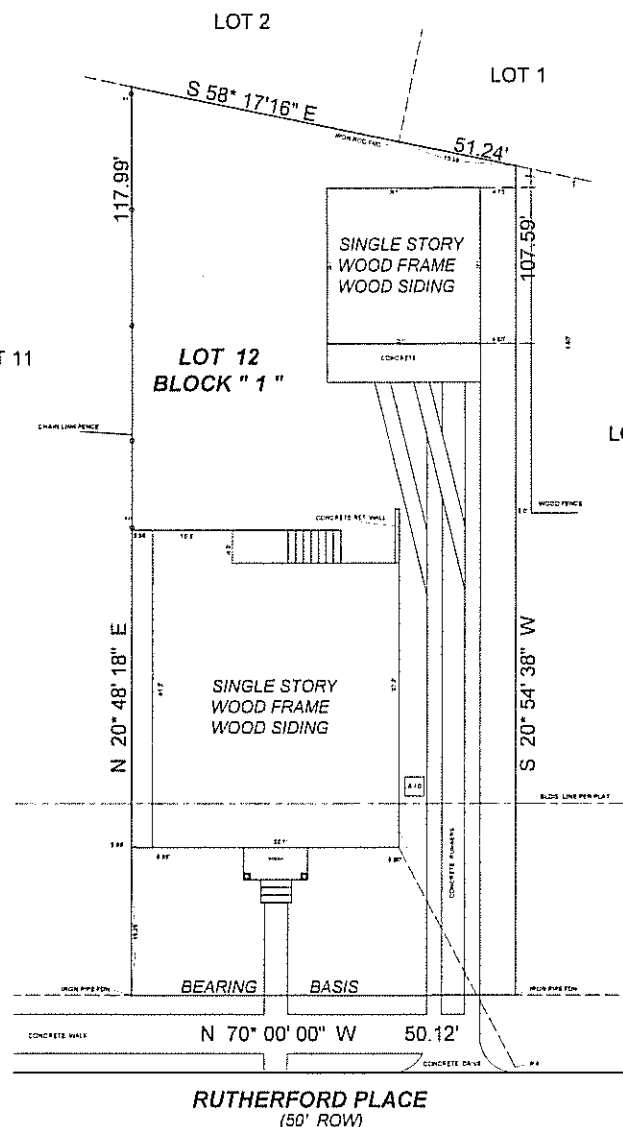
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Project
Murphy Residence
 additions and improvements
 808 RUTHERFORD
 PLACE, AUSTIN TX,
 Z.C. 78704

Sheet title
SITE PLAN

A1.0



PROJECT INFORMATION

1. IN THIS DOCUMENT, "PROJECT" SHALL REFER TO THE SCOPE OF WORK HEREIN DESCRIBED. OWNER SHALL REFER TO GORDON MURPHY OR THE AUTHORIZED REPRESENTATIVE. "CONTRACTOR" SHALL REFER TO THE GENERAL CONTRACTOR RETAINED BY THE OWNER TO CONSTRUCT THE PROJECT. AND ARCHITECT SHALL REFER TO.

2. PROJECT IS LOCATED AT 808 RUTHERFORD ST AUSTIN TX, ZIP CODE 78704

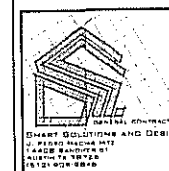
GENERAL NOTES

1. ALL WORK DESCRIBED BY THESE DOCUMENTS SHALL BE PERFORMED IN FULL COMPLIANCE WITH ALL APPLICABLE CODES AS MAINTAINED BY ALL GOVERNING JURISDICTIONS.
2. IF THE PROJECT IS LOCATED OUTSIDE OF AN INCORPORATED MUNICIPALITY OR OTHER GOVERNING JURISDICTIONS, ALL WORK DESCRIBED BY THESE DOCUMENTS SHALL BE PERFORMED IN FULL COMPLIANCE WITH THE CITY OF AUSTIN RESIDENTIAL CODE REQUIREMENTS. THE PROJECT SHALL BE INSPECTED BY QUALIFIED INDEPENDENT INSPECTOR AS MAINTAINED BY THE TEXAS RESIDENTIAL CONSTRUCTION COMMISSION. COUNTY INSPECTIONS PROGRAMS SHALL INCLUDE A PRE-POUR INSPECTION, A PRE-COIN INSPECTION, AND A FINAL INSPECTION.
3. RELEASE OF THESE CONSTRUCTION DRAWINGS AND PATENTS FURTHER COOPERATION BETWEEN THE OWNER AND CONTRACTOR.
4. IN THE DESIGN AND THE CONSTRUCTION OF THE PROJECT, ALL PARTIES AGREE TO WORK IN FULL COOPERATION IN THE INTERESTS OF THE PROJECT AND PROPERTY OWNER.
5. OWNER IS RESPONSIBLE FOR ALL FEES AND PERMITS REQUIRED FOR CONSTRUCTION.
6. CONTRACTOR SHALL REVIEW THE CONSTRUCTION DRAWINGS THOROUGHLY AND MAKE A DETAILED SITE VISIT TO REVIEW EXISTING FIELD CONDITIONS. ANY INCONSISTENCY, DISCREPANCY, AMBIGUITY, OR ANY OTHER QUESTIONS SHALL BE IMMEDIATELY REPORTED TO ARCHITECT FOR CLARIFICATION AND RESOLUTION PRIOR TO THE DELIVERY OF ANY BID AND PRIOR TO PROCEEDING WITH THE WORK IN QUESTION AND/OR OTHER RELATED WORK. FAILURE TO DO SO SHALL CAUSE THE CONTRACTOR TO BE RESPONSIBLE FOR EXTRAS RELATIVE TO SUCH MATTERS AND SHALL RELIEVE THE ARCHITECT FROM ANY CONSEQUENCES THEREOF.
7. DRAWINGS AND NOTES TO DRAWINGS, INCLUDING THOSE OF THE ENGINEER OR CONSULTANT, ARE CORRELATIVE AND HAVE EQUAL AUTHORITY AND PRIORITY. SHOULD THERE BE DISCREPANCIES IN THEMSELVES OR BETWEEN THEM, CONTRACTOR SHALL BASE DECISIONS ON THE MOST EXPANSIVE CONSERVATION OF QUALITY AND QUANTITY OF THE WORK INDICATED IN THIS SET OF DOCUMENTS. THE APPROPRIATE METHOD OF PERFORMANCE OF THE WORK AND/OR ITEMS TO BE INCORPORATED INTO THE SCOPE OF THE WORK SHALL BE DETERMINED BY THE ARCHITECT OR ENGINEER.
8. CONTRACTOR IS SOLELY RESPONSIBLE FOR THE SAFETY, ACTIONS, AND CONDUCT OF HIS EMPLOYEES AND HIS SUBCONTRACTOR'S EMPLOYEES WHILE IN THE PROJECT AREA, ADJACENT AREAS AND THE BUILDING AND ITS VICINITY.
9. CONTRACTOR SHALL COORDINATE WITH ALL TRADERS AND SUBCONTRACTORS TO PROVIDE COMPLETE WORKING SYSTEMS. THEY SHALL NOTIFY THE PROJECT.
10. CONTRACTOR SHALL SUBMIT ALL REQUIRED SHOP DRAWINGS BEFORE PROCEEDING WITH THE WORK RELATED TO THE SHOP DRAWINGS.
11. ALL WORK NOTED "BY OTHERS" OR "NOT IN CONTRACT" IS TO BE ACCOMPLISHED BY A CONTRACTOR OTHER THAN THE GENERAL CONTRACTOR AND IS NOT TO BE A PART OF THE CONSTRUCTION AGREEMENT. THE GENERAL CONTRACTOR IS TO COORDINATE WITH OTHER CONTRACTORS AS REQUIRED AND SHALL PROVIDE ACCESS TO THE PROJECT AS REQUIRED.
12. PRIOR TO THE START OF CONSTRUCTION, CONTRACTOR SHALL FURNISH THE ARCHITECT A SCHEDULE OF VALUES THAT INCLUDES A DETAILED LIST OF THE SCOPE OF WORK AND THE MATERIAL QUANTITIES INVOLVED IN THE PROJECT AND THEIR RESPECTIVE CONTRACT DOLLAR AMOUNTS, INCLUDING A SEPARATE COLUMN FOR SALES TAX.
13. CONTRACTOR SHALL FURNISH THE ARCHITECT A PUNCH LIST INCLUDING ALL THE ITEMS TO BE COMPLETED PRIOR TO THE PROJECT'S SUBSTANTIAL COMPLETION. ARCHITECT SHALL REVIEW CONTRACTOR'S PUNCH LIST AND PROVIDE ADDITIONAL ITEMS TO BE INCLUDED IN THE PUNCH LIST.
14. ALL MATERIALS, FINISHES, MANUFACTURED ITEMS, AND EQUIPMENT SHALL BE INSTALLED IN FULL ACCORDANCE WITH THE SUPPLIER'S OR MANUFACTURER'S WRITTEN RECOMMENDATIONS OF THESE DOCUMENTS, WHICHEVER IS MORE STRINGENT.
15. STORE AND HANDLE ALL MATERIALS IN STRICT COMPLIANCE WITH MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS. PROTECT ALL MATERIALS FROM DAMAGE, WEATHER, EXCESSIVE TEMPERATURES, AND CONSTRUCTION OPERATIONS.
16. ALL DIMENSIONS, NOTES, FINISHES, AND FEATURES SHOWN ON TYPICAL DRAWINGS SHALL APPLY TO ALL SIMILAR, SYMMETRICAL, OR OPPOSITE HAND DETAILS.
17. REQUESTS TO SUBSTITUTE ANY PRODUCT OR MATERIAL SHALL BE SUBMITTED IN WRITING TO THE ARCHITECT FOR APPROVAL. SAMPLES, PRODUCT INFORMATION, AND DRAWING SHALL BE REQUIRED PRIOR TO SUBSTITUTION. APPROVAL, PROPOSED SUBSTITUTION SHALL BE OF EQUAL QUALITY AND PERFORMANCE SPECIFICATION TO THAT ORIGINALLY SPECIFIED.
18. CONTRACTOR SHALL REVIEW ALLOWANCES AND NOTIFY THE ARCHITECT AND OWNER OF AMOUNTS THAT SEEM INSUFFICIENT OR NOT APPROPRIATE. ALLOWANCE AMOUNTS INCLUDE THE FULL COST OF THE MATERIALS INCLUDING DELIVERY AND SALES TAX.
19. ALL WORKMANSHIP, MATERIAL, AND EQUIPMENT SHALL BE GUARANTEED FOR THE GREATER OF THE THREE (3) YEAR REQUIREMENTS: MANUFACTURER'S WARRANTY, OR ONE YEAR FROM DATE OF OWNER ACCEPTANCE. ANY FAILURE OR DETERIORATION WITHIN THIS PERIOD SHALL BE CORRECTED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
20. CONTRACTOR SHALL PROVIDE THE OWNER WITH AN OPERATING MANUAL FOR THE HOUSE THAT INCLUDES MAINTENANCE SCHEDULE, MAINTENANCE INSTRUCTIONS, EQUIPMENT LITERATURE, WARRANTY INFORMATION AND PHOTO RECORD OF FINISHES WITH WORKS AND UTILITIES INSTALLED (PROVIDE KEY OR DESCRIPTIONS TO PHOTOGRAPH LOCATIONS).
21. CONTRACTOR SHALL EXERCISE REASONABLE PRECAUTION IN THE PROTECTION OF THE OWNER'S PROPERTY, SITE VEGETATION, AND ALL TREES THAT ARE TO REMAIN.
22. CONTRACTOR SHALL BE RESPONSIBLE ON A DAILY BASIS FOR SITE CLEAN UP AND ANY REMOVAL OF ANY AND ALL DEBRIS GENERATED BY CONSTRUCTION OPERATIONS, MAKING READY FOR ALL SUBSEQUENT SUBCONTRACTORS.
23. PROVIDE CONSTRUCTION WASTE MANAGEMENT INCLUDING THE SEPARATION OF REUSABLE OR RECYCLABLE MATERIALS INTO SEPARATE CONTAINERS.
24. THE DRAWINGS SPECIFICATIONS, AND IDEAS CONTAINED HEREIN ARE THE INTELLECTUAL AND MATERIAL PROPERTY OF THE ARCHITECT AND SHALL NOT BE USED, REPRODUCED, OR ALTERED WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE ARCHITECT. FAILURE TO OBTAIN PERMISSION VIOLATES UNITED STATES COPYRIGHT LAWS AND SUBJECTS THE VIOLATOR TO LEGAL PROSECUTION.

SITE PLAN NOTES

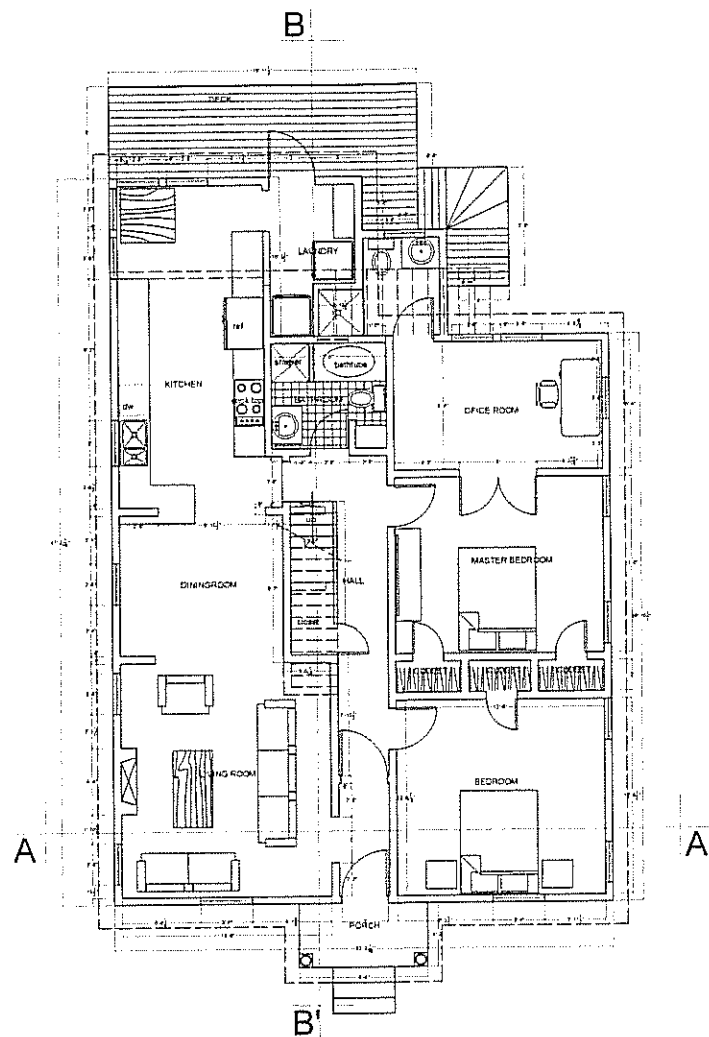
1. SITE LOCATED BASED ON SURVEY INFORMATION PROVIDED BY OWNER. ALL FIELD CONDITIONS SHALL BE VERIFIED BY CONTRACTOR.
2. PROJECT MAY BE SUBJECT TO EASEMENTS, COVENANTS, CONDITIONS, RIGHTS, RESTRICTIONS, ENCUMBRANCES, SERVITUDES, AND RESERVATIONS AS DESCRIBED IN EASEMENT PLAT AND DEED RECORD BOOKS. CONTRACTOR SHALL VERIFY ALL SITE LIMITATIONS PRIOR TO CONSTRUCTION.
3. CITY REPRESENTATIVES MAY REQUIRE LAND STATUS DETERMINATION OR FLOODPLAIN DETERMINATION. VERIFY AND COORDINATE ALL REQUIREMENTS AS NECESSARY.
4. REFER TO ALL SHOP PLANS AND STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION ON SITE ELEMENTS.
5. FRESH GRADES SHALL BE 8" MINIMUM BELOW TOP OF FINISH GRADE.
6. PROVIDE POSITIVE DRAINAGE AWAY FROM FOUNDATION AND DIVERT TO EXISTING DRAINAGE PATTERNS OR DRAINS IF FINAL GRADES AS REQUIRED COORDINATE WITH ADJACENT PROPERTY OWNERS AS REQUIRED.
7. OWNER AND CONTRACTOR SHALL PROVIDE TEMPORARY POWER IN ALL OTHER UTILITIES REQUIRED FOR THE CONSTRUCTION OF THE PROJECT.
8. ALL TREES NOT LOCATED WITHIN THE LIMITS OF CONSTRUCTION OR OUTSIDE OF CULTURED AREAS SHALL BE PRESERVED. EXISTING TREES AND VEGETATION INDICATED ON THIS SURVEY ARE APPROXIMATE AND NOT EXTENSIVE. FIELD VERIFY LOCATIONS OF ALL TREES AND VEGETATION ON SITE PRIOR TO SITE WORK.
9. ALL TREES AND NATURAL AREAS WITHIN LIMITS OF CONSTRUCTION OR SHOWS ON PLAN TO BE PRESERVED SHALL BE FULLY PROTECTED TO PREVENT SOIL COMPACTION IN THE ROOT ZONE FROM VEHICULAR TRAFFIC OR STORAGE OF EQUIPMENT OR MATERIALS. ROOT ZONE DISTURBANCE DUE TO GRADE CHANGES WITHIN TO EXPOSED ROOTS. THROWN OR LIMBS BY MECHANICAL EQUIPMENT OR OTHER ACTIVITIES DEPENDENT TO TREES.
10. TREE PROTECTION FENCING IS REQUIRED FOR TREES WITHIN THE LIMITS OF CONSTRUCTION. FENCING BACKED PROTECT THE ENTIRE CRITICAL ROOT ZONE (CRZ) AREA. FENCING IS REQUIRED TO BE CHAIN LINK FENCE AT A MINIMUM HEIGHT OF FIVE FEET. A RANCH LAYER OF MULCH WITHIN THE ENTIRE AVAILABLE ROOT ZONE AREA IS REQUIRED FOR TREES WHICH HAVE ANY DISTURBANCE INDICATED WITHIN ANY PORTION OF THE CRITICAL ROOT ZONE.
11. TREES SHOWN TO BE REMOVED SHALL BE REMOVED IN A MANNER THAT HAS NO IMPACT ON EXISTING TREES TO BE PRESERVED.
12. ALL TREES WITHIN CRITICAL ROOT ZONE OF TREES SHALL BE HAND DUG TUNNEL UNDER ALL MAJOR TREE ROOTS WHERE ENCOUNTERED AT TRENCHES.
13. ALL ROOTS THAT ARE EXPOSED DURING CONSTRUCTION SHALL BE PROTECTED WITH THE SOIL. BACKFILL ROOT AREAS WITH GOOD QUALITY TOP SOIL WITHIN 14 DAYS OF EXPOSURE OR COVER WITH ORGANIC MATERIAL TO REDUCE SOIL TEMPERATURE AND MAINTAIN WATER LOSS.
14. ALL CUTS TO CANE TREES SHALL BE PAINTED IMMEDIATELY (TO MATCH OR LESS) WITH TREE PAINT.
15. CITY REPRESENTATIVE MAY REQUIRE ADDITIONAL TREE PROTECTION BEFORE OR DURING CONSTRUCTION. VERIFY AND COORDINATE ALL REQUIREMENTS AS NECESSARY.



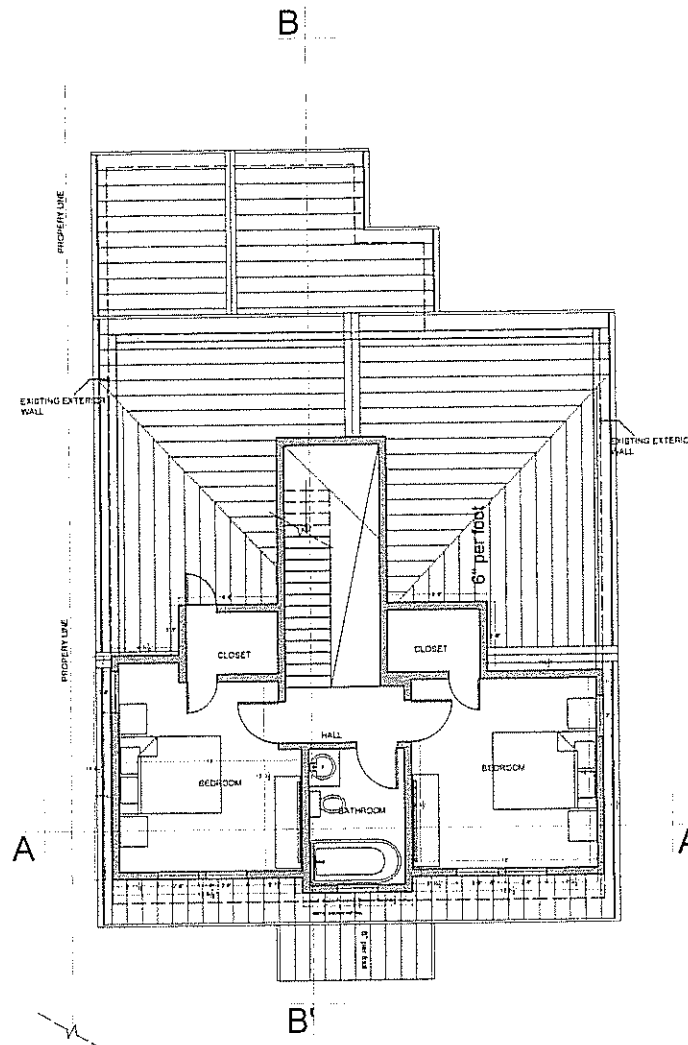


Project #156
Murphy Field Residence
 additions and improvements
 808 RUTHERFORD PLACE, AUSTIN TX.
 Z.C. 78704

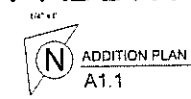
Sheet #156
 ADDITION PLAN



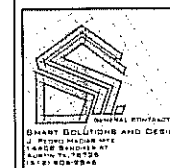
FLOOR PLAN ADDITION



SECOND STORY ADDITION



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Project title
Murphy Field Residence
 additions and improvements
 808 RUTHERFORD
 PLACE, AUSTIN TX,
 Z.C. 78704

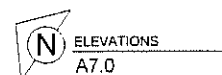
Sheet title
 ELEVATIONS



EAST ELEVATION (proposal addition)



BACK ELEVATION (proposal addition)



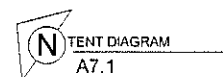
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WEST ELEVATION (proposal addition)



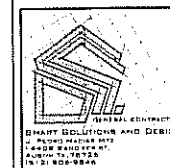
WEST TENT DIAGRAM "B"
FRONT ELEVATION (proposal addition)



Project file:
**Murphy Field
Residence**
additions and improvements
808 RUTHERFORD
PLACE, AUSTIN TX
Z C 78704

Sheet file:
TENT DIAGRAM

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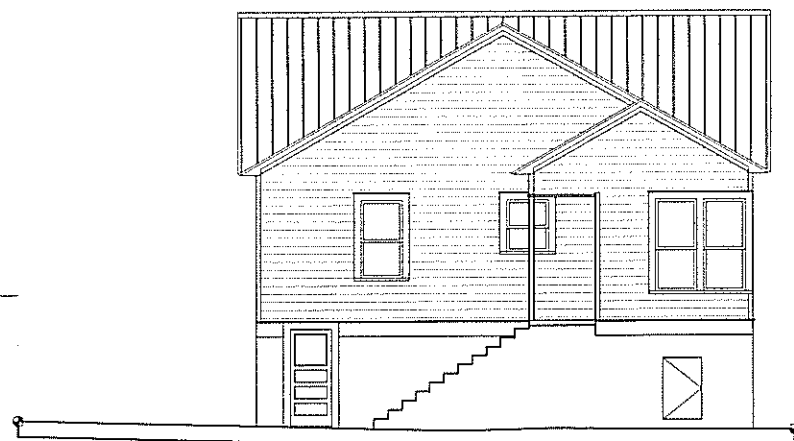
Project File
Murphy Field Residence
 additions and improvements
 808 RUTHERFORD
 PLACE, AUSTIN, TX.
 Z.C. 78704

Sheet Title
 ELEVATIONS



EAST ELEVATION (existing)

1/8" = 1'



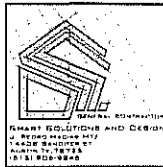
BACK ELEVATION (existing)

1/8" = 1'



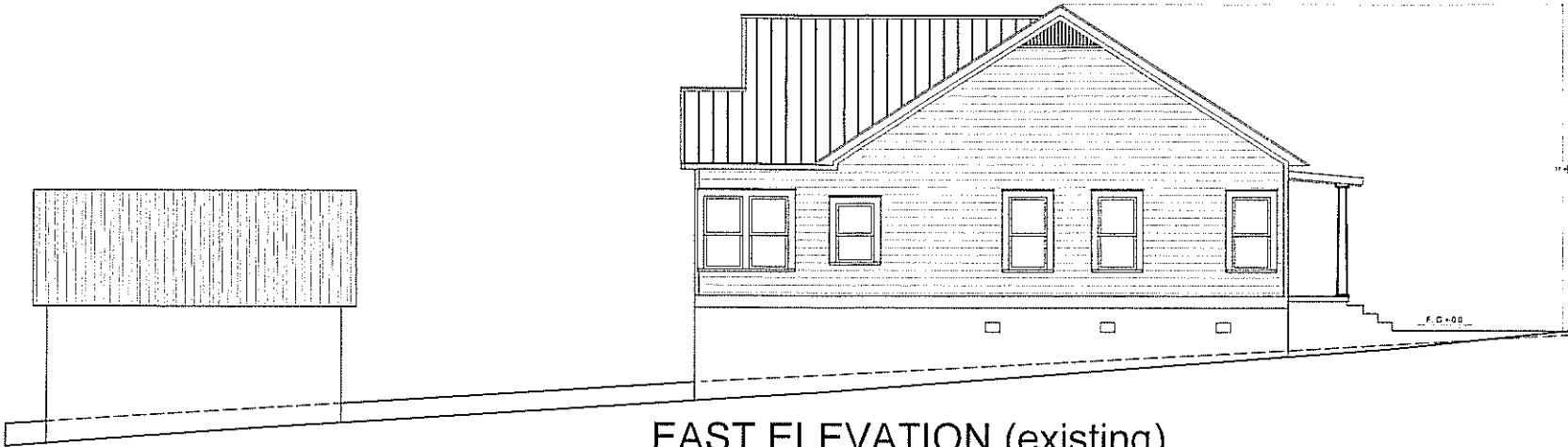
ELEVATIONS
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Project 186
**Murphy Field
Residence**
additions and improvements
808 RUTHERFORD
PLACE, AUSTIN TX
78704

Sheet E7c
ELEVATIONS



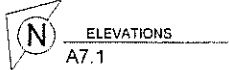
EAST ELEVATION (existing)

1/4" = 1'



FRONT ELEVATION (existing)

1/4" = 1'



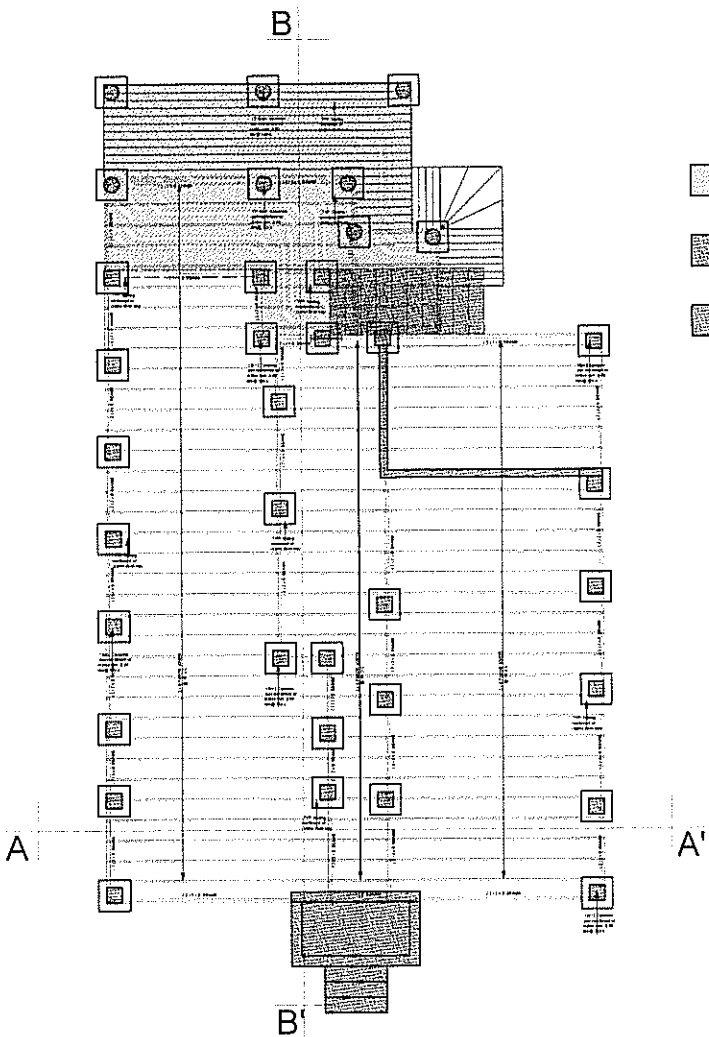
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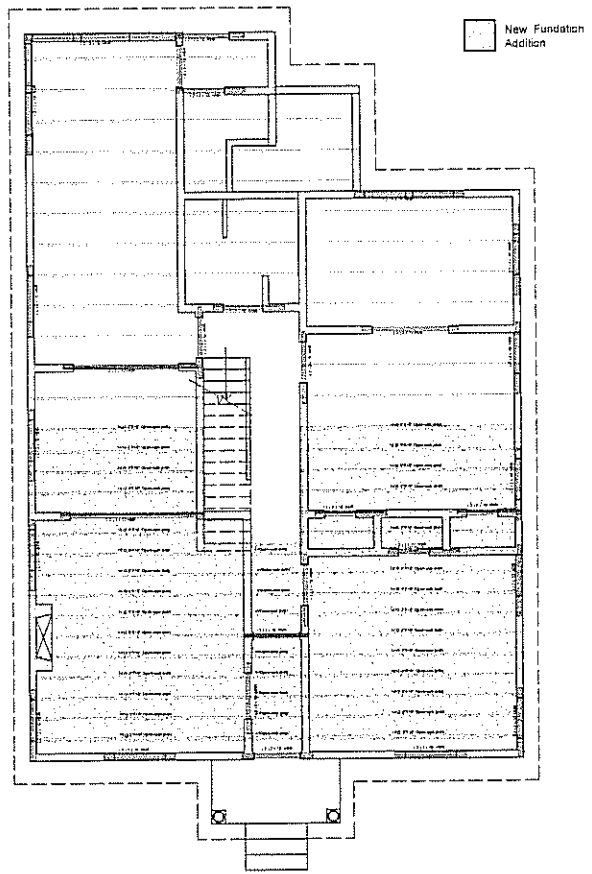
Project No.
Murphy
Residence
additions and improvements
808 RUTHERFORD
PLACE, AUSTIN TX
Z.C. 78704

Sheet No.
**FUNDATION AND
STRUCTURAL PLAN**

A11.0



FOUNDATION PLAN (existing)
1/4" = 1'



FIRST STORY FRAMING PLAN
1/4" = 1'

**FUNDATION AND
STRUCTURAL PLAN**
A11.0