

Walker, Susan

From: Teresa Griffin [teresagriffin@hotmail.com]
Sent: Sunday, August 08, 2010 1:22 PM
To: Walker, Susan
Cc: Sarah Campbell; Jean Mather; gordonpmurphy@gmail.com
Subject: Case # C15-2010-0092: 808 Rutherford

Susan -

Sarah Campbell's computer is in the shop and I am sending this to you on her behalf. Please ensure that the members of the Board of Adjustments receive this prior to their review of the case scheduled for Monday, August 9, 2010.

Kind regards,

Teresa Griffin

SRCC Zoning Co-Chairs

Case # C15-2010-0092

Dear Members of the Board of Adjustment,

On August 2, the members of the South River City Citizens (SRCC) Neighborhood Association heard from the Applicant and from our Zoning & Planning Standing Committee members before rendering a majority vote AGAINST the variance request for this property, located at 808 Rutherford.

Although the SRCC is not opposed to an addition to this property, as it is well within the Residential Design & Compatibility Standards, we could not find a hardship, as defined by 25-2-474 of the Land Use Code, to justify a variance from the side setback from 5-feet to 2-feet, and we are concerned with limiting or restricting any future development for the property to the west.

The property area lends itself to further development and reasonable use of the property that would meet the Applicant's desire to expand their home; while still meeting the criteria defined in the Code and not granting special privileges that are inconsistent with the limitations on other properties.

<!--[if !supportLineBreakNewLine]-->
<!--[endif]-->

For reasons stated above, the SRCC respectfully requests your support in denying the setback variance request for this property. Thank you for the opportunity to provide input on this case.

Sincerely,

Sarah Campbell, President

SRCC

FYI, BOA Variance Criteria

8/9/2010

If you need assistance completing this application (general inquires only) please contact Susan Walker, 974-2202; 505 Barton Springs Road, 2nd Floor (One Texas Center).

CASE # C15-2010-0092
ROW # 10467131
11-0361020102-

CITY OF AUSTIN

APPLICATION TO BOARD OF ADJUSTMENT
GENERAL VARIANCE/PARKING VARIANCE

WARNING: Filing of this appeal stops all affected construction activity.

PLEASE: APPLICATION MUST BE TYPED WITH ALL REQUESTED
INFORMATION COMPLETED.

STREET ADDRESS: 808 Rutherford Pl. Austin Tx.

LEGAL DESCRIPTION: Subdivision - Travis Heights

Lot(s) 12 Block 1 Outlot _____ Division _____

I/We Juan P. Marras on behalf of myself ourselves as authorized agent for

Gordon Murphy & Mary Field affirm that on 07, 16, 2010

hereby apply for a hearing before the Board of Adjustment for consideration to:

(check appropriate items below)

____ ERECT ____ ATTACH ____ COMPLETE ☒ REMODEL ____ MAINTAIN

1. Add second story addition, with new -
complete west side building setback

in a SF-3 - NP district.
(zoning district) Davide River City N.P.

NOTE: The Board must determine the existence of, sufficiency of and weight of evidence supporting the findings described below. Therefore, you must complete each of the applicable Findings Statements as part of your application. Failure to do so may result in your application being rejected as incomplete. Please attach any additional support documents.

VARIANCE FINDINGS: I contend that my entitlement to the requested variance is based on the following findings (see page 5 of application for explanation of findings):

REASONABLE USE:

1. The zoning regulations applicable to the property do not allow for a reasonable use because:

THE CURRENT REGULATIONS LIMIT THE CORNER OF THE
PROPOSED SYMMETRICAL DESIGN OF THE PROPOSED
ADDITION

HARDSHIP:

2. (a) The hardship for which the variance is requested is unique to the property in that:

THE OWNER BOUGHT THE HOUSE WITH THE ALREADY
COMPLIANT CONDITIONS AS IS.

- (b) The hardship is not general to the area in which the property is located because:

THE VIOLATING BUILDING SET BACK ON THE WEST SIDE
OF THE PROPERTY IS UNIQUE TO THIS AREA.

AREA CHARACTER:

3. The variance will not alter the character of the area adjacent to the property, will not impair the use of adjacent conforming property, and will not impair the purpose of the regulations of the zoning district in which the property is located because:

IT IS LIMITED TO THIS LOT AND IT IS NOT AREA
WIDE

PARKING: (Additional criteria for parking variances only.)

~~Request for a parking variance requires the Board to make additional findings. The Board may grant a variance to a regulation prescribed Section 479 of Chapter 25-6 with respect to the number of off-street parking spaces or loading facilities required if it makes findings of fact that the following additional circumstances also apply:~~

- ~~1. Neither present nor anticipated future traffic volumes generated by the use of the site or the uses of sites in the vicinity reasonable require strict or literal interpretation and enforcement of the specific regulation because:~~

2. The granting of this variance will not result in the parking or loading of vehicles on public streets in such a manner as to interfere with the free flow of traffic of the streets because:

3. The granting of this variance will not create a safety hazard or any other condition inconsistent with the objectives of this Ordinance because:

4. The variance will run with the use or uses to which it pertains and shall not run with the site because:

NOTE: The Board cannot grant a variance that would provide the applicant with a special privilege not enjoyed by others similarly situated or potentially similarly situated.

APPLICANT CERTIFICATE – I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Signed [Signature] Mail Address 14408 Sundifer St.

City, State & Zip Austin Tx. 78725

Printed Juan Pedro Munoz Phone (512) 906-9846 Date 07/16/2010

OWNERS CERTIFICATE – I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Signed [Signature] Mail Address 808 Rutherford Pl.

City, State & Zip Austin TX 78704

Printed Carol Murphy Phone 512-585-7386 Date 7/15/2010



SUBJECT TRACT



ZONING BOUNDARY

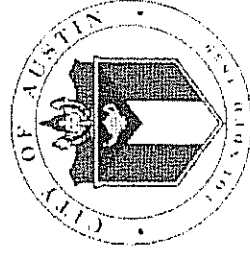
BOARD OF ADJUSTMENTS

ZONING CASE#: C15-2010-0092

LOCATION: 808 RUTHERFORD PL

GRID: J20

MANAGER: SUSAN WALKER



This map has been produced by the Communications Technology Management Dept. on behalf of the Planning Development Review Dept. for the sole purpose of geographic reference. No warranty is made by the City of Austin regarding specific accuracy or completeness.



ONE STOP SHOP
505 Barton Springs
Austin, Texas 78701
(512) 974-2632 phone
(512) 974-9112 phone
(512) 974-9779 fax
(512) 974-9109 fax



Austin Energy

Electric Service Planning Application (ESPA)
For Residential and Commercial "SERVICE ONLY"
Under 350 amps 1 ϕ or 225 amps 3 ϕ

Check this box if
this is for a
building permit
only.

(Please print or type. Fields left blank will be considered Not Applicable.)

Responsible Person for Service Request Juan Pedro Marras Phone (512) 906-9876

Email jp mac 1972 @ hotmail.com Fax _____

Project Name Murphy Field Residence ☒ New Construction ☐ Remodeling

Project Address 808 Rutherford place Austin TX. OR _____

Legal Description _____ Lot 12 Block 1

Requested Service Duration: ☒ Permanent Service ☐ Construction Power/Temp Service
(Usually less than 24 months)

Who is your electrical service provider? ☒ AE ☐ Other _____

☒ Overhead or ☐ Underground Voltage RE ☒ Single-phase (1 ϕ) or ☐ Three-phase (3 ϕ)

Service Main Size(s) _____ (amps) Number of Meters? _____

AE Service Length _____ (ft.) Conductor _____ (type & size)

SqFt Per Unit _____ #Units _____ ☐ All Electric ☐ Gas & Electric ☐ Other _____

Total AC Load _____ (Tons) Largest AC unit _____ (Tons)

LRA (Locked Rotor Amps) of Largest AC Unit _____ (Amps)

Electric Heating _____ (kW) Other _____ (kW)

Comments: Addition to existing home / adding 2nd story

ESPA Completed by (Signature & Print name) _____

Date _____

Phone _____

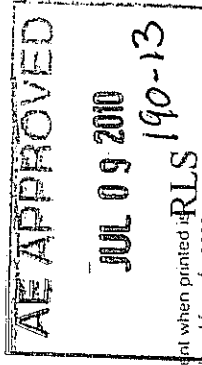
AE Representative _____ Approved: ☒ Yes ☐ No (Remarks on back) 974-2632 Date _____ Phone _____

Application expires 180 days after date of Approval
(Any change to the above information requires a new ESPA)

All structures etc. must maintain 7'5"
clearance from AE energized power
lines. Enforced by AE & NESC codes.

Version 1.1.0.0

Operating: 100736
Top Form Ver. 1.1.0.0 Eff. Date: 03/02/10



This document when printed is
uncontrolled and for reference
only.









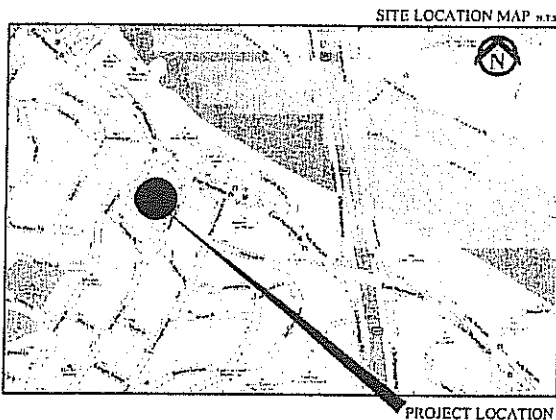






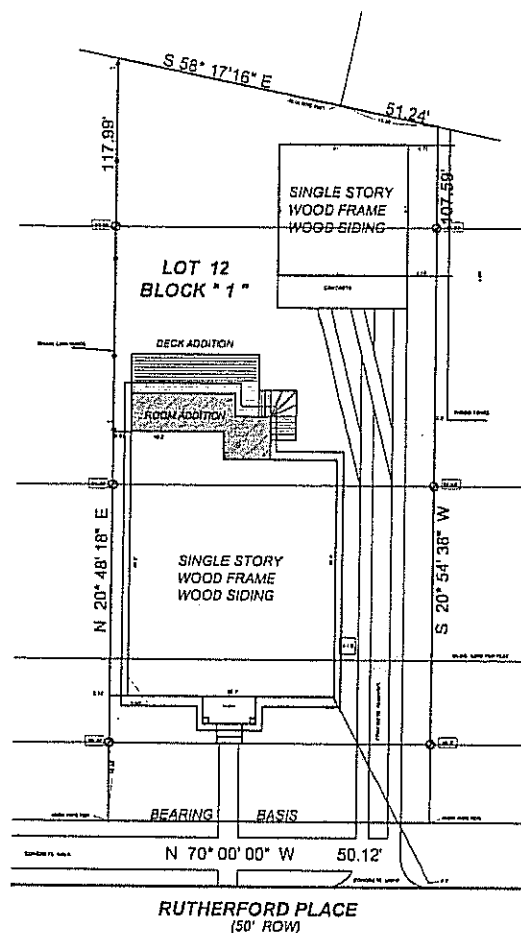
OWNER:
MURPHY FAMILY
808 RUTHERFORD PLACE
AUSTIN, TEXAS 78704

CIVIL ENGINEER:
GENESIS I ENGINEERING CO.
GEORGE A. GONZALEZ, JR., PE
2605 JONES ROAD, SUITE E
AUSTIN, TEXAS 78745
Ph: (512) 899 2246
Fax: (512) 899 2203



808 RUTHERFORD PLACE
AUSTIN, TEXAS 78704

SHEET INDEX	
Description	Page
COVER SHEET AND SITE PLAN	CE 1 OF 6
FLOOR PLANS	CE 2 OF 6
BUILDING ELEVATIONS I	CE 3 OF 6
BUILDING ELEVATIONS II	CE 4 OF 6
FRAMING PLAN	CE 5 OF 6
ELECTRICAL PLAN	CE 6 OF 6

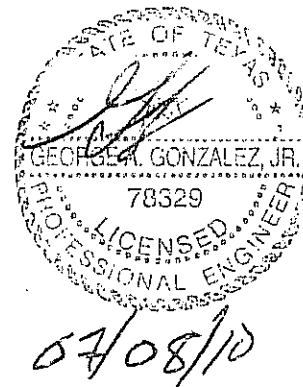


FINANCIAL STATEMENTS

ANDREI ET AL. 2005

1000

4892 JI



VERSION 2.00

No.	Revision/Issue	Date
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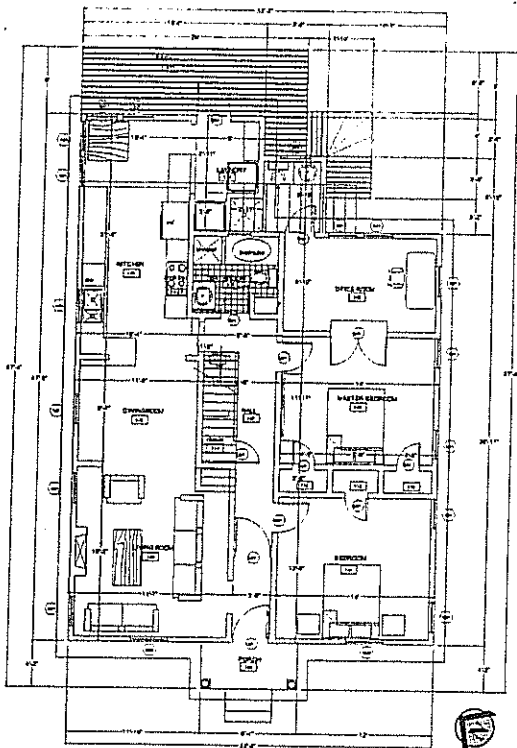
Company Name and Address

G/E
Genesis I Engineering Company
A.T.B.F.E.-Regional Firm #F-2543
2603 Jones Road, Suite E, Austin, Tx. 78745
(512) 899-2346 Office
(512) 899-2203 Fax
engineer1@txsmile.leaseonline.com

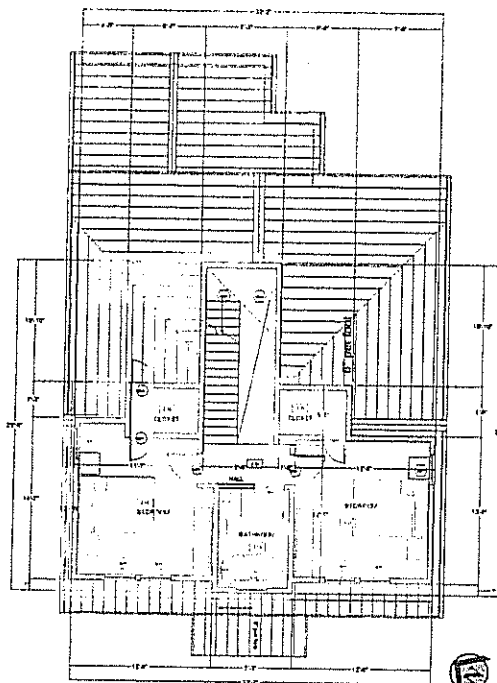
**PROPOSED NEW ADDITION
TO EXISTING FAMILY
RESIDENCE
MURPHY FAMILY
808 RUTHERFORD PLACE
AUSTIN, TEXAS 78704**

Project	AU-10-79	Sheet	CE 1
Date			OF 6
Drawn by			

[illegible]



FIRST FLOOR PLAN
Scale: 3/16" = 1'-0"



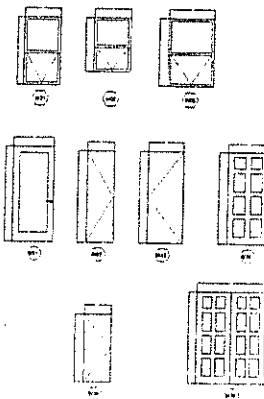
SECOND FLOOR PLAN
Scale: 3/16" = 1'-0"

FLOOR AREA RATIO (F.A.R.)		
Total Lot Area	0.129 Acres (5,653.0 Sqft.)	
Allowed	40% (7,251.3 Sqft.)	
Building Area	Existing	Proposed
	1,230.3 Sqft.	1,391.2 Sqft.
	21.76%	24.80%

IMPERVIOUS COVERAGE			
Lot Area	0.129 Acres (5,653.0 Sqft.)		
Zoning	SF-3 - NP		
	Existing	Proposed	
Building	1,230.3 Sqft.	21.76%	1,391.2 Sqft. 24.80%
Garage	404.0 Sqft.	7.14%	404.0 Sqft. 7.14%
Entry porch	46.7 Sqft.	0.82%	46.7 Sqft. 0.82%
Wood deck (50% credit)	—	—	85.2 Sqft. 1.50%
Concrete Walkway	36.2 Sqft.	0.64%	36.2 Sqft. 0.64%
Concrete Runners	499.3 Sqft.	8.83%	499.3 Sqft. 8.83%
TOTAL COVERAGE	2,216.5 Sqft.		2,428.6 Sqft.
ALLOWED	45%		
IMPERVIOUS	39.20%		43.58%

WINDOW SCHEDULE									
MARK	Standard Size	Operation	SWH	Details	Opening Size (inches)	Window Size	Accessories	Comments	
101	36" x 48"	UP/DN	2000	101	36" x 48"	36" x 48"			
102	36" x 48"	UP/DN	2000	102	36" x 48"	36" x 48"			
103	36" x 48"	UP/DN	2000	103	36" x 48"	36" x 48"			

DOOR SCHEDULE									
MARK	Standard Size	Operation	SWH	Details	Opening Size (inches)	Door Size	Accessories	Comments	
201	36" x 80"	UP/DN	2000	201	36" x 80"	36" x 80"			
202	36" x 80"	UP/DN	2000	202	36" x 80"	36" x 80"			
203	36" x 80"	UP/DN	2000	203	36" x 80"	36" x 80"			



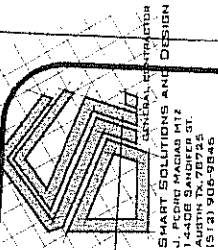
VERSION 2.00

No. Revision/Issue Date

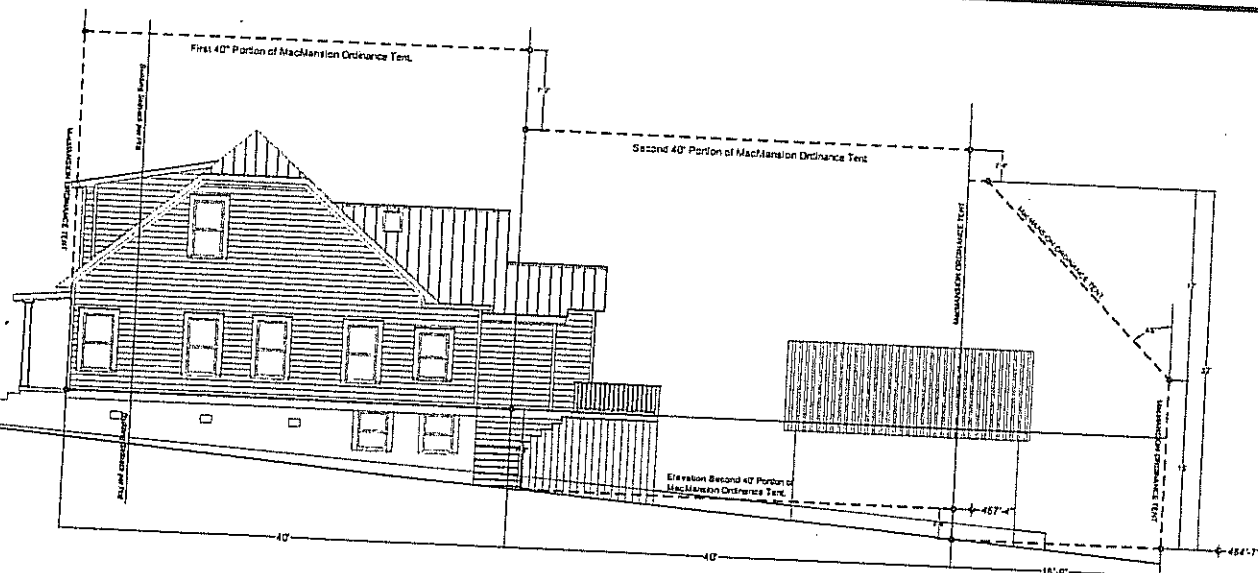
Genesys Engineering Company
A.T.B.P. Registered Firm #F350
2405 Jones Road, Suite E, Austin, TX 78743
(512) 899-2246 Office
(512) 899-2203 Fax
enginfo@genesysengineering.com

PROPOSED NEW ADDITION
TO EXISTING FAMILY
RESIDENCE
MURPHY FAMILY
406 RUTHERFORD PLACE
AUSTIN, TEXAS 78704

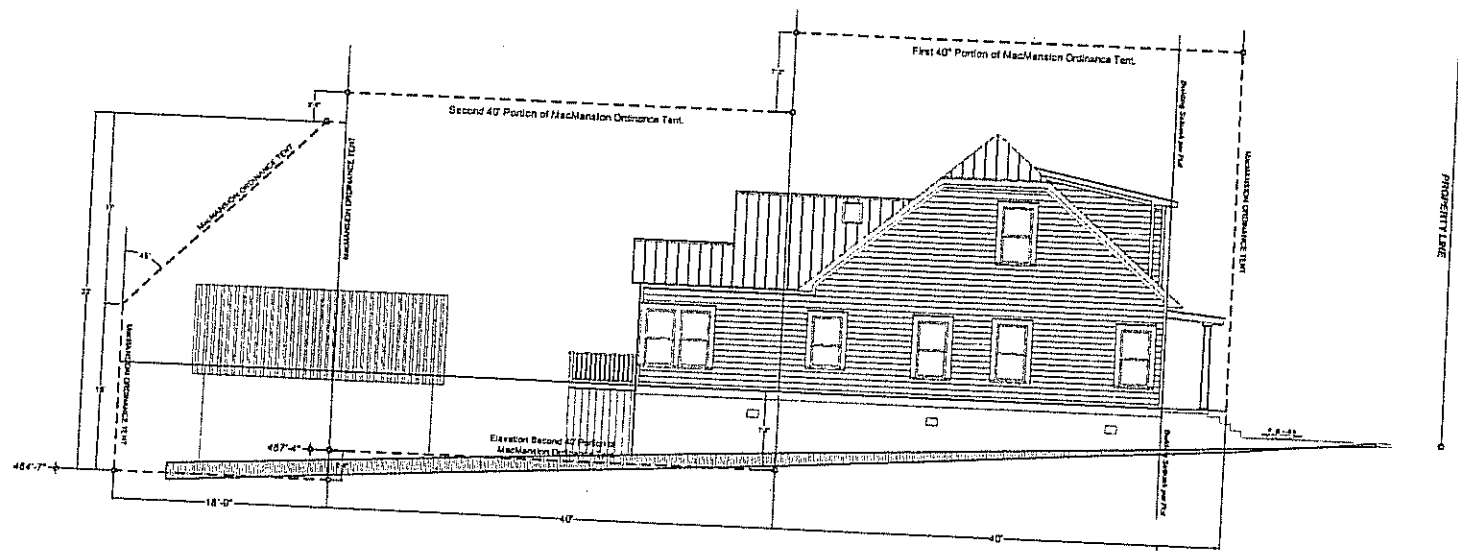
Project: AU-10-79
Date: 07/08/10
Sheet: AS SHOWN
CE 2
OF 6



GENESIS ENGINEERING COMPANY
 SHART SOLUTIONS AND DESIGN
 J. PEDRO MACIAS, P.E.
 1101 E. 11TH STREET, SUITE 100
 AUSTIN, TX 78702
 (512) 906-9846



EAST ELEVATION
 Scale: 3/16" = 1'-0"



WEST ELEVATION
 Scale: 3/16" = 1'-0"

General Notes

GEORGE A. GONZALEZ
 78329
 PROFESSIONAL ENGINEER
 07/08/10

VERSION 2.00

No.	Revision/Issue	Date

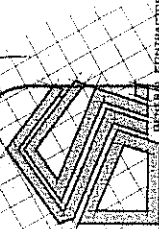
From Name and Address

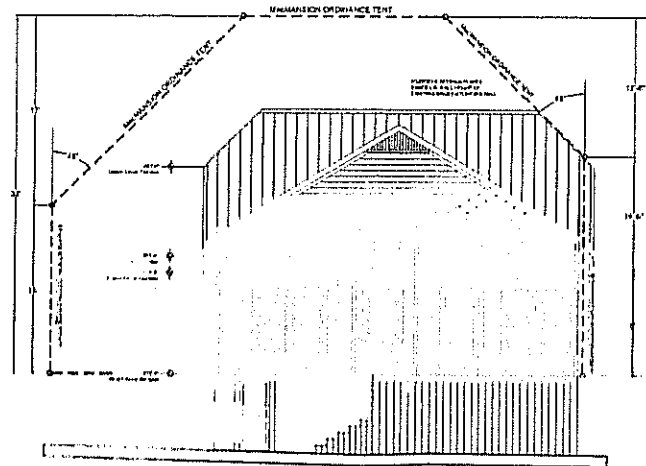
G/E
 Genesis Engineering Company
 A.T.E.P.E.-Registered Firm #E-2563
 2043 Jones Road, Suite B, Austin, TX 78745
 (512) 899-2344 Office
 (512) 899-2213 Fax
 enginert12@genesisengineering.com

Project Name and Address

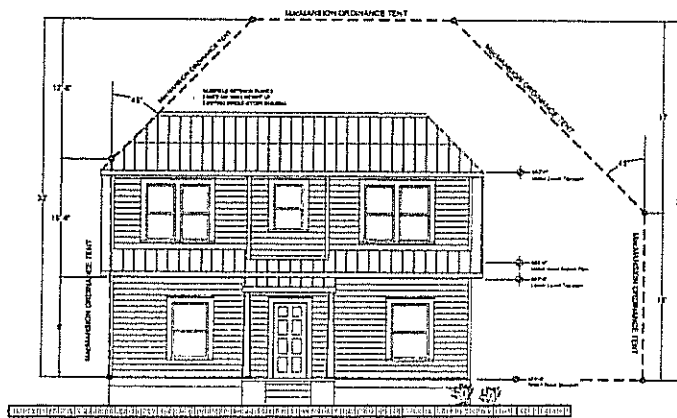
PROPOSED NEW ADDITION
 TO EXISTING FAMILY
 RESIDENCE
 MURPHY FAMILY
 804 RUTHERFORD PLACE
 AUSTIN, TEXAS 78704

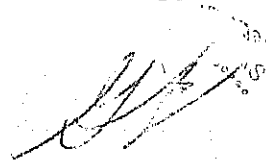
Project No.	AU-10-79	Sheet	CE 3
Date	AS SHOWN	Of	OF 6


SMART SOLUTIONS AND DESIGN
 14408 SANDHILL DR.
 AUSTIN, TX 78725
 (512) 906-9046



NORTH ELEVATION
 Scale: 1/4" = 1'-0"




 07/10/10

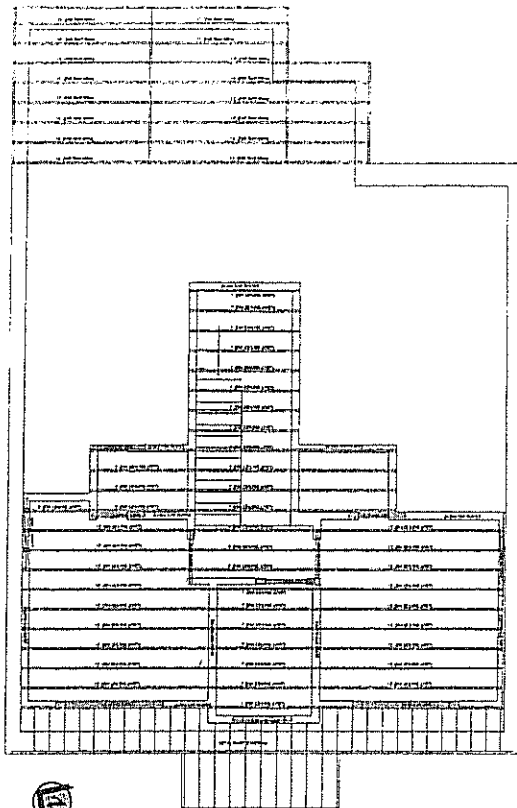
Genesis Notes

VERSION 2.00

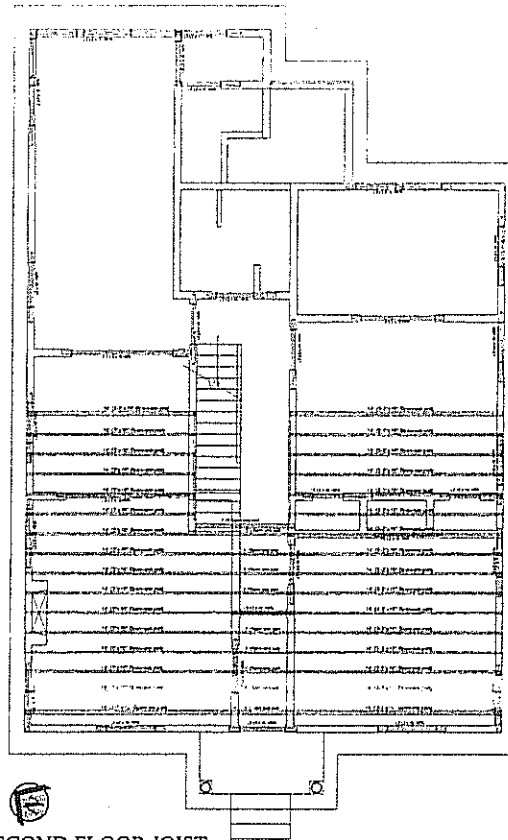
No.	Revision/Issue	Date

Firm Name and Address: **G/E**
 Genesis Engineering Company
 A.T.S.P.E. Registered Firm #62362
 2623 Jones Road, Suite E, Austin, TX 78745
 (512) 899-2246 Office
 (512) 899-2203 Fax
 engineer1@genesisengineering.com

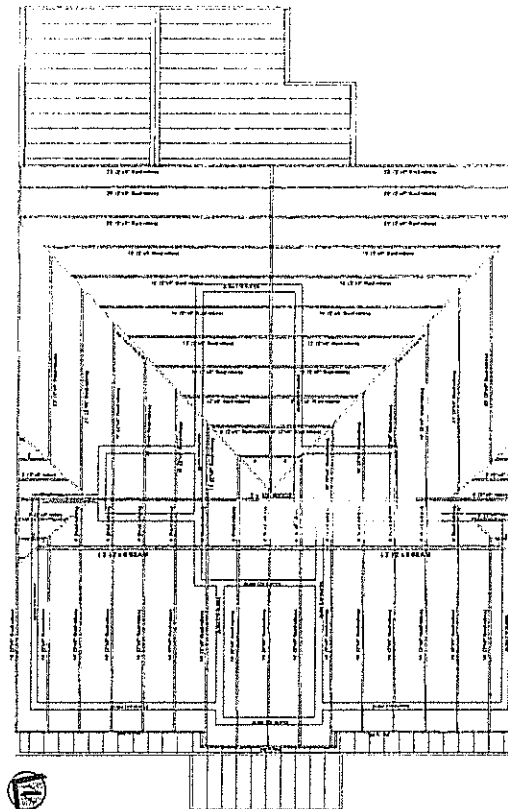
Project Name and Number:
 p1000



SECOND CEILING JOIST
Scale: 1/4" = 1'-0"



SECOND FLOOR JOIST
Scale: 1/4" = 1'-0"



ROOF FRAMING PLAN
Scale: 1/4" = 1'-0"

MAXIMUM CLEAR SPAN FOR CEILING JOIST W/ GYPSUM Cg. 20Lbs Live, 10Lbs Dead (ATTIC STORAGE)					
17'0" C.		16'0" C.		14'0" C.	
Size	Span	Size	Span	Size	Span
2x4	8'-10"	2x4	8'-11"	2x4	7'-0"
2x6	15'-4"	2x6	12'-4"	2x6	11'-0"
2x8	20'-1"	2x8	17'-5"	2x8	14'-2"
2x10	23'-11"	2x10	20'-0"	2x10	16'-11"

MAXIMUM CLEAR SPAN FOR RAFTERS W/ GYPSUM CEILING STANDARD ROOF COVERING, 20Lbs Live, 10Lbs Dead					
17'0" C.		16'0" C.		14'0" C.	
Size	Span	Size	Span	Size	Span
2x6	12'-1"	2x6	12'-0"	2x6	10'-5"
2x8	16'-5"	2x8	14'-10"	2x8	12'-5"
2x10	23'-2"	2x10	20'-1"	2x10	16'-5"
2x12	28'-3"	2x12	23'-7"	2x12	19'-3"

MAXIMUM CLEAR SPAN FOR RAFTERS NO GYPSUM CEILING STANDARD ROOF COVERING, 20Lbs Live, 10Lbs Dead					
17'0" C.		16'0" C.		14'0" C.	
Size	Span	Size	Span	Size	Span
2x6	11'-0"	2x6	10'-11"	2x6	12'-3"
2x8	22'-5"	2x8	19'-5"	2x8	16'-10"
2x10	28'-4"	2x10	23'-2"	2x10	18'-11"
2x12	34'-3"	2x12	28'-3"	2x12	22'-7"

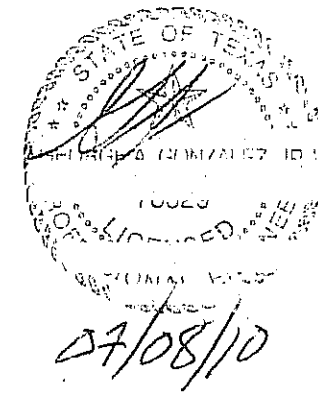
HEADER LIST	
Opening (Span)	Header Beam
Less than 4'-0"	2 - 2"x6"
Between 4'-0" and 6'-0"	2 - 2"x8"
Between 6'-0" and 12'-0"	2 - 2"x10"
More than 12'-0"	Must be engineered

FRAMING NOTES:

1. All framing shall be done in accordance with nationally-recognized framing standards, as referenced in the adopted per International Residential Code.
2. Special pre-final framing inspection shall be conducted by Genesis 1 Engineering Co. prior to installation of exterior insulation.
3. Framing contractor shall contact Genesis 1 Engineering for clarifications to discrepancies found on the field.
4. All exterior and interior walls shall have 2"x4" wood studs at 16" o.c., unless noted otherwise.
5. All wood beams and other wood structural members shall be supplied by a qualified manufacturer.
6. Joist manufacturer shall submit a list of the wood structural elements to the owner to get concurrence from Genesis 1 Engineering Company.

ADDITIONAL FRAMING NOTES:

1. Framing contractor to install temporary wind bracing while main structure frame is being constructed.
2. Contractor to use 2" x 6" strong-backs for roof rafter puttings, set a top load bearing walls beneath.
3. Contractor to install 2" x 6" wall blocking @ upper kitchen cabinet areas.



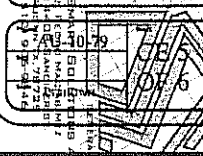
General Notes

VERSION 2.00

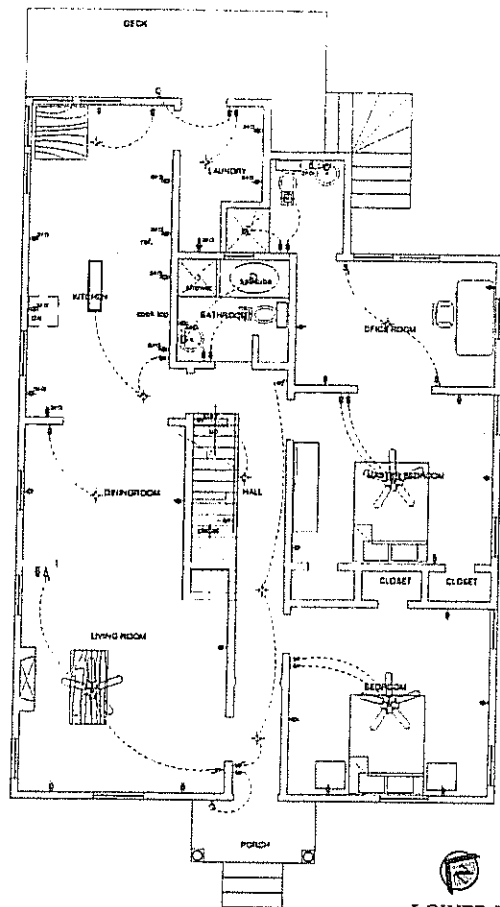
No.	Revision/Issue	Date

From: **GENESIS 1 ENGINEERING COMPANY**
A.T.B.P. & Registered Firm #7-3545
2402 Inset Road, Suite E, Austin, Tx. 78745
(512) 899-2246 Office
(512) 899-2203 Fax
enginfo1@genesis1engineering.com

**PROPOSED NEW ADDITION
TO EXISTING FAMILY
RESIDENCE**
MURPHY FAMILY
404 RUTHERFORD PLACE
AUSTIN, TEXAS 78704

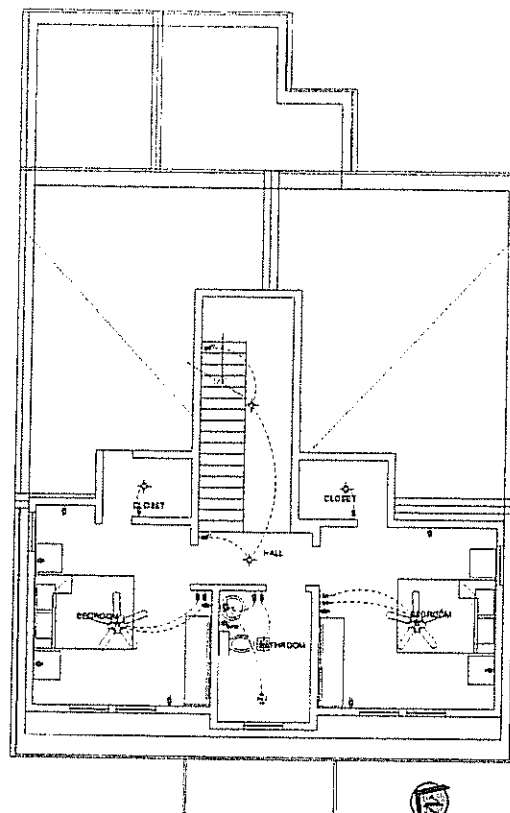


STRUCTURAL
ENGINEERING
AND DESIGN



LOWER LEVEL ELECTRICAL PLAN

Scale: 1/4" = 1'-0"

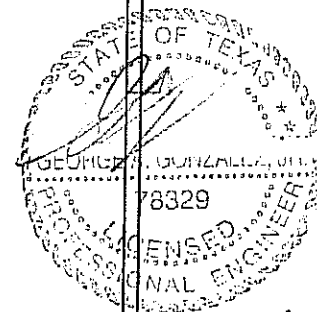


UPPER LEVEL ELECTRICAL PLAN

Scale: 1/4" = 1'-0"

LEGEND:

- | | |
|---|-------------------------------|
| ○ Wall light fixture. | □ Ceiling bath fan/light. |
| ⊕ Surface mounted incandescent fixture. | □ Recessed fluorescent light. |
| □ Recessed incandescent fixture. | □ Recessed light. |
| \$ Single fixture switch. | ⊕ Ceiling fan. |
| ⊕ 3-Way fixture switch. | ⊕ Smoke detector. |
| ⊕ 110V. Wall plug. | ⊕ Telephone outlet. |
| ⊕ 110V. Wall plug with Ground Fault Circuit Interruption. | ⊕ TV Cable. |
| ⊕ Ceiling mounted duplex outlet 110V. | ⊕ Carbon monoxide detector. |
| ⊕ 220V. Wall plug. | |
| ⊕ Electrical panel. | |



07/08/10

VERSION 2.00

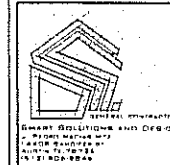
No.	Revision/Issue	Date

G/E
Genesis Engineering Company
A.T.E.P.E. Registered Firm #12345
2145 Jones Road, Suite E, Austin, TX 78711
(512) 499-2204 Office
(512) 499-2203 Fax
engineer1@genesisengineering.com

**PROPOSED NEW ADDITION
TO EXISTING FAMILY
RESIDENCE**
MURPHY FAMILY
801 RUTHERFORD PLACE
AUSTIN, TEXAS 78714

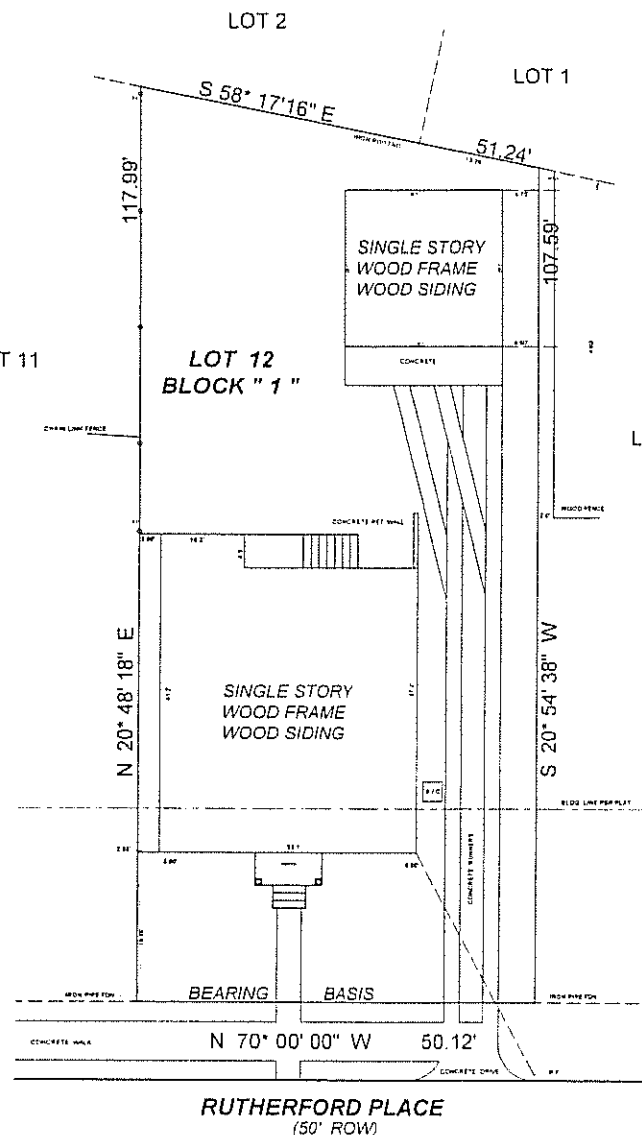


NO. 78329
DATE: 07/08/10
SIGNATURE: GEORGE GONZALEZ
TITLE: PROFESSIONAL ENGINEER
EXPIRATION: 07/08/15



Project File
Murphy Residence
 additions and improvements
 808 RUTHERFORD PLACE, AUSTIN TX
 Z.C. 78704

Sheet No.
SITE PLAN



PROJECT INFORMATION

1. IN THIS DOCUMENT, PROJECT SHALL REFER TO THE SCOPE OF WORK HEREIN DESCRIBED. OWNER SHALL REFER TO GORDON MURPHY OR THEIR AUTHORIZED REPRESENTATIVES. CONTRACTOR SHALL REFER TO THE GENERAL CONTRACTOR RETAINED BY THE OWNER TO CONSTRUCT THE PROJECT AND ANY ARCHITECT SHALL REFER TO.
2. PROJECT IS LOCATED AT 808 RUTHERFORD PLACE, AUSTIN TX 78704.

GENERAL NOTES

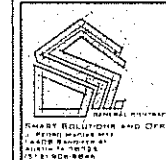
1. ALL WORK DESCRIBED BY THESE DOCUMENTS SHALL BE PERFORMED IN FULL COMPLIANCE WITH ALL APPLICABLE CODES AS MANICATED BY A GOVERNING JURISDICTION.
2. IF THE PROJECT IS LOCATED OUTSIDE OF AN INCORPORATED MUNICIPALITY OR OTHER GOVERNING JURISDICTION, ALL WORK DESCRIBED BY THESE DOCUMENTS SHALL BE PERFORMED IN FULL COMPLIANCE WITH THE CITY OF AUSTIN RESIDENTIAL CODE REQUIREMENTS. THE PROJECT SHALL BE INSPECTED BY THE CITY OF AUSTIN INSPECTOR AS MANICATED BY THE TEXAS RESIDENTIAL CONSTRUCTION CONTRACT. CITY INSPECTION PROGRAMS SHALL INCLUDE A PRE-CONSTRUCTION INSPECTION AND A FINAL INSPECTION.
3. RELEASE OF THESE CONSTRUCTION DRAWINGS ANTICIPATES FURTHER COOPERATION BETWEEN THE OWNER AND CONTRACTOR IN THE DESIGN AND THE CONSTRUCTION OF THIS PROJECT. ALL PARTIES AGREE TO WORK IN FULL COOPERATION IN THE INTERESTS OF THE PROJECT AND PROPERTY OWNER.
4. OWNER IS RESPONSIBLE FOR ALL FEES AND PERMITS REQUIRED FOR CONSTRUCTION.
5. CONTRACTOR SHALL REVIEW THE CONSTRUCTION DRAWINGS THOROUGHLY AND MAKE A DETAILED SITE VISIT TO REVIEW EXISTING FIELD CONDITIONS. ANY INCONSISTENCY, DISCREPANCY, AMBIGUITY, OR ANY OTHER QUESTIONS SHALL BE IMMEDIATELY REPORTED TO ARCHITECT FOR CLARIFICATION AND RESOLUTION PRIOR TO THE DELIVERY OF ANY BID AND PRIOR TO PROCEEDING WITH THE WORK. IN THE EVENT OF ANY OTHER RELATED WORK FAILURE TO DO SO SHALL CAUSE THE CONTRACTOR TO BE HELD RESPONSIBLE FOR EXTRAS RELATING TO SUCH MATTERS AND SHALL RELIEVE THE ARCHITECT FROM ANY CONCERNED THEREAFTER.
6. DRAWINGS AND NOTES TO DRAWINGS, INCLUDING THOSE OF THE ENGINEER OR CONSULTANT, ARE CORRELATIVE AND HAVE EQUAL AUTHORITY AND PRIORITY. SHOULD THERE BE DISCREPANCIES IN THEMSELVES OR BETWEEN THEM, CONTRACTOR SHALL BASE DECISIONS ON THE MOST EXTENSIVE COMBINATION OF QUALITY AND QUANTITY OF THE WORK INDICATED IN THE EVENT OF DISCREPANCIES. THE APPROPRIATE METHOD OF PERFORMANCE WORK AND/OR ITEMS TO BE INCORPORATED INTO THE SCOPE OF THE WORK SHALL BE DETERMINED BY THE ARCHITECT OR ENGINEER.
7. WRITTEN DIMENSIONS SHALL GOVERN THESE DRAWINGS. THESE DRAWINGS ARE NOT TO BE SCALED.
8. CONTRACTOR IS SOLELY RESPONSIBLE FOR THE SAFETY, ACTIONS, AND CONDUCT OF HIS EMPLOYEES AND HIS SUBCONTRACTOR'S EMPLOYEES WHILE IN THE PROJECT AREA, ADJACENT AREAS AND THE BUILDING ADJACENCY.
9. CONTRACTOR SHALL COORDINATE WITH ALL TRADES AND SUBCONTRACTORS TO PROVIDE COMPLETE WORKING SYSTEMS THROUGHOUT THE PROJECT.
10. CONTRACTOR SHALL SUBMIT ALL REQUIRED SHOP DRAWINGS BEFORE PROCEEDING WITH THE WORK RELATED TO THE SHOP DRAWINGS.
11. ALL WORK NOTED "BY OTHERS" OR "NOT IN CONTRACT" IS TO BE ACCOMPLISHED BY A CONTRACTOR OTHER THAN THE GENERAL CONTRACTOR AND IS NOT TO BE A PART OF THE CONSTRUCTION AGREEMENT. THE GENERAL CONTRACTOR IS TO COORDINATE WITH OTHER CONTRACTORS AS REQUIRED AND SHALL PROVIDE ACCESS TO THE PROJECT AS NEEDED.
12. PRIOR TO THE START OF CONSTRUCTION, CONTRACTOR SHALL FURNISH THE ARCHITECT A SCHEDULE OF VALUES THAT INCLUDES A DETAILED LIST OF ENTIRE SCOPE OF WORK AND THE MATERIAL QUANTITIES INVOLVED IN THE PROJECT AND THEIR RESPECTIVE CONTRACTOR DOLLAR AMOUNTS, INCLUDING A SEPARATE COLUMN FOR SALES TAX.
13. CONTRACTOR SHALL FURNISH THE ARCHITECT A PUNCH LIST INCLUDING ALL THE ITEMS TO BE COMPLETED PRIOR TO THE PROJECT'S SUBSTANTIAL COMPLETION. ARCHITECT SHALL REVIEW CONTRACTOR'S PUNCH LIST AND PROVIDE ADDITIONAL ITEMS TO BE INCLUDED IN THE PUNCH LIST.
14. ALL MATERIALS, FINISHES, MANUFACTURED ITEMS, AND EQUIPMENT SHALL BE INSTALLED IN FULL ACCORDANCE WITH THE SUPPLIER'S OR MANUFACTURER'S WRITTEN RECOMMENDATIONS OR THEIR DOCUMENTS, UNLESS OTHERWISE NOTED OTHERWISE.
15. STORE AND HANDLE ALL MATERIALS IN STRICT COMPLIANCE WITH MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS. PROTECT ALL MATERIALS, DAMAGE, WEATHER, EXCESSIVE TEMPERATURES, AND CONSTRUCTION OPERATIONS.
16. ALL DIMENSIONS, NOTES, FINISHES, AND FIXTURES SHOWN ON TYPICAL DRAWINGS SHALL APPLY TO ALL SIMILAR, SYMMETRICAL, OR DISCRETE (HARD) DETAILS.
17. REQUEST TO SUBSTITUTE ANY PRODUCT OR MATERIAL SHALL BE SUBMITTED IN WRITING TO THE ARCHITECT FOR APPROVAL. SAMPLES, PRODUCT INFORMATION, AND DRAWINGS SHALL BE REQUIRED PRIOR TO SUBSTITUTION. APPROVAL, PROPOSED SUBSTITUTION SHALL BE OF EQUAL QUALITY AND PERFORMANCE SPECIFICATION TO THAT ORIGINALLY SPECIFIED.
18. CONTRACTOR SHALL REVIEW ALL CONDITIONS AND NOTIFY THE ARCHITECT AND OWNER OF AMOUNTS THAT SEEM INSUFFICIENT OR NOT ACCURATE. ALLOWANCE AMOUNTS INCLUDE THE FULL COST OF THE MATERIALS INCLUDING DELIVERY AND SALES TAX.
19. ALL WORKMANSHIP, MATERIAL, AND EQUIPMENT SHALL BE GUARANTEED FOR THE GREATER OF THE FOLLOWING: LEGAL REQUIREMENTS, MANUFACTURER'S WARRANTY, OR ONE YEAR FROM DATE OF OWNER ACCEPTANCE. ANY FAILURE OR DETECTION WITHIN THIS PERIOD SHALL BE CORRECTED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
20. CONTRACTOR SHALL PROVIDE THE OWNER WITH AN OPERATING MANUAL FOR THE HOUSE THAT INCLUDES MAINTENANCE SCHEDULE, MAINTENANCE INSTRUCTIONS, EQUIPMENT INFORMATION, AND PHOTO RECORD OF FINISHES WITH NAMES AND UTILITIES INSTALLED.
21. CONTRACTOR SHALL EXERCISE REASONABLE PRECAUTION IN THE PROTECTION OF THE OWNER'S PROPERTY, SITE VEGETATION, AND ALL TREES THAT ARE TO REMAIN.
22. CONTRACTOR SHALL BE RESPONSIBLE ON A DAILY BASIS FOR SITE CLEANUP AND ANY REMOVAL OF ANY AND ALL DEBRIS GENERATED BY CONSTRUCTION OPERATIONS, MAKING READY FOR ALL SUBSEQUENT SUBCONTRACTORS.
23. PROVIDE CONSTRUCTION WASTE MANAGEMENT INCLUDING THE SEPARATION OF REUSABLE OR RECYCLABLE MATERIALS INTO SEPARATE CONTAINERS.
24. THE DRAWINGS, SPECIFICATIONS, AND IDEAS CONTAINED HEREIN ARE THE INTELLECTUAL AND MATERIAL PROPERTY OF THE ARCHITECT AND SHALL NOT BE REPRODUCED, REPRODUCED, OR ALTERED WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE ARCHITECT. FAILURE TO OBTAIN PERMISSION VIOLATES UNITED STATES COPYRIGHT LAWS AND SUBJECTS THE VIOLATOR TO LEGAL PROSECUTION.

SITE PLAN NOTES

1. SITE PLANS BASED ON SURVEY INFORMATION PROVIDED BY OWNER. ALL FIELD CONDITIONS SHALL BE VERIFIED BY CONTRACTOR.
2. PROJECT MAY BE SUBJECT TO EASEMENTS, COVENANTS, CONDITIONS, RIGHTS, RESTRICTIONS, ENCUMBRANCES, SERVITUDES, AND OTHER INTERESTS AS DESCRIBED IN COUNTY PLAT AND DEED RECORD BOOKS. CONTRACTOR SHALL VERIFY ALL SITE LIMITATIONS PRIOR TO CONSTRUCTION.
3. CITY REPRESENTATIVE MAY REQUIRE LAND STATUS DETERMINATION OR FLOODPLAIN DETERMINATION. VERIFY AND COORDINATE ALL REQUIREMENTS AS NOTED EARLY.
4. REFER TO FLOOR PLANS AND STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION ON SITE ELEMENTS.
5. FINISH DRANCES SHALL BE AT MINIMUM BELOW TOP OF FOUNDATION.
6. PROVIDE POSITIVE DRAINAGE AWAY FROM FOUNDATION AND AVOID TO EXISTING DRAINAGE PATTERNS IN SLOPED FINAL GRADES AS REQUIRED.
7. COORDINATE WITH ADJACENT PROPERTY OWNERS AS REQUIRED.
8. OWNER AND CONTRACTOR SHALL PROVIDE TEMPORARY POWER IN ALL OTHER UTILITIES REQUIRED ON THE CONSTRUCTION OF THE PROJECT.
9. ALL TREES NOT LOCATED WITHIN THE LIMITS OF CONSTRUCTION AND OUTSIDE OF DISTURBED AREAS SHALL BE PRESERVED. EXISTING TREES AND VEGETATION INDICATED ON THIS SURVEY ARE APPROXIMATE AND NOT EXTENSIVE. FIELD VERIFY LOCATIONS OF ALL TREES AND VEGETATION ON SITE PRIOR TO SITE WORK.
10. ALL TREES AND NATURAL AREAS WITHIN LIMITS OF CONSTRUCTION OR SHOWN ON PLAN TO BE PRESERVED SHALL BE FULLY PROTECTED TO PREVENT SOIL COMPACTION IN THE ROOT ZONE FROM VEHICULAR TRAFFIC OR STORAGE OF EQUIPMENT OR MATERIALS. ROOT ZONE DISTURBANCE OR TO OTHER CHANGES, LEADING TO EXPOSED ROOTS, TRUNK OR LIMBS BY MECHANICAL EQUIPMENT OR OTHER ACTIVITIES DETRIMENTAL TO TREES.
11. TREE PROTECTION FENCING IS REQUIRED TO PROTECT TREES WITHIN THE LIMITS OF CONSTRUCTION. FENCING SHOULD PROTECT THE ENTIRE CRITICAL ROOT ZONE. ROOT ZONE AREA IS REQUIRED TO BE CHAIN LINK FENCE AT A MINIMUM HEIGHT OF FIVE FEET. A MINIMUM OF 6 INCHES WITHIN THE ENTIRE AVAILABLE ROOT ZONE AREA IS REQUIRED FOR TREES WHICH HAVE ANY DISTURBANCE INDICATED WITH ANY PORTION OF THE CRITICAL ROOT ZONE.
12. TREES SHOWN TO BE REMOVED SHALL BE REMOVED IN A MANNER THAT HAS NO IMPACT ON EXISTING TREES TO BE PRESERVED.
13. ALL TREES WITHIN CRITICAL ROOT ZONE OF TREES SHALL BE HAND CUT, TUNNEL UNDER ALL MAJOR TREE ROOTS, AND EXISTING TREES SHALL BE PRESERVED.
14. ALL ROOTS THAT ARE EXPOSED DURING CONSTRUCTION SHALL BE BRUSHED FLUSH WITH THE SOIL. BACKFILL ROOT AREAS WITH GOOD QUALITY TOP SOIL WITHIN 7 DAYS OF EXPOSURE OR COVER WITH ORGANIC MATERIAL TO REDUCE SOIL TEMPERATURE AND MINIMIZE WATER LOSS.
15. ALL CUTS TO EXISTING TREES SHALL BE PAINTED IMMEDIATELY WITH WATER PROOF OR WHITE TREE PAINT.
16. CITY REPRESENTATIVE MAY REQUIRE ADDITIONAL TREE PROTECTION BEFORE OR DURING CONSTRUCTION. VERIFY AND COORDINATE ALL REQUIREMENTS AS NECESSARY.

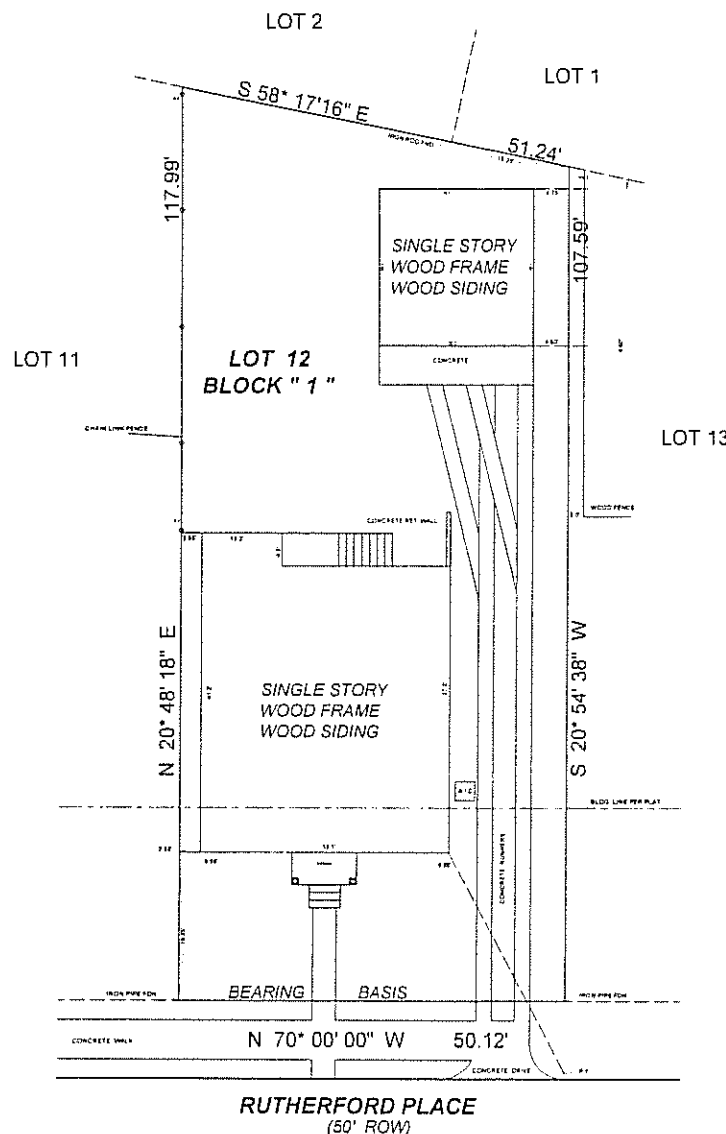
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 SITE PLAN
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Project Title
Murphy Residence
 additions and improvements
 808 RUTHERFORD PLACE AUSTIN TX
 78704

Sheet Title
SITE PLAN



PROJECT INFORMATION

1 IN THIS DOCUMENT "PROJECT" SHALL REFER TO THE SCOPE OF WORK HEREIN DESCRIBED "OWNER" SHALL REFER TO GORDON MURPHY OR THEIR AUTHORIZED REPRESENTATIVE "CONTRACTOR" SHALL REFER TO THE GENERAL CONTRACTOR RETAINED BY THE OWNER TO CONSTRUCT THE PROJECT AND "ARCHITECT" SHALL REFER TO
 2 PROJECT IS LOCATED AT 808 RUTHERFORD ST AUSTIN TX 78704

GENERAL NOTES

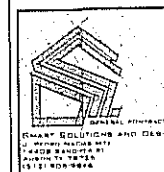
- ALL WORK DESCRIBED BY THESE DOCUMENTS SHALL BE PERFORMED IN FULL COMPLIANCE WITH ALL APPLICABLE CODES AS MANICATED BY ALL GOVERNING JURISDICTIONS.
- IF THE PROJECT IS LOCATED OUTSIDE OF AN INCORPORATED MUNICIPALITY OR OTHER GOVERNING JURISDICTION, ALL WORK DESCRIBED BY THESE DOCUMENTS SHALL BE PERFORMED IN FULL COMPLIANCE WITH THE CITY OF AUSTIN RESIDENTIAL CODE REQUIREMENTS. THE PROJECT SHALL BE INSPECTED BY THE CITY OF AUSTIN INSPECTION DEPARTMENT. THE INSPECTION DEPARTMENT SHALL CONDUCT A PRELIMINARY INSPECTION, A PRE-CONSTRUCTION INSPECTION, AND A FINAL INSPECTION.
- RELEASE OF THESE CONSTRUCTION DRAWINGS ANTICIPATES FURTHER COOPERATION BETWEEN THE OWNER AND CONTRACTOR IN THE DESIGN AND THE CONSTRUCTION OF THE PROJECT. ALL PARTIES AGREE TO WORK IN FULL COOPERATION IN THE INTERESTS OF THE PROJECT AND PROPERTY OWNER.
- OWNER IS RESPONSIBLE FOR ALL FEES AND PERMITS REQUIRED FOR CONSTRUCTION.
- CONTRACTOR SHALL REVIEW THE CONSTRUCTION DRAWINGS THOROUGHLY AND MAKE A DETAILED SITE VISIT TO REVEAL EXISTING FIELD CONDITIONS. ANY INCONSISTENCY, DISCREPANCY, AMBIGUITY, OR ANY OTHER QUESTIONS SHALL BE IMMEDIATELY REPORTED TO ARCHITECT FOR CLARIFICATION AND RESOLUTION PRIOR TO THE DELIVERY OF ANY BID AND PRIOR TO PROCEEDING WITH THE WORK. IN DESIGN AND/OR OTHER RELATED WORK. FAILURE TO DO SO SHALL CAUSE THE CONTRACTOR TO BE INELIGIBLE FOR EXTRAS RELATING TO SUCH MATTERS AND SHALL RELIEVE THE ARCHITECT FROM ANY CONSEQUENCES THEREOF ARISING.
- DRAWINGS AND NOTES TO DRAWINGS, INCLUDING THOSE OF THE ENGINEER OR CONSULTANT, ARE CORRELATIVE AND HAVE EQUAL AUTHORITY AND PRIORITY. SHOULD THERE BE DISCREPANCIES IN THEMSELVES OR BETWEEN THEM, CONTRACTOR SHALL BASE BID PRICING ON THE MOST EXTENSIVE COMBINATION OF QUALITY AND QUANTITY OF THE WORK INDICATED IN THE EVENT OF DISCREPANCIES, THE APPROPRIATE METHOD OF PERFORMANCE, THE WORK AND/OR ITEMS TO BE INCORPORATED INTO THE SCOPE OF THE WORK SHALL BE DETERMINED BY THE ARCHITECT OR ENGINEER.
- WRITTEN DIMENSIONS SHALL GOVERN THESE DRAWINGS. THESE DIMENSIONS ARE NOT TO BE SCALED.
- CONTRACTOR IS SOLELY RESPONSIBLE FOR THE SAFETY, ACTIONS, AND CONDUCT OF HIS EMPLOYEES AND HIS SUBCONTRACTOR'S EMPLOYEES WHILE IN THE PROJECT AREA. ADJACENT AREAS AND THE WORKING AREAS SHALL BE PROTECTED.
- CONTRACTOR SHALL COOPERATE WITH ALL TRADES AND SUBCONTRACTORS TO PROVIDE COMPLETE WORKING CONDITIONS THROUGHOUT THE PROJECT.
- CONTRACTOR SHALL SUBMIT ALL REQUIRED SHOP DRAWINGS BEFORE PROCEEDING WITH THE WORK RELATED TO THE SHOP DRAWINGS.
- ALL WORK NOTED "BY OTHER" OR "NOT IN CONTRACT" IS TO BE ACCOMPLISHED BY A CONTRACTOR OTHER THAN THE GENERAL CONTRACTOR AND IS NOT TO BE A PART OF THE CONTRACT. HOWEVER, THE GENERAL CONTRACTOR IS TO COOPERATE WITH OTHER CONTRACTORS AS REQUIRED AND SHALL PROVIDE ACCESS TO THE PROJECT AS NEEDED.
- PRIOR TO THE START OF CONSTRUCTION, CONTRACTOR SHALL FURNISH THE ARCHITECT A SCHEDULE OF VALUES THAT INCLUDES A DETAILED LIST OF ENTIRE SCOPE OF WORK AND THE MATERIAL QUANTITIES INVOLVED IN THE PROJECT AND THEIR RESPECTIVE CONTRACTOR DOLLAR AMOUNTS, INCLUDING A SEPARATE COLLATION FOR SALES TAX.
- CONTRACTOR SHALL FURNISH THE ARCHITECT A PUNCH LIST INCLUDING ALL THE ITEMS TO BE COMPLETED PRIOR TO THE PROJECT'S SUBMITTAL COMPLETION. ARCHITECT SHALL REVIEW CONTRACTOR'S PUNCH LIST AND PROVIDE ADDITIONAL ITEMS TO BE INCLUDED IN THE PUNCH LIST.
- ALL MATERIALS, FINISHES, MANUFACTURED ITEMS, AND EQUIPMENT SHALL BE INSTALLED IN FULL ACCORDANCE WITH THE SUPPLIER'S OR MANUFACTURER'S WRITTEN RECOMMENDATIONS OR THESE DOCUMENTS. MANUFACTURER'S INSTRUCTIONS SHALL BE FOLLOWED.
- STORE AND HANDLE ALL MATERIALS IN STRICT COMPLIANCE WITH MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS. PROTECT ALL MATERIALS FROM DAMAGE, WEATHER, EXCESSIVE TEMPERATURES, AND MOISTURE BEFORE STORAGE.
- ALL DIMENSIONS, NOTES, FINISHES, AND TEXTURES SHOWN ON PHYSICAL DRAWINGS SHALL APPLY TO ALL SIMILAR, SYMMETRICAL, OR OPPOSITE NAMED DETAILS.
- IF REQUESTS TO SUBSTITUTE ANY PRODUCT OR MATERIAL SHALL BE SUBMITTED IN WRITING TO THE ARCHITECT FOR APPROVAL. SAMPLES, PRODUCT INFORMATION, AND DRAWINGS SHALL BE REQUIRED PRIOR TO SUBSTITUTION. APPROVED SUBSTITUTION SHALL BE OF EQUAL QUALITY AND PERFORMANCE SPECIFICATION TO THAT ORIGINALLY SPECIFIED.
- CONTRACTOR SHALL REVIEW ALL ADVANCES AND NOTIFY THE ARCHITECT AND OWNER OF ADVANCES THAT SEEM INADEQUATE OR NOT ACCURATE. ALLOWANCE AMOUNTS INCLUDE THE FULL COST OF THE MATERIALS INCLUDING DELIVERY AND SALES TAX.
- ALL WORKMANSHIP, MATERIAL, AND EQUIPMENT SHALL BE GUARANTEED FOR THE GREATER OF THE THREE (3) YEAR REQUIREMENTS, MANUFACTURER'S WARRANTY, OR ONE YEAR FROM DATE OF OWNER ACCEPTANCE. ANY FAILURE OR DEGRADATION WITHIN THIS PERIOD SHALL BE CORRECTED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL PROVIDE THE OWNER WITH AN OPERATOR MANUAL FOR THE HOUSE THAT INCLUDES MAINTENANCE SCHEDULE, MAINTENANCE INSTRUCTIONS, EQUIPMENT OPERATION, WARRANTY INFORMATION, AND PHOTO RECORD OF FINISHES WITH WARNINGS AND UTILITIES INSTALLED (PROVIDE KEY OR DESCRIPTIONS TO PHOTOGRAPH LOCATIONS).
- CONTRACTOR SHALL EXERCISE REASONABLE PRECAUTION IN THE PROTECTION OF THE OWNER'S PROPERTY, SITE VEGETATION, AND ALL TREES THAT ARE TO REMAIN.
- CONTRACTOR SHALL BE RESPONSIBLE ON A DAILY BASIS FOR SITE CLEAN UP AND ANY REMOVAL OF ANY AND ALL DEBRIS GENERATED BY CONSTRUCTION OPERATIONS, MAKING READY FOR ALL SUBSEQUENT SUBCONTRACTORS.
- PROVIDE CONSTRUCTION WASTE MANAGEMENT INCLUDING THE SEPARATION OF REUSABLE OR RECYCLABLE MATERIALS INTO SEPARATE CONTAINERS.
- THE DRAWINGS SPECIFICATIONS, AND DEAS CONTAINED HEREIN ARE THE INTELLECTUAL AND MATERIAL PROPERTY OF THE ARCHITECT AND SHALL NOT BE REPRODUCED, REPRODUCED, OR ALTERED WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE ARCHITECT. FAILURE TO OBTAIN PERMISSION VIOLATES APPLICABLE COPYRIGHT LAWS AND SUBJECTS THE VIOLATOR TO LEGAL PROSECUTION.

SITE PLAN NOTES

- THE PLAN IS BASED ON SURVEY INFORMATION PROVIDED BY OWNER. ALL FIELD CONDITIONS SHALL BE VERIFIED BY CONTRACTOR.
- PROJECT MAY BE SUBJECT TO EASEMENTS, COVENANTS, CONDITIONS, RIGHTS, RESTRICTIONS, ENCUMBRANCES, DEEDS, AND RESERVATIONS AS DESCRIBED IN COUNTY PLAT AND DEED RECORD BOOKS. CONTRACTOR SHALL VERIFY ALL SITE LIMITATIONS PRIOR TO CONSTRUCTION.
- CITY REPRESENTATIVE MAY REQUIRE LAND STATUS DETERMINATION OR FLOODPLAIN DETERMINATION. VERIFY AND COORDINATE ALL REQUIREMENTS AS NECESSARY.
- REFER TO LOT 11 PLANS AND STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION ON SITE ELEMENTS.
- FINISH GRADES SHALL BE 1" MINIMUM BELOW TOP OF FOUNDATION.
- PROVIDE POSITIVE DRAINAGE AWAY FROM FOUNDATION AND DIVERSITY TO EXISTING DRAINAGE PATTERNS OR DRAINS IN FINAL GRADES AS REQUIRED.
- COORDINATE WITH ADJACENT PROPERTY OWNERS AS REQUIRED.
- OWNER AND CONTRACTOR SHALL PROVIDE TEMPORARY POWER IN ALL OTHER UTILITIES REQUIRED FOR THE CONSTRUCTION OF THE PROJECT.
- ALL TREES NOT LOCATED WITHIN THE LIMITS OF CONSTRUCTION AND OUTSIDE OF DISTURBED AREAS SHALL BE PRESERVED. EXISTING TREES AND VEGETATION INDICATED ON THIS SURVEY ARE APPROXIMATE AND NOT EXTENSIVE. FIELD VERIFY LOCATIONS OF ALL TREES AND VEGETATION PRIOR TO SITE WORK.
- ALL TREES AND NATURAL AREAS WITHIN LIMITS OF CONSTRUCTION OR SHOWN ON PLAN TO BE PRESERVED SHALL BE FULLY PROTECTED TO PREVENT SOIL COMPACTION IN THE ROOT ZONE FROM VEHICULAR TRAFFIC OR STORAGE OF EQUIPMENT OR MATERIALS. ROOT ZONE DISTURBANCE DUE TO EXCESSIVE WORKING TO EXPOSED ROOTS, TRUNK OR LIMBS BY MECHANICAL EQUIPMENT OR OTHER ACTIVITIES DETRIMENTAL TO TREES.
- IF TREE PROTECTION FENCING IS REQUIRED FOR TREES WITHIN THE LIMITS OF CONSTRUCTION, FENCING SHOULD PROTECT THE ENTIRE CRITICAL ROOT ZONE (CRZ). AREA FENCING IS REQUIRED TO BE CHAIN-LINK WEAVE AT A MINIMUM HEIGHT OF FIVE FEET. A BRANCH LAYER OF BRANCHES WITHIN THE ENTIRE AVAILABLE ROOT ZONE AREA IS REQUIRED FOR TREES WHICH HAVE A DISTURBANCE ASSOCIATED WITH A PORTION OF THE CRITICAL ROOT ZONE.
- TREES SHOWN TO BE REMOVED SHALL BE REMOVED IN A MANNER THAT HAS NO IMPACT ON EXISTING TREES TO BE PRESERVED.
- ALL TREES WITHIN CRITICAL ROOT ZONE OF TREES SHALL BE HAND DUG, TUNNEL UNDER ALL MAJOR TREE ROOTS WHERE ENCOUNTERED AT TRENCES.
- ALL TREES THAT ARE EXPOSED DURING CONSTRUCTION SHALL BE PROTECTED WITH THE SPILL. BACKFILL ROOT AREAS WITH GOOD QUALITY TOP SOIL WITHIN 2 DAYS OF EXPOSURE OR COVER WITH ORGANIC MATERIAL TO RETAIN SOIL TEMPERATURE AND UNWASHED WATERLESS.
- ALL CUTS TO TREE TRUNKS SHALL BE PAINTED IMMEDIATELY WITH WATER-RESISTANT SEALANT.
- CITY REPRESENTATIVE MAY REQUIRE ADDITIONAL TREE PROTECTION BEFORE OR DURING CONSTRUCTION. VERIFY AND COORDINATE ALL REQUIREMENTS AS NECESSARY.

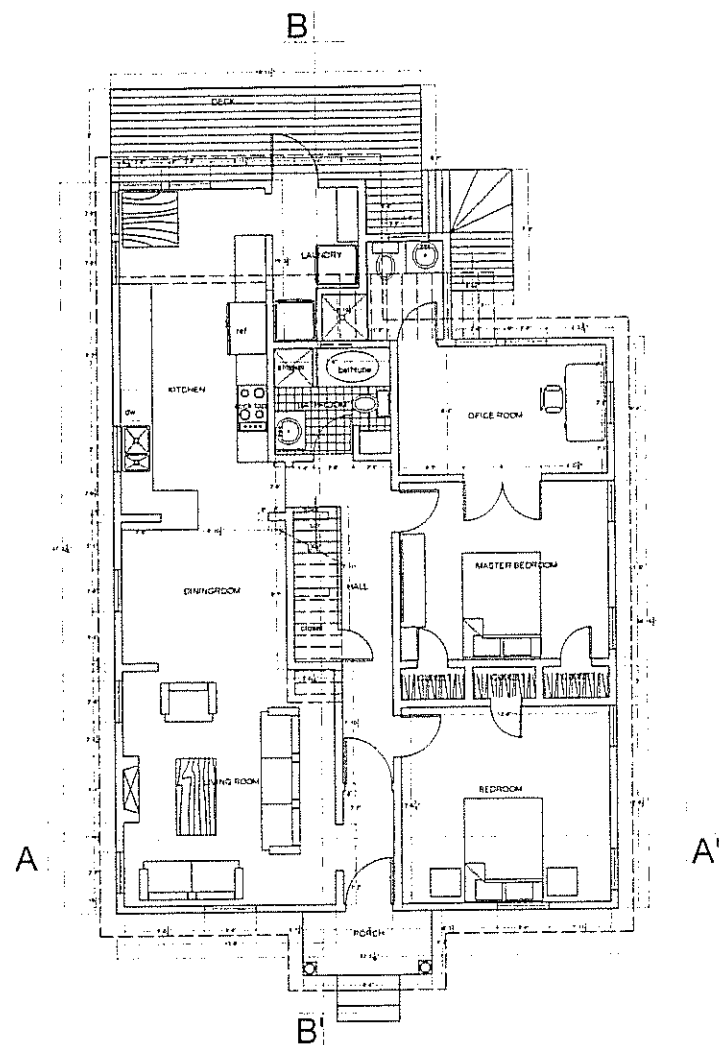
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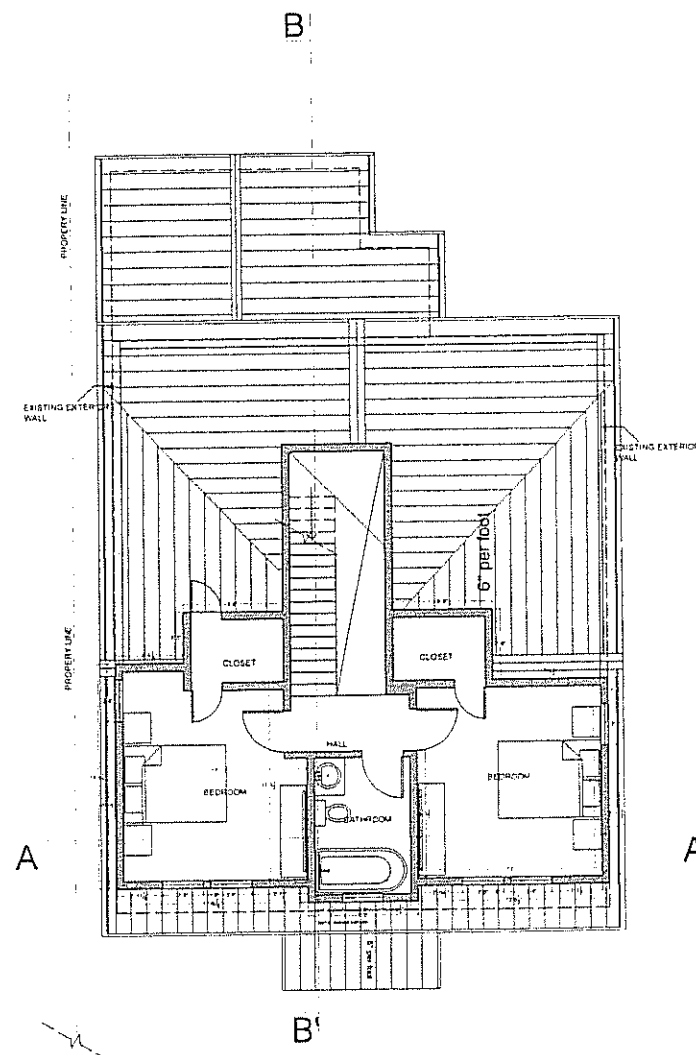
Project:
Murphy Field Residence
 additions and improvements
 1000 RUTHERFORD PLACE, AUSTIN, TX
 78704

Sheet:
 ADDITION PLAN



FLOOR PLAN ADDITION

1/4" = 1'-0"



SECOND STORY ADDITION

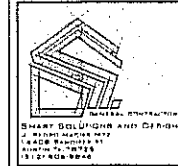
1/4" = 1'-0"



ADDITION PLAN
 A1.1

A1.1

FOR INTERIM REVIEW ONLY

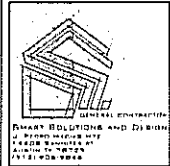


Project title
**Murphy Field
Residence**
additions and improvements
808 RUTHERFORD
PLACE, AUSTIN TX
78704

Sheet title
ELEVATIONS

A2.1





Project Site
Murphy Field Residence
 additions and improvements
 808 RUTHERFORD
 PLACE, AUSTIN, TX
 Z C 78704

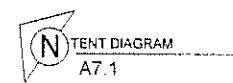
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 TENT DIAGRAM



WEST ELEVATION (proposal addition)



WEST TENT DIAGRAM "B"
 FRONT ELEVATION (proposal addition)



A2.2

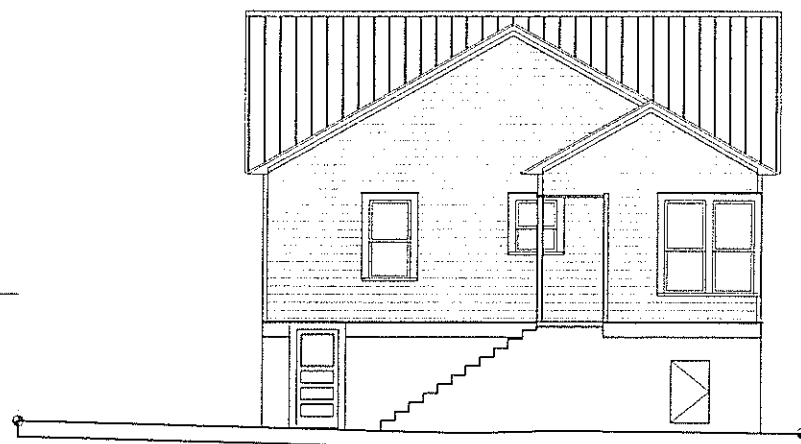


Project No:
**Murphy Field
 Residence**
 additions and improvements
 808 RUTHERFORD
 PLACE, AUSTIN TX,
 Z C 78704

Sheet title
 ELEVATIONS



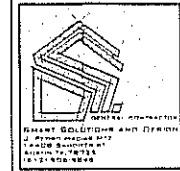
EAST ELEVATION (existing)



BACK ELEVATION (existing)



A7.0



Project: 016
**Murphy Field
Residence**
additions and improvements
808 RUTHERFORD
PLACE, AUSTIN TX
Z C 78704

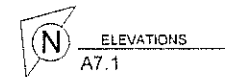
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ELEVATIONS



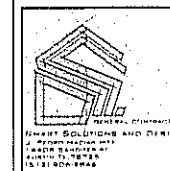
EAST ELEVATION (existing)



FRONT ELEVATION (existing)

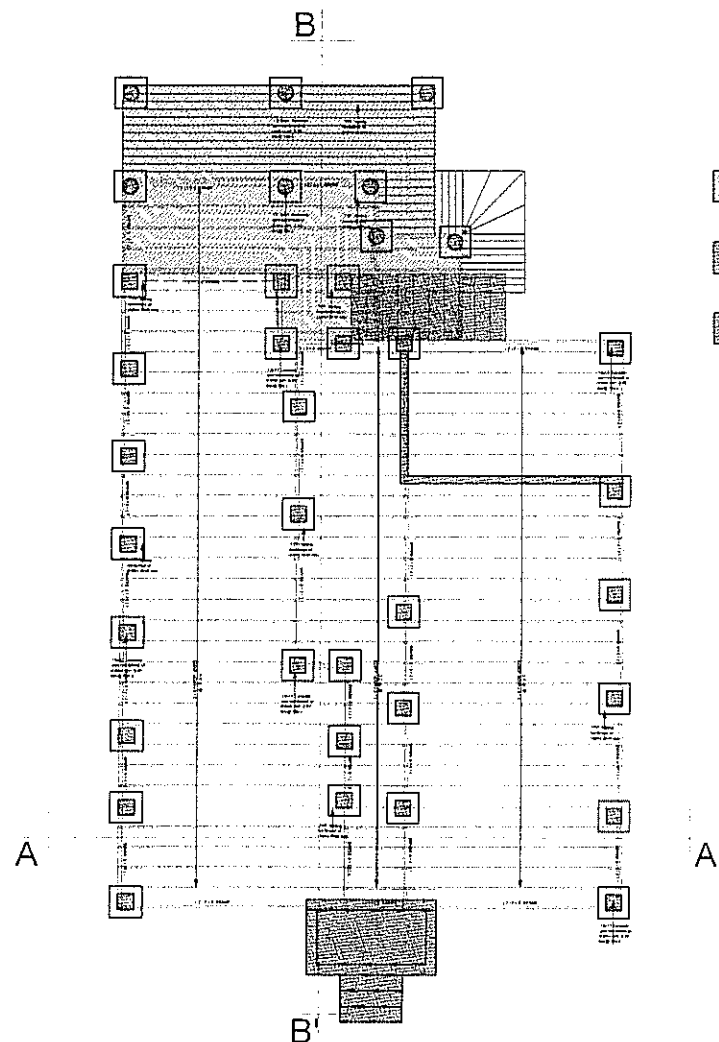


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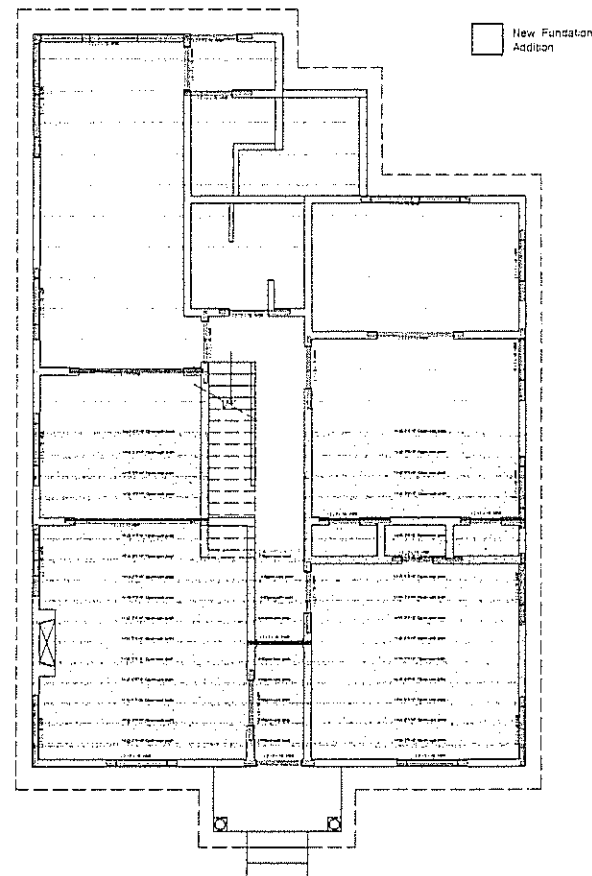
Project file
Murphy Residence
 additions and improvements
 605 RUTHERFORD PLACE, AUSTIN TX
 78704

Sheet title
FUNDATION AND STRUCTURAL PLAN



FOUNDATION PLAN (existing)

- New Foundation Addition
- Existing concrete demo
- Existing concrete piers, ret. wall & slabs



FIRST STORY FRAMING PLAN

FUNDATION AND STRUCTURAL PLAN
 A11.0

A11.0