CITY OF AUSTIN

CASE # 2010-106757 PR
PLAN REVIEW # _____

APPLICATION TO THE RESIDENTIAL DESIGN AND COMPATIBILITY COMMISSION (RDCC)

GENERAL MODIFICATION WAIVER

STREET ADDRESS: 1125, 1129 Salem Park Court, 1201, 1205, 1209, 1212, 1301, 1305, 1309, 1313, 1317, 1321, 1325, 1329, 1333 Central Park Court

LEGAL DESCRIPTION: Subdivision – Salem Center

Lot(s) 16 A&B, 19, 21 A&B, 22 A&B, 23 A&B, 24 A&B, 25 A&B Block A
Outlot_____ Division_____

LAND STATUS DETERMINATION CASE NUMBER (if applicable) _____

I/We Greg Hammonds on behalf of myself/ourselves as authorized agent for Treaty Oak Homes, LLC affirm that on 12.09.10,

hereby apply for a hearing before the Residential Design and Compatibility Commission for modification Section 2.8.1. of up to 25% increase in one or more of the following:

X Maximum Floor to area ratio .4 or Gross floor area 2300 sq ft.
X Maximum Linear feet of Gables protruding from setback plane
X Maximum Linear feet of Dormers protruding from the setback plane

Waive or modify the side wall articulation requirement of Section 2.7.

__Per Plans (Attached)_____Side Wall Length Articulation
(*Please describe request. Please be brief but thorough*).

Treaty Oak requests the maximum allowable increase to the FAR, Gable and Dormer requirements, as well as a waiver of the side wall articulation requirements, for the above listed lots with respect to the floor plans attached to be constructed

in a SF 6 zoning district.

Note: Certificate of Appropriateness: H (Historic) or HD (Historic Designation) – case goes to RDCC first. National Register Historical District (NRHD) Overlay: without H or HD - case goes to Historic Landmark Commission first.

CITY OF AUSTIN
APPLICATION TO THE RESIDENTIAL DESIGN
AND COMPATIBILITY COMMISSION

GENERAL MODIFICATION WAIVER

REASONABLE USE:

1. The Residential Design and Compatibility Standards Ordinance applicable to the property does not allow for a reasonable use because:

The changes required will alter an existing homebuilding program in which buyers have bought with the expectation of the continued program. The new homes will not fit the predesigned streetscape.

REQUEST:

2. The request for the modification is unique to the property in that:

This project was under way when the boundaries for the McMansion ordinance were extended to encompass the project.

AREA CHARACTER:

3. The modification will not alter the character of the area adjacent to the property, will not impair the use of adjacent conforming property, and will not impair the purpose of the regulations of the zoning district in which the property is located because:

The homes in this application will be constructed in the same manner as the existing homes in the neighborhood using the attached plans

CITY OF AUSTIN
APPLICATION TO THE RESIDENTIAL DESIGN AND COMPATIBILITY COMMISSION

GENERAL MODIFICATION WAIVER

APPLICANT CERTIFICATE – I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Mailing Address 205 WILD BASIN RD S BLDG 2, SUITE A

City, State AUSTIN, TX Zip 78746

Phone 512 684-3881 Printed Name GREG HAMMONDS

Signature [signature] Date 12/9/2010

OWNER'S CERTIFICATE – I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Mailing Address 205 WILD BASIN RD S BLDG 2, SUITE A

City, State AUSTIN, TX Zip 78746

Phone 512 684-3881 Printed Name GREG HAMMONDS

Signature [signature] Date 12/9/2010

CITY OF AUSTIN

CASE # 2010-106755 PR
PLAN REVIEW # _____

APPLICATION TO THE RESIDENTIAL DESIGN AND COMPATIBILITY COMMISSION (RDCC)

GENERAL MODIFICATION WAIVER

STREET ADDRESS: 1125, 1129 Salem Park Court, 1201, 1205, 1209, 1212, 1301, 1305, 1309, 1313, 1317, 1321, 1325, 1329, 1333 Central Park Court

LEGAL DESCRIPTION: Subdivision – Salem Center

Lot(s) 16 A&B, 19, 21 A&B, 22 A&B, 23 A&B, 24 A&B, 25 A&B Block A
Outlot_____ Division_____

LAND STATUS DETERMINATION CASE NUMBER (if applicable) _____

I/We Greg Hammonds on behalf of myself/ourselves as authorized agent for Treaty Oak Homes, LLC affirm that on 12.09.10,

hereby apply for a hearing before the Residential Design and Compatibility Commission for modification Section 2.8.1. of up to 25% increase in one or more of the following:

X Maximum Floor to area ratio .4 or Gross floor area 2300 sq ft.
X Maximum Linear feet of Gables protruding from setback plane
X Maximum Linear feet of Dormers protruding from the setback plane

Waive or modify the side wall articulation requirement of Section 2.7.

Per Plans (Attached) Side Wall Length Articulation
(*Please describe request. Please be brief but thorough*).

Treaty Oak requests the maximum allowable increase to the FAR, Gable and Dormer requirements, as well as a waiver of the side wall articulation requirements, for the above listed lots with respect to the floor plans attached to be constructed

in a SF 6 zoning district.

Note: Certificate of Appropriateness: H (Historic) or HD (Historic Designation) – case goes to RDCC first. National Register Historical District (NRHD) Overlay: without H or HD - case goes to Historic Landmark Commission first.

CITY OF AUSTIN
APPLICATION TO THE RESIDENTIAL DESIGN
AND COMPATIBILITY COMMISSION

GENERAL MODIFICATION WAIVER

REASONABLE USE:

1. The Residential Design and Compatibility Standards Ordinance applicable to the property does not allow for a reasonable use because:

The changes required will alter an existing homebuilding program in which buyers have bought with the expectation of the continued program. The new homes will not fit the predesigned streetscape.

REQUEST:

2. The request for the modification is unique to the property in that:

This project was under way when the boundaries for the McMansion ordinance were extended to encompass the project.

AREA CHARACTER:

3. The modification will not alter the character of the area adjacent to the property, will not impair the use of adjacent conforming property, and will not impair the purpose of the regulations of the zoning district in which the property is located because:

The homes in this application will be constructed in the same manner as the existing homes in the neighborhood using the attached plans

CITY OF AUSTIN
APPLICATION TO THE RESIDENTIAL DESIGN AND COMPATIBILITY COMMISSION

GENERAL MODIFICATION WAIVER

APPLICANT CERTIFICATE – I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Mailing Address 205 WILD BASIN RD S BLDG 2, SUITE A

City, State AUSTIN, TX Zip 78746

Phone 512 684-3881 Printed Name GREG HAMMONDS

Signature [signature] Date 12/9/2010

OWNER'S CERTIFICATE – I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Mailing Address 205 WILD BASIN RD S BLDG 2, SUITE A

City, State AUSTIN, TX Zip 78746

Phone 512 684-3881 Printed Name GREG HAMMONDS

Signature [signature] Date 12/9/2010

CITY OF AUSTIN

CASE # 2010-106755PR
PLAN REVIEW # _____

APPLICATION TO THE RESIDENTIAL DESIGN AND COMPATIBILITY COMMISSION (RDCC)

GENERAL MODIFICATION WAIVER

STREET ADDRESS: 1125 & 1129 Salem Park Court

LEGAL DESCRIPTION: Subdivision – Salem Center

Lot(s) B-1 Block A Outlot _____ Division _____

LAND STATUS DETERMINATION CASE NUMBER (if applicable) _____

I/We _____ on behalf of myself/ourselves as authorized agent for

_____ affirm that on _____, _____,

hereby apply for a hearing before the Residential Design and Compatibility Commission for modification Section 2.8.1. of up to 25% increase in one or more of the following:

X Maximum Floor to area ratio .4 or Gross floor area 2300 sq ft.
X Maximum Linear feet of Gables protruding from setback plane
X Maximum Linear feet of Dormers protruding from the setback plane

Waive or modify the side wall articulation requirement of Section 2.7.

X Side Wall Length Articulation
(*Please describe request. Please be brief but thorough*).

We are requesting this waiver to allow for compatibility between the 20 homes we have already completed in the neighborhood and the remaining 22 homes to be built. The entire neighborhood consists of 42 platted lots. We have completed homes on 20 of them. Our request is simply to continue building the remaining homes using the design criteria we have used on the existing homes allowing for compatibility throughout the entire 42 lots.

in a _____ zoning district.

Note: Certificate of Appropriateness: H (Historic) or HD (Historic Designation) – case goes to RDCC first. National Register Historical District (NRHD) Overlay: without H or HD - case goes to Historic Landmark Commission first.

APPLICATION TO THE RESIDENTIAL DESIGN AND COMPATIBILITY COMMISSION

GENERAL MODIFICATION WAIVER

REASONABLE USE:

1. The Residential Design and Compatibility Standards Ordinance applicable to the property does not allow for a reasonable use because:

   The ordinance will force us to change our product offering after roughly ½ of the homes have been built. This will cause a detrimental shift in the character and continuity of the homes in the neighborhood as the existing plans were specifically designed to be built with each other. Plans under the new requirements will stand out in character, will be smaller and will negatively impact home values in the neighborhood. Additionally, current residents purchased in this neighborhood as they enjoyed the feel of the current building program. Interjecting a new program next door to existing homes will be problematic.

REQUEST:

2. The request for the modification is unique to the property in that:

   This project was already well under way when the boundaries were expanded. As previously mentioned, roughly ½ of the homes have been completed as part of a master design plan. A change from that plan will cause existing and new homes to clash.

AREA CHARACTER:

3. The modification will not alter the character of the area adjacent to the property, will not impair the use of adjacent conforming property, and will not impair the purpose of the regulations of the zoning district in which the property is located because:

   The new homes will be constructed using the same design criteria as in the current completed homes in the neighborhood. Considerations were given during the initial approval process to make this entire development compatible with existing development in the area. The items are listed in the Conditional Overlay as well as plat notes. We simply request we be allowed to complete the program we, and our homeowners, are ½ way through.

APPLICATION TO THE RESIDENTIAL DESIGN AND COMPATIBILITY COMMISSION

GENERAL MODIFICATION WAIVER

APPLICANT CERTIFICATE – I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Mailing Address__205 Wild Basin Rd. S. Bldg 2, Suite A

City, State ___Austin, TX_____ Zip_____78746_____

Phone __512 684-3881_____ Printed Name ___Greg Hammonds_____

Signature_____ Date 11/10/2010

OWNER'S CERTIFICATE – I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Mailing Address___205 Wild Basin Rd S, Bldg 2, Suite A_____

City, State __Austin, TX_____ Zip_____78746_____

Phone ____512 684-3880_____ Printed Name ____Greg Hammonds_____

Signature_____ Date 11/10/2011

GENERAL INFORMATION FOR SUBMITTAL OF A MODICATION REQUEST TO THE RESIDENTIAL DESIGN AND COMPATIBILITY COMMISSION

Benavidez, Sylvia

From: Rhoades, Wendy
Sent: Monday, December 06, 2010 2:18 PM
To: Benavidez, Sylvia
Subject: Zoning ordinance for C14-02-0005 - 1100 West Stassney Lane
Attachments: document_BD550237-05CB-F487-FB1F3EA5A66CDDA6[1]

Sylvia,
The attached document is the complete rezoning ordinance for 1100 West Stassney Lane. Whenever a maximum number of residential units is limited through a conditional overlay, the zoning ordinance states that number in addition to a density limitation in the form of units per acre. In this case, the units per acre (5.370 u.p.a.) multiplied by the acreage of the site (8.195 acres) equals a maximum of 44 units.

Wendy

ORDINANCE NO. 020829-29

AN ORDINANCE REZONING AND CHANGING THE ZONING MAP FOR THE PROPERTY LOCATED AT 1100 WEST STASSNEY LANE FROM NEIGHBORHOOD COMMERCIAL (LR) DISTRICT, MULTIFAMILY RESIDENCE LOW DENSITY (MF-2) DISTRICT, MULTIFAMILY RESIDENCE MEDIUM DENSITY (MF-3) DISTRICT AND COMMUNITY COMMERCIAL (GR) DISTRICT TO TOWNHOUSE AND CONDOMINIUM RESIDENCE-CONDITIONAL OVERLAY (SF-6-CO) COMBINING DISTRICT.

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF AUSTIN:

PART 1. The zoning map established by Section 25-2-191 of the City Code is amended to change the base district from neighborhood commercial (LR) district, multifamily residence low density (MF-2) district, multifamily residence medium density (MF-3) district and community commercial (GR) district to townhouse and condominium residence-conditional overlay (SF-6-CO) combining district on the property described in Zoning Case No. C14-02-0005, on file at the Neighborhood Planning and Zoning Department, as follows:

> Lot B-2, Salem Center Subdivision, a subdivision in the City of Austin, Travis County, Texas, according to the map or plat of record in Plat Book 83, Pages 144B-144C, of the Plat Records of Travis County, Texas, (the "Property")

locally known as 1100 West Stassney Lane, in the City of Austin, Travis County, Texas, and generally identified in the map attached as Exhibit "A".

PART 2. The Property within the boundaries of the conditional overlay combining district established by this ordinance is subject to the following conditions:

1. The maximum height is 15 feet for a structure or a portion of a structure constructed within 50 feet of the north property line.

2. Development of the Property may not exceed 40 percent impervious coverage.

3. Development of the Property may not exceed 44 residential units.

4. A building may not contain more than one residential unit.

5. Development of the Property may not exceed 5.370 residential units per acre.

Except as specifically restricted under this ordinance, the Property may be developed and used in accordance with the regulations established for the townhouse and condominium residence (SF-6) base district and other applicable requirements of the City Code.

PART 3. The Council waives the requirements of Section 2-2-3 and 2-2-7 of the City Code for this ordinance.

PART 4. This ordinance takes effect on September 9, 2002.

PASSED AND APPROVED

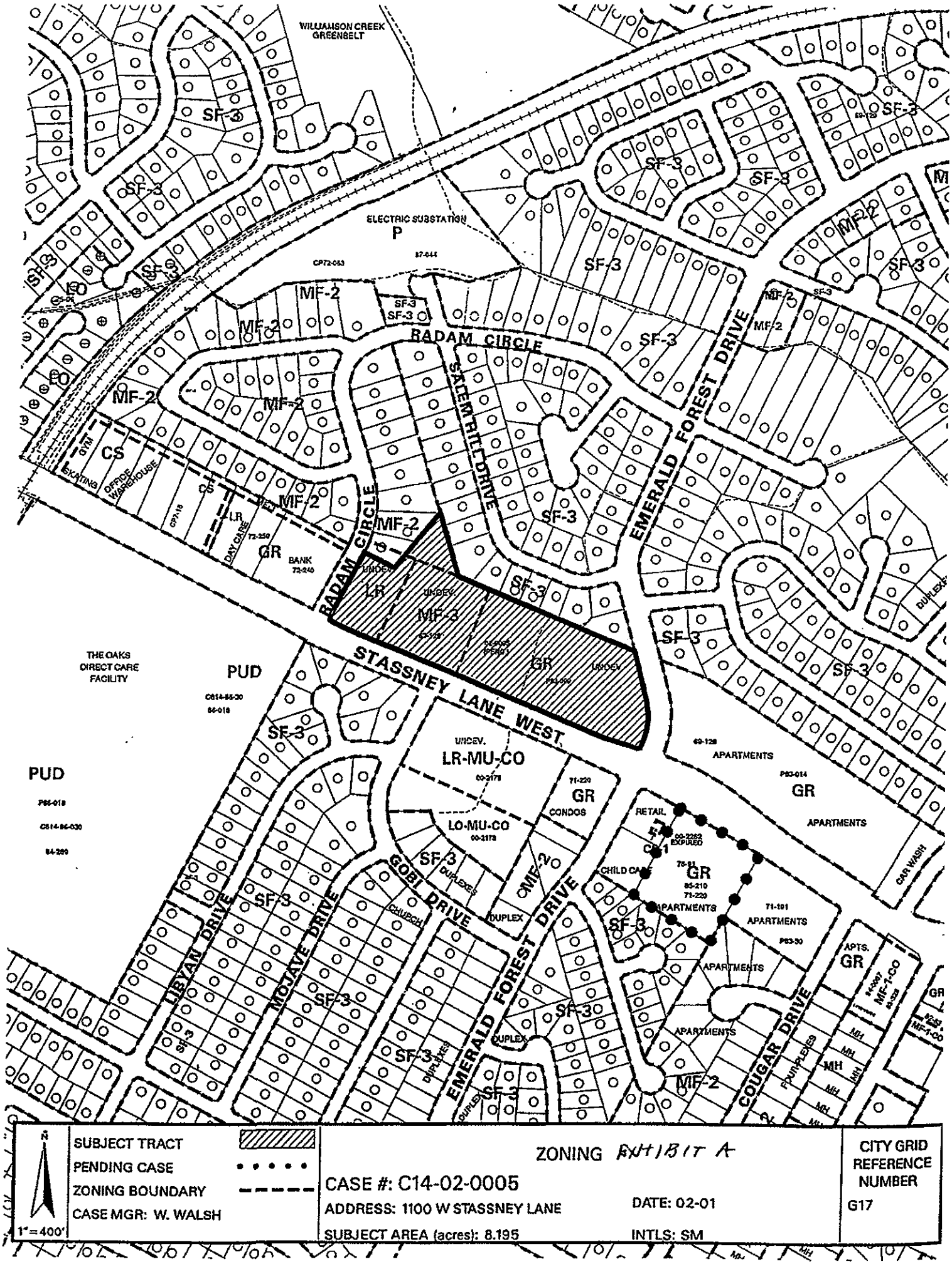
August 29, 2002 § Gustavo L. Garcia
§
§

Gustavo L. Garcia
Mayor

APPROVED: Sedora Jefferson **ATTEST:** Shirley A. Brown

Sedora Jefferson
City Attorney

Shirley A. Brown
City Clerk


WILLIAMSON CREEK GREENBELT
ELECTRIC SUBSTATION
P
RADAM CIRCLE
SALEM HILL DRIVE
EMERALD FOREST DRIVE
STASSNEY LANE WEST
THE OAKS DIRECT CARE FACILITY
PUD
LIBYAN DRIVE
MOJAVE DRIVE
GOBI DRIVE
COUGAR DRIVE
SF-3
MF-2
MF-3
LR
GR
CS
CO
LO
LR-MU-CO
LO-MU-CO
UNDEV.
BANK
APARTMENTS
CONDOS
RETAIL
CHILD CARE
CHURCH
DUPLEX
DUPLEXES
MH
APTS.
CAR WASH
SUBJECT TRACT
PENDING CASE
ZONING BOUNDARY
CASE MGR: W. WALSH
1"=400'
ZONING EXHIBIT A
CASE #: C14-02-0005
ADDRESS: 1100 W STASSNEY LANE
SUBJECT AREA (acres): 8.195
DATE: 02-01
INTLS: SM
CITY GRID REFERENCE NUMBER
G17

Benavidez, Sylvia

From: Jim Nance [JimN@treatyoakhomes.com]
Sent: Monday, December 06, 2010 2:03 PM
To: Benavidez, Sylvia
Cc: Greg Hammonds
Subject: RE: Ordinance 020829-29

Sylvia

The site is 8.184 acres in total which allows 43.94 SF residences. We have 42 Lots so we should be fine as far as density goes.

The homes that have been permitted and finaled out are as follows:

Addresses on Salem Park Ct: 1101, 1105, 1109, 1113, 1117, 1121, 1133, 1201, 1205, 1209, 1204, 1200, 1132, 1128, 1124, 1120, 1116, 1112.

Addresses on Central Park Ct: 1324.

Greg Hammonds
512-684-3881
gregh@treatyoakhomes.com

Thanks.

Jim Nance
Treaty Oak Homes, LLC.
205 Wild Basin Rd.
Bldg 2 Ste A
Austin, Texas 78746
Office: 512-684-3881
Mobile: 512-633-8100

-----Original Message-----
From: Benavidez, Sylvia [mailto:sylvia.benavidez@ci.austin.tx.us]
Sent: Monday, December 06, 2010 1:50 PM
To: Jim Nance
Subject: Ordinance 020829-29
Importance: High

Refer to page 2 of the ordinance

Please send me Greg Hammonds contact information

Also, please send me the addresses of the homes that have been approved and finaled.

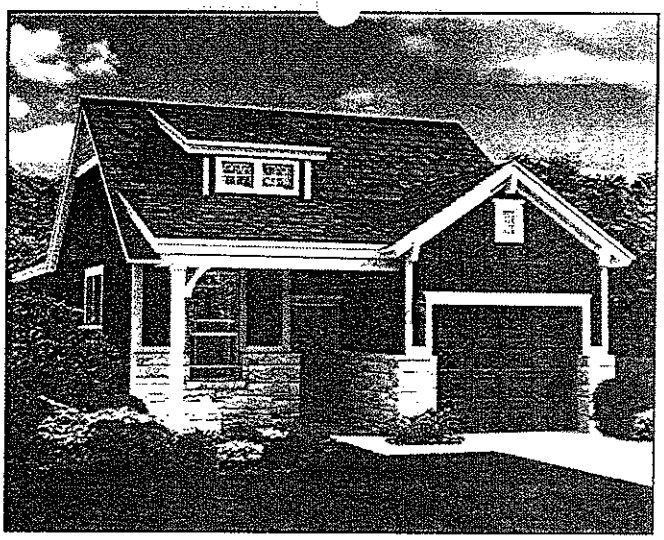
Sylvia Benavidez
Residential Zoning Review

(512)974-2522

-----Original Message-----
From: OTC02Whitehouse@ci.austin.tx.us
[mailto:OTC02Whitehouse@ci.austin.tx.us]
Sent: Monday, December 06, 2010 7:48 AM
To: Benavidez, Sylvia
Subject:

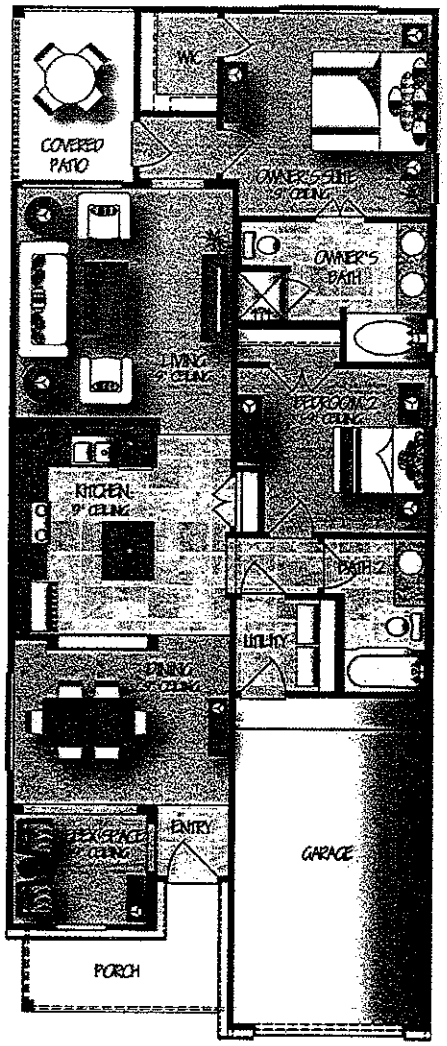
CS-4050

PLAN 1179



Elevation A

Elevation B

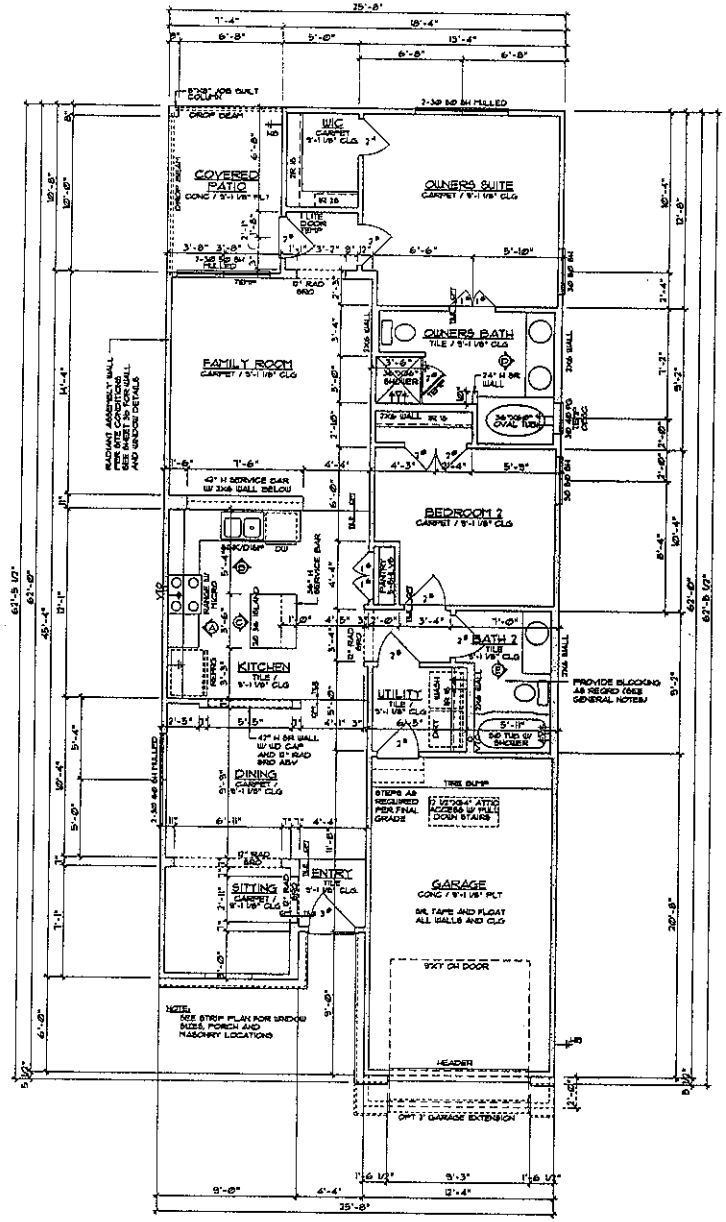


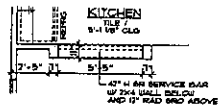
1173 Approximate Living

*Prices, floorplans, and features are subject to change anytime without notice. Square footages are approximate and may vary upon elevations and/or options selected. Elevations and floorplans are artist's concepts. Please consult your sales representative for current information. © 2005 Kipp Flores Architects.

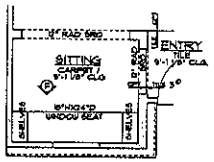
TREATY OAK HOMES

www.treatyoakhomes.com





OPTIONAL SERVICE BAR
SCALE 1/8"=1'-0"



OPTIONAL SITTING ROOM
SCALE 1/8"=1'-0"

FLOOR PLAN
SCALE 1/8"=1'-0"

NOTES:

ALL PLATE HGTS TO BE 9'-1 1/8" W/ 7'-0" WINDOW HEADER HGTS UNLESS NOTED

PROVIDE TEMPERED GLASS WHERE REQRD

PROVIDE FIREBLOCKING IN ALL AREAS AS REQUIRED PER CURRENT IRC CODE

ALL ANGLED WALLS TO BE 45° UNLESS NOTED OTHERWISE

PROVIDE PULTUD PAD IN ATTIC FOR HVAC AND GAS UNITS W/ REQRD ELECT, MECH AND PLUMB

BLOCKING REQUIREMENTS:
LATERAL 2X6 OR LARGER NORMAL WOOD BLOCKING MUST BE INSTALLED FLUSH WITH STUD EDGES OF BATHROOM WALLS
CENTERLINE OF BLOCKING MUST BE 34 INCHES FROM AND PARALLEL TO THE INTERIOR FLOOR LEVEL

HEADER SCHEDULE
BUILDING WIDTH OF 30' OR LESS
(MEASURED PERPENDICULAR TO MAIN RIDGE OF HOUSE)

FOR EXTERIOR LOAD BEARING WALLS				
	ROOF and CEILING	ROOF, CEILING and ONE CENTER BEARING FLOOR	ROOF, CEILING and ONE CLEAR SPAN FLOOR	ROOF, CEILING and TWO CENTER BEARING FLOORS
2-2x4	3'-6"	3'-1"	2'-8"	2'-1"
2-2x6	5'-5"	4'-8"	3'-11"	3'-4" *
2-2x8	6'-10"	5'-11" *	5'-0" *	5'-4" *
2-2x10	8'-3" *	7'-0" *	6'-1" *	5'-11" *
2-2x12	9'-5" *	8'-11" *	7'-11" *	6'-9" *

FOR INTERIOR LOAD BEARING WALLS		
	ONE FLOOR ONLY	TWO FLOORS
2-2x4	3'-1"	2'-2"
2-2x6	4'-8"	3'-2"
2-2x8	5'-11"	4'-1"
2-2x10	7'-0" *	4'-11" *
2-2x12	8'-11" *	5'-9" *

FOR NON-LOADBEARING WALLS A SINGLE 2x4 HEADER MAY BE USED ON OPENINGS NOT EXCEEDING 5' IN WIDTH IF THE VERTICAL NAILING DISTANCE TO THE PARALLEL NAILING SURFACE DOES NOT EXCEED 24"

* DENOTES 3 JACK STUDS REQUIRED TO SUPPORT EACH END
** DENOTES 3 JACK STUDS REQUIRED TO SUPPORT EACH END

10" AROUND TO 15 (IRC 2006)

Square Footage Chart
Elevation 'A'

	FRAME	w/ MASONRY
LIVING AREA	1173	1179
GARAGE	247	257
PORCH	66	66
COVERED PATIO	78	78
TOTAL	1564	1580
OPT 2' GAR EXT	42	42

Square Footage Chart
Elevation 'B'

	FRAME	w/ MASONRY
LIVING AREA	1173	1179
GARAGE	247	257
PORCH	93	93
COVERED PATIO	78	78
TOTAL	1590	1606
OPT 2' GAR EXT	42	42

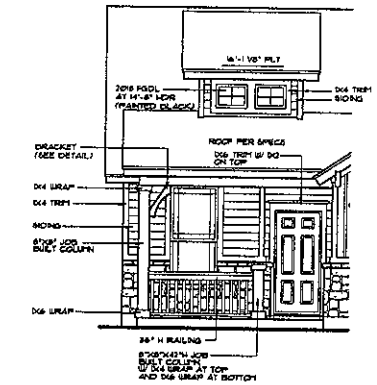
PLAN 1179 RF

GRASON COMMUNITIES, LTD.

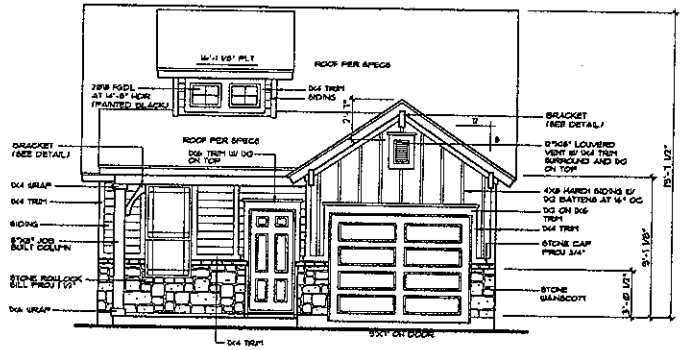
KIPP*FLORES ARCHITECTS

Date
06-26-09

Sheet
1 of 7



OPT RAILING
SCALE 1/8"=1'-0"



FRONT ELEVATION
SCALE 1/8"=1'-0"

NOTE:
PLATE HGT. TO BE 9'-1 1/8" W/ 7'-1/8" WINDOW HEADER NOTE UNLESS NOTED.

PROVIDE STEEL LINTELS ABOVE ALL OPENINGS W/ MASONRY, AS REQ'D.

PROVIDE TEMPERED GLASS WHERE REQ'D BY CODE.

HEADERS SCHEDULE BUILDING WIDTH OF 28' OR LESS (MEASURED PERPENDICULAR TO MAIN RIDGE OF HOUSE)				
FOR EXTERIOR LOAD BEARING WALLS				
	ROOF and CEILING	ROOF, CEILING and ONE CENTER BEARING FLOOR	ROOF, CEILING and ONE CLEAR SPAN FLOOR	ROOF, CEILING and TWO CENTER BEARING FLOORS
2-2x4	3'-2" *	2'-6" *	2'-4" *	2'-3" *
2-2x6	4'-8" *	3'-10" *	3'-8" *	3'-6" *
2-2x8	5'-11" *	5'-0" *	4'-11" *	4'-9" *
2-2x10	7'-3" *	6'-3" *	6'-3" *	6'-1" *
2-2x12	8'-9" *	7'-11" *	6'-11" *	6'-10" **
FOR INTERIOR LOAD BEARING WALLS				
	ONE FLOOR ONLY	TWO FLOORS		
2-2x4	3'-8"	1'-10"		
2-2x6	5'-10" *	2'-11" *		
2-2x8	6'-11" *	3'-6" *		
2-2x10	7'-10" *	3'-11" *		
2-2x12	9'-0" *	5'-0" **		
FOR NON-LOADBEARING WALLS A SINGLE 2x4 HEADER MAY BE USED ON OPENINGS NOT EXCEEDING 5' IN WIDTH IF THE VERTICAL NAILING DISTANCE TO THE PARALLEL NAILING SURFACE DOES NOT EXCEED 24"				
* DENOTES 2 JACK STUDS REQUIRED TO SUPPORT EACH END ** DENOTES 3 JACK STUDS REQUIRED TO SUPPORT EACH END				

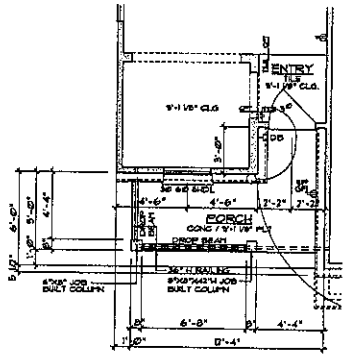
KP ARCHITECTS (RC 2006)

SIMPLIFIED PRESCRIPTIVE PACKAGE (2003-2006 IRC)	
(SE HOUSTON BLADE AREA (5,640 SHEET)	
GLAZING U-FACTOR:	0.65
CEILING R-VALUE:	R-40
WALL R-VALUE	R-13
FLOOR R- VALUE:	R-13
CRAWLSPACE WALL:	R-5
SLAB PERIMETER:	R-0
BASEMENT WALL:	R-5

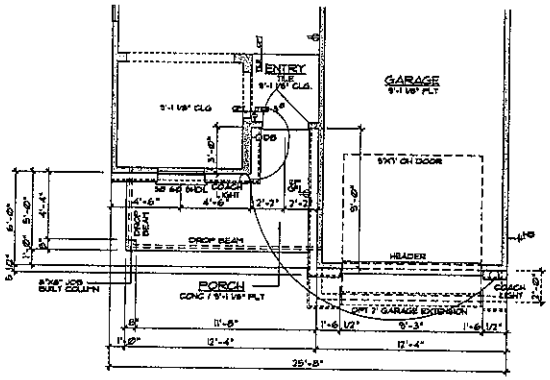
KP ARCHITECTS (RC 2006)

GLAZING PERCENTAGE	
AREA OF GLAZING	142
GROSS AIR CONDITIONED WALL AREA	1158
GLAZING PERCENTAGE	12.24%

*NOTE: THESE CHARTS DO NOT REFLECT ANY PLAN OPTIONS OFFERED



OPT RAILING
SCALE 1/8"=1'-0"

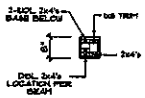


STRIP PLAN
SCALE 1/8"=1'-0"

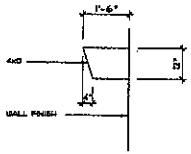
MASONRY PERCENTAGE 'A'					
	NET EXT. WALL AREA	AREA OF GLAZING and DOORS	AREA OF MASONRY	AREA OF SIDING	MASONRY PERCENTAGE ***
FRONT	262	65	53	209	20%
RIGHT	632	36	0	632	0%
LEFT	479	36	0	479	0%
REAR	307	78	0	307	0%
TOTAL	1680	237	53	1627	3%

*NOTE: THIS CHART DOES NOT REFLECT ANY PLAN OPTIONS OFFERED.

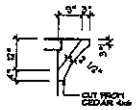
**NOTE: MASONRY PERCENTAGES CALCULATED USING NET WALL AREA WHICH DOES NOT INCLUDE WINDOW AND DOOR AREA.



8" JOB BUILT COLUMN DETAIL
SCALE: N.T.S.



BRACKET DETAIL
SCALE: N.T.S.



BRACKET DETAIL
SCALE: N.T.S.

PLAN 1179 RFA

GRASON COMMUNITIES, LTD.

KIPP+FLORES ARCHITECTS
o (512) 335-6477 fax (512) 335-6622
11770 Jollyville Rd. Suite 100 Austin, Texas 78759

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Date
06-26-09

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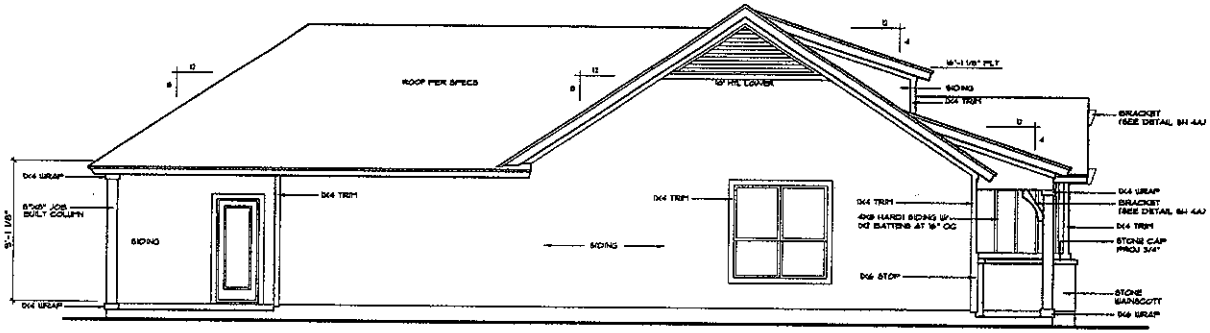
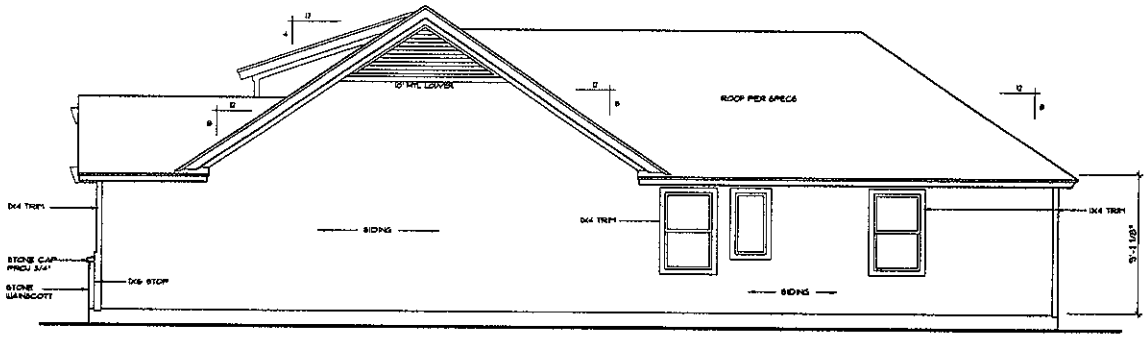


LEFT SIDE ELEVATION
SCALE 1/8"=1'-0"

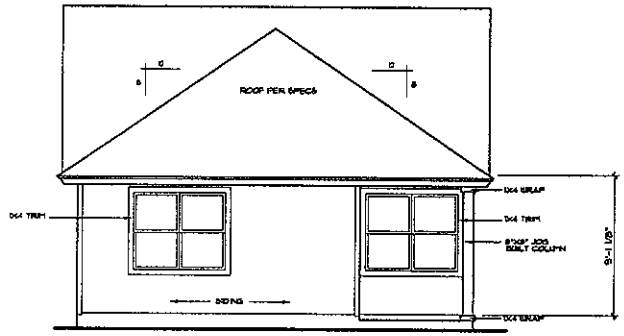


RIGHT SIDE ELEVATION
SCALE 1/8"=1'-0"

NOTE:
PLATE HGT. TO BE 9'-1 1/8" @ 1'-10" WINDOW HEADER HGTS. UNLESS NOTED.

PROVIDE STEEL LINTELS ABOVE ALL OPENINGS W/ MASONRY, AS REQRD.

PROVIDE TEMPERED GLASS WHERE REQ'D BY CODE.



REAR ELEVATION
SCALE 1/8"=1'-0"

PLAN 1179 RFA

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KIPP*FLORES ARCHITECTS
(512) 306-0477 Fax (512) 306-0002
11779 Jollyville Rd. Suite 100 Austin, Texas 78759

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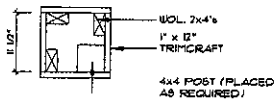
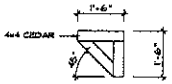
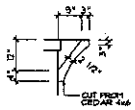
GRAA-0007-1179.DWG 06/26/09



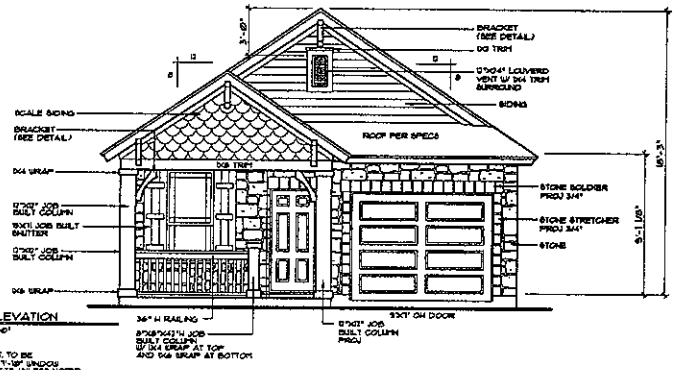
12" JOB BUILT COLUMN DETAIL
SCALE: N.T.S.



BRACKET DETAIL
SCALE: N.T.S.



BRACKET DETAIL
SCALE: N.T.S.

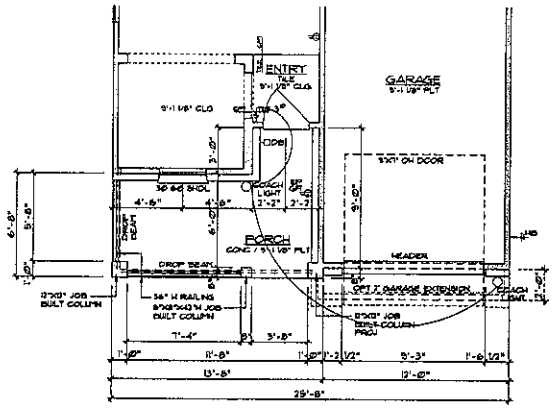


FRONT ELEVATION
SCALE 1/8"=1'-0"

NOTE:
PLATE HGT. TO BE 9'-1 1/8" W/ 7'-10" WINDOW HEADER HGTS UNLESS NOTED.

PROVIDE STEEL LINTELS ABOVE ALL OPENINGS W/ MASONRY, AS REQ'D.

PROVIDE TEMPERED GLASS WHERE REQ'D BY CODE.



STRIP PLAN
SCALE 1/8"=1'-0"

HEADERS SCHEDULE BUILDING WIDTH OF 28' OR LESS (MEASURED PERPENDICULAR TO MAIN RIDGE OF HOUSE)				
FOR EXTERIOR LOAD BEARING WALLS				
	ROOF and CEILING	ROOF, CEILING and ONE CENTER BEARING FLOOR	ROOF, CEILING and ONE CLEAR SPAN FLOOR	ROOF, CEILING and TWO CENTER BEARING FLOORS
2-2x4	3'-3"	2'-4"	2'-4"	2'-0"
2-2x6	4'-6"	3'-0"	3'-5" *	2'-8" *
2-2x8	5'-11" *	3'-10" *	4'-4" *	3'-8" *
2-2x10	7'-3" *	4'-9" *	5'-3" *	4'-7" *
2-2x12	8'-6" *	5'-7" *	6'-1" **	5'-10" **
FOR INTERIOR LOAD BEARING WALLS				
		ONE FLOOR ONLY	TWO FLOORS	
2-2x4		3'-6"	1'-10"	
2-2x6		5'-11"	3'-11" *	
2-2x8		8'-0" *	5'-6" *	
2-2x10		9'-11" *	6'-11" *	
2-2x12		11'-0" *	8'-0" **	
FOR NON-LOADBEARING WALLS A SINGLE 2x4 HEADER MAY BE USED ON OPENINGS NOT EXCEEDING 8' IN WIDTH IF THE VERTICAL NAILING DISTANCE TO THE PARALLEL NAILING SURFACE DOES NOT EXCEED 24".				
* DENOTES 2 JACK STUDS REQUIRED TO SUPPORT EACH END ** DENOTES 3 JACK STUDS REQUIRED TO SUPPORT EACH END				

*2 YR.

10' ARCHITECTS (REC 2008)

SIMPLIFIED PRESCRIPTIVE PACKAGE (2006-2009 IRC)	
SEE 2012 IECC (8,000 AREA 12-42 ZONE)	
GLAZING U-FACTOR:	0.65
CEILING R-VALUE:	R-30
WALL R-VALUE:	R-13
FLOOR R-VALUE:	R-11
CRAWLSPACE WALL:	R-5
SLAB PERIMETER:	R-0
BASEMENT WALL:	R-5

10' ARCHITECTS (REC 2008)

GLAZING PERCENTAGE	
AREA OF GLAZING	192
GROSS AIR CONDITIONED WALL AREA	1484
GLAZING PERCENTAGE	12.94%

*NOTE: THESE CHARTS DO NOT REFLECT ANY PLAN OPTIONS OFFERED

MASONRY PERCENTAGE (%)					
	NET EXT. WALL AREA	AREA OF GLAZING and DOORS	AREA OF MASONRY	AREA OF SIDING	MASONRY PERCENTAGE ***
FRONT	300	103	202	98	67%
RIGHT	461	38	0	461	0%
LEFT	327	36	0	327	0%
REAR	307	78	0	307	0%
TOTAL	1415	255	202	1213	14%

*NOTE: THIS CHART DOES NOT REFLECT ANY PLAN OPTIONS OFFERED.

**NOTE: MASONRY PERCENTAGES CALCULATED USING NET WALL AREA WHICH DOES NOT INCLUDE WINDOW AND DOOR AREA.

PLAN 1179 RFB

GRASON COMMUNITIES, LTD.

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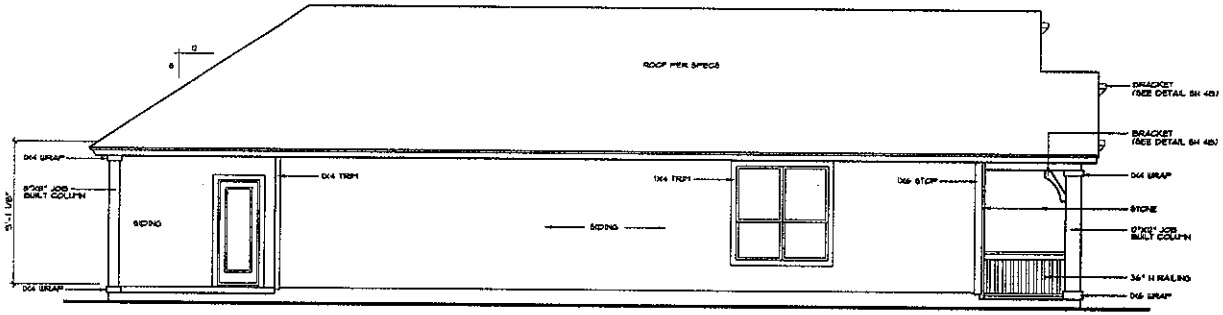
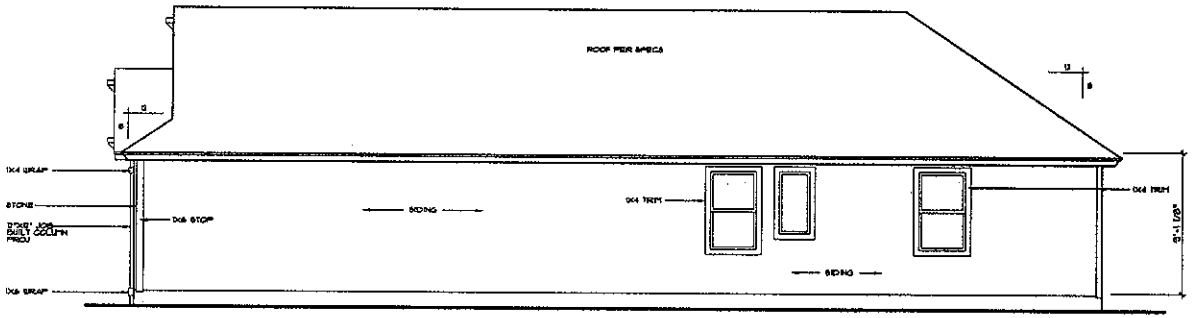
0944-0907-1179.DWG 06/26/09



LEFT SIDE ELEVATION
SCALE 1/8"=1'-0"



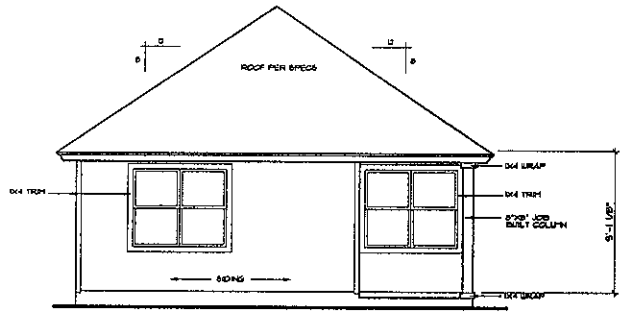
RIGHT SIDE ELEVATION
SCALE 1/8"=1'-0"

NOTE:

PLATE HGT. TO BE 9'-1 1/8" @ 7'-1/8" WINDOW HEADER HGTS. UNLESS NOTED.

PROVIDE STEEL LINTELS ABOVE ALL OPENINGS W/ MASONRY, AS REQ'D.

PROVIDE TEMPERED GLASS WHERE REQ'D BY CODE.



REAR ELEVATION
SCALE 1/8"=1'-0"

PLAN 1179 RFB

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KIPP*FLORES ARCHITECTS
11778 Jollyville Rd. Suite 100 Austin, Texas 78759
(512) 335-0477 fax (512) 335-0650

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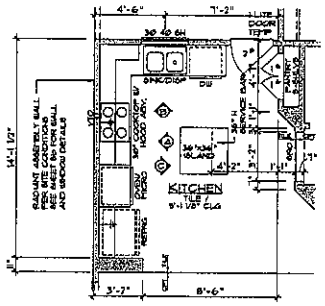
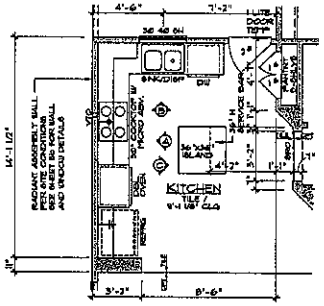
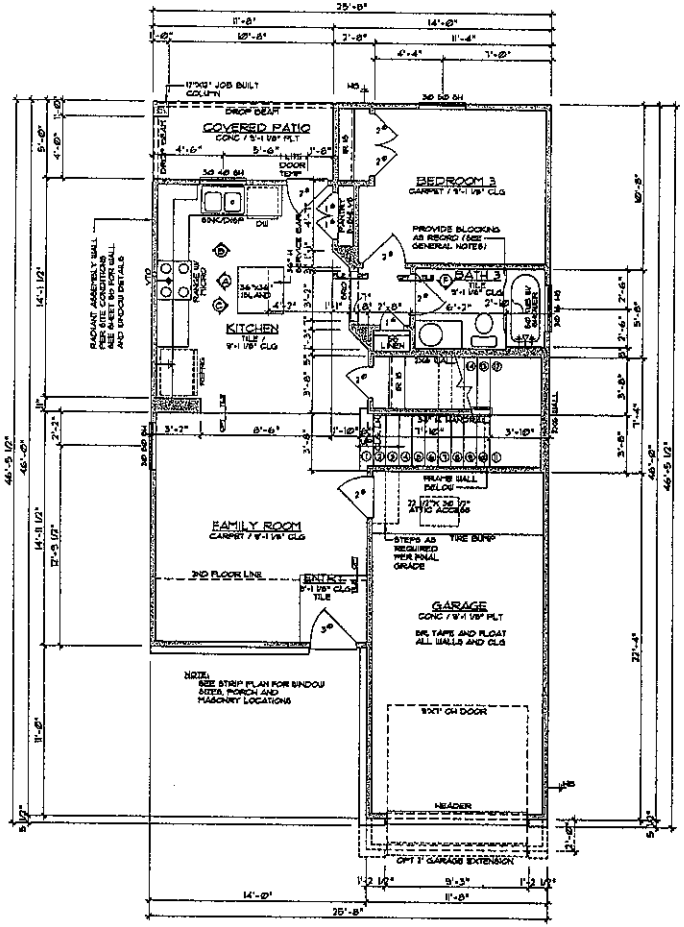
GRAS-0007-103.DWG 06/26/09



OPT. KITCHEN #1
SCALE 1/8"=1'-0"



OPT. KITCHEN #2
SCALE 1/8"=1'-0"



1ST FLOOR PLAN
SCALE 1/8"=1'-0"

PLANS ARE COMPLIANT W/ 2009 IRC

NOTES:

1ST FLOOR PLATE HGTS TO BE 9'-1 1/8" W/ 7'-0" WINDOW HEADER HGTS UNLESS NOTED

2ND FLOOR PLATE HGTS TO BE 8'-1 1/8" W/ 7'-0" WINDOW HEADER HGTS UNLESS NOTED

PROVIDE TEMPERED GLASS WHERE RECORD

PROVIDE FIREBLOCKING IN ALL AREAS AS REQUIRED PER CURRENT IRC CODE

ALL ANGLED WALLS TO BE 45° UNLESS NOTED OTHERWISE

PROVIDE PLYWD PAD IN ATTIC FOR HVAC AND GAS UNITS W/ RECORD ELECT, MECH AND PLUMB

BLOCKING REQUIRED EXTA: LATERAL 2X6 OR LARGER NOMINAL WOOD BLOCKING MUST BE INSTALLED FLUSH WITH STUD EDGES OF BATHROOM WALLS
CENTERLINE OF BLOCKING MUST BE 34 INCHES FROM AND PARALLEL TO THE INTERIOR FLOOR LEVEL

HEADERS SCHEDULE
BUILDING WIDTH OF 32' OR LESS
(MEASURED PERPENDICULAR TO MAIN RIDGE OF HOUSE)

	ROOF and CEILING	ROOF, CEILING and ONE CENTER BEARING FLOOR	ROOF, CEILING and ONE CLEAR SPAN FLOOR	ROOF, CEILING and TWO CENTER BEARING FLOORS
FOR EXTERIOR LOAD BEARING WALLS				
1-2x4	6'-6"	3'-1"	2'-8"	2'-1"
2-2x4	9'-8"	4'-6"	3'-11"	3'-1"
2-2x6	8'-10"	5'-11" *	5'-10" *	4'-11" *
2-2x10	10'-8" *	7'-10" *	6'-10" *	6'-11" *
2-2x12	12'-4" *	9'-1" *	8'-1" *	6'-5" *
FOR INTERIOR LOAD BEARING WALLS				
		ONE FLOOR ONLY	TWO FLOORS	
1-2x4		3'-1"	2'-3"	
2-2x4		4'-6"	3'-2" *	
2-2x6		5'-4"	4'-11" *	
2-2x10		7'-10" *	6'-11" *	
2-2x12		9'-1" *	8'-1" *	

FOR NON-LOADBEARING WALLS A SINGLE 2x4 HEADER MAY BE USED ON OPENINGS NOT EXCEEDING 6' IN WIDTH IF THE VERTICAL NAILING DISTANCE TO THE PARALLEL NAILING SURFACE DOES NOT EXCEED 24".

* DENOTES 2 JACK STUDS REQUIRED TO SUPPORT EACH END
** DENOTES 3 JACK STUDS REQUIRED TO SUPPORT EACH END

12 YR. KIP ARCHITECTS (IRC 2004 R602.3(5) and (3))

FLOOR AREA RATIO SF	
	w/ MASONRY
1 ST FLOOR	718
2 ND FLOOR	(649-53) 596
GARAGE	(267-200) 67
TOTAL	1381

Square Footage Chart
Elevation 'A'

	FRAME	w/ MASONRY
1 ST FLOOR	711	718
2 ND FLOOR	581	581
TOTAL LIVING	1292	1299
GARAGE	267	267
PORCH	55	55
COV. PATIO	56	56
TOTAL	1695	1712
OPT. 2' GARAGE EXT.	425	426

Square Footage Chart
Elevation 'B'

	FRAME	w/ MASONRY
1 ST FLOOR	711	718
2 ND FLOOR	581	581
TOTAL LIVING	1292	1299
GARAGE	267	267
PORCH	55	55
COV. PATIO	56	56
TOTAL	1695	1712
OPT. 2' GARAGE EXT.	425	426

PLAN 1299 BF

CRASON COMMUNITIES, LTD.

KIPP★FLORES ARCHITECTS

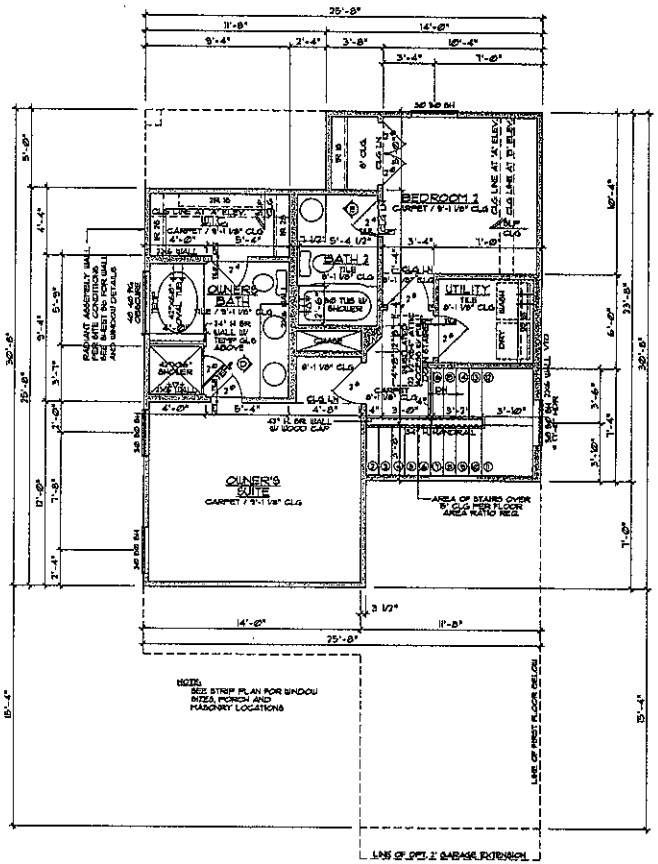
Date 11/30/10

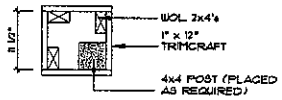
Sheet 1 of 10

HEADER SCHEDULE BUILDING WIDTH OF 30' OR LESS (MEASURED PERPENDICULAR TO MAIN RIDGE OF HOUSE)				
FOR EXTERIOR LOAD BEARING WALLS				
	ROOF and CEILING	ROOF, CEILING and 2ND CENTER BEARING FLOOR	ROOF, CEILING and ONE CLEAR SPAN FLOOR	ROOF, CEILING and TWO CENTER BEARING FLOORS
2-2x4	3'-6"	3'-1"	3'-6"	3'-1"
2-2x6	4'-6"	4'-1"	4'-6"	4'-1"
2-2x8	5'-10"	5'-4" *	5'-10"	5'-4" *
2-2x10	6'-11"	6'-4" *	6'-11"	6'-4" *
2-2x12	8'-1"	7'-4" *	8'-1"	7'-4" *
FOR INTERIOR LOAD BEARING WALLS				
	ONE FLOOR ONLY		TWO FLOORS	
2-2x4	3'-1"		2'-7"	
2-2x6	4'-1"		3'-4" *	
2-2x8	5'-4" *		4'-4" *	
2-2x10	6'-4" *		5'-4" *	
2-2x12	7'-4" *		6'-4" *	
FOR NON-LOADBEARING WALLS A SINGLE 2x4 HEADER MAY BE USED ON OPENINGS NOT EXCEEDING 6' IN WIDTH IF THE VERTICAL NAILING DISTANCE TO THE PARALLEL NAILING SURFACE DOES NOT EXCEED 24'.				
* DENOTES 2 JACK STUDS REQUIRED TO SUPPORT EACH END ** DENOTES 3 JACK STUDS REQUIRED TO SUPPORT EACH END				

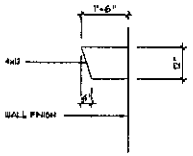
*2 YR.

IC* ARCHITECTS (IRC 2004 R502.5(1) and (2))

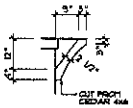

25'-8"
11'-8"
14'-0"
9'-4"
2'-4"
3'-8"
10'-4"
3'-4"
7'-0"
30 SQ SH
BEDROOM 1
CARPET / 9'-1 1/8" CLG
UTIL
CARPET / 9'-1 1/8" CLG
BATH 2
TILE / 9'-1 1/8" CLG
OWNERS BATH
TILE / 9'-1 1/8"
34" H BR WALL W/ TEXT GLG ABOVE
JACUZZI TUB
4'-0" SHOWER
TUB
9'-1 1/8" CLG
CLG LN
UTILITY
TILE
9'-1 1/8" CLG
DRY
WASH
CLG LINE AT 14' ELEV
CLG LINE AT 15' ELEV
PAD
CLG
PAD
CLG
PAD
CLG



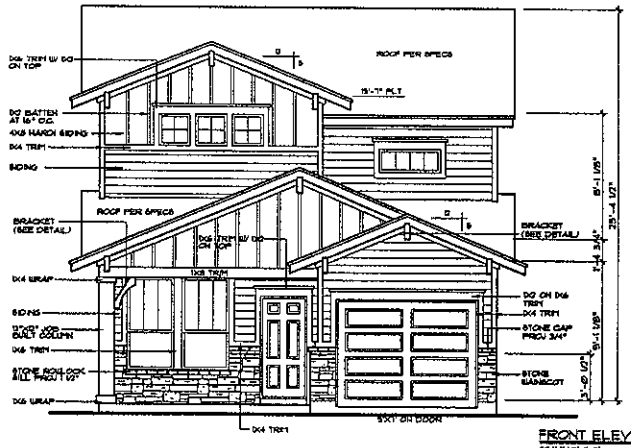
12" JOB BUILT COLUMN DETAIL
SCALE: N.T.S.



BRACKET DETAIL
SCALE: N.T.S.



BRACKET DETAIL
SCALE: N.T.S.



FRONT ELEVATION
SCALE: 1/8"=1'-0"

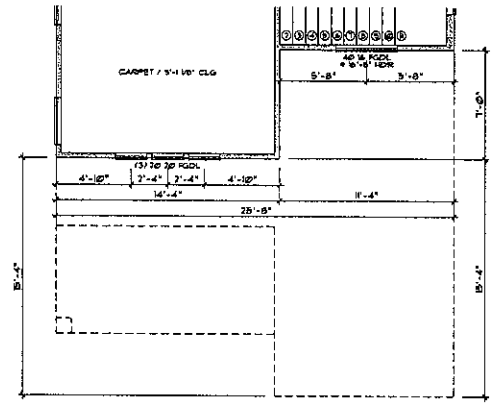
NOTES:
1st FLOOR PLATE HGTS TO BE 9'-1 1/8" W/ 7'-0" WINDOW HEADER HGTS UNLESS NOTED.

2ND LEVEL PLATE HGTS TO BE 8'-1 1/8" W/ 7'-0" WINDOW HEADER HGTS UNLESS NOTED

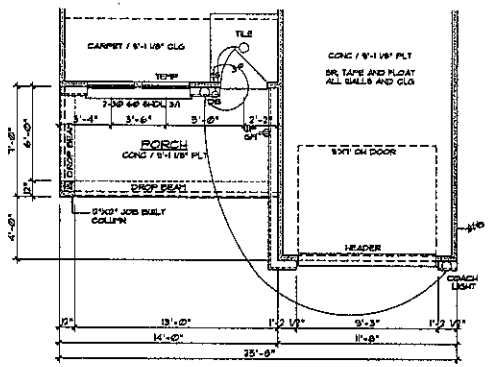
PROVIDE STEEL LINTELS ABOVE ALL OPENINGS W/ MASONRY, AS REQ'D.

PROVIDE TEMPERED GLASS WHERE REQ'D BY CODE.

BUILDER TO VERIFY CURRENT LOCAL CODES AND REQUIREMENTS OF 1 HOUR FIRE RATED OVERHANGS



SECOND LEVEL STRIP PLAN
SCALE: 1/8"=1'-0"



FIRST LEVEL STRIP PLAN
SCALE: 1/8"=1'-0"

HEADERS SCHEDULE BUILDING WIDTH OF 30' OR LESS (MEASURED PERPENDICULAR TO HAIR PIDGE OF HOUSE)				
FOR EXTERIOR LOAD BEARING WALLS				
	ROOF and CEILING	ROOF, CEILING and ONE CENTER BEARING FLOOR	ROOF, CEILING and ONE CLEAR SPAN FLOOR	ROOF, CEILING and TWO CENTER BEARING FLOORS
2-2x4	3'-6"	3'-1"	3'-6"	3'-1"
2-2x6	5'-3"	4'-8"	5'-3"	4'-8"
2-2x8	6'-10"	6'-1" *	6'-10" *	6'-1" *
2-2x10	8'-5" *	7'-5" *	8'-5" *	7'-5" *
2-2x12	9'-8" *	8'-6" *	9'-8" *	8'-6" *
FOR INTERIOR LOAD BEARING WALLS				
	ONE FLOOR ONLY		TWO FLOORS	
2-2x4	3'-1"		3'-1"	
2-2x6	4'-8"		3'-10" *	
2-2x8	5'-8"		4'-8" *	
2-2x10	7'-0" *		4'-11" *	
2-2x12	8'-2" *		5'-4" *	
FOR NON-LOADBEARING WALLS A SINGLE 2x4 HEADER MAY BE USED ON OPENINGS NOT EXCEEDING 6' IN WIDTH IF THE VERTICAL NAILING DISTANCE TO THE PARALLEL NAILING SURFACE DOES NOT EXCEED 24".				
* DENOTES 3 JACK STUDS REQUIRED TO SUPPORT EACH END ** DENOTES 4 JACK STUDS REQUIRED TO SUPPORT EACH END				

*2 YR. KP ARCHITECTS (IRC 2004 R502.5(3) and (3))

SIMPLIFIED PRESCRIPTIVE PACKAGE ZONE 3 AS BUILT	
GLAZING U-FACTOR:	0.65
CEILING R-VALUE:	R-60
WALL R-VALUE:	R-13
FLOOR R- VALUE:	R-13
CRAWLSPACE WALL:	R-0
SLAB PERIMETER:	R-0
BASEMENT WALL:	R-0

KP ARCHITECTS (IRC 2004 R402.2)

MASONRY PERCENTAGE "A"					
	NET EXT. WALL AREA	AREA OF GLAZING and DOORS	AREA OF MASONRY	AREA OF SIDING	MASONRY PERCENTAGE ***
FRONT	416	36	87	331	21%
RIGHT	682	21	0	682	0%
LEFT	683	64	36	645	5%
REAR	421	45	0	421	0%
TOTAL	2204	166	123	2079	5%

*NOTE: THIS CHART DOES NOT REFLECT ANY PLAN OPTIONS OFFERED.

**NOTE: MASONRY PERCENTAGES CALCULATED USING NET WALL AREA WHICH DOES NOT INCLUDE WINDOW AND DOOR AREA.

PLAN 1299 RFA

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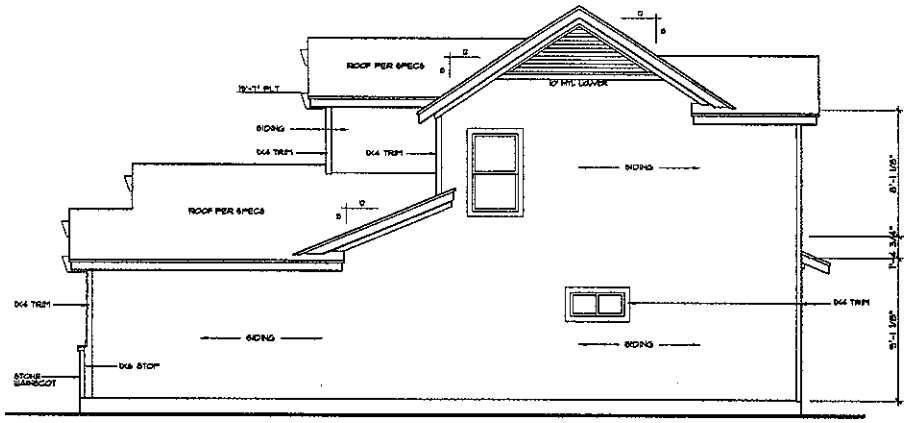
KIPP*FLORES ARCHITECTS
Date 11/30/10
Sheet 6A of 10



RIGHT SIDE ELEVATION
SCALE 1/8"=1'-0"

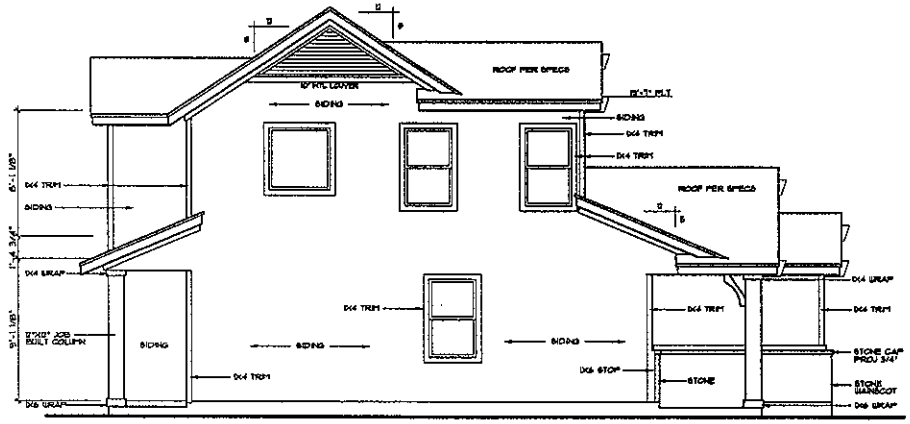
NOTES:
1ST FLOOR PLATE HGTS. TO BE 9'-1 1/8" W/ 7'-10" WINDOW HEADER HGTS. UNLESS NOTED.

2ND LEVEL PLATE HGTS TO BE 8'-1 1/8" W/ 7'-0" WINDOW HEADER HGTS UNLESS NOTED

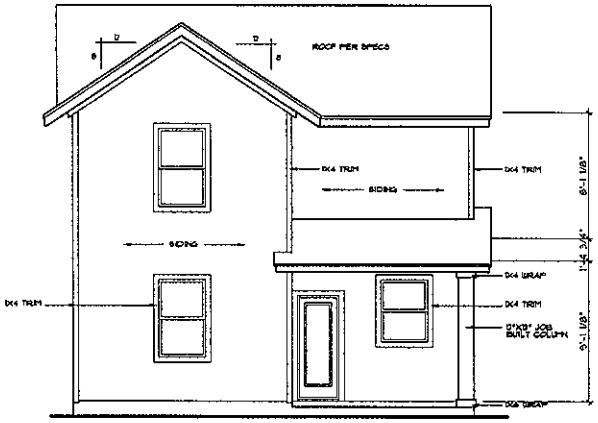
PROVIDE STEEL LINTELS ABOVE ALL OPENINGS W/ MASONRY, AS REQ'D.

PROVIDE TEMPERED GLASS WHERE REQ'D BY CODE.

BUILDER TO VERIFY CURRENT LOCAL CODES AND REQUIREMENTS OF 1 HOUR FIRE RATED OVERHANGS



LEFT SIDE ELEVATION
SCALE 1/8"=1'-0"



REAR ELEVATION
SCALE 1/8"=1'-0"

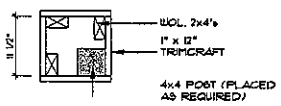
PLAN 1299 RFA

GRASON COMMUNITIES, LTD.

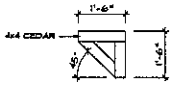
KIPP*FLORES ARCHITECTS

Date 11/30/10

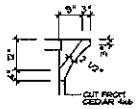
Sheet 7A of 10



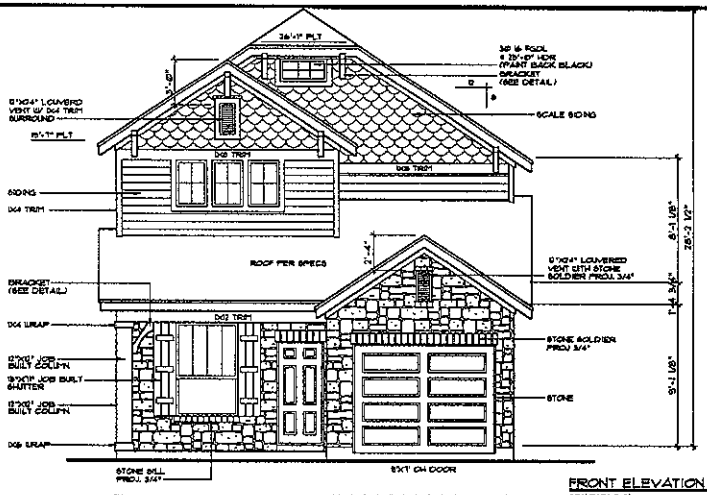
12" JOB BUILT COLUMN DETAIL
SCALE: N.T.S.



BRACKET DETAIL AT GABLES
SCALE: N.T.S.



BRACKET DETAIL AT PORCH
SCALE: N.T.S.



FRONT ELEVATION
SCALE 1/8"=1'-0"

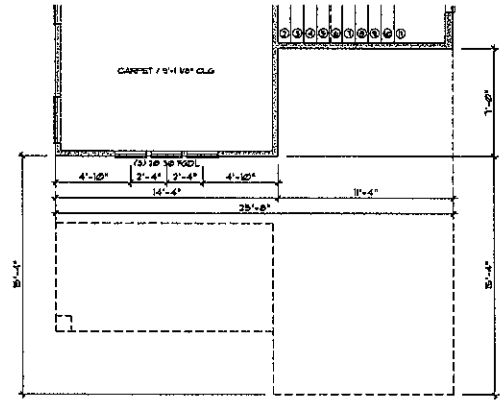
NOTES:
1st FLOOR PLATE HGTS. TO BE 8'-1 1/8" OU 7'-10" WINDOW HEADER HGTS. UNLESS NOTED.

2ND LEVEL PLATE HGTS TO BE 8'-1 1/8" OU 7'-10" WINDOW HEADER HGTS UNLESS NOTED

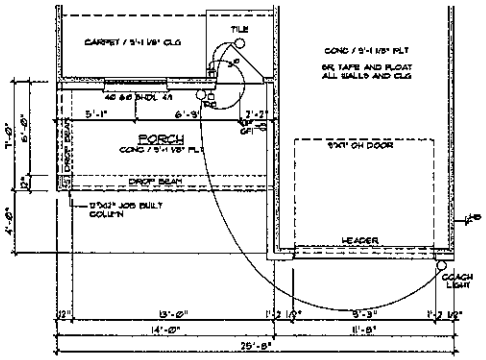
PROVIDE STEEL LINTELS ABOVE ALL OPENINGS IN MASONRY, AS REQRD.

PROVIDE TEMPERED GLASS WHERE REQD BY CODE

BUILDER TO VERIFY CURRENT LOCAL CODES AND REQUIREMENTS OF 1 HOUR FIRE RATED OVERHANGS



SECOND LEVEL STRIP PLAN
SCALE 1/8"=1'-0"



FIRST LEVEL STRIP PLAN
SCALE 1/8"=1'-0"

HEADERS SCHEDULE
BUILDING WIDTH OF 32' OR LESS
(MEASURED PERPENDICULAR TO MAIN RIDGE OF HOUSE)

FOR EXTERIOR LOAD BEARING WALLS				
	ROOF and CEILING	ROOF, CEILING and ONE CENTER BEARING FLOOR	ROOF, CEILING and ONE CLEAR SPAN FLOOR	ROOF, CEILING and TWO CENTER BEARING FLOORS
2-2x4	3'-6"	3'-4"	2'-8"	2'-1"
2-2x6	5'-9"	4'-6"	3'-6"	2'-11" *
2-2x8	6'-10"	5'-4" *	5'-0" *	4'-3" *
2-2x10	8'-3" *	6'-10" *	6'-0" *	5'-3" *
2-2x12	9'-4" *	8'-1" *	7'-1" *	6'-8" *

FOR INTERIOR LOAD BEARING WALLS		
	ONE FLOOR ONLY	TWO FLOORS
2-2x4	3'-1"	2'-2"
2-2x6	4'-6"	3'-3" *
2-2x8	5'-8"	4'-3" *
2-2x10	7'-0" *	4'-11" *
2-2x12	8'-1" *	5'-8" *

FOR NON-LOADBEARING WALLS A SINGLE 2x4 HEADER MAY BE USED ON OPENINGS NOT EXCEEDING 3' IN WIDTH IF THE VERTICAL NAILING DISTANCE TO THE PARALLEL NAILING SURFACE DOES NOT EXCEED 24".

* DENOTES 2 JACK STUDS REQUIRED TO SUPPORT SAND BRD
** DENOTES 3 JACK STUDS REQUIRED TO SUPPORT SAND BRD

#2 YP.

KF ARCHITECTS (IRC 2009 R502.5(1) and (2))

SIMPLIFIED PRESCRIPTIVE PACKAGE
ZONE 2

CLIMATE ZONE	
GLAZING U-FACTOR:	0.65
CEILING R-VALUE:	R-30
WALL R-VALUE	R-13
FLOOR R- VALUE:	R-19
CRAWLSPACE WALL:	R-0
SLAB PERIMETER:	R-0
BASEMENT WALL:	R-0

KF ARCHITECTS (IRC 2009 N1102.1)

MASONRY PERCENTAGE *?

	NET EXT. WALL AREA	AREA OF GLAZING and DOORS	AREA OF MASONRY	AREA OF SIDING	MASONRY PERCENTAGE **
FRONT	597	47	224	173	37%
RIGHT	677	21	0	677	0%
LEFT	653	64	94	565	14%
REAR	492	43	0	492	0%
TOTAL	2423	177	318	1907	14%

*NOTE: THIS CHART DOES NOT REFLECT ANY PLAN OPTIONS OFFERED.

**NOTE: MASONRY PERCENTAGES CALCULATED USING NET WALL AREA WHICH DOES NOT INCLUDE WINDOW AND DOOR AREA.

PLAN 1299 RFB

CRASON COMMUNITIES, LTD.

KIPP*FLORES ARCHITECTS
7th Bullyville Rd., Suite 100 Austin, Texas 78750
Tel (512) 330-0477

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Date
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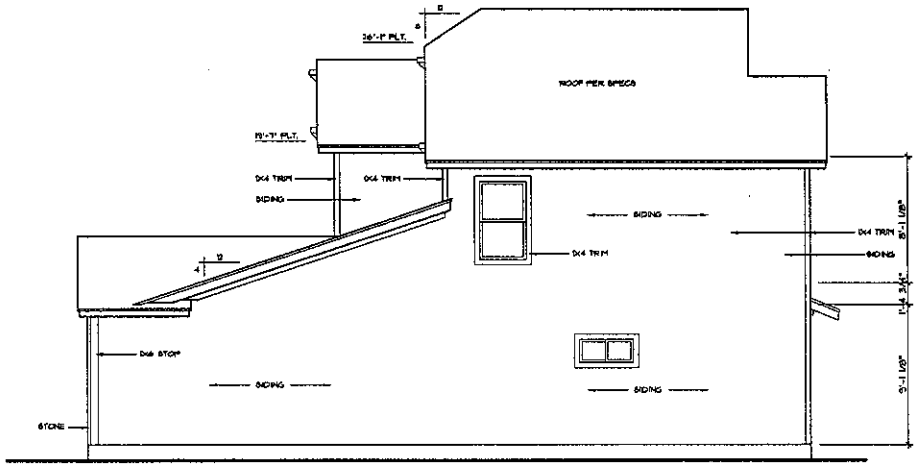


RIGHT SIDE ELEVATION
SCALE 1/8"=1'-0"

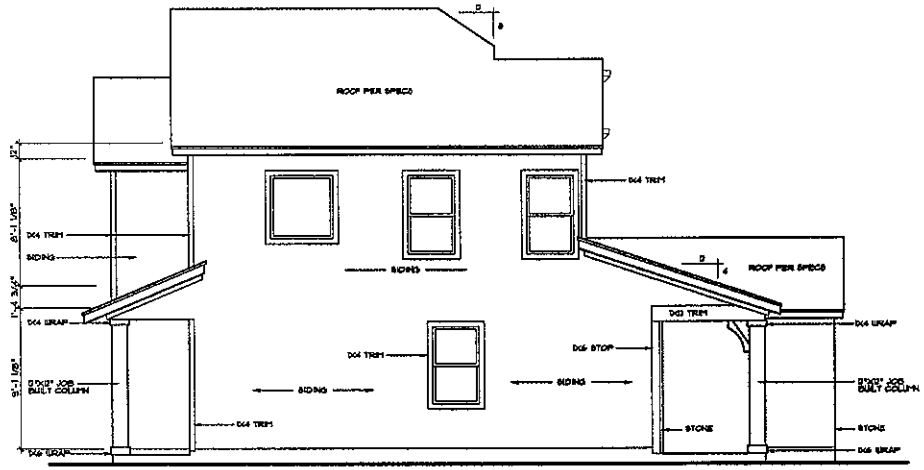
NOTES:
1st FLOOR PLATE HGTS. TO BE 9'-1 1/8" W/ 7'-0" WINDOW HEADER HGTS. UNLESS NOTED.

2ND LEVEL PLATE HGTS TO BE 8'-1 1/8" W/ 7'-0" WINDOW HEADER HGTS UNLESS NOTED

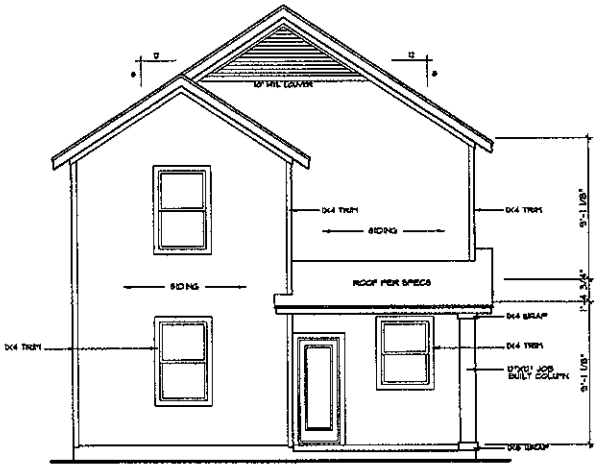
PROVIDE STEEL LINTELS ABOVE ALL OPENINGS W/ MASONRY, AS REQRD.

PROVIDE TEMPERED GLASS WHERE REQ'D BY CODE.

BUILDER TO VERIFY CURRENT LOCAL CODES AND REQUIREMENTS OF 1 HOUR FIRE RATED OVERHANGS



LEFT SIDE ELEVATION
SCALE 1/8"=1'-0"



REAR ELEVATION
SCALE 1/8"=1'-0"

PLAN 1299 RFB

GRASON COMMUNITIES, LTD.

KIPP*FLORES ARCHITECTS
9 (512) 336-5477 fax (512) 336-0352
778 Jollyville Rd. Suite 100 Austin, Texas 78759

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GRAA-0010-103.DWG 12/06/10

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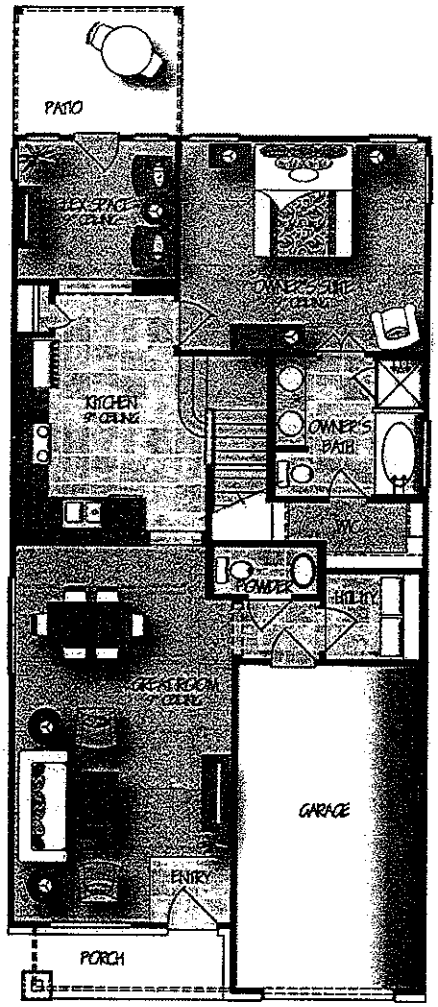
7Bof10

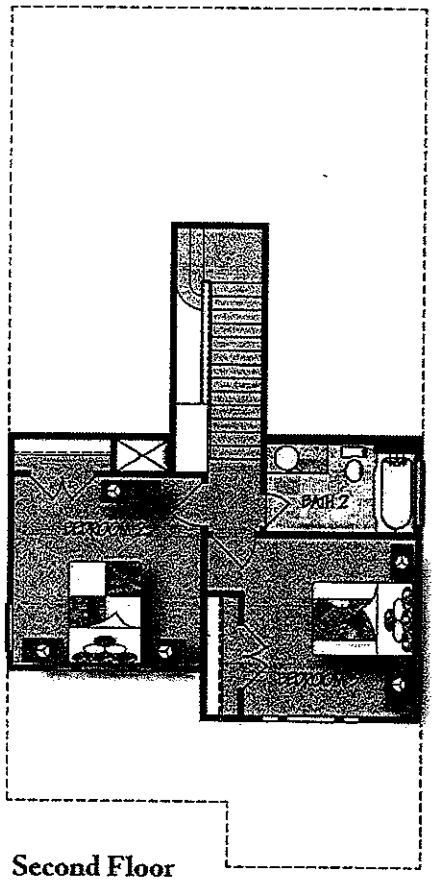
PLAN 1471

Elevation A

Elevation B



First Floor



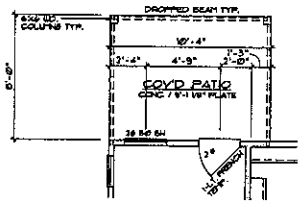
Second Floor

1466 Approximate Living

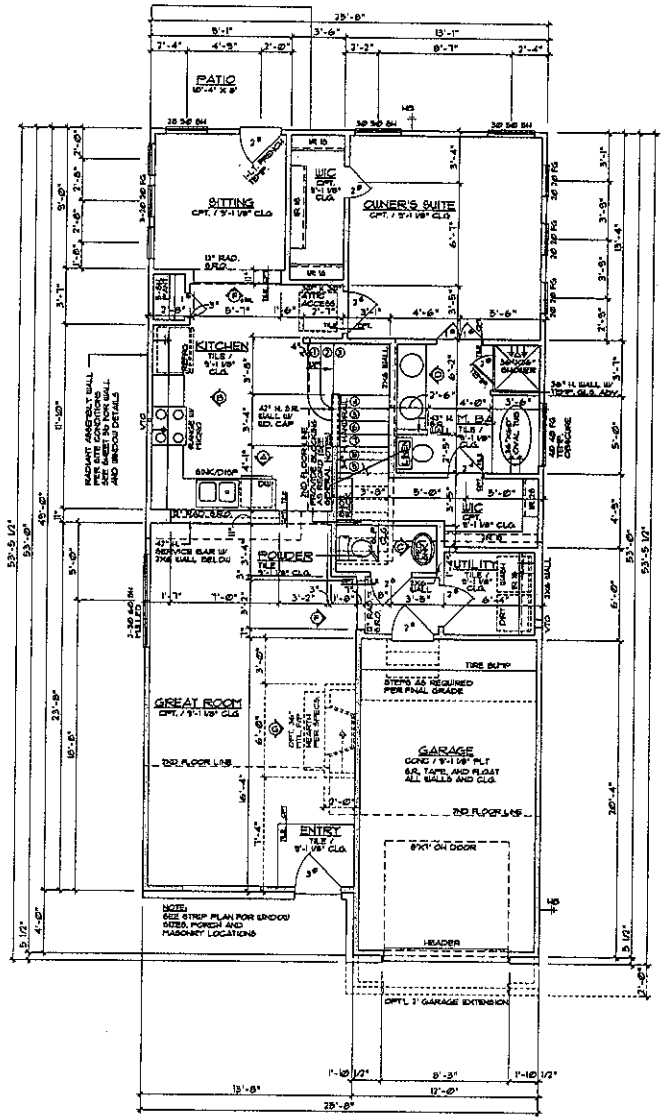
*Prices, floorplans, and features are subject to change anytime without notice. Square footages are approximate and may vary upon elevations and/or options selected. Elevations and floorplans are artist's concepts. Please consult your sales representative for current information. © 2005 Kipp Flores Architects.

TREATY OAK HOMES

www.treatyoakhomes.com



OPTIONAL COVERED PATIO
SCALE 1/8"=1'-0"



FIRST LEVEL FLOOR PLAN
SCALE 1/8"=1'-0"

NOTES:

1ST LEVEL PLATE HGTS TO BE 9'-1 1/8" W/ 7'-10" WINDOW HEADER HGTS UNLESS NOTED

2ND LEVEL PLATE HGTS TO BE 8'-1 1/8" W/ 6'-10" WINDOW HEADER HGTS UNLESS NOTED
OPT. 9'-1 1/8" W/ 7'-10" WINDOW HEADER HGTS UNLESS NOTED

PROVIDE TEMPERED GLASS WHERE REQ'D

PROVIDE FIREBLOCKING IN ALL AREAS AS REQUIRED PER CURRENT IRC CODE

ALL ANGLED WALLS TO BE 45° UNLESS NOTED OTHERWISE

PROVIDE FILTER PAD IN ATTIC FOR HVAC UNITS W/ RECORD ELECT, MECH AND PLUMB

BLOCKING REQUIREMENTS:
LATERAL 2x6 OR LARGER NOMINAL WOOD BLOCKING MUST BE INSTALLED FLUSH WITH STUD EDGES OF BATHROOM WALLS
CENTERLINE OF BLOCKING MUST BE 34 INCHES FROM AND PARALLEL TO THE INTERIOR FLOOR LEVEL

HEADERS SCHEDULE BUILDING WIDTH OF 30' OR LESS (MEASURED PERPENDICULAR TO MAIN RIDGE OF HOUSE)				
FOR EXTERIOR LOAD BEARING WALLS				
	ROOF AND CEILING	ROOF, CEILING AND ONE CENTER BEARING FLOOR	ROOF, CEILING AND ONE CLEAR SPAN FLOOR	ROOF, CEILING AND TWO CENTER BEARING FLOORS
1-2x4	3'-6" *	3'-1" *	2'-8" *	2'-11" *
1-2x6	3'-0" *	4'-6" *	3'-11" *	3'-4" *
1-2x8	3'-10" *	5'-8" *	4'-10" *	4'-1" *
1-2x10	4'-6" *	7'-0" *	6'-0" *	5'-0" *
1-2x12	5'-4" *	8'-11" *	7'-11" *	6'-10" *
FOR INTERIOR LOAD BEARING WALLS				
	ONE FLOOR ONLY		TWO FLOORS	
1-2x4	3'-1"		2'-3"	
1-2x6	4'-6"		3'-10" *	
1-2x8	5'-8"		4'-11" *	
1-2x10	7'-0" *		6'-10" *	
1-2x12	8'-11" *		8'-4" *	
FOR NON-LOADBEARING WALLS A SINGLE 2x4 HEADER MAY BE USED ON OPENINGS NOT EXCEEDING 8' IN WIDTH IF THE VERTICAL NAILING DISTANCE TO THE PARALLEL NAILING SURFACE DOES NOT EXCEED 24"				
* DENOTES 2 JACK STUDS REQUIRED TO SUPPORT EACH END ** DENOTES 3 JACK STUDS REQUIRED TO SUPPORT EACH END				

*2 TP. KP ARCHITECTS (REV. 2006)

Square Footage Chart Elevation 'A'		
	FRAME	w/ MASONRY
1 ST FLOOR	1067	1072
2 ND FLOOR	399	399
TOTAL LIVING	1466	1471
GARAGE	239	246
PORCH	57	57
TOTAL	1762	1774
OPT. COV'D. PATIO	83	83
OPT. 2' GARAGE EXT.	24	25

Square Footage Chart Elevation 'B'		
	FRAME	w/ MASONRY
1 ST FLOOR	1067	1072
2 ND FLOOR	399	399
TOTAL LIVING	1466	1471
GARAGE	239	246
PORCH	61	61
TOTAL	1766	1778
OPT. COV'D. PATIO	83	83
OPT. 2' GARAGE EXT.	24	25

REVISED: 5/8/09 - TILE FLOORING BETWEEN GARAGE AND PORCH (GAY)
REVISED: 5/8/09 - HDC DESIGN REVIEWS TO 2 EXTERIOR 4 BLDG REQ ATTRIB. (KRU)
REVISED: 4/29/09 - 1ST BUILDER CHECK SET. (GAY)
REVISED: 4/29/09 - 1ST BUILDER CHECK SET. (GAY)

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KIPP*FLORES ARCHITECTS
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P (512) 336-6477 Fax (512) 336-0402

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Date
5/13/09

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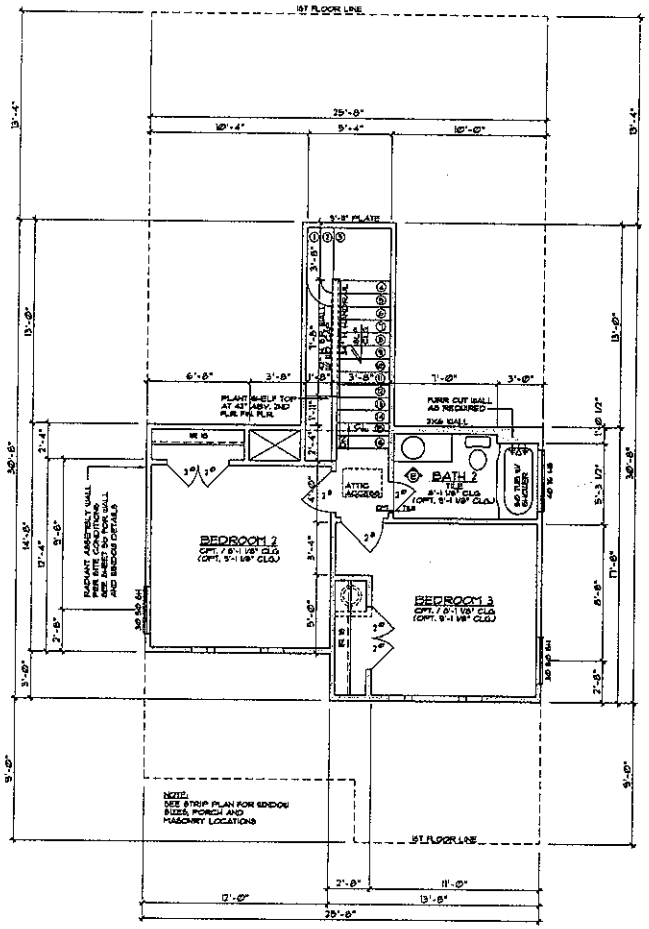
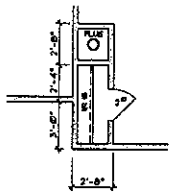
PLAN 1471 EF

NEW PLAN FROM DESIGN SKETCH 1494 (PLAN



HEADERS SCHEDULE BUILDING WIDTH OF 30' OR LESS (MEASURED PERPENDICULAR TO MAIN RIDGE OF HOUSE)				
FOR EXTERIOR LOAD BEARING WALLS				
	ROOF and CEILING	ROOF, CEILING and ONE CENTER BEARING FLOOR	ROOF, CEILING and ONE CLEAR SPAN FLOOR	ROOF, CEILING and TWO CENTER BEARING FLOORS
2-2x4	3'-6"	3'-1"	2'-6"	2'-11"
2-2x6	5'-0"	4'-6"	3'-11"	3'-11" *
2-2x8	6'-10" *	5'-11" *	5'-0" *	5'-11" *
2-2x10	8'-2" *	7'-0" *	6'-11" *	6'-11" *
2-2x12	9'-4" *	8'-11" *	7'-11" *	6'-11" *
FOR INTERIOR LOAD BEARING WALLS				
	ONE FLOOR ONLY		TWO FLOORS	
2-2x4	3'-11"		2'-10"	
2-2x6	4'-6"		3'-11" *	
2-2x8	5'-11" *		4'-11" *	
2-2x10	7'-0" *		6'-11" *	
2-2x12	8'-11" *		8'-11" *	
FOR NON-LOADBEARING WALLS A SINGLE 2x4 HEADER MAY BE USED ON OPENINGS NOT EXCEEDING 8' IN WIDTH IF THE VERTICAL NAILING DISTANCE TO THE PARALLEL NAILING SURFACE DOES NOT EXCEED 24".				
* DENOTES 2 JACK STUDS REQUIRED TO SUPPORT EACH END ** DENOTES 3 JACK STUDS REQUIRED TO SUPPORT EACH END				

KF ARCHITECTS (IRC 2006)



BEDROOM 3 CLOSET
W/ OPT. FIREPLACE
SCALE 1/8"=1'-0"

SECOND LEVEL FLOOR PLAN

SCALE 1/8"=1'-0"

NOTES:

1st FLOOR PLATE HGTS TO BE 9'-1 1/8" W/ 7'-10" WINDOW HEADER HGTS UNLESS NOTED

2nd FLOOR PLATE HGTS TO BE 8'-1 1/8" W/ 6'-10" WINDOW HEADER HGTS UNLESS NOTED OPT. 9'-1 1/8" W/ 7'-10" WINDOW HEADER HGTS UNLESS NOTED

PROVIDE TEMPERED GLASS WHERE REQRD

PROVIDE FIREBLOCKING IN ALL AREAS AS REQUIRED PER CURRENT IRC CODE

ALL ANGLED WALLS TO BE 45° UNLESS NOTED OTHERWISE

PROVIDE PLYWOOD PAD IN ATTIC FOR HVAC UNIT(S) W/ REQRD ELECT, FRIGN AND PLUMB

PLAN 1471 RF

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Date
6/13/08

Sheet
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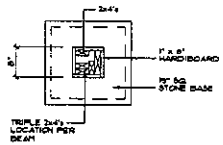
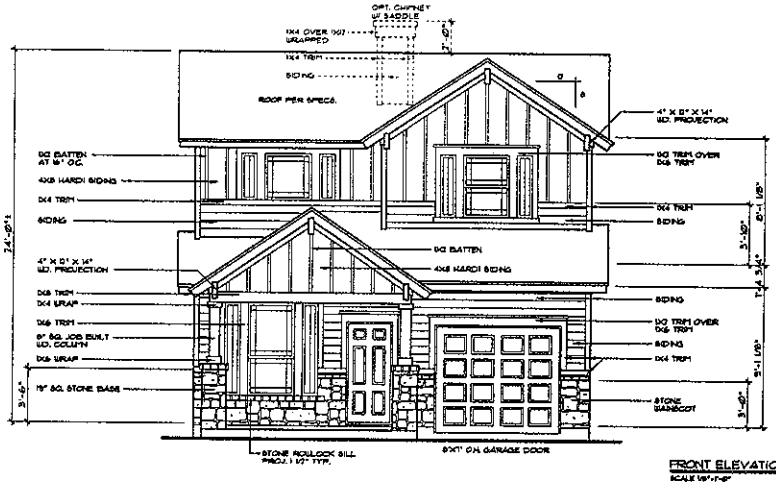


8" JOB-BUILT COLUMN
SCALE 3/8"=1'-0"



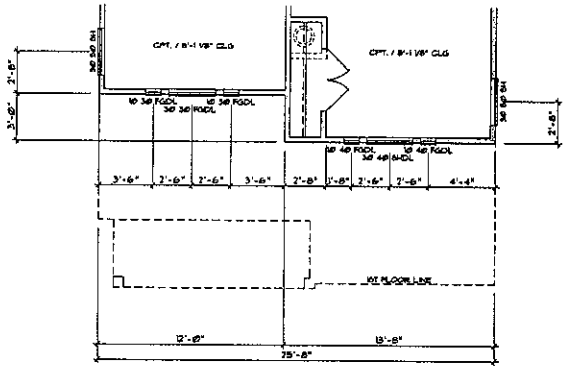
FRONT ELEVATION
SCALE 1/8"=1'-0"

NOTES:
1st FLOOR PLATE HGTS. TO BE 9'-1 1/8" W/ 7'-1/8" WINDOW HEADER HGTS. UNLESS NOTED.

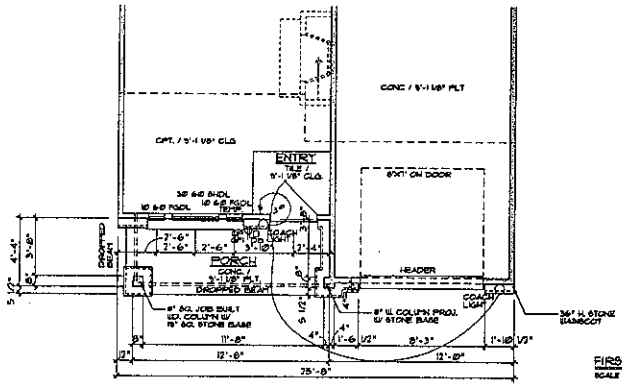
2ND LEVEL PLATE HGTS TO BE 8'-1 1/8" W/ 6'-1/8" WINDOW HEADER HGTS UNLESS NOTED
CPT. 9'-1 1/8" W/ 7'-1/8" WINDOW HEADER HGTS UNLESS NOTED

PROVIDE STEEL LINTELS ABOVE ALL OPENINGS W/ MASONRY, AS REQ'D.

PROVIDE TEMPERED GLASS WHERE REQ'D BY CODE.



SECOND LEVEL STRIP PLAN
SCALE 1/8"=1'-0"



FIRST LEVEL STRIP PLAN
SCALE 1/8"=1'-0"

HEADERS SCHEDULE
BUILDING WIDTH OF 30' OR LESS
(MEASURED PERPENDICULAR TO MAIN RIDGE OF HOUSE)

FOR EXTERIOR LOAD BEARING WALLS				
	ROOF ONLY	ROOF, CEILING ONLY ONE CENTER BEARING FLOOR	ROOF, CEILING ONLY ONE CLEAR SPAN FLOOR	ROOF, CEILING ONLY TWO CENTER BEARING FLOORS
2-2x4	3'-6"	3'-1"	2'-8"	2'-7"
2-2x6	5'-3"	4'-8"	4'-1"	3'-11" *
2-2x8	6'-10"	6'-0" *	5'-10" *	5'-4" *
2-2x10	8'-10" *	7'-10" *	6'-11" *	6'-4" *
2-2x12	8'-4" *	8'-10" *	7'-11" *	6'-8" *
FOR INTERIOR LOAD BEARING WALLS				
	ONE FLOOR ONLY		TWO FLOORS	
2-2x4	3'-1"		3'-2"	
2-2x6	4'-8"		3'-10" *	
2-2x8	5'-10"		4'-11" *	
2-2x10	7'-10" *		6'-11" *	
2-2x12	8'-11" *		8'-11" *	

FOR NON-LOADBEARING WALLS A SINGLE 2x4 HEADER MAY BE USED ON OPENINGS NOT EXCEEDING 5' IN WIDTH IF THE VERTICAL NAILING DISTANCE TO THE PARALLEL NAILING SURFACE DOES NOT EXCEED 24".

* DENOTES 2 JACK STUDS REQUIRED TO SUPPORT EACH END
** DENOTES 3 JACK STUDS REQUIRED TO SUPPORT EACH END

#2 VP.

KP ARCHITECTS (IRC 2006)

SIMPLIFIED PRESCRIPTIVE PACKAGE
(IECC-2006 MIN)

GLAZING U-FACTOR:	0.65
CEILING R-VALUE:	R-30
WALL R-VALUE:	R-13
FLOOR R-VALUE:	R-19
CRAWLSPACE WALL:	R-13
SLAB PERIMETER:	R-0
BASEMENT WALL:	R-13

KP ARCHITECTS (IECC 2006)

MASONRY PERCENTAGE "A"

		NET EXT. WALL AREA	AREA OF GLAZING and DOORS	AREA OF MASONRY	AREA OF SIDING	MASONRY PERCENTAGE ***
FRONT	1st FLOOR	227	100	95	132	42%
	2nd FLOOR	127	35	0	127	0%
	TOTAL	354	141	95	259	27%
RIGHT	1st FLOOR	437	31	0	437	0%
	2nd FLOOR	235	21	0	235	0%
	TOTAL	672	52	0	672	0%
LEFT	1st FLOOR	423	50	17	406	4%
	2nd FLOOR	232	15	0	232	0%
	TOTAL	655	65	17	638	3%
REAR	1st FLOOR	24	70	0	124	0%
	2nd FLOOR	0	0	0	0	0%
	TOTAL	124	70	0	124	0%
SUB-TOTAL	1st FLOOR	1211	257	112	1099	9%
	2nd FLOOR	594	71	0	594	0%
TOTAL *		1805	328	112	1693	6%

GLAZING PERCENTAGE

AREA OF GLAZING	2559
GROSS AIR CONDITIONED WALL AREA	21910
GLAZING PERCENTAGE	11.82%

*NOTE: THESE CHARTS DO NOT REFLECT ANY PLAN OPTIONS OFFERED

PLAN 1471 RFA

GRASON COMMUNITIES, LTD.

Are conditions, or construction methods and details, in accordance with applicable codes? Are dimensions and specifications and the text correct? Are drawings and specifications free of errors and omissions? Should any errors or omissions be found, please notify KIPP FLORES ARCHITECTS immediately so that the problem may be resolved and the drawings and specifications corrected.

KIPP*FLORES ARCHITECTS
p (512) 330-9477 fax (512) 330-9502
11770 Bee Cave Rd. Suite 100 Austin, Texas 78738

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Date 5/13/09

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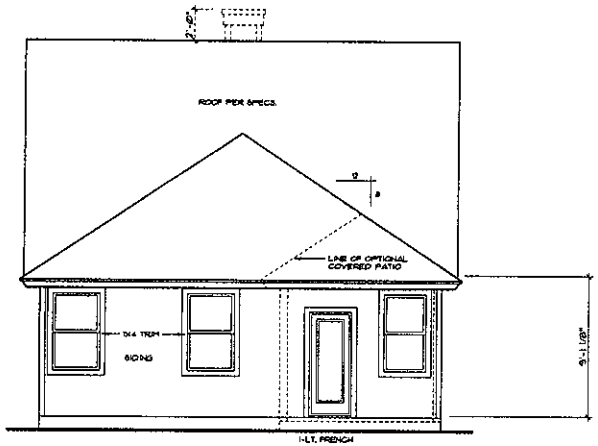
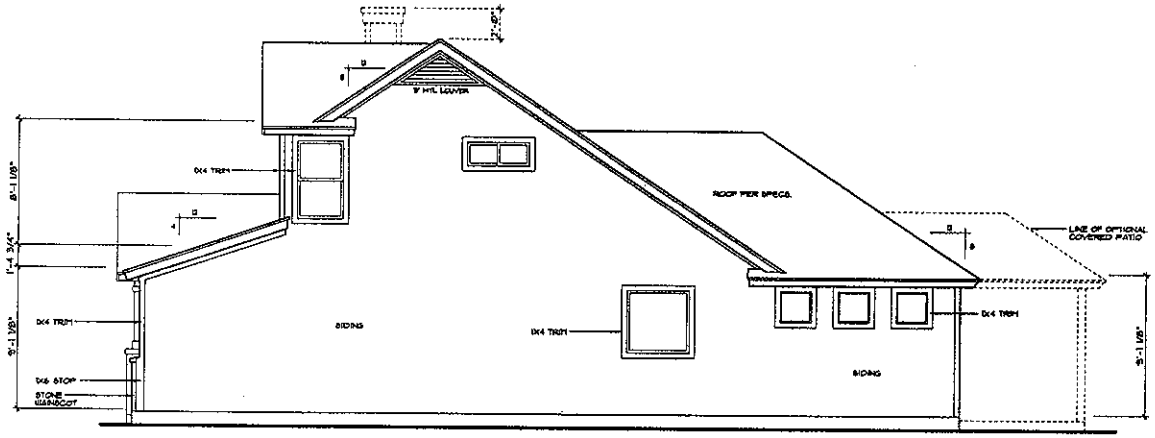
GRAA-0002-143.DWG 5/13/09



REAR ELEVATION
SCALE 1/8"=1'-0"



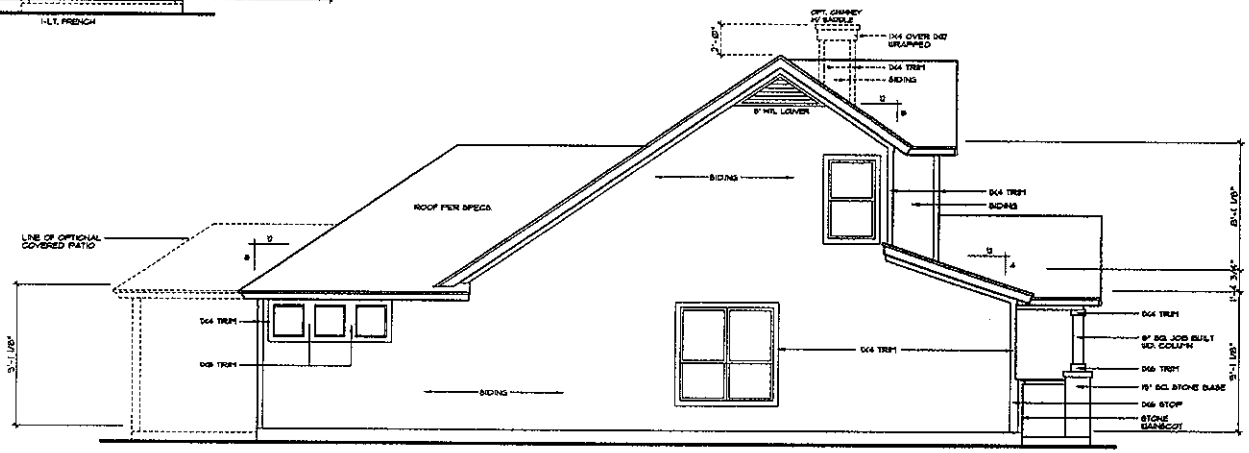
RIGHT ELEVATION
SCALE 1/8"=1'-0"

NOTES:
1st FLOOR PLATE HGTS. TO BE 8'-1 1/8" W/ 7'-10" WINDOW HEADER HGTS. UNLESS NOTED.

2ND LEVEL PLATE HGTS. TO BE 8'-1 1/8" W/ 6'-10" WINDOW HEADER HGTS. UNLESS NOTED
OPT. 9'-1 1/8" W/ 7'-10" WINDOW HEADER HGTS. UNLESS NOTED

PROVIDE STEEL LINTELS ABOVE ALL OPENINGS W/ MASONRY, AS REQ'RD.

PROVIDE TEMPERED GLASS WHERE REQ'D BY CODE.



LEFT ELEVATION
SCALE 1/8"=1'-0"

PLAN 1471 RFA

GRASON COMMUNITIES, LTD.

KIPP+FLORES ARCHITECTS
• (512) 255-4477 fax (512) 255-0402
11770 Jollyville Rd. Suite 100 Austin, Texas 78759

GRAA-0002-103.Dwg 5/13/09

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Date
5/13/09

Sheet
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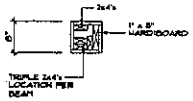
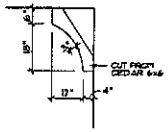
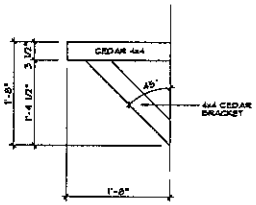


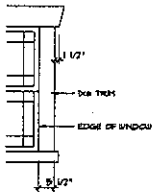
8" JOB-BUILT COLUMN
SCALE: 3/8"=1'-0"



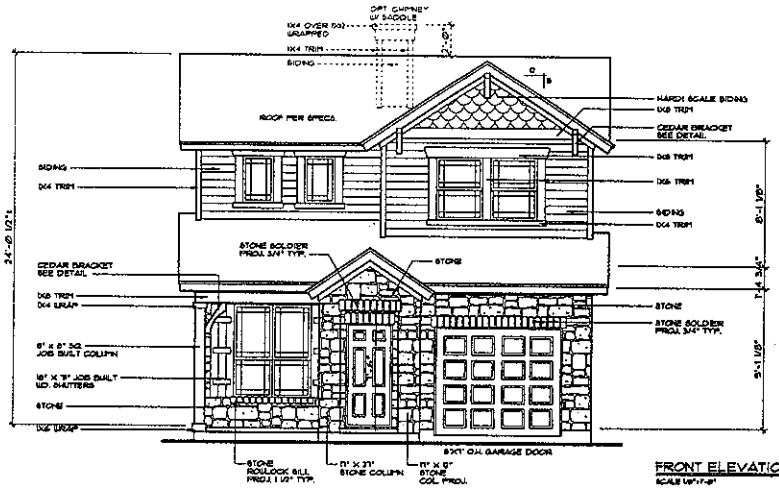
CEDAR PORCH BRACKET DETAIL
SCALE: N.T.A.



CEDAR BRACKET DETAIL
SCALE: 1/2" = 1'-0"



WINDOW TRIM DETAIL
SCALE: 1/4" = 1'-0"



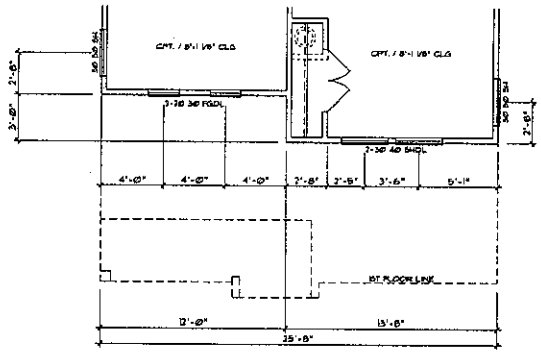
FRONT ELEVATION
SCALE: 1/8"=1'-0"

NOTE:
1st FLOOR PLATE HGTS. TO BE 9'-1 1/8" W/ 7'-10" WINDOW HEADER HGTS. UNLESS NOTED.

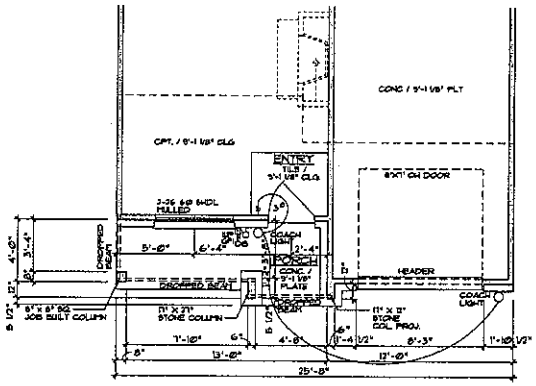
2ND LEVEL PLATE HGTS TO BE 8'-1 1/8" W/ 6'-10" WINDOW HEADER HGTS UNLESS NOTED
CPT. 9'-1 1/8" W/ 7'-10" WINDOW HEADER HGTS UNLESS NOTED

PROVIDE STEEL LINTELS ABOVE ALL OPENINGS W/ MASONRY, AS REQ'D.

PROVIDE TEMPERED GLASS WHERE REQ'D BY CODE.



SECOND LEVEL STRIP PLAN
SCALE: 1/8"=1'-0"



FIRST LEVEL STRIP PLAN
SCALE: 1/8"=1'-0"

HEADERS SCHEDULE BUILDING WIDTH OF 30' OR LESS (MEASURED PERPENDICULAR TO MAIN RIDGE OF HOUSE)				
FOR EXTERIOR LOAD BEARING WALLS				
	ROOF ONLY CEILING	ROOF, CEILING and ONE CENTER BEARING FLOOR	ROOF, CEILING and ONE CLEAR SPAN FLOOR	ROOF, CEILING and TWO CENTER BEARING FLOORS
2-2x4	3'-6"	3'-1"	2'-6"	2'-7"
2-2x6	5'-3"	4'-6"	3'-11"	3'-11" *
2-2x8	6'-10"	5'-8" *	5'-0" *	5'-0" *
2-2x10	8'-3" *	7'-10" *	6'-11" *	6'-11" *
2-2x12	9'-4" *	8'-11" *	8'-1" *	8'-1" *
FOR INTERIOR LOAD BEARING WALLS				
	ONE FLOOR ONLY	TWO FLOORS		
2-2x4	3'-1"	2'-2"		
2-2x6	4'-8"	3'-3" *		
2-2x8	5'-11"	4'-11" *		
2-2x10	7'-0" *	6'-11" *		
2-2x12	8'-1" *	8'-1" *		
FOR NON-LOADBEARING WALLS A SINGLE 2x4 HEADER MAY BE USED ON OPENINGS NOT EXCEEDING 8' IN WIDTH IF THE VERTICAL NAILING DISTANCE TO THE PARALLEL NAILING SURFACE DOES NOT EXCEED 24"				
* DENOTES 3 JACK STUDS REQUIRED TO SUPPORT EACH END ** DENOTES 2 JACK STUDS REQUIRED TO SUPPORT EACH END				

*2 TP

IC ARCHITECTS (IRC 2006)

SIMPLIFIED PRESCRIPTIVE PACKAGE (DOOR-SAFE HAS)	
SEE REVERSE SIDE FOR ADDITIONAL INFO	
GLAZING U-FACTOR:	0.55
CEILING R-VALUE:	R-30
WALL R-VALUE	R-13
FLOOR R- VALUE:	R-11
CRAWLSPACE WALL:	R-19
SLAB PERIMETER:	R-0
BASEMENT WALL:	R-5

IC ARCHITECTS (IECC 2003)

MASONRY PERCENTAGE "B"						
		NET EXT. WALL AREA	AREA OF GLAZING (no DOORS)	AREA OF MASONRY	AREA OF SIDING	MASONRY PERCENTAGE ***
FRONT	1st FLOOR	204	52	176	28	86%
	2nd FLOOR	126	36	0	126	0%
	TOTAL	330	88	176	154	53%
RIGHT	1st FLOOR	449	11	10	439	2%
	2nd FLOOR	235	21	0	235	0%
	TOTAL	684	32	10	674	1%
LEFT	1st FLOOR	436	90	43	393	10%
	2nd FLOOR	238	15	0	238	0%
	TOTAL	674	65	43	631	6%
REAR	1st FLOOR	24	70	0	124	0%
	2nd FLOOR	0	0	0	0	0%
	TOTAL	24	70	0	124	0%
SUB-TOTAL	1st FLOOR	2,313	203	229	984	19%
	2nd FLOOR	599	72	0	599	0%
TOTAL*		1,912	275	229	1583	15%

GLAZING PERCENTAGE	
AREA OF GLAZING	764
GROSS AIR CONDITIONED WALL AREA	2,914
GLAZING PERCENTAGE	11.81%

*NOTE: THESE CHARTS DO NOT REFLECT ANY PLAN OPTIONS OFFERED

PLAN 1471 RFB

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Do to conditions outside not clearly in construction outside, all dimensions and conditions are approximate and may not fit the site. Builder accepts full responsibility for ordering plans to insure conformity with local codes. Should any changes be made to the plans by Builder or by persons other than KIPP FLORES ARCHITECTS, KIPP FLORES ARCHITECTS will bill by the hour for any revisions.

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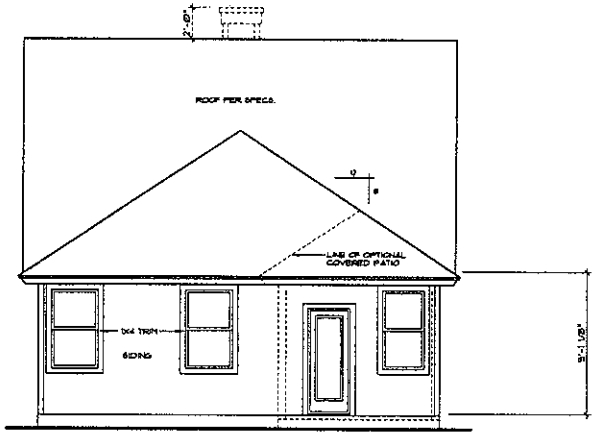
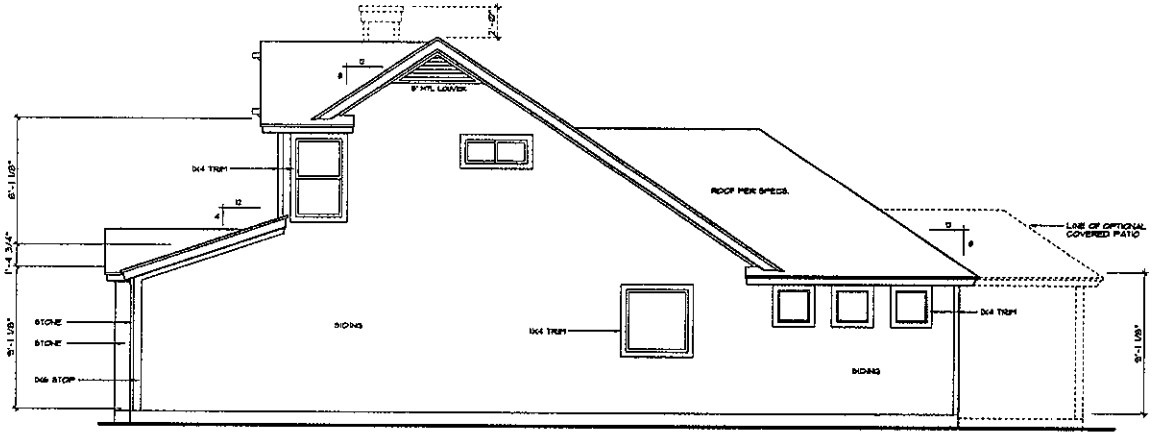
GRAA-0003-1R2.DWG 5/13/09

Date 5/13/09

Sheet 6B of 10



REAR ELEVATION
SCALE 1/8"=1'-0"



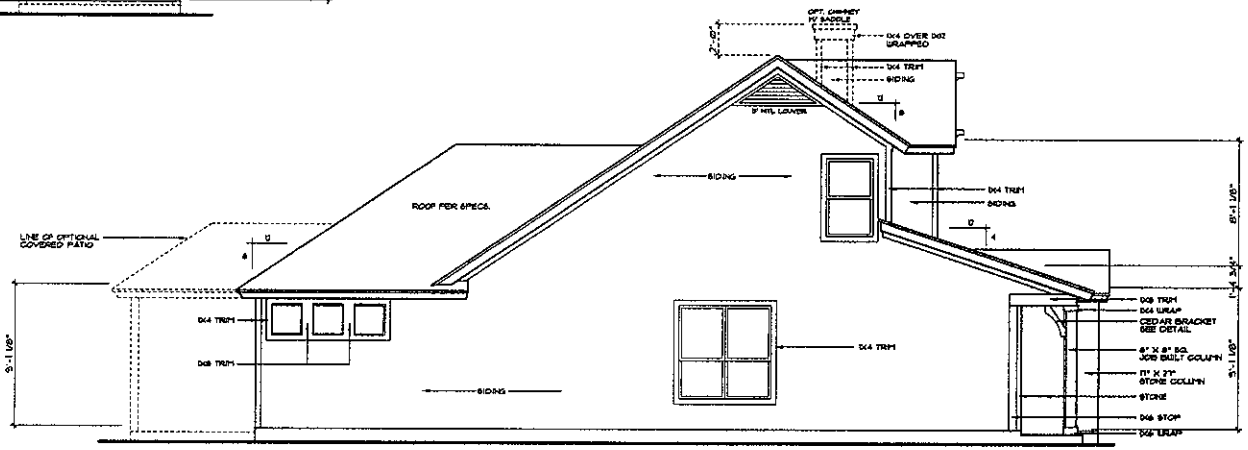
RIGHT ELEVATION
SCALE 1/8"=1'-0"

NOTES:
1st FLOOR PLATE HGTS. TO BE 9'-1 1/8" W/ 7'-10" WINDOW HEADER HGTS. UNLESS NOTED.

2ND LEVEL PLATE HGTS TO BE 8'-1 1/8" W/ 6'-10" WINDOW HEADER HGTS UNLESS NOTED OPT. 9'-1 1/8" W/ 7'-10" WINDOW HEADER HGTS UNLESS NOTED

PROVIDE STEEL LINTELS ABOVE ALL OPENINGS W/ MASONRY, AS REQ'RD.

PROVIDE TEMPERED GLASS UNLESS REQ'D BY CODE.



LEFT ELEVATION
SCALE 1/8"=1'-0"

PLAN 1471 RFB

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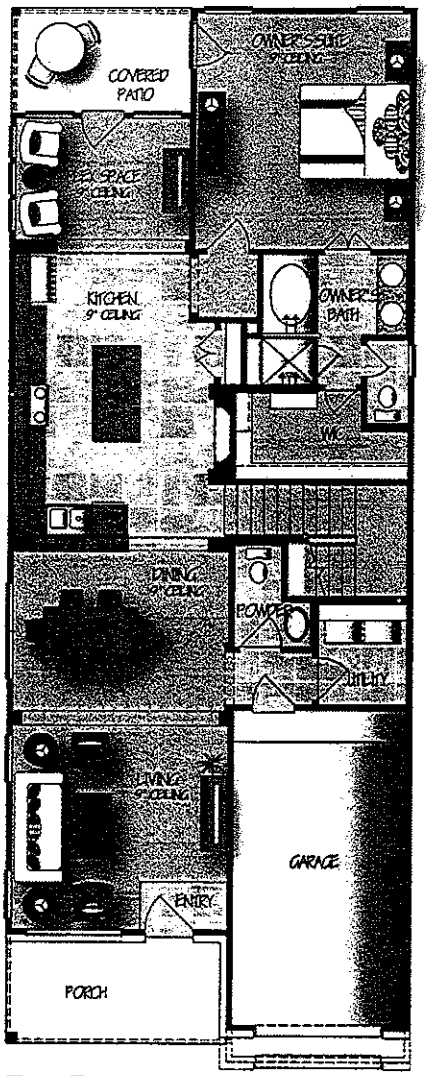
GRA-0002-103.DWG 5/13/09

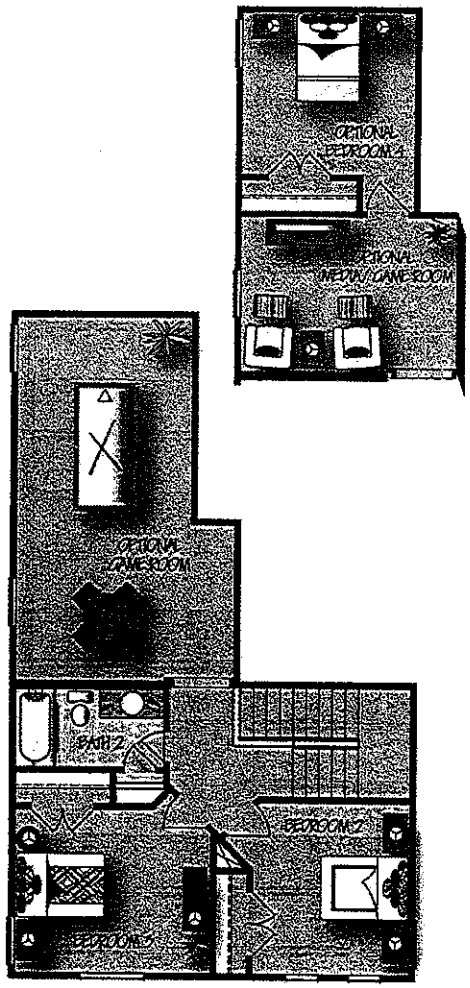
PLAN 1706

Elevation A

Elevation B



First Floor



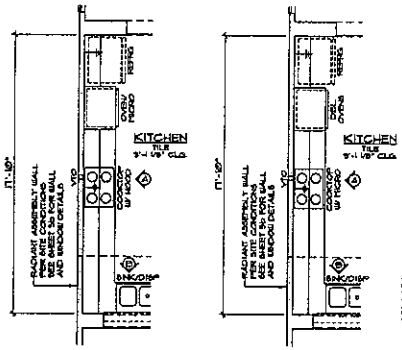
Second Floor

1700 Approximate Living

*Prices, floorplans, and features are subject to change anytime without notice. Square footages are approximate and may vary upon elevations and/or options selected. Elevations and floorplans are artist's concepts. Please consult your sales representative for current information. © 2005 Kipp Flores Architects.

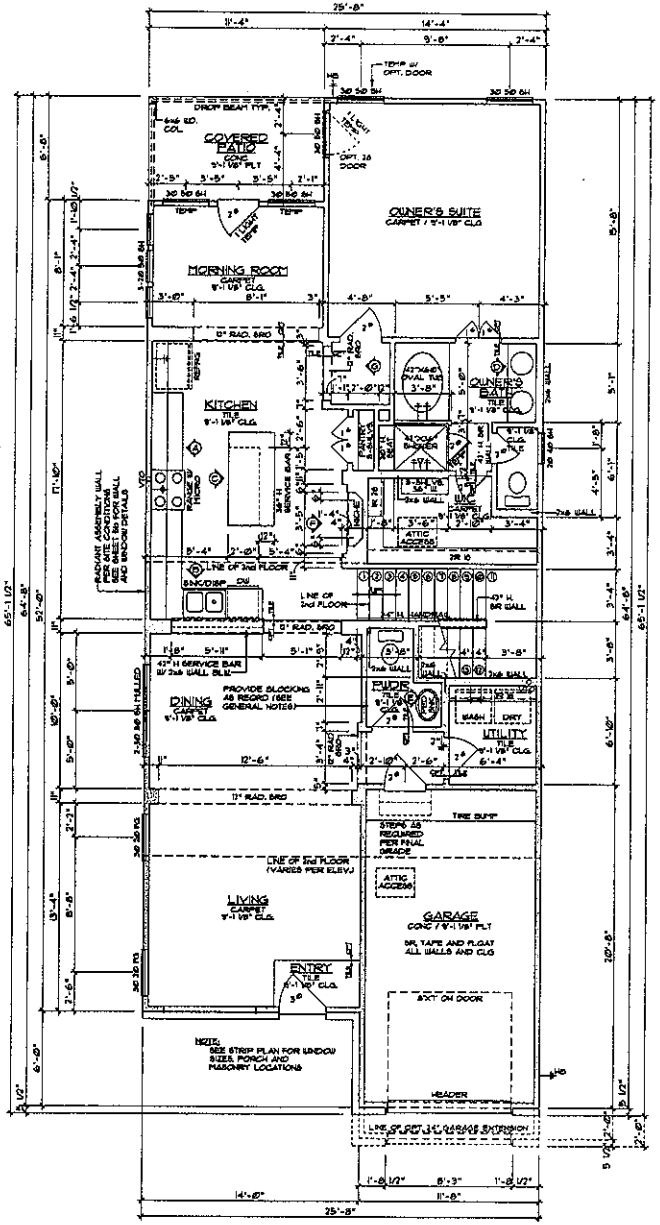
TREATY OAK HOMES

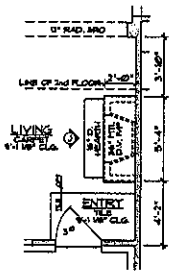
www.treatyoakhomes.com



OPT. KITCHEN 1
SCALE 1/8"=1'-0"

OPT. KITCHEN 2
SCALE 1/8"=1'-0"





OPT. DIRECT VENT FIREPLACE
SCALE 1/8"=1'-0"

FIRST LEVEL FLOOR PLAN
SCALE 1/8"=1'-0"

NOTES:

1ST LEVEL PLATE HGTS TO BE 9'-1 1/8" @ 1'-4" WINDOW
HEADER HGTS UNLESS NOTED

2ND LEVEL PLATE HGTS TO BE 8'-1 1/8" @ 1'-4" WINDOW
HEADER HGTS UNLESS NOTED
OPT. 9'-1 1/8" @ 1'-4" WINDOW
HEADER HGTS UNLESS NOTED

PROVIDE TEMPERED GLASS WHERE REQ'D

PROVIDE FIREBLOCKING IN ALL AREAS AS REQUIRED PER CURRENT IRC CODE

ALL ANGLED WALLS TO BE 45° UNLESS NOTED OTHERWISE

PROVIDE PLYWD PAD IN ATTIC FOR W/H & HVAC UNITS(1 SF REQ'D ELECT, MECH AND PLUMB

BLOCKING REQUIREMENTS:
LATERAL 2x6 OR LARGER NOMINAL WOOD BLOCKING MUST BE INSTALLED FLUSH WITH STUD EDGES OF BATHROOM WALLS
CENTERLINE OF BLOCKING MUST BE 34 INCHES FROM AND PARALLEL TO THE INTERIOR FLOOR LEVEL

HEADERS SCHEDULE BUILDING WIDTH OF 29' OR LESS (MEASURED PERPENDICULAR TO MAIN RIDGE OF HOUSE)				
FOR EXTERIOR LOAD BEARING WALLS				
	ROOF and CEILING	ROOF, CEILING and ONE CENTER BEARING FLOOR	ROOF, CEILING and ONE CLEAR SPAN FLOOR	ROOF, CEILING and TWO CENTER BEARING FLOORS
2-2x4	3'-6"	3'-1"	2'-5"	2'-11"
2-2x6	5'-3"	4'-8"	3'-11"	3'-4" *
2-2x8	6'-10"	6'-1"	5'-10" *	4'-11" *
2-2x10	8'-3" *	7'-4" *	7'-1" *	6'-6" *
2-2x12	9'-4" *	8'-11" *	8'-11" *	8'-6" *
FOR INTERIOR LOAD BEARING WALLS				
	ONE FLOOR ONLY		TWO FLOORS	
2-2x4	3'-1"		2'-3"	
2-2x6	4'-8"		3'-10" *	
2-2x8	5'-11"		4'-11" *	
2-2x10	7'-0" *		4'-11" *	
2-2x12	8'-11" *		5'-11" *	
FOR NON-LOADBEARING WALLS A SINGLE 2x4 HEADER MAY BE USED ON OPENINGS NOT EXCEEDING 5' IN WIDTH IF THE VERTICAL NAILING DISTANCE TO THE PARALLEL NAILING SURFACE DOES NOT EXCEED 24".				
* DENOTES 3 JACK STUDS REQUIRED TO SUPPORT EACH END ** DENOTES 4 JACK STUDS REQUIRED TO SUPPORT EACH END				

KP ARCHITECTS (RRC 20061)

Square Footage Chart Elevation 'A'		
	FRAME	w/ MASONRY
1 ST FLOOR	1268	1214
2 ND FLOOR	433	432
TOTAL LIVING	1700	1706
GARAGE	232	241
PORCH	88	88
COV. PATIO	16	16
TOTAL	2036	2112
OPT. 3 GARAGE EXT.	423	424
OPT. LOFT/ REDIMIDED 4/ GAME ROOM	428	428

Square Footage Chart Elevation 'B'		
	FRAME	w/ MASONRY
1 ST FLOOR	1268	1214
2 ND FLOOR	415	415
TOTAL LIVING	1683	1683
GARAGE	232	241
PORCH	81	81
COV. PATIO	16	16
TOTAL	2016	2021
OPT. 3 GARAGE EXT.	423	424
OPT. LOFT/ REDIMIDED 4/ GAME ROOM	428	428

REVISED 5-15-09 RECESSED LIGHT IN DINING (OPT) REVISED 2-25-09 LT BREAKFAST OFFICE, SET POSS

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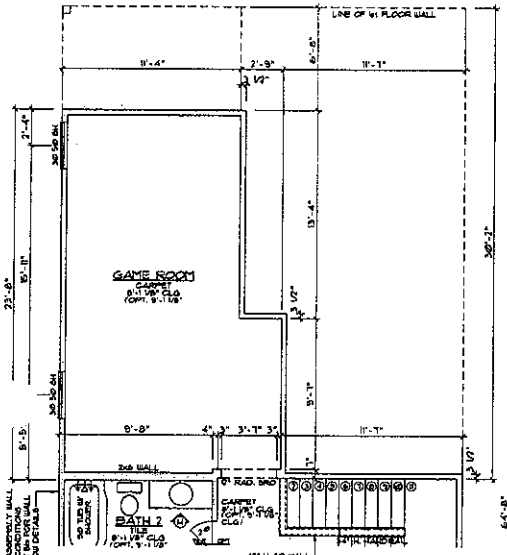
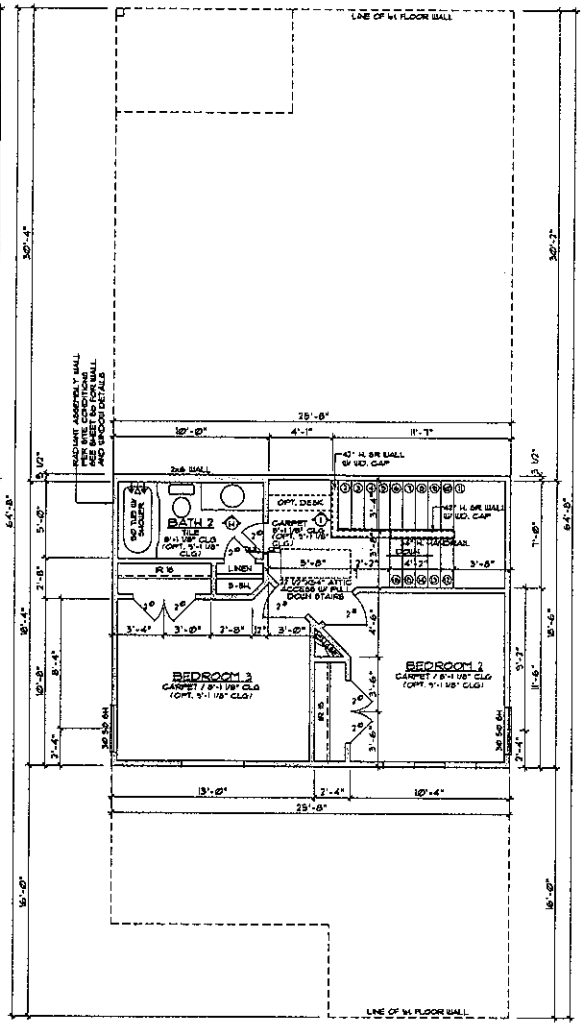
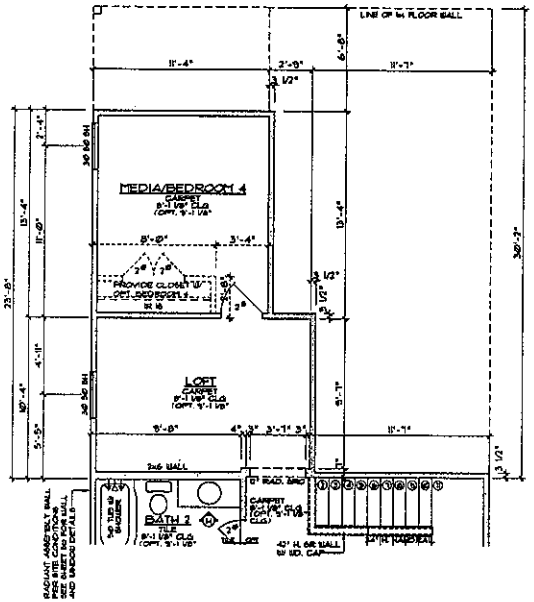
PLAN 1706 RF



OPT. GAME ROOM
SCALE 1/8"=1'-0"





OPT. LOFT / MEDIA / BEDROOM 4
SCALE 1/8"=1'-0"

SECOND LEVEL FLOOR PLAN

SCALE 1/8"=1'-0"

NOTES:

1ST LEVEL PLATE HGTS TO BE 8'-1 1/8" @ 1'-10" WINDOW HEADER HGTS UNLESS NOTED

2ND LEVEL PLATE HGTS TO BE 8'-1 1/8" @ 1'-2" WINDOW HEADER HGTS UNLESS NOTED OPT. 9'-1 1/8" @ 1'-10" WINDOW HEADER HGTS UNLESS NOTED

PROVIDE TEMPERED GLASS WHERE REQ'D

PROVIDE FIREBLOCKING IN ALL AREAS AS REQUIRED PER CURRENT IRC CODE

ALL ANGLED WALLS TO BE 45° UNLESS NOTED OTHERWISE

PROVIDE PULLDOWN STAIRS IN ATTIC FOR SUN & HVAC DATUM & REQ'D ELECT, MECH AND PLUMB

PLAN 1706 RF

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5-15-09

Sheet
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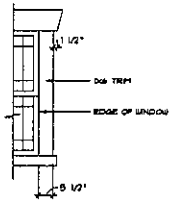
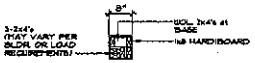


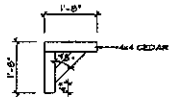
WINDOW TRIM DETAIL

SCALE: N.T.S.



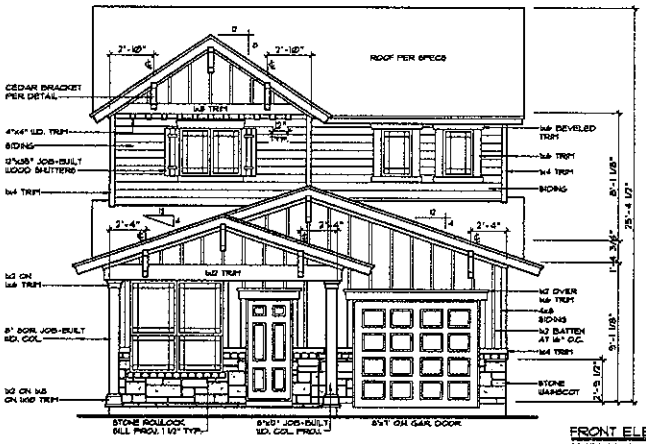
8" JOB-BUILT COLUMN

SCALE: N.T.S.



CEDAR BRACKET

SCALE: N.T.S.



FRONT ELEVATION

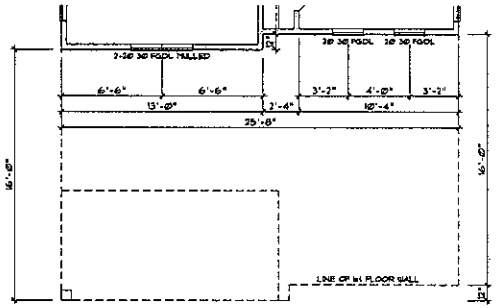
SCALE: 1/8"=1'-0"

NOTED:
1st FLOOR PLATE HGTS. TO BE 9'-1 1/8" W/ 7'-10" WINDOW HEADER HGTS. UNLESS NOTED.

2ND LEVEL PLATE HGTS TO BE 8'-1 1/8" W/ 7'-10" WINDOW HEADER HGTS UNLESS NOTED OPT. 8'-1 1/8" W/ 7'-10" WINDOW HEADER HGTS UNLESS NOTED

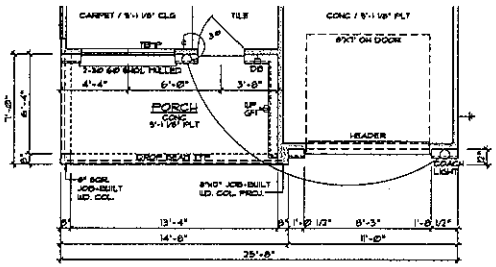
PROVIDE STEEL LINTELS ABOVE ALL OPENINGS W/ FURNOUT, AS REQ'D.

PROVIDE TEMPERED GLASS WHERE REQ'D BY CODE.



SECOND LEVEL STRIP PLAN

SCALE: 1/8"=1'-0"



FIRST LEVEL STRIP PLAN

SCALE: 1/8"=1'-0"

HEADERS SCHEDULE BUILDING WIDTH OF 30' OR LESS (MEASURED PERPENDICULAR TO MAIN RIDGE OF HOUSE)				
FOR EXTERIOR LOAD BEARING WALLS				
	ROOF and CEILING	ROOF, CEILING and ONE CENTER BEARING FLOOR	ROOF, CEILING and ONE CLEAR SPAN FLOOR	ROOF, CEILING and TWO CENTER BEARING FLOORS
2-2x4	3'-6"	3'-1"	2'-8"	2'-11"
2-2x6	4'-6"	4'-0"	3'-11"	3'-11" *
2-2x8	5'-10" *	5'-2" *	5'-0" *	4'-11" *
2-2x10	6'-8" *	7'-0" *	6'-11" *	5'-11" *
2-2x12	8'-4" *	8'-4" *	7'-11" *	6'-8" *
FOR INTERIOR LOAD BEARING WALLS				
	ONE FLOOR ONLY	TWO FLOORS		
2-2x4	3'-1"	2'-2"		
2-2x6	4'-4"	3'-0" *		
2-2x8	5'-4"	4'-0" *		
2-2x10	7'-0" *	4'-10" *		
2-2x12	8'-4" *	5'-8" *		
FOR NON-LOADBEARING WALLS A SINGLE 2x4 HEADER MAY BE USED ON OPENINGS NOT EXCEEDING 5' IN WIDTH IF THE VERTICAL NAILING DISTANCE TO THE PARALLEL NAILING SURFACE DOES NOT EXCEED 24".				
* DENOTES 2 JACK STUDS REQUIRED TO SUPPORT EACH END ** DENOTES 3 JACK STUDS REQUIRED TO SUPPORT EACH END				

*2 YR. KP ARCHITECTS (REC 2006)

SIMPLIFIED PRESCRIPTIVE PACKAGE (2000-2009 IRC)	
(DEPENDENT ON GLASS AREA EQUAL ABOVE)	
GLAZING U-FACTOR:	0.65
CEILING R-VALUE:	R-49
WALL R-VALUE	R-19
FLOOR R- VALUE:	R-13
CRAWLSPACE WALL:	R-19
SLAB PERIMETER:	R-10
BASEMENT WALL:	R-19

KP ARCHITECTS (REC 2009)

MASONRY PERCENTAGE 'A'						
		NET EXT. WALL AREA	AREA OF GLAZING and DOORS	AREA OF MASONRY	AREA OF SIDING	MASONRY PERCENTAGE ***
FRONT	1st FLOOR	222	12	63	159	28%
	2nd FLOOR	139	24	0	139	0%
	TOTAL	361	36	63	298	17%
LEFT	1st FLOOR	386	72	0	386	0%
	2nd FLOOR	227	5	0	227	0%
	TOTAL	613	57	0	613	0%
RIGHT	1st FLOOR	556	8	0	556	0%
	2nd FLOOR	222	5	0	222	0%
	TOTAL	778	23	0	778	0%
REAR	1st FLOOR	179	93	0	179	0%
	2nd FLOOR	100	0	0	100	0%
	TOTAL	279	93	0	279	0%
SUB-TOTAL	1st FLOOR	1343	205	63	1280	5%
	2nd FLOOR	688	54	0	688	0%
TOTAL *		2031	339	63	1968	3%

GLAZING PERCENTAGE	
AREA OF GLAZING	2814
GROSS AIR CONDITIONED WALL AREA	23684
GLAZING PERCENTAGE	11.87%

*NOTE: THESE CHARTS DO NOT REFLECT ANY PLAN OPTIONS OFFERED

PLAN 1706 RFA

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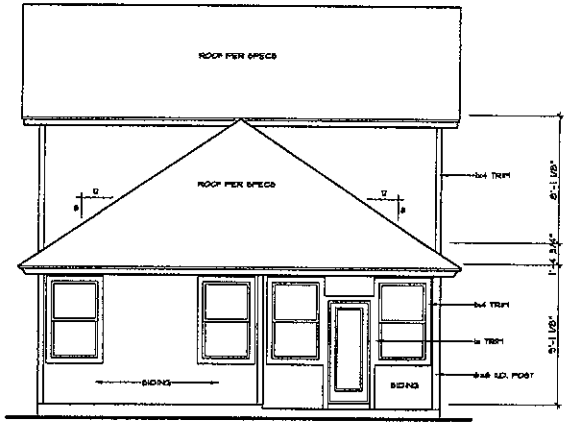
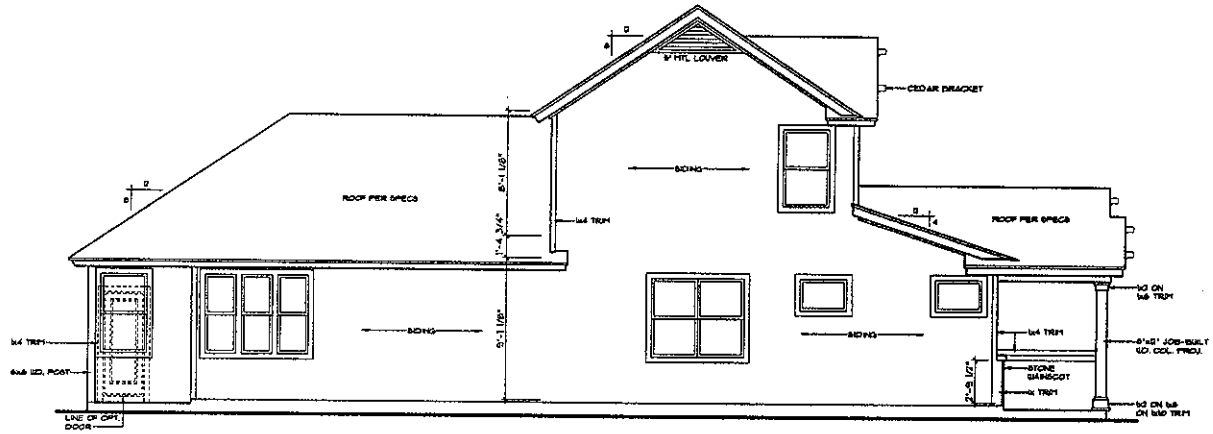
GRAA-0003-2A2.DWG 05/20/09



REAR ELEVATION
SCALE 1/8"=1'-0"



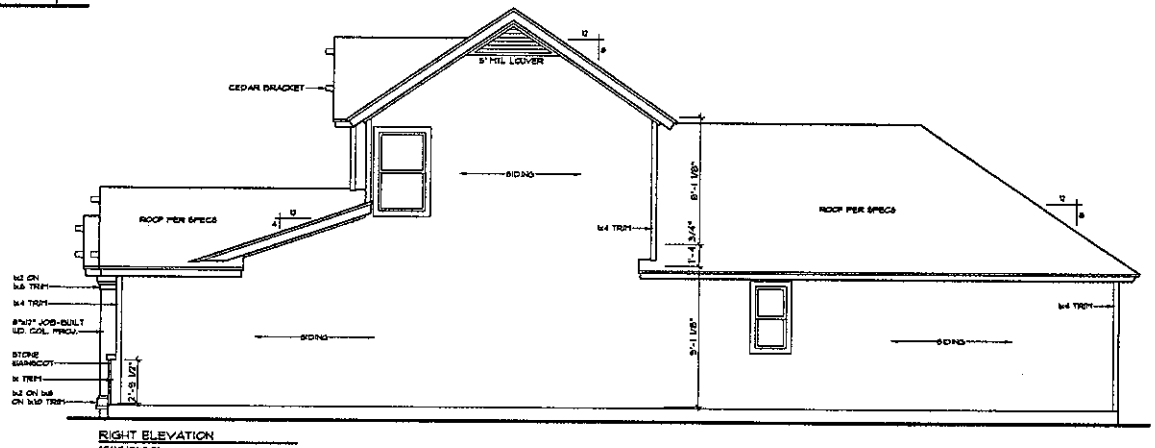
LEFT ELEVATION
SCALE 1/8"=1'-0"

NOTES:
1st FLOOR PLATE HGTS. TO BE 9'-1 1/8" W/ 7'-0" WINDOW HEADER HGTS. UNLESS NOTED.

2ND LEVEL PLATE HGTS TO BE 8'-1 1/8" W/ 7'-0" WINDOW HEADER HGTS UNLESS NOTED OPT. 9'-1 1/8" W/ 7'-0" WINDOW HEADER HGTS UNLESS NOTED

PROVIDE STEEL LINTELS ABOVE ALL OPENINGS W/ MASONRY, AS REQ'D.

PROVIDE TEMPERED GLASS WHERE REQ'D BY CODE.



RIGHT ELEVATION
SCALE 1/8"=1'-0"

PLAN 1706 RFA

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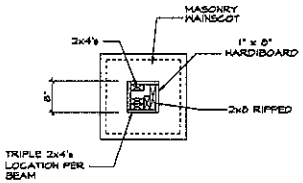
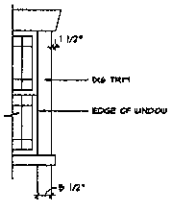


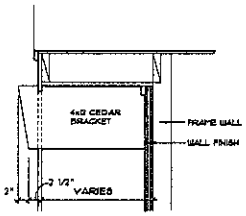
8" JOB-BUILT COLUMN OVER 19" SQ. MASONRY BASE

SCALE: NTS.



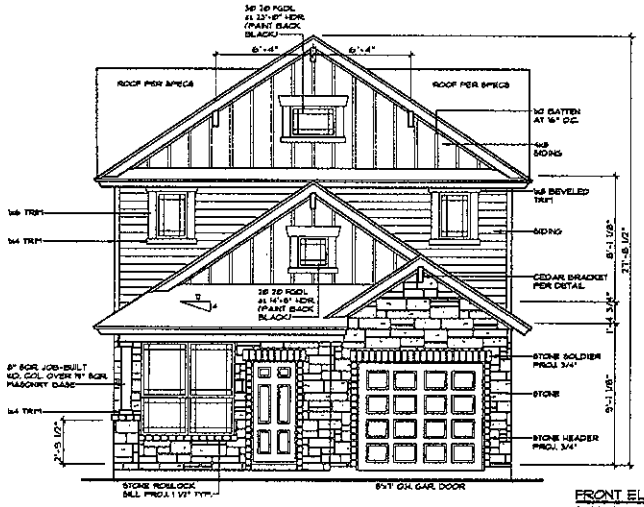
WINDOW TRIM DETAIL

SCALE: NTS.



CEDAR BRACKET DEAIL

SCALE: NTS.



FRONT ELEVATION

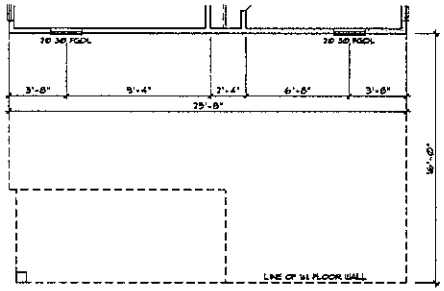
SCALE: 1/8"=1'-0"

NOTES:
1st FLOOR PLATE HGTS. TO BE 9'-1 1/8" W/ 7'-10" WINDOW HEADER HGTS. UNLESS NOTED.

2ND LEVEL PLATE HGTS TO BE 8'-1 1/8" W/ 7'-0" WINDOW HEADER HGTS UNLESS NOTED OPT. 9'-1 1/8" W/ 7'-10" WINDOW HEADER HGTS UNLESS NOTED

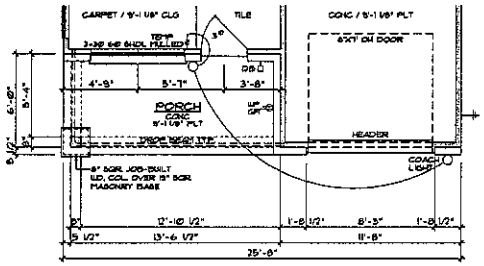
PROVIDE STEEL LINTELS ABOVE ALL OPENINGS W/ MASONRY, AS REQRD.

PROVIDE TEMPERED GLASS WHERE REQ'D BY CODE.



SECOND LEVEL STRIP PLAN

SCALE: 1/8"=1'-0"



FIRST LEVEL STRIP PLAN

SCALE: 1/8"=1'-0"

HEADERS SCHEDULE
BUILDING WIDTH OF 20' OR LESS
(MEASURED PERPENDICULAR TO MAIN RIDGE OF HOUSE)

	ROOF and CEILING	ROOF, CEILING and 2ND CENTER BEARING FLOOR	ROOF, CEILING and ONE CLEAR SPAN FLOOR	ROOF, CEILING and TWO CENTER BEARING FLOORS
FOR EXTERIOR LOAD BEARING WALLS				
2-2x4	3'-6"	3'-1"	2'-3"	2'-1"
2-2x6	5'-0"	4'-0"	3'-0"	2'-11" *
2-2x8	6'-0"	5'-1" *	3'-10" *	3'-5" *
2-2x10	6'-8" *	7'-0" *	4'-11" *	4'-4" *
2-2x12	4'-4" *	8'-11" *	7'-1" *	5'-8" *
FOR INTERIOR LOAD BEARING WALLS				
	ONE FLOOR ONLY		TWO FLOORS	
2-2x4	3'-1"		2'-2"	
2-2x6	4'-4"		3'-3" *	
2-2x8	5'-6"		4'-11" *	
2-2x10	7'-0" *		4'-11" *	
2-2x12	8'-11" *		3'-11" *	

FOR NON-LOADBEARING WALLS A SINGLE 2x4 HEADER MAY BE USED ON OPENINGS NOT EXCEEDING 8' IN WIDTH IF THE VERTICAL NAILING DISTANCE TO THE PARALLEL NAILING SURFACE DOES NOT EXCEED 24".

* DENOTES 3 JACK STUDS REQUIRED TO SUPPORT EACH END
** DENOTES 5 JACK STUDS REQUIRED TO SUPPORT EACH END

*2 YR.

KF ARCHITECTS (RC 3006)

SIMPLIFIED PRESCRIPTIVE PACKAGE
D000-344N (NS)

CZ6 MAXIMUM GLASS AREA (0.40 SHGC)	
GLAZING U-FACTOR:	0.65
CEILING R-VALUE:	R-38
WALL R-VALUE	R-13
FLOOR R- VALUE:	R-11
CRAWLSPACE WALL:	R-5
SLAB PERIMETER:	R-0
SLAB/SHT WALL:	R-5

KF ARCHITECTS (RCC 3003)

MASONRY PERCENTAGE "B"

		NET EXT. WALL AREA	AREA OF GLAZING and DOORS	AREA OF MASONRY	AREA OF SIDING	MASONRY PERCENTAGE ***
FRONT	1st FLOOR	179	0	179	0	100%
	2nd FLOOR	211	22	0	211	0%
	TOTAL	390	194	179	211	46%
LEFT	1st FLOOR	383	72	0	383	0%
	2nd FLOOR	207	15	0	207	0%
	TOTAL	590	87	0	590	0%
RIGHT	1st FLOOR	554	0	0	554	0%
	2nd FLOOR	208	15	0	208	0%
	TOTAL	762	23	0	762	0%
REAR	1st FLOOR	179	93	0	179	0%
	2nd FLOOR	217	0	0	217	0%
	TOTAL	396	93	0	396	0%
SUB-TOTAL	1st FLOOR	1295	205	179	1116	14%
	2nd FLOOR	843	52	0	843	0%
TOTAL *		2138	337	179	1959	8%

GLAZING PERCENTAGE	
AREA OF GLAZING	270#
GROSS AIR CONDITIONED WALL AREA	2378#
GLAZING PERCENTAGE	11.56%

*NOTE: THESE CHARTS DO NOT REFLECT ANY PLAN OPTIONS OFFERED

PLAN 1706 RFB

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GRA-0003-2B2.DWG 08/05/09

Date 5-15-09

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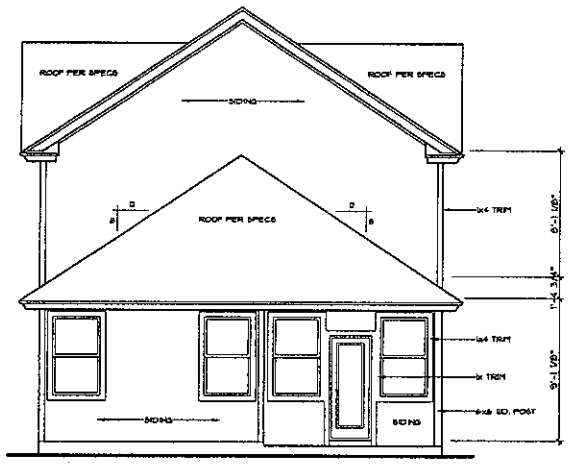
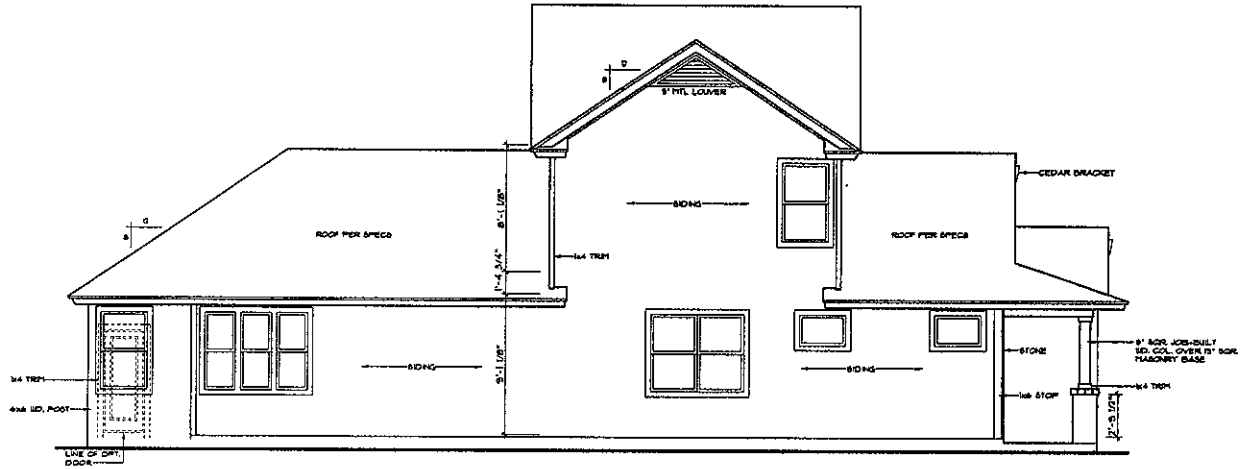


REAR ELEVATION
SCALE 1/8"=1'-0"



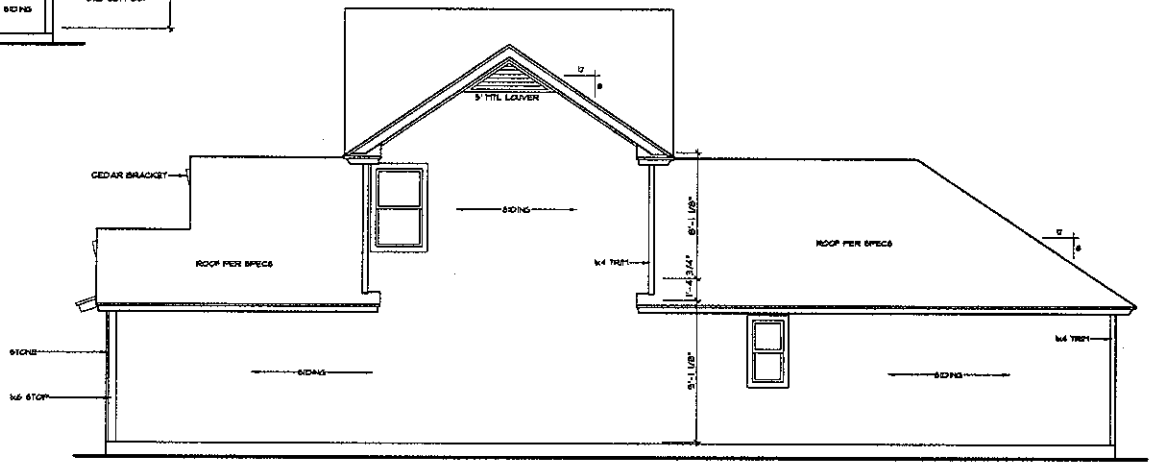
LEFT ELEVATION
SCALE 1/8"=1'-0"

NOTES:
1st FLOOR PLATE HGTS. TO BE 8'-1 1/8" W/ 7'-10" WINDOW HEADER HGTS. UNLESS NOTED.

2ND LEVEL PLATE HGTS TO BE 8'-1 1/8" W/ 7'-8" GREDOW HEADER HGTS UNLESS NOTED OPT. 8'-1 1/8" W/ 7'-10" WINDOW HEADER HGTS UNLESS NOTED

PROVIDE STEEL LINTELS ABOVE ALL OPENINGS W/ MASONRY, AS REQ'D.

PROVIDE TEMPERED GLASS WHERE REQ'D BY CODE



RIGHT ELEVATION
SCALE 1/8"=1'-0"

PLAN 1706 RFB

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GRAA-0003-203.DWG 06/04/09

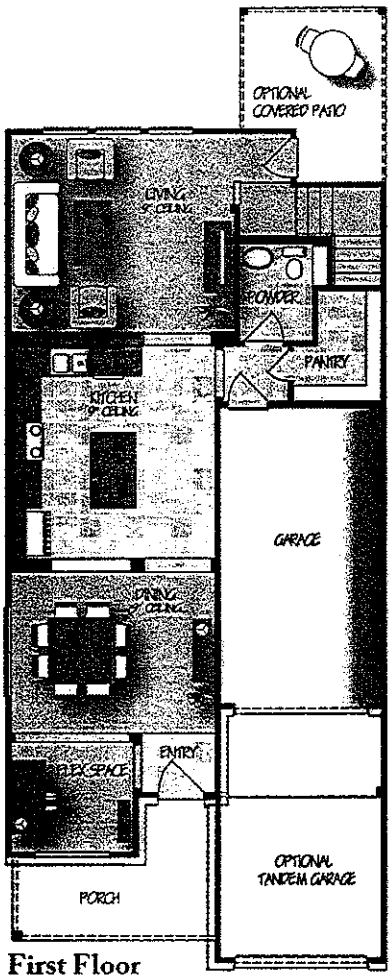
PLAN 1930

Elevation A

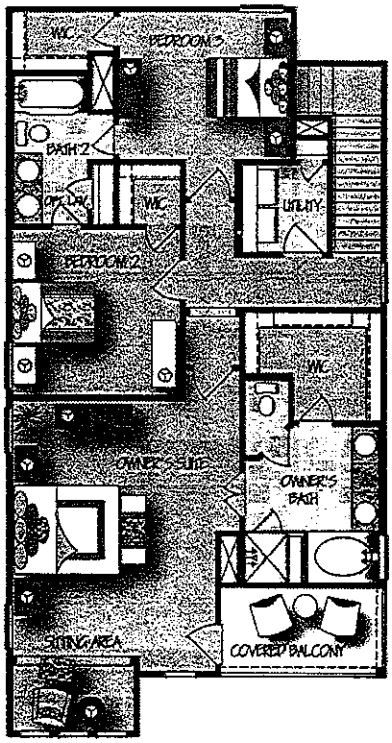
Elevation A - Tandem Garage Option

Elevation B

Elevation B - Tandem Garage Option



First Floor



Second Floor

1919 Approximate Living

*Prices, floorplans, and features are subject to change anytime without notice. Square footages are approximate and may vary upon elevations and/or options selected. Elevations and floorplans are artist's concepts. Please consult your sales representative for current information. © 2005 Kipp Flores Architects.

TREATY OAK HOMES

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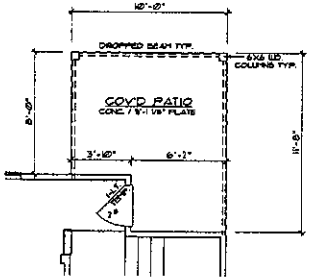
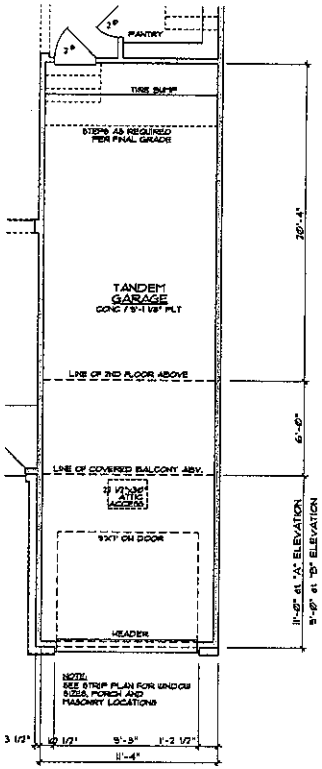
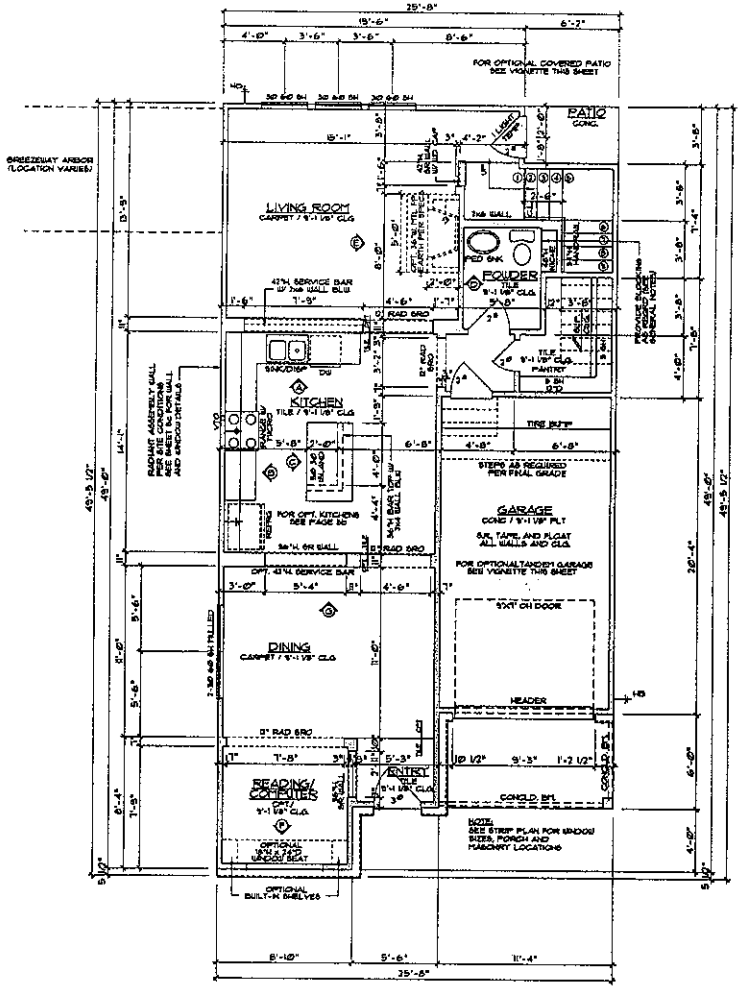


OPTIONAL COVERED PATIO FLOOR PLAN
SCALE 1/8"=1'-0"



OPTIONAL TANDEM GARAGE FLOOR PLAN
SCALE 1/8"=1'-0"



FIRST LEVEL FLOOR PLAN
SCALE 1/8"=1'-0"

NOTES:

1ST LEVEL PLATE HGTS TO BE 9'-1 1/8" W/ 7'-6" WINDOW HEADER HGTS UNLESS NOTED

2ND LEVEL PLATE HGTS TO BE 8'-1 1/8" W/ 7'-0" WINDOW HEADER HGTS UNLESS NOTED
OPT. 9'-1 1/8" W/ 7'-6" WINDOW HEADER HGTS UNLESS NOTED

PROVIDE TEMPERED GLASS WHERE REQ'D

PROVIDE FIRESTOPPING IN ALL AREAS AS REQUIRED PER CURRENT IRC CODE

ALL ANGLED WALLS TO BE 45° UNLESS NOTED OTHERWISE

PROVIDE PLYWD PAD IN ATTIC FOR HVAC UNITS W/ RECORD ELECT, MECH AND PLUMB

BLOCKING REQUIREMENTS:
LATERAL 2X4s OR LARGER NOMINAL WOOD BLOCKING MUST BE INSTALLED FLUSH WITH STUD EDGES OF BATHROOM WALLS
CENTERLINE OF BLOCKING MUST BE 34 INCHES FROM AND PARALLEL TO THE INTERIOR FLOOR LEVEL

HEADERS SCHEDULE BUILDING WIDTH OF 32' OR LESS (MEASURED PERPENDICULAR TO MAIN RIDGE OR HOUSE)				
FOR EXTERIOR LOAD BEARING WALLS				
	ROOF and CEILING	ROOF, CEILING and ONE CENTER BEARING FLOOR	ROOF, CEILING and ONE CLEAR SPAN FLOOR	ROOF, CEILING and TWO CENTER BEARING FLOORS
2-2x4	3'-6"	3'-1"	2'-9"	2'-11"
2-2x6	5'-5"	4'-6"	3'-11"	3'-11" *
2-2x8	6'-10" *	5'-11" *	5'-0" *	5'-1" *
2-2x10	8'-3" *	7'-0" *	6'-1" *	6'-4" *
2-2x12	9'-4" *	8'-1" *	7'-1" *	6'-8" *
FOR INTERIOR LOAD BEARING WALLS				
	ONE FLOOR ONLY		TWO FLOORS	
2-2x4	3'-1"		2'-3"	
2-2x6	4'-6"		3'-0" *	
2-2x8	5'-8"		4'-0" *	
2-2x10	7'-0" *		4'-11" *	
2-2x12	8'-1" *		5'-8" *	
FOR NON-LOADBEARING WALLS A SINGLE 2x4 HEADER MAY BE USED ON OPENINGS NOT EXCEEDING 8' IN WIDTH IF THE VERTICAL NAILING DISTANCE TO THE PARALLEL NAILING SURFACE DOES NOT EXCEED 24'.				
* DENOTES 3 JACK STUDS REQUIRED TO SUPPORT EACH END ** DENOTES 5 JACK STUDS REQUIRED TO SUPPORT EACH END				

*2 YR

KP ARCHITECTS (TBE 3006)

"A" Square Footage Chart

	FRAME	with BRICK
1 ST FLOOR	849	849
2 ND FLOOR	1069	1069
TOTAL LIVING	1918	1918
GARAGE	236	236
PORCH	104	104
COV. BALCONY	68	68
PORTE-COCHERE	69	69
TOTAL	2395	2395
OPT COV PATIO	183	183

"A" Square Footage Chart with TANDEM GARAGE

	FRAME	with BRICK
1 ST FLOOR	849	871
2 ND FLOOR	1069	1069
TOTAL LIVING	1918	1871
GARAGE	471	471
PORCH	92	92
COV. BALCONY	68	68
TOTAL	2529	2524
OPT COV PATIO	183	183

"B" Square Footage Chart

	FRAME	with BRICK
1 ST FLOOR	849	849
2 ND FLOOR	1069	1069
TOTAL LIVING	1918	1918
GARAGE	236	236
PORCH	116	116
COV. BALCONY	68	68
PORTE-COCHERE	156	156
TOTAL	2495	2518
OPT COV PATIO	183	183

"B" Square Footage Chart with TANDEM GARAGE

	FRAME	with BRICK
1 ST FLOOR	849	871
2 ND FLOOR	1069	1069
TOTAL LIVING	1918	1871
GARAGE	471	471
PORCH	94	94
COV. BALCONY	68	68
TOTAL	2525	2546
OPT COV PATIO	183	183

REVISED 05-05-05 ADJUST FLOORING LINES IN KITCH (2A4)
REVISED 05-24-05 ADJUST FLOORING LINES
REVISED 06-21-05 DEL PAPER CORNER (D1,E)

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Due to variations in construction methods and products or construction errors, or deviations made during construction, the accuracy of these plans cannot be guaranteed and are not part of the Sales contract. Buyer must be responsible for construction to conform to the plans, specifications, and all applicable codes, ordinances, and restrictions. Buyer assumes full responsibility for any deviations from the plans by Seller or its representatives. Seller assumes full responsibility for correctly plotting the home on the lot.

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p. (512) 336-5477 fax (512) 335-0452

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Date 05-26-09
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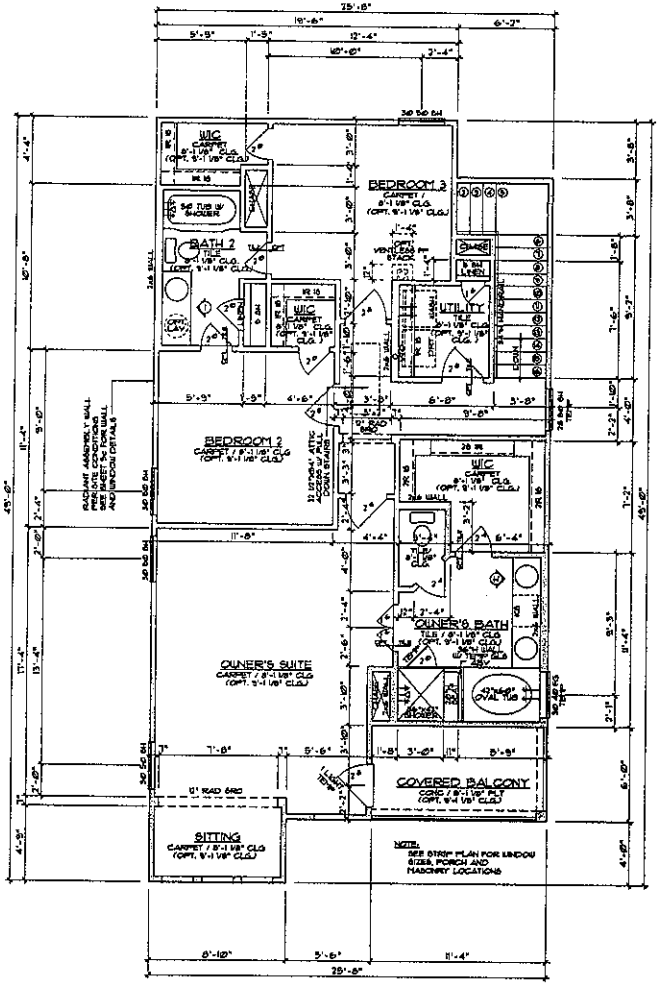
PLAN 1930 RF

NEW PLAN PRIOR DESIGN SKETCH 1931 (TBE 6) (ELEVATIONS) DESIGN (TBE3)



SECOND LEVEL FLOOR PLAN

SCALE 1/8"=1'-0"

NOTES:

1st FLOOR PLATE HGTS TO BE 8'-1 1/8" U/ 7'-0" WINDOW HEADER HGTS UNLESS NOTED

2nd FLOOR PLATE HGTS TO BE 8'-1 1/8" U/ 7'-0" WINDOW HEADER HGTS UNLESS NOTED OPT: 9'-1 1/8" U/ 7'-0" WINDOW HEADER HGTS UNLESS NOTED

PROVIDE TEMPERED GLASS WHERE REQRD

PROVIDE FIREBLOCKING IN ALL AREAS AS REQUIRED PER CURRENT IRC CODE

ALL ANGLED WALLS TO BE 45° UNLESS NOTED OTHERWISE

PROVIDE PLYWD PAD IN ATTIC FOR HVAC UNIT(S) U/ RECRD ELECT, MECH AND PLUMB

HEADER SCHEDULE
BUILDING WIDTH OF 30' OR LESS
(MEASURED PERPENDICULAR TO MAIN RIDGE OF HOUSE)

FOR EXTERIOR LOAD BEARING WALLS				
	ROOF and CEILING	ROOF, CEILING and ONE CENTER BEARING FLOOR	ROOF, CEILING and ONE CLEAR SPAN FLOOR	ROOF, CEILING and TWO CENTER BEARING FLOORS
2-2x4	3'-6"	3'-1"	2'-8"	2'-3"
2-2x6	5'-3"	4'-6"	3'-11"	3'-4"
2-2x8	6'-10"	5'-11"	5'-2"	4'-4" *
2-2x10	8'-3"	7'-10" *	6'-7" *	5'-6" *
2-2x12	9'-4" *	9'-1" *	7'-11" *	6'-6" *

FOR INTERIOR LOAD BEARING WALLS		
	ONE FLOOR ONLY	TWO FLOORS
2-2x4	3'-1"	2'-3"
2-2x6	4'-6"	3'-2" *
2-2x8	5'-8"	4'-1" *
2-2x10	7'-0" *	4'-11" *
2-2x12	8'-1" *	5'-8" *

FOR NON-LOADBEARING WALLS A SINGLE 2x4 HEADER MAY BE USED ON OPENINGS NOT EXCEEDING 6' IN WIDTH IF THE VERTICAL NAILING DISTANCE TO THE PARALLEL NAILING SURFACE DOES NOT EXCEED 24".

* DENOTES 2 JACK STUDS REQUIRED TO SUPPORT EACH END
** DENOTES 3 JACK STUDS REQUIRED TO SUPPORT EACH END

*2 VIF. KP ARCHITECTS (IRC 2006)

REVISED 05-05-09 ADJUST FLOORING LINES IN KITCH (2,3,4,5)
REVISED 05-06-09 ADJUST FLOORING LINES (2,3,4,5)
REVISED 05-26-09 / BR PLAN CORRECT (1,6)

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Date
05-26-09
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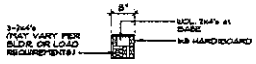
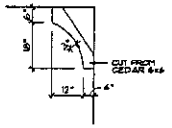
PLAN 1930 RF



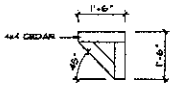
8" JOB-BUILT COLUMN

SCALE: N.T.S.



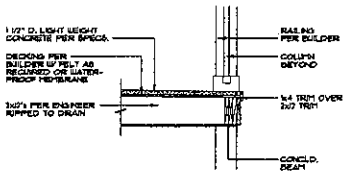
CEDAR PORCH BRACKET DETAIL

SCALE: N.T.S.



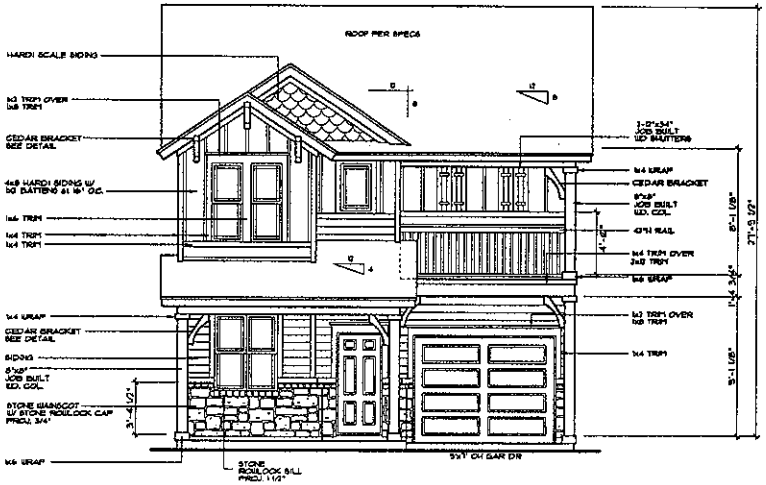
BRACKET DETAIL

SCALE: N.T.S.



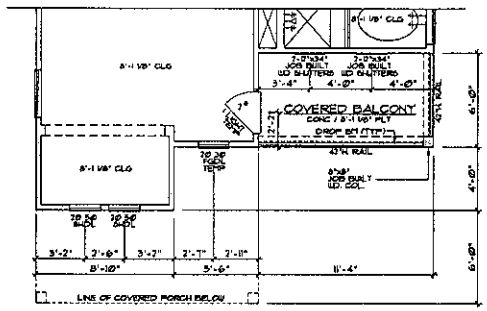
LIGHTWEIGHT CONC. DECK DETAIL

SCALE: 1/4"=1'-0"



FRONT ELEVATION

SCALE: 1/8"=1'-0"



NOTES:

1st FLOOR PLATE HGTS. TO BE 9'-1 1/8" W/ 7'-10" WINDOW HEADER HGTS UNLESS NOTED.

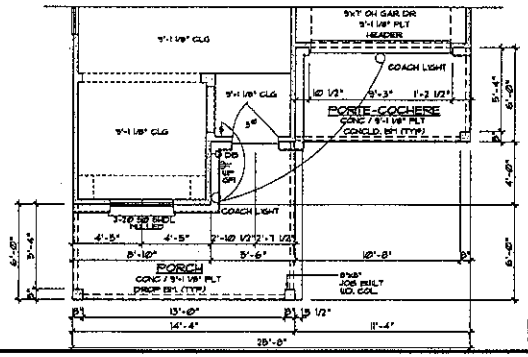
2ND LEVEL PLATE HGTS TO BE 8'-1 1/8" W/ 7'-8" WINDOW HEADER HGTS UNLESS NOTED OPT. 9'-1 1/8" W/ 7'-10" WINDOW HEADER HGTS UNLESS NOTED

PROVIDE STEEL LINTELS ABOVE ALL OPENINGS W/ MASONRY, AS REQRD.

PROVIDE TEMPERED GLASS WHERE REQ'D BY CODE.

SECOND LEVEL STRIP PLAN

SCALE: 1/8"=1'-0"



FIRST LEVEL STRIP PLAN

SCALE: 1/8"=1'-0"

HEADERS SCHEDULE
BUILDING WIDTH OF 30' OR LESS
(MEASURED PERPENDICULAR TO MAIN RIDGE OF HOUSE)

	ROOF and CEILING	ROOF, CEILING and ONE CENTER BEARING FLOOR	ROOF, CEILING and ONE CLEAR SPAN FLOOR	ROOF, CEILING and TWO CENTER BEARING FLOORS
FOR EXTERIOR LOAD BEARING WALLS				
2-2x4	3'-10"	3'-1"	2'-8"	2'-3"
2-2x6	5'-3"	4'-4"	3'-11"	3'-4" *
2-2x8	6'-10"	5'-8" *	5'-0" *	4'-4" *
2-2x10	8'-5" *	7'-0" *	6'-1" *	5'-4" *
2-2x12	9'-8" *	8'-11" *	7'-11" *	6'-8" *
FOR INTERIOR LOAD BEARING WALLS				
		ONE FLOOR ONLY	TWO FLOORS	
2-2x4		3'-1"	2'-2"	
2-2x6		4'-6"	3'-3" *	
2-2x8		5'-8"	4'-4" *	
2-2x10		7'-0" *	4'-11" *	
2-2x12		8'-11" *	5'-8" *	

FOR NON-LOADBEARING WALLS A SINGLE 2x4 HEADER MAY BE USED ON OPENINGS NOT EXCEEDING 5' IN WIDTH IF THE VERTICAL NAILING DISTANCE TO THE PARALLEL NAILING SURFACE DOES NOT EXCEED 24"

* DENOTES 1 JACK STUD REQUIRED TO SUPPORT EACH END
** DENOTES 2 JACK STUDS REQUIRED TO SUPPORT EACH END

KF ARCHITECTS (IRC 2006)

SIMPLIFIED PRESCRIPTIVE PACKAGE
2000-2006 IRC

USE HANDBOOK (BLANK AREA IS NO GOOD)	
GLAZING U-FACTOR:	0.65
CEILING R-VALUE:	R-49
WALL R-VALUE	R-13
FLOOR R- VALUE:	R-11
CRAWLSPACE WALL:	R-9
SLAB PERIMETER:	R-0
BASEMENT WALL:	R-9

KF ARCHITECTS (IECC 2006)

MASONRY PERCENTAGE A

		NET EXT. WALL AREA	AREA OF GLAZING and DOORS	AREA OF MASONRY	AREA OF SIDING	MASONRY PERCENTAGE ***
FRONT	1st FLOOR	112	103	39	80	33%
	2nd FLOOR	180	26	0	180	0%
	TOTAL	299	129	39	260	13%
LEFT	1st FLOOR	417	36	0	417	0%
	2nd FLOOR	573	45	0	573	0%
	TOTAL	990	81	0	990	0%
RIGHT	1st FLOOR	436	16	34	402	8%
	2nd FLOOR	576	43	0	576	0%
	TOTAL	1012	61	34	978	3%
REAR	1st FLOOR	179	54	0	179	0%
	2nd FLOOR	272	15	0	272	0%
	TOTAL	451	69	0	451	0%
SUB-TOTAL	1st FLOOR	1151	211	73	1078	6%
	2nd FLOOR	1601	129	0	1601	0%
TOTAL *		2752	340	73	2679	3%

GLAZING PERCENTAGE	
AREA OF GLAZING	283#
GROSS AIR CONDITIONED WALL AREA	2776#
GLAZING PERCENTAGE	10.20%

*NOTE: THESE CHARTS DO NOT REFLECT ANY PLAN OPTIONS OFFERED

PLAN 1930 RFA

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Date
05-26-09

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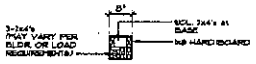
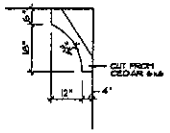
GRA-0004-142.DWG 06/04/09



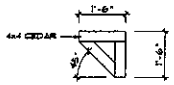
8" JOB-BUILT COLUMN

SCALE: N.T.S.



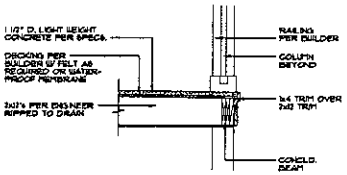
CEDAR PORCH BRACKET DETAIL

SCALE: N.T.S.



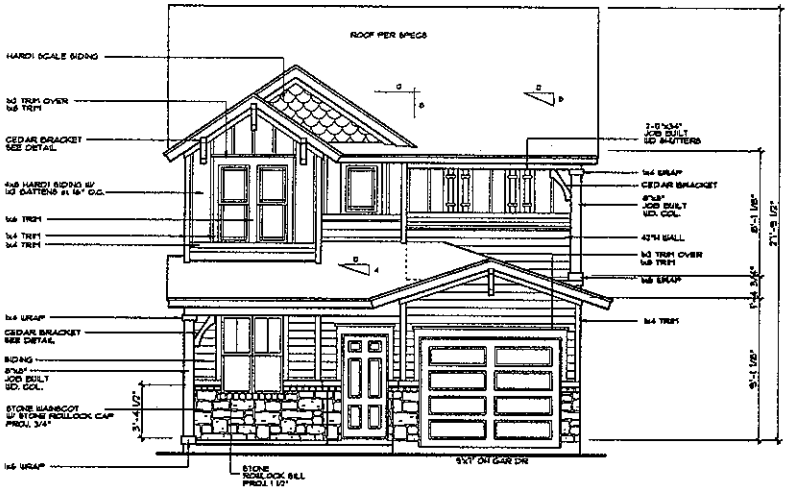
BRACKET DETAIL

SCALE: N.T.S.



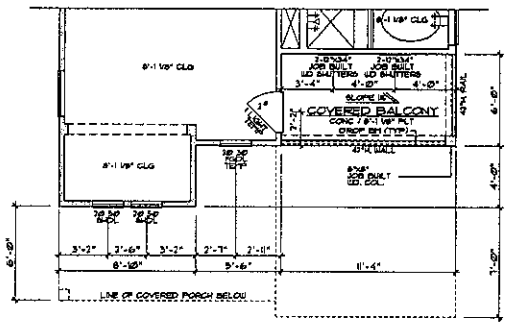
LIGHTWEIGHT CONC. DECK DETAIL

SCALE: 1/4"=1'-0"



FRONT ELEVATION

SCALE 1/8"=1'-0"



NOTES:

1st FLOOR PLATE HGTS. TO BE 8'-1 1/8" W/ 7'-10" WINDOW HEADER HGTS. UNLESS NOTED.

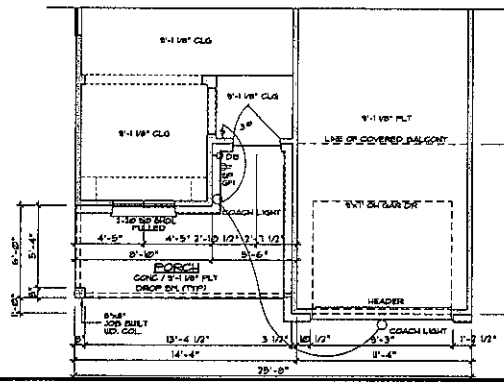
2ND LEVEL PLATE HGTS TO BE 8'-1 1/8" W/ 7'-10" WINDOW HEADER HGTS UNLESS NOTED OPT. 9'-1 1/8" W/ 7'-10" WINDOW HEADER HGTS UNLESS NOTED

PROVIDE STEEL LINTELS ABOVE ALL OPENINGS W/ MASONRY, AS REQ'RD.

PROVIDE TEMPERED GLASS WHERE REQ'D BY CODE.

SECOND LEVEL STRIP PLAN

SCALE 1/8"=1'-0"



FIRST LEVEL STRIP PLAN

SCALE 1/8"=1'-0"

HEADERS SCHEDULE BUILDING WIDTH OF 20' OR LESS (MEASURED PERPENDICULAR TO MAIN ROOF OF HOUSE)				
FOR EXTERIOR LOAD BEARING WALLS				
	ROOF and CEILING	ROOF, CEILING and ONE CENTER BEARING FLOOR	ROOF, CEILING and ONE CLEAR SPAN FLOOR	ROOF, CEILING and TWO CENTER BEARING FLOORS
2-2x4	3'-6"	3'-1"	2'-8"	2'-3"
2-2x6	5'-0"	4'-3"	3'-11"	3'-4" *
2-2x8	6'-10"	5'-8" *	5'-0" *	4'-4" *
2-2x10	8'-5" *	7'-0" *	6'-4" *	5'-4" *
2-2x12	9'-11" *	8'-1" *	7'-3" *	6'-5" *
FOR INTERIOR LOAD BEARING WALLS				
	ONE FLOOR ONLY	TWO FLOORS		
2-2x4	3'-1"	2'-2"		
2-2x6	4'-8"	3'-3" *		
2-2x8	5'-8"	4'-4" *		
2-2x10	7'-0" *	4'-11" *		
2-2x12	8'-1" *	5'-4" *		
FOR NON-LOADBEARING WALLS A SINGLE 2x4 HEADER MAY BE USED ON OPENINGS NOT EXCEEDING 3' IN WIDTH IF THE VERTICAL NAILING DISTANCE TO THE PARALLEL NAILING SURFACE DOES NOT EXCEED 24".				
* DENOTES 1 JACK STUDS REQUIRED TO SUPPORT EACH END ** DENOTES 2-2x4 JACK STUDS REQUIRED TO SUPPORT EACH END				

*2 YR. KF ARCHITECTS (REC 2006)

SIMPLIFIED PRESCRIPTIVE PACKAGE 2000-2006 IRC
ZONE NUMBER 2 (AS PER IECC 2002)
GLAZING U-FACTOR: 0.65
CEILING R-VALUE: R-49
WALL R-VALUE: R-13
FLOOR R- VALUE: R-19
CRAWLSPACE WALL: R-8
SLAB PERIMETER: R-10
BASEMENT WALL: R-8

KF ARCHITECTS (REC 2006)

MASONRY PERCENTAGE 'A' TANDEM						
		NET EXT. WALL AREA	AREA OF GLAZING and DOORS	AREA OF MASONRY	AREA OF SIDING	MASONRY PERCENTAGE ***
FRONT	1st FLOOR	120	103	39	81	33%
	2nd FLOOR	163	26	0	163	0%
	TOTAL	283	129	39	244	14%
LEFT	1st FLOOR	417	36	0	417	0%
	2nd FLOOR	573	45	0	573	0%
	TOTAL	990	81	0	990	0%
RIGHT	1st FLOOR	436	18	34	402	8%
	2nd FLOOR	576	43	0	576	0%
	TOTAL	1012	61	34	978	3%
REAR	1st FLOOR	179	54	0	179	0%
	2nd FLOOR	272	15	0	272	0%
	TOTAL	451	69	0	451	0%
SUB-TOTAL	1st FLOOR	1152	211	73	1079	6%
	2nd FLOOR	1584	129	0	1584	0%
TOTAL *		2736	340	73	2663	3%

GLAZING PERCENTAGE	
AREA OF GLAZING	283#
GROSS AIR CONDITIONED WALL AREA	2775#
GLAZING PERCENTAGE	10.20%

*NOTE: THESE CHARTS DO NOT REFLECT ANY PLAN OPTIONS OFFERED

OPTIONAL TANDEM PLAN 1930 RFA

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Date 05-26-09

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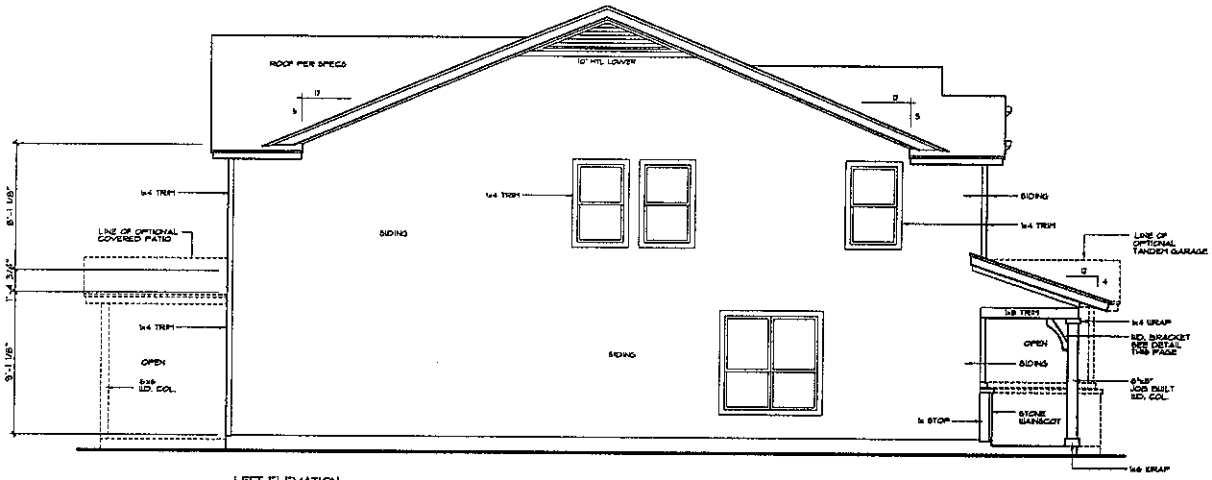


LEFT ELEVATION

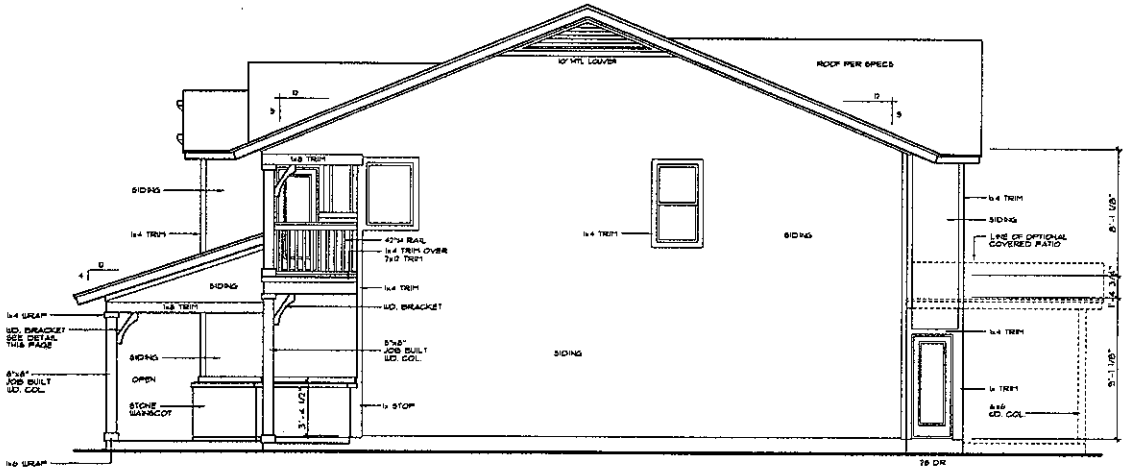
SCALE 1/8"=1'-0"

NOTES:
1st FLOOR PLATE HGTS. TO BE 9'-1 1/8" W/ 7'-10" WINDOW HEADER HGTS. UNLESS NOTED.

2ND LEVEL PLATE HGTS TO BE 8'-1 1/8" W/ 7'-0" WINDOW HEADER HGTS UNLESS NOTED OPT. 9'-1 1/8" W/ 7'-10" WINDOW HEADER HGTS UNLESS NOTED

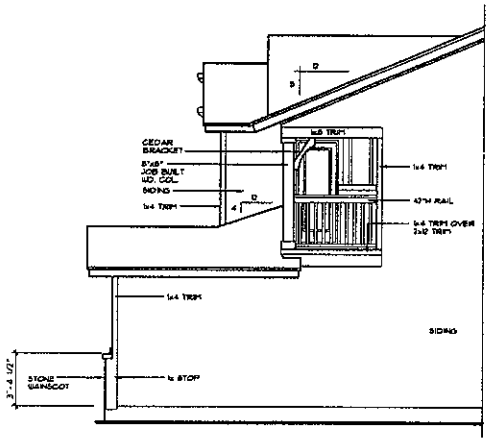
PROVIDE STEEL LINTELS ABOVE ALL OPENINGS W/ MASONRY, AS REQ'RD.

PROVIDE TEMPERED GLASS WHERE REQ'D BY CODE.



RIGHT ELEVATION

SCALE 1/8"=1'-0"



OPTIONAL TANDEM GARAGE RIGHT ELEVATION

SCALE 1/8"=1'-0"

PLAN 1930 RFA

GRASON COMMUNITIES, LTD.

KIPP*FLORES ARCHITECTS®
(512) 335-5477 fax (512) 335-5652
11715 Jollyville Rd. Suite 100 Austin, Texas 78759

GRAX-0001-103.DWG 06/04/09

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Date
05-26-09

Sheet
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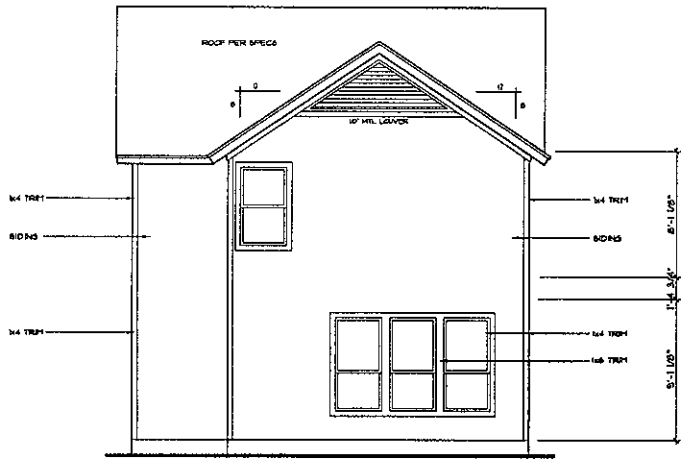


REAR ELEVATION

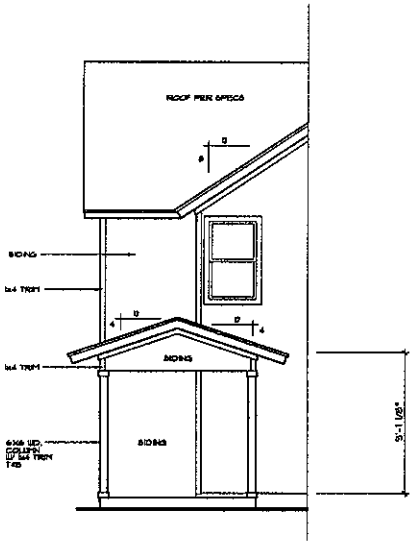
SCALE 1/8"=1'-0"

NOTES:
1st FLOOR PLATE HGTS. TO BE 8'-1 1/8" W/ 7'-10" WINDOW HEADER HGTS. UNLESS NOTED.

2ND LEVEL PLATE HGTS TO BE 8'-1 1/8" W/ 7'-10" WINDOW HEADER HGTS UNLESS NOTED OPT. 8'-1 1/8" W/ 7'-10" WINDOW HEADER HGTS UNLESS NOTED

PROVIDE STEEL LINTELS ABOVE ALL OPENINGS W/ MASONRY, AS REQ'D.

PROVIDE TEMPERED GLASS WHERE REQ'D BY CODE.



OPTIONAL COVERED PATIO
REAR ELEVATION

SCALE 1/8"=1'-0"

PLAN 1930 RFA

GRASON COMMUNITIES, LTD.

Do not scale drawing. Contractor shall verify and be responsible for all dimensions and conditions on site before commencing work. Report any discrepancies to the Architect before proceeding with work. Drawings are not to be scaled.

KIPP★FLORES ARCHITECTS
11777 Katy Freeway, Ste. 400 Houston, Texas 77079
p. (832) 295-4477 fax (832) 295-4500

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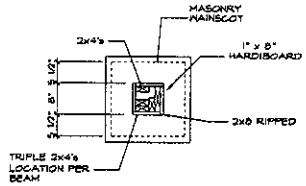
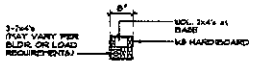
GRAA-0001-10.3E.DWG 06/04/09



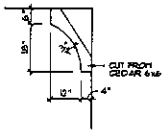
8"x8" JOB BUILT COL. OVER 19" x 19" SQ. MASONRY BASE

SCALE 3/8"=1'-0"



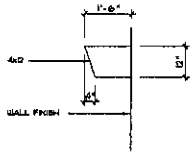
8" JOB-BUILT COLUMN

SCALE: N.T.S.



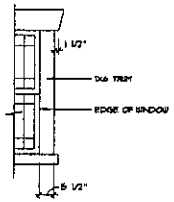
CEDAR PORCH BRACKET DETAIL

SCALE: N.T.S.



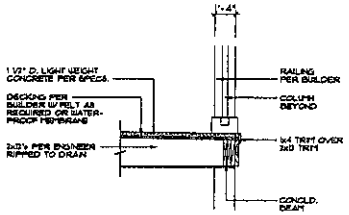
BRACKET DETAIL

SCALE: N.T.S.



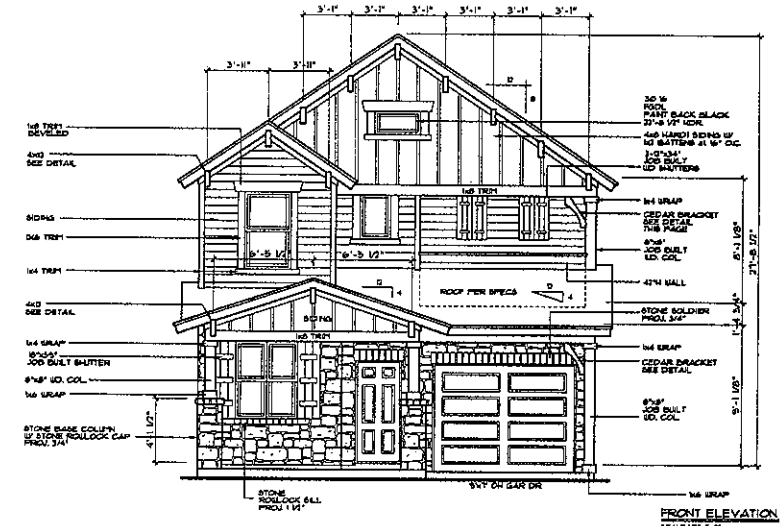
WINDOW TRIM DETAIL

SCALE 1/4"=1'-0"



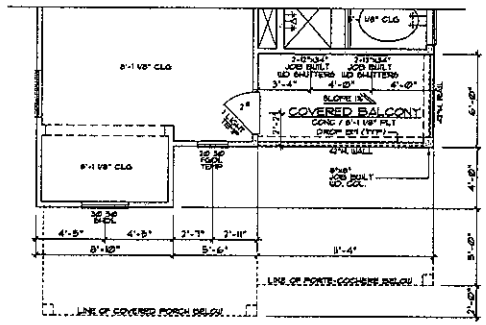
LIGHTWEIGHT CONC. DECK DETAIL

SCALE: 1/4"=1'-0"



FRONT ELEVATION

SCALE 1/8"=1'-0"



NOTES:
1st FLOOR PLATE HGTS. TO BE 9'-1 1/8" W/ 7'-10" WINDOW HEADER HGTS. UNLESS NOTED.

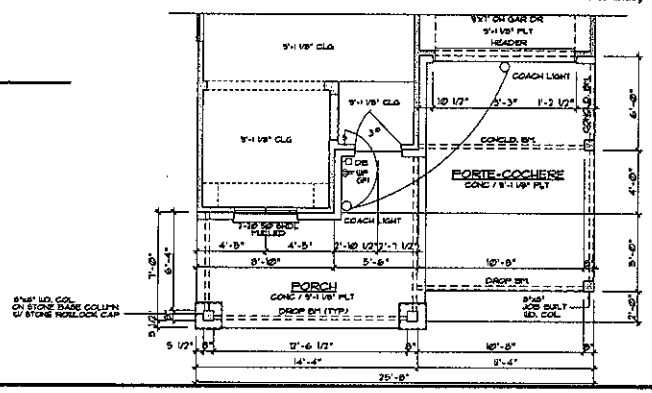
2ND LEVEL PLATE HGTS TO BE 8'-1 1/8" W/ 7'-10" WINDOW HEADER HGTS UNLESS NOTED
OPT. 9'-1 1/8" W/ 7'-10" WINDOW HEADER HGTS UNLESS NOTED

PROVIDE STEEL LINTELS ABOVE ALL OPENINGS W/ MASONRY, AS REQ'D.

PROVIDE TEMPERED GLASS WHERE REQ'D BY CODE.

SECOND LEVEL STRIP PLAN

SCALE 1/8"=1'-0"



FIRST LEVEL STRIP PLAN

SCALE 1/8"=1'-0"

HEADERS SCHEDULE
BUILDING WIDTH OF 30' OR LESS
(MEASURED PERPENDICULAR TO MAIN RIDGE OF HOUSE)

FOR EXTERIOR LOAD BEARING WALLS				
	ROOF and CEILING	ROOF, CEILING and ONE CENTER BEARING FLOOR	ROOF, CEILING and ONE CLEAR SPAN FLOOR	ROOF, CEILING and TWO CENTER BEARING FLOORS
2-2x4	3'-5"	3'-1"	2'-8"	2'-7"
2-2x6	5'-0"	4'-6"	3'-11"	3'-10" *
2-2x8	6'-10"	6'-0" *	5'-10" *	5'-6" *
2-2x10	8'-5" *	7'-10" *	6'-11" *	6'-6" *
2-2x12	9'-11" *	9'-11" *	7'-11" *	8'-6" *

FOR INTERIOR LOAD BEARING WALLS		
	ONE FLOOR ONLY	TWO FLOORS
2-2x4	3'-11"	2'-2"
2-2x6	4'-11"	3'-2" *
2-2x8	6'-4"	4'-0" *
2-2x10	7'-10" *	4'-11" *
2-2x12	9'-1" *	5'-8" *

FOR NON-LOADBEARING WALLS A SINGLE 2x4 HEADER MAY BE USED ON OPENINGS NOT EXCEEDING 5' IN WIDTH IF THE VERTICAL NAILING DISTANCE TO THE PARALLEL NAILING SURFACE DOES NOT EXCEED 24".

* DENOTES 2 JACK STUDS REQUIRED TO SUPPORT EACH END
** DENOTES 3 JACK STUDS REQUIRED TO SUPPORT EACH END

KP ARCHITECTS (REC 20061)

COMPUTED PRESCRIPTIVE PACKAGE (2006-2009 IRC)	
(SEE MAXIMUM GLASS AREA CALCS BELOW)	
GLAZING U-FACTOR:	0.65
CEILING R-VALUE:	R-49
WALL R-VALUE	R-19
FLOOR R- VALUE:	R-19
CRAWLSPACE WALL:	R-19
SLAB PERIMETER:	R-10
BASEMENT WALL:	R-19

KP ARCHITECTS (REC 20061)

MASONRY PERCENTAGE ©

		NET EXT. WALL AREA	AREA OF GLAZING and DOORS	AREA OF MASONRY	AREA OF SIDING	MASONRY PERCENTAGE ***
FRONT	1st FLOOR	122	103	96	24	80%
	2nd FLOOR	235	26	0	235	0%
	TOTAL	357	129	96	259	27%
LEFT	1st FLOOR	419	36	0	419	0%
	2nd FLOOR	378	45	0	378	0%
	TOTAL	797	81	0	797	0%
RIGHT	1st FLOOR	436	16	86	350	20%
	2nd FLOOR	376	43	0	376	0%
	TOTAL	812	61	86	726	11%
REAR	1st FLOOR	179	54	0	179	0%
	2nd FLOOR	310	15	0	310	0%
	TOTAL	489	69	0	489	0%
SUB-TOTAL	1st FLOOR	1156	211	184	972	16%
	2nd FLOOR	1299	129	0	1299	0%
	TOTAL *	2455	340	184	2271	7%

GLAZING PERCENTAGE	
AREA OF GLAZING	2784
GROSS AIR CONDITIONED WALL AREA	27154
GLAZING PERCENTAGE	10.02%

*NOTE: THESE CHARTS DO NOT REFLECT ANY PLAN OPTIONS OFFERED

PLAN 1930 RFB

GRASON COMMUNITIES, LTD.

KIPP*FLORES ARCHITECTS

GRAS-0004-1932.DWG 05/04/09

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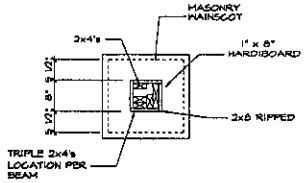
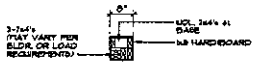
Sheet 6 of 11



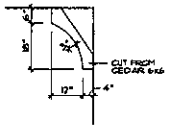
8"x8" JOB BUILT COL. OVER 19" x 19" SQ. MASONRY BASE

SCALE 3/8"=1'-0"



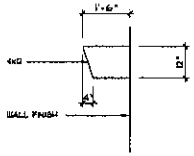
8" JOB-BUILT COLUMN

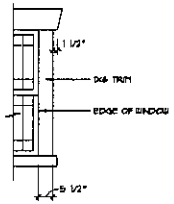
SCALE: N.T.S.



CEDAR PORCH BRACKET DETAIL

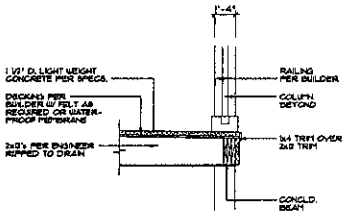
SCALE: N.T.S.





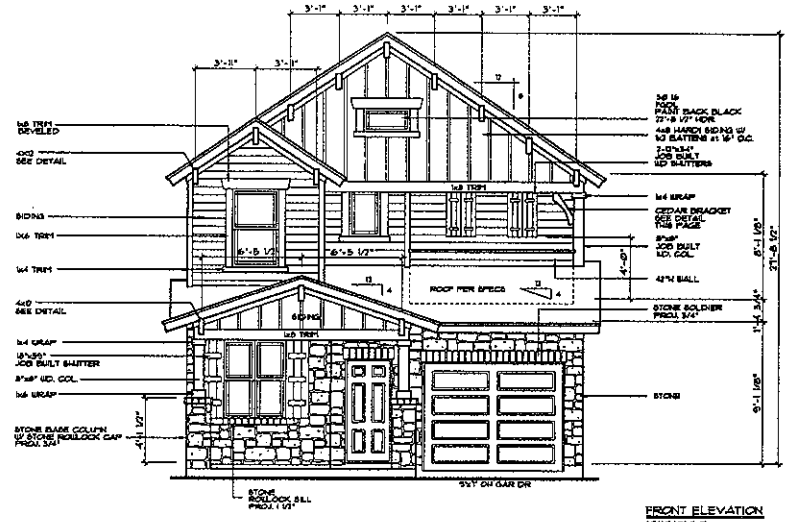
BRACKET DETAIL

SCALE: N.T.S.



LIGHTWEIGHT CONC. DECK DETAIL

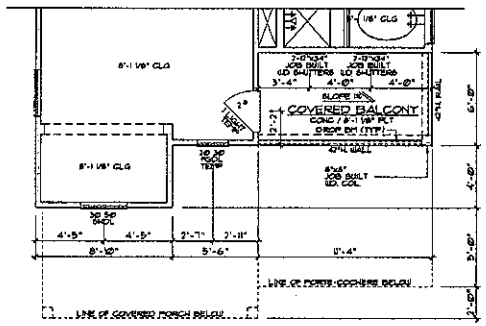
SCALE: 1/4"=1'-0"



FRONT ELEVATION

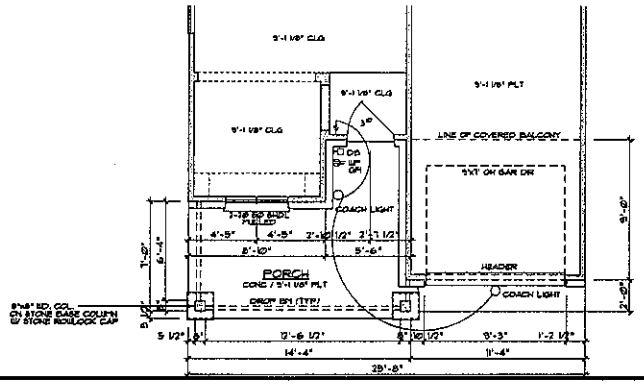
SCALE 1/8"=1'-0"

NOTES:
1x4 FLOOR PLATE HGTS. TO BE 8'-1 1/8" W/ 7'-10" WINDOW HEADER HGTS. UNLESS NOTED.
2ND LEVEL PLATE HGTS TO BE 8'-1 1/8" W/ 7'-0" WINDOW HEADER HGTS UNLESS NOTED OPT. 8'-1 1/8" W/ 7'-10" WINDOW HEADER HGTS UNLESS NOTED
PROVIDE STEEL LINTELS ABOVE ALL OPENINGS W/ MASONRY, AS REQ'RD.
PROVIDE TEMPERED GLASS WHERE REQ'D BY CODE.



SECOND LEVEL STRIP PLAN

SCALE 1/8"=1'-0"



FIRST LEVEL STRIP PLAN

SCALE 1/8"=1'-0"

HEADERS SCHEDULE BUILDING WIDTH OF 20' OR LESS (MEASURED PERPENDICULAR TO MAIN RIDGE OF HOUSE)				
FOR EXTERIOR LOAD BEARING WALLS				
	ROOF and CEILING	ROOF, CEILING and ONE CENTER BEARING FLOOR	ROOF, CEILING and ONE CLEAR SPAN FLOOR	ROOF, CEILING and TWO CENTER BEARING FLOORS
2-2x4	3'-6"	3'-1"	2'-8"	2'-1"
2-2x6	4'-8"	4'-0"	3'-11"	3'-4" *
2-2x8	6'-10"	5'-11" *	5'-0" *	4'-4" *
2-2x10	8'-8" *	7'-10" *	6'-11" *	6'-1" *
2-2x12	9'-4" *	8'-4" *	7'-11" *	6'-8" *
FOR INTERIOR LOAD BEARING WALLS				
	ONE FLOOR ONLY	TWO FLOORS		
2-2x4	3'-1"	2'-2"		
2-2x6	4'-8"	3'-3" *		
2-2x8	5'-11"	4'-4" *		
2-2x10	7'-10" *	4'-11" *		
2-2x12	8'-4" *	5'-4" *		
FOR NON-LOADBEARING WALLS A SINGLE 2x4 HEADER MAY BE USED ON OPENINGS NOT EXCEEDING 5' IN WIDTH IF THE VERTICAL NAILING DISTANCE TO THE PARALLEL NAILING SURFACE DOES NOT EXCEED 24".				
* INDICATES 2 JACK STUDS REQUIRED TO SUPPORT EACH END ** INDICATES 3 JACK STUDS REQUIRED TO SUPPORT EACH END				

*2 YR.

KP ARCHITECTS (REC 2008)

SIMPLIFIED PRESCRIPTIVE PACKAGE 2000-2001 IECC	
SEE ENERGY SAVE AREA SHEET	
GLAZING U-FACTOR:	0.65
CEILING R-VALUE:	R-19
WALL R-VALUE	R-13
FLOOR R- VALUE:	R-11
CRAWLSPACE WALL:	R-6
SLAB PERIMETER:	R-0
BASEMENT WALL:	R-5

KP ARCHITECTS (REC 2008)

MASONRY PERCENTAGE 'B' TANDEM						
		NET EXT. WALL AREA	AREA OF GLAZING and DOORS	AREA OF MASONRY	AREA OF SIDING	MASONRY PERCENTAGE ***
FRONT	1st FLOOR	122	103	98	24	80%
	2nd FLOOR	235	26	0	235	0%
	TOTAL	357	129	98	259	27%
LEFT	1st FLOOR	419	36	0	419	0%
	2nd FLOOR	378	45	0	378	0%
	TOTAL	797	81	0	797	0%
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	2nd FLOOR	376	43	0	376	0%
	TOTAL	812	61	86	726	11%
REAR	1st FLOOR	179	54	0	179	0%
	2nd FLOOR	310	15	0	310	0%
	TOTAL	489	69	0	489	0%
SUB-TOTAL	1st FLOOR	1156	211	184	972	16%
	2nd FLOOR	1299	129	0	1299	0%
TOTAL *		2455	340	184	2271	7%

GLAZING PERCENTAGE	
AREA OF GLAZING	2786
GROSS AIR CONDITIONED WALL AREA	27154
GLAZING PERCENTAGE	10.02%

*NOTE: THESE CHARTS DO NOT REFLECT ANY PLAN OPTIONS OFFERED

OPTIONAL TANDEM PLAN 1930 RFB

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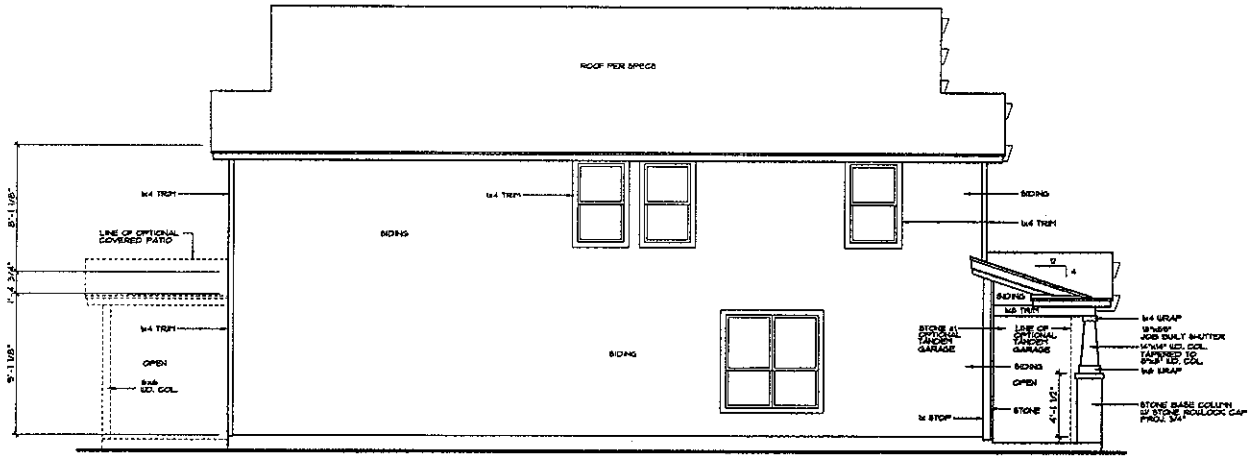
KIPP+FLORES ARCHITECTS
• (512) 335-5177 fax (512) 335-5322
11777A Jollyville Rd. Suite 100 Austin, Texas 78759

Date 05-26-09

Sheet 6B of 11

GRA-1004-102-01-3.DWG 05/04/09



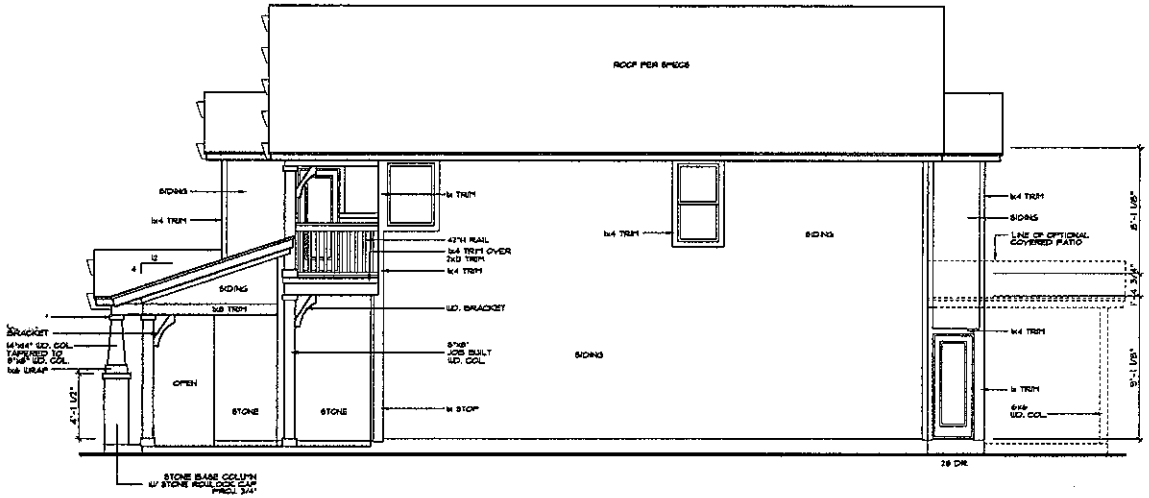
LEFT ELEVATION
SCALE 1/8"=1'-0"

NOTES:
1st FLOOR PLATE HGTS. TO BE 9'-1 1/8" W/ 7'-0" WINDOW HEADER HGTS. UNLESS NOTED.

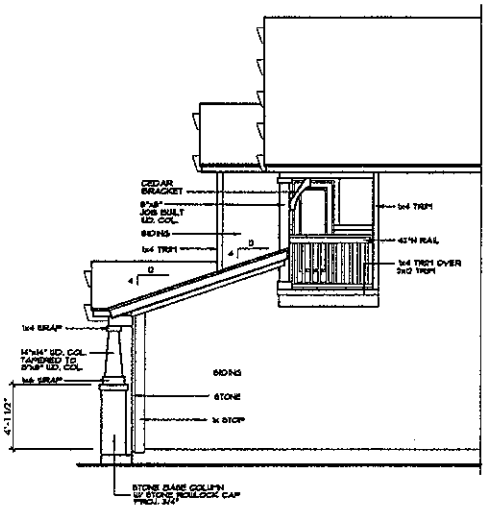
2ND LEVEL PLATE HGTS TO BE 8'-1 1/8" W/ 7'-0" WINDOW HEADER HGTS UNLESS NOTED OPT. 7'-1 1/8" W/ 7'-0" WINDOW HEADER HGTS UNLESS NOTED

PROVIDE STEEL LINTELS ABOVE ALL OPENINGS W/ MASONRY, AS REQ'RD.

PROVIDE TEMPERED GLASS WHERE REQ'D BY CODE.



RIGHT ELEVATION
SCALE 1/8"=1'-0"



OPTIONAL TANDEM GARAGE
RIGHT ELEVATION
SCALE 1/8"=1'-0"

PLAN 1930 RFB

GRASON COMMUNITIES, LTD.

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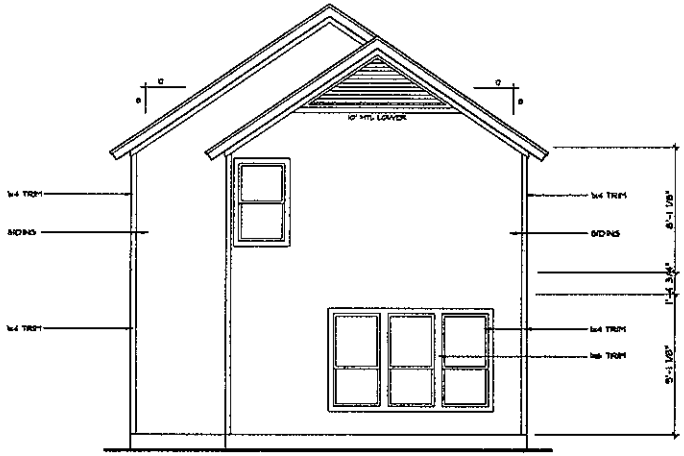


REAR ELEVATION

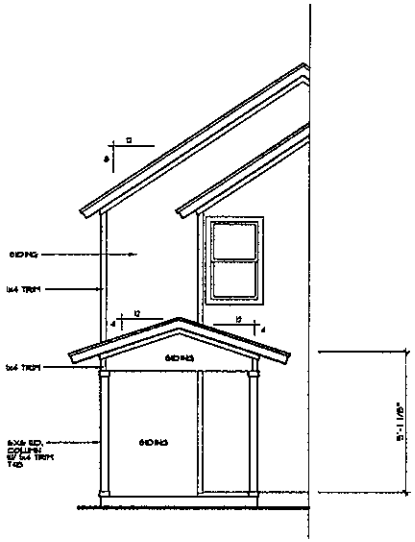
SCALE 1/8"=1'-0"

NOTES:
1st FLOOR PLATE HGTS TO BE 9'-1 1/8" W/ 7'-10" WINDOW HEADER HGTS UNLESS NOTED.

2ND LEVEL PLATE HGTS TO BE 8'-1 1/8" W/ 7'-0" WINDOW HEADER HGTS UNLESS NOTED OPT. 8'-1 1/8" W/ 7'-10" WINDOW HEADER HGTS UNLESS NOTED

PROVIDE STEEL LINTELS ABOVE ALL OPENINGS W/ MASONRY, AS REQ'D.

PROVIDE TEMPERED GLASS WHERE REQ'D BY CODE.



OPTIONAL COVERED PATIO
REAR ELEVATION

SCALE 1/8"=1'-0"

PLAN 1930 RFB

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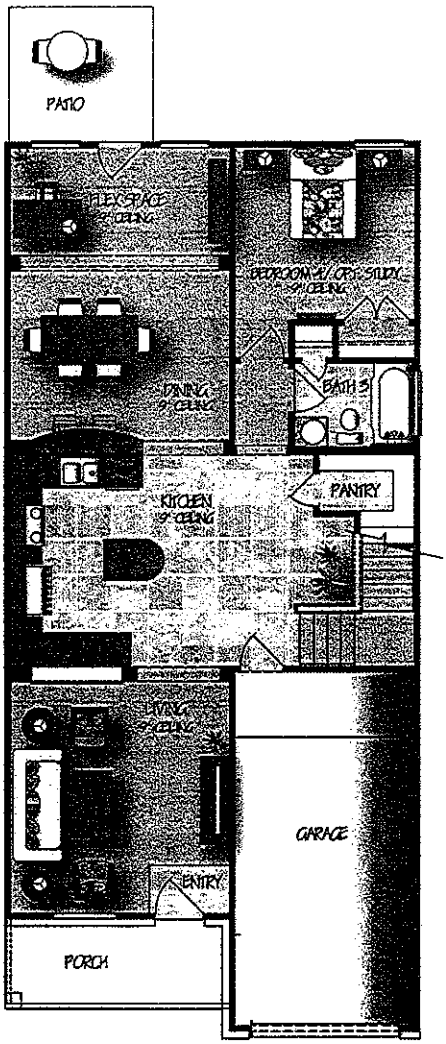
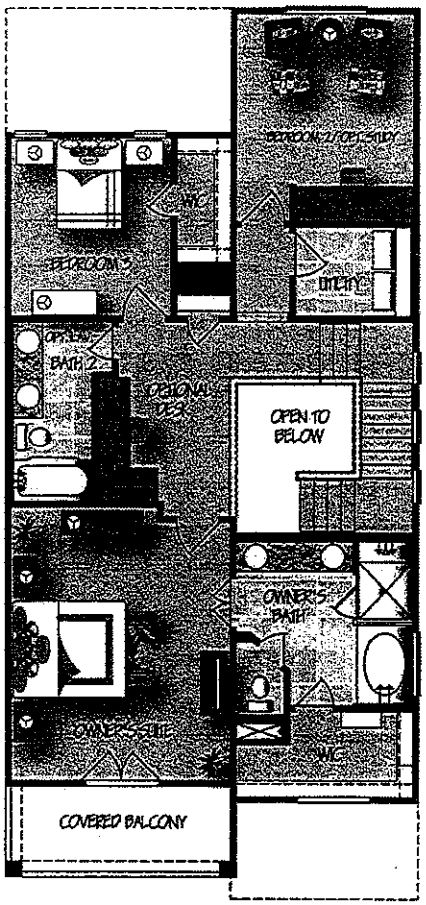
PLAN 2077 I

Elevation A

Elevation B



First Floor



Second Floor

2061 Approximate Living

TREATY OAK HOMES

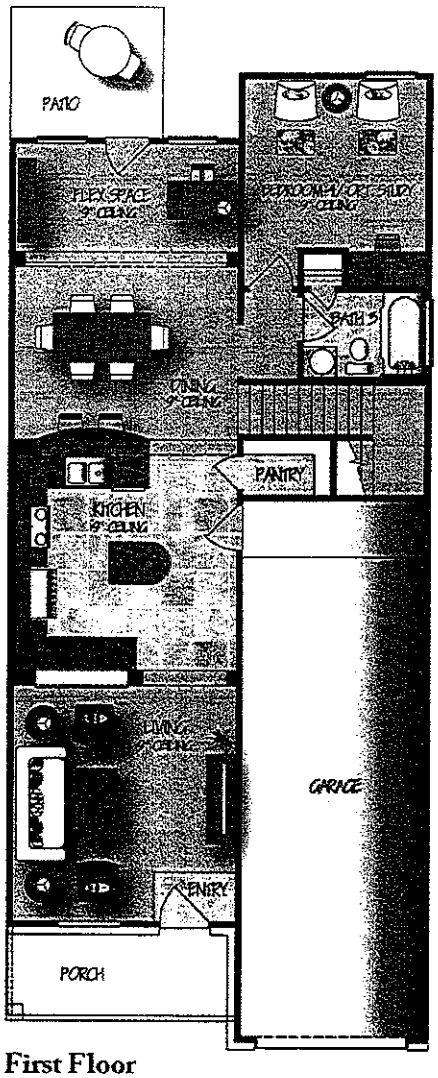
www.treatyoakhomes.com

*Prices, floorplans, and features are subject to change anytime without notice. Square footages are approximate and may vary upon elevations and/or options selected. Elevations and floorplans are artist's concepts. Please consult your sales representative for current information. © 2005 Kipp Flores Architects.

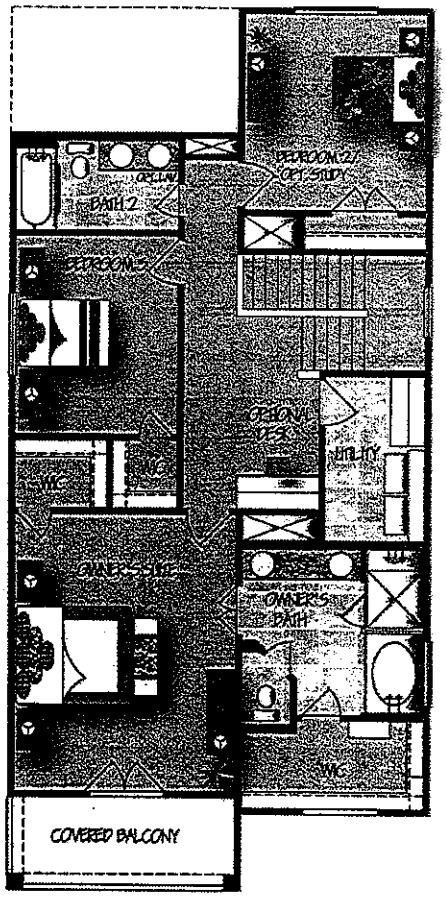
PLAN 2077 II

Elevation A

Elevation B



First Floor



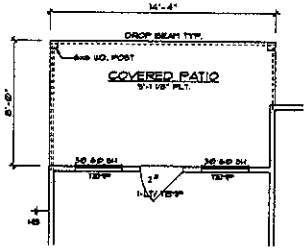
Second Floor

2067 Approximate Living

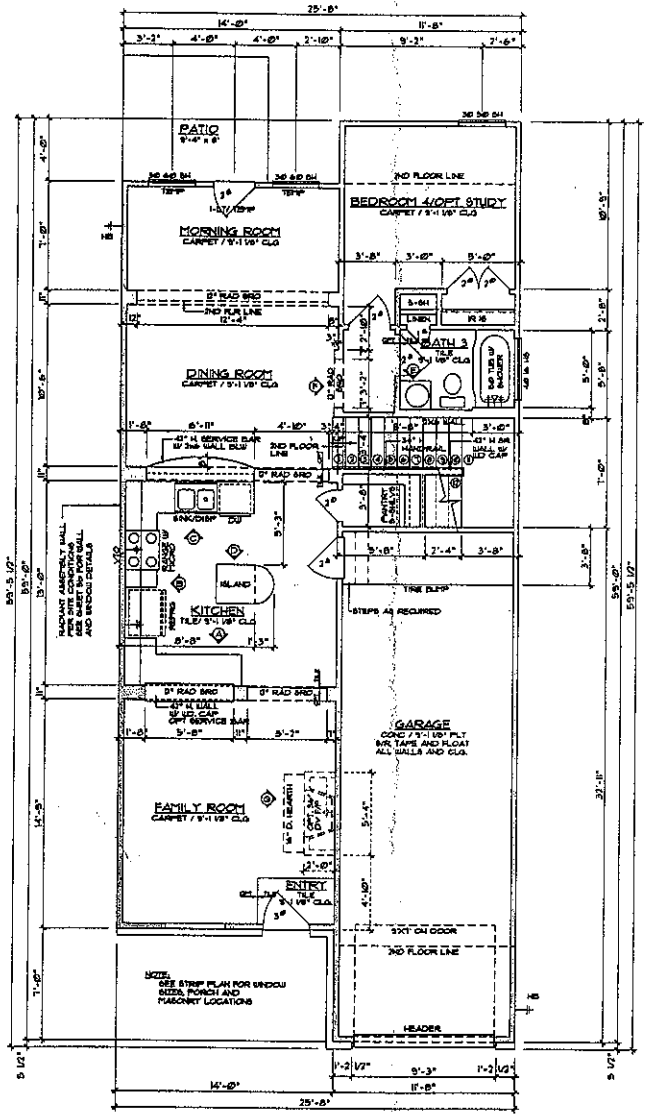
*Prices, floorplans, and features are subject to change anytime without notice. Square footages are approximate and may vary upon elevations and/or options selected. Elevations and floorplans are artist's concepts. Please consult your sales representative for current information. © 2006 Kipp Flores Architects.

TREATY OAK HOMES

www.treatyoakhomes.com



OPTIONAL COVERED PATIO
SCALE 1/8"=1'-0"



HEADERS SCHEDULE BUILDING WIDTH OF 30' OR LESS (MEASURED PERPENDICULAR TO MAIN RIDGE OF HOUSE)				
FOR EXTERIOR LOAD BEARING WALLS				
	ROOF and CEILING	ROOF, CEILING and ONE CENTER BEARING FLOOR	ROOF, CEILING and ONE CLEAR SPAN FLOOR	ROOF, CEILING and TWO CENTER BEARING FLOORS
2-2x4	3'-4"	2'-4"	2'-0"	2'-0"
2-2x6	3'-8"	2'-8"	2'-4"	2'-4" *
2-2x8	4'-10"	3'-4" *	2'-10" *	2'-4" *
2-2x10	6'-0" *	4'-0" *	3'-4" *	2'-10" *
2-2x12	6'-8" *	5'-0" *	4'-0" *	3'-4" *
FOR INTERIOR LOAD BEARING WALLS				
	ONE FLOOR ONLY		TWO FLOORS	
2-2x4	2'-4"		1'-8"	
2-2x6	3'-0"		2'-0" *	
2-2x8	3'-8"		2'-4" *	
2-2x10	4'-8" *		3'-0" *	
2-2x12	5'-4" *		3'-4" *	

FOR NON-LOADBEARING WALLS A SINGLE 2x4 HEADER MAY BE USED ON OPENINGS NOT EXCEEDING 6' IN WIDTH IF THE VERTICAL NAILING DISTANCE TO THE PARALLEL NAILING SURFACE DOES NOT EXCEED 24".

* DENOTES 2 JACK STUDS REQUIRED TO SUPPORT EACH END
** DENOTES 3 JACK STUDS REQUIRED TO SUPPORT EACH END

*2 YP. KP ARCHITECTS (RC 2006)

Square Footage Chart		
	FRAME	with MASONRY
1 ST FLOOR	1598	1598
2 ND FLOOR	1672	1672
TOTAL LIVING	3264	3267
GARAGE	372	380
PORCH	73	73
COV. BALCONY	61	61
TOTAL	3566	3555

FIRST LEVEL FLOOR PLAN
SCALE 1/8"=1'-0"

NOTES:

1ST LEVEL PLATE HGTS TO BE 9'-1 1/8" W/ 7'-10" WINDOW HEADER HGTS UNLESS NOTED

2ND LEVEL PLATE HGTS TO BE 8'-1 1/8" W/ 7'-10" WINDOWS HEADER HGTS UNLESS NOTED
OPT. 9'-1 1/8" W/ 7'-10" WINDOW HEADER HGTS UNLESS NOTED

PROVIDE FIREBLOCKING IN ALL AREAS AS REQUIRED PER CURRENT IRC CODE

ALL ANGLED WALLS TO BE 45° UNLESS NOTED OTHERWISE

PROVIDE FLTRD PAD IN ATTIC FOR HVAC UNITS AND 24 W/ RECORD ELECT, MECH AND PLUMB

PROVIDE TEMPERED GLASS (CHECK RECORD

BATH 3 BLOCKING REQUIREMENTS:
LATERAL 2x6 OR LARGER NOMINAL WOOD BLOCKING MUST BE INSTALLED FLUSH BTN STUD EDGES OF BATHROOM WALLS
CENTERLINE OF BLOCKING MUST BE 34 INCHES FROM AND PARALLEL TO THE INTERIOR FLOOR LEVEL

2077-II

PLAN 2067 RF

GRASON COMMUNITIES, LTD.

KIPP★FLORES ARCHITECTS
(512) 258-5477 fax (512) 258-0002
11770 Lakeline Blvd. Suite 100 Austin, Texas 78759

Date
6-1-09

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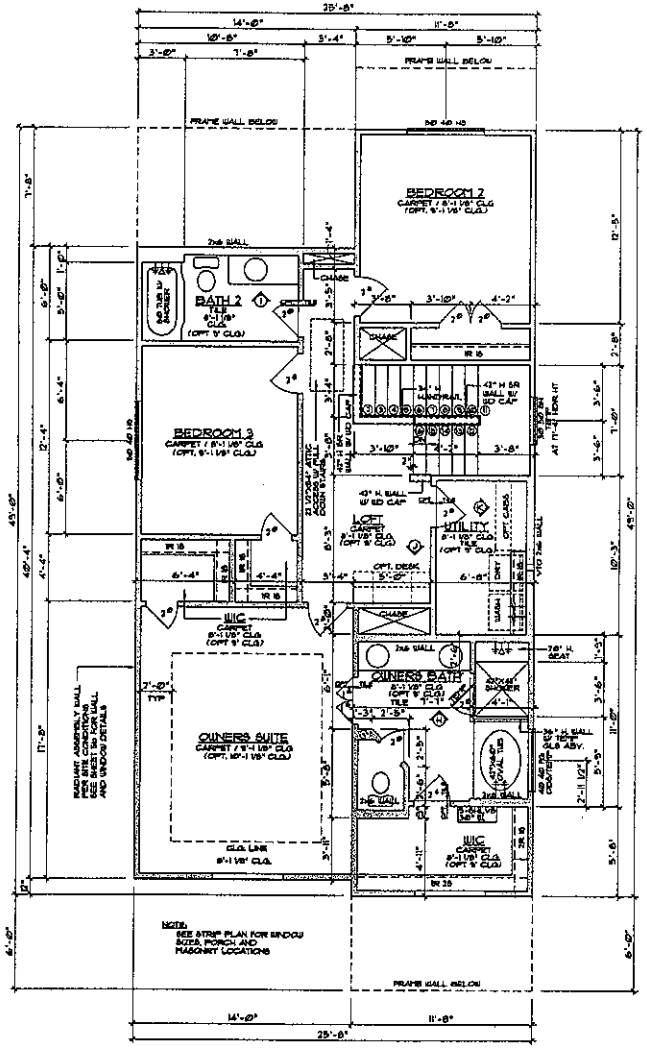

HEADERS SCHEDULE BUILDING WIDTH OF 30' OR LESS (MEASURED PERPENDICULAR TO MAIN RIDGE OF HOUSE)				
FOR EXTERIOR LOAD BEARING WALLS				
	ROOF and CEILING	ROOF, CEILING and ONE CENTER BEARING FLOOR	ROOF, CEILING and ONE CLEAR SPAN FLOOR	ROOF, CEILING and TWO CENTER BEARING FLOORS
2-2x4	3'-6" *	3'-1" *	3'-6" *	2'-11" *
2-2x6	5'-3" *	4'-8" *	5'-11" *	5'-1" *
2-2x8	6'-10" *	6'-0" *	6'-10" *	5'-11" *
2-2x10	8'-8" *	7'-10" *	8'-11" *	8'-0" *
2-2x12	9'-8" *	8'-11" *	11'-1" *	9'-10" *
FOR INTERIOR LOAD BEARING WALLS				
	ONE FLOOR ONLY	TWO FLOORS		
2-2x4	5'-11" *	3'-2" *		
2-2x6	8'-0" *	5'-2" *		
2-2x8	9'-4" *	6'-11" *		
2-2x10	11'-0" *	8'-11" *		
2-2x12	12'-11" *	9'-11" *		
FOR NON-LOADBEARING WALLS A SINGLE 2x4 HEADER MAY BE USED ON OPENINGS NOT EXCEEDING 8' IN WIDTH IF THE VERTICAL NAILING DISTANCE TO THE PARALLEL NAILING SURFACE DOES NOT EXCEED 24".				
* DENOTES 3 JACK STUDS REQUIRED TO SUPPORT EACH END ** DENOTES 3 JACK STUDS REQUIRED TO SUPPORT EACH END				

*2 YR. KF ARCHITECTS (IRC 2006)

SECOND LEVEL FLOOR PLAN

SCALE 1/8"=1'-0"

NOTES:

1ST LEVEL PLATE HGTS TO BE 8'-1 1/8" @ 7'-10" WINDOW HEADER HGTS UNLESS NOTED

2ND LEVEL PLATE HGTS TO BE 8'-1 1/8" @ 7'-10" WINDOW HEADER HGTS UNLESS NOTED
OPT. 9'-1 1/8" @ 7'-10" WINDOW HEADER HGTS UNLESS NOTED

PROVIDE FIREBLOCKING IN ALL AREAS AS REQUIRED PER CURRENT IRC CODE

ALL ANGLED WALLS TO BE 45° UNLESS NOTED OTHERWISE

PROVIDE PLYWD PAD IN ATTIC FOR HVAC UNITS(s) AND 1/4 @ REQRD ELECT, FRCH AND PLUMB

PROVIDE TEMPERED GLASS WHERE REQRD

BATH 3 BLOCKING REQUIREMENTS:
LATERAL 2x6 OR LARGER NOMINAL WOOD BLOCKING MUST BE INSTALLED PLUMB WITH STUD EDGES OF BATHROOM WALLS
CENTERLINE OF BLOCKING MUST BE 34 INCHES FROM AND PARALLEL TO THE INTERIOR FLOOR LEVEL

PLAN 2067 RF

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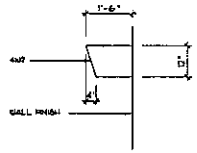
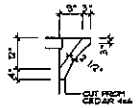
2 of 10



BEAM TAIL DETAIL
SCALE: N.T.S.



BRACKET DETAIL
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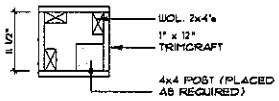
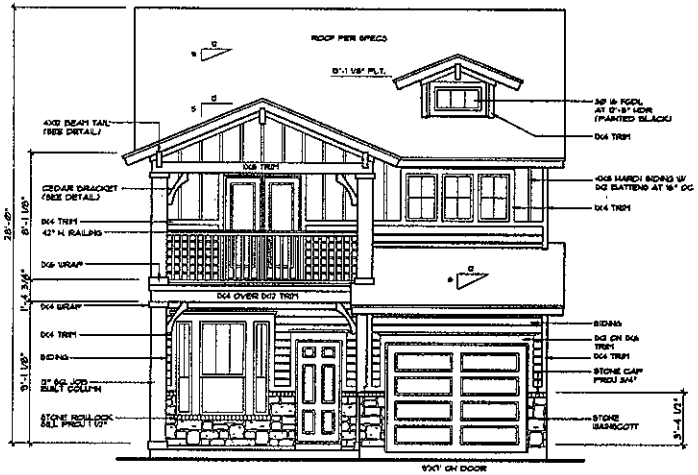


12" JOB BUILT COLUMN DETAIL
SCALE: N.T.S.



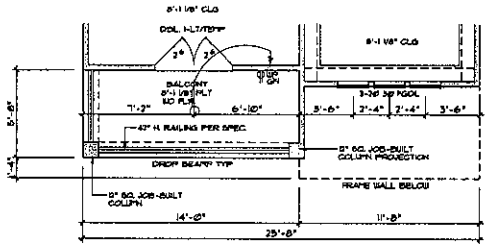
FRONT ELEVATION
SCALE 1/8"=1'-0"

NOTES:
1st FLOOR PLATE HGTS. TO BE 9'-1 1/8" W/ 7'-0" WINDOW HEADER HGTS UNLESS NOTED.

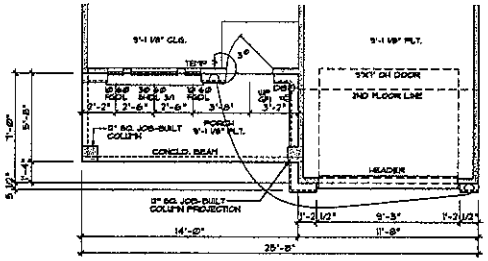
2ND LEVEL PLATE HGTS TO BE 8'-1 1/8" W/ 7'-0" WINDOW HEADER HGTS UNLESS NOTED OTH. 9'-1 1/8" W/ 7'-0" WINDOW HEADER HGTS UNLESS NOTED

PROVIDE STEEL LINTELS ABOVE ALL OPENINGS W/ MASONRY, AS REQ'D.

PROVIDE TEMPERED GLASS WHERE REQ'D BY CODE.



SECOND LEVEL STRIP PLAN
SCALE 1/8"=1'-0"



FIRST LEVEL STRIP PLAN
SCALE 1/8"=1'-0"

HEADERS SCHEDULE BUILDING WIDTH OF 30' OR LESS (MEASURED PERPENDICULAR TO MAIN RIDGE OF HOUSE)				
FOR EXTERIOR LOAD BEARING WALLS				
	ROOF and CEILING	ROOF, CEILING and ONE CENTER BEARING FLOOR	ROOF, CEILING and ONE CLEAR SPAN FLOOR	ROOF, CEILING and TWO CENTER BEARING FLOORS
2-2x4	3'-6" *	3'-1" *	2'-8" *	2'-7" *
2-2x6	5'-5" *	4'-8" *	4'-1" *	3'-11" *
2-2x8	6'-10" *	5'-10" *	5'-0" *	4'-11" *
2-2x10	8'-3" *	7'-0" *	6'-1" *	5'-11" *
2-2x12	9'-11" *	8'-11" *	7'-1" *	6'-10" *
FOR INTERIOR LOAD BEARING WALLS				
	ONE FLOOR ONLY		TWO FLOORS	
2-2x4	3'-1"		2'-2"	
2-2x6	4'-8"		3'-3" *	
2-2x8	5'-8"		4'-1" *	
2-2x10	7'-0" *		5'-1" *	
2-2x12	8'-1" *		5'-11" *	
FOR NON-LOADBEARING WALLS A SINGLE 2x4 HEADER MAY BE USED ON OPENINGS NOT EXCEEDING 5' IN WIDTH IF THE VERTICAL NAILING DISTANCE TO THE PARALLEL NAILING SURFACE DOES NOT EXCEED 24".				
* DENOTES 2 JACK STUDS REQUIRED TO SUPPORT EACH END ** DENOTES 3 JACK STUDS REQUIRED TO SUPPORT EACH END				

*2 YP.

10th ARCHITECTS REC 3008)

2009 UPDATED PRESCRIPTIVE PACKAGE (2000-2009 IRC)	
(OR MAXIMUM GLASS AREA, GLAZING RATIO)	
GLAZING U-FACTOR	0.65
CEILING R-VALUE	R-19
WALL R-VALUE	R-13
FLOOR R- VALUE	R-1
CRAWLSPACE WALL	R-5
SLAB PERIMETER	R-0
BASEMENT WALL	R-5

10th ARCHITECTS REC 3008)

GLAZING PERCENTAGE	
AREA OF GLAZING	259
GROSS AIR CONDITIONED WALL AREA	2850
GLAZING PERCENTAGE	9.44%

*NOTE: THESE CHARTS DO NOT REFLECT ANY PLAN OPTIONS OFFERED

MASONRY PERCENTAGE ***						
		NET EXT. WALL AREA	AREA OF SIDING and DOORS	AREA OF MASONRY	AREA OF SIDING	MASONRY PERCENTAGE ***
FRONT	1st FLOOR	172	113	32	120	30%
	2nd FLOOR	235	57	0	296	0%
	TOTAL	480	172	32	376	24%
RIGHT	1st FLOOR	326	6	0	326	0%
	2nd FLOOR	567	31	0	567	0%
	TOTAL	1,12	37	0	1112	0%
LEFT	1st FLOOR	436	0	0	436	0%
	2nd FLOOR	526	20	0	526	0%
	TOTAL	962	20	0	962	0%
REAR	1st FLOOR	178	69	0	178	0%
	2nd FLOOR	201	20	0	201	0%
	TOTAL	379	89	0	379	0%
SUB-TOTAL	1st FLOOR	1311	190	32	1259	4%
	2nd FLOOR	1571	126	0	1571	0%
TOTAL *		2883	316	32	2831	2%

PLAN 2067 RFA

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Be to workers, a construction estimate and density is construction estimate, of description and dimensions are approximate and may not be exact. Minor changes not impossible, but deviations are minimal and may not affect. Based any changes to work to be paid by builder or the responsible party. Changes to be made by contractor only if approved by architect.

KIPP*FLORES ARCHITECTS
11770 Jollyville Rd., Suite 100 Austin, Texas 78759
p. (512) 335-5477 fax (512) 335-5502

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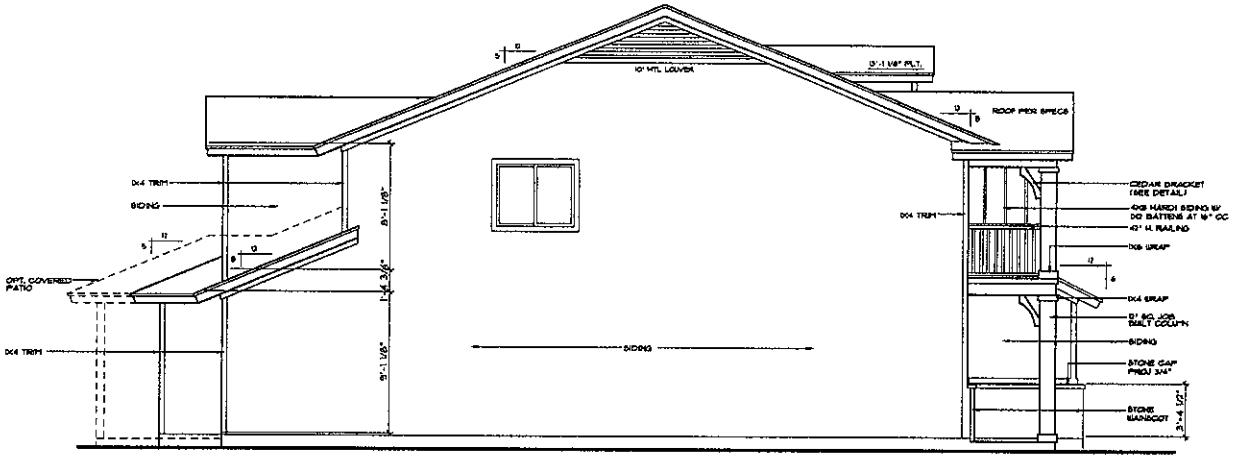


LEFT SIDE ELEVATION

SCALE 1/8"=1'-0"

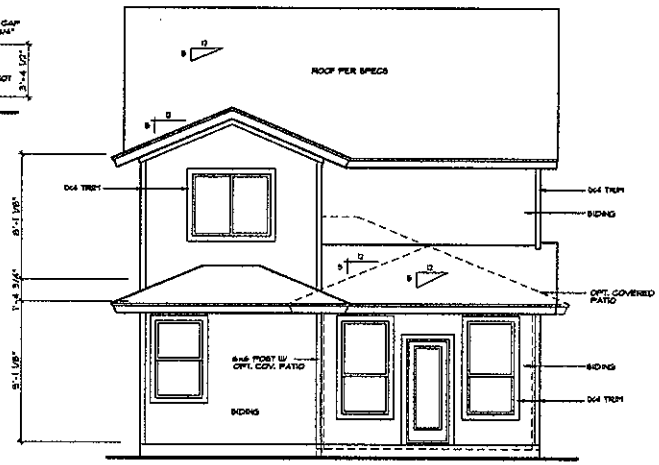
NOTES:

1st FLOOR PLATE HGTS TO BE 8'-1 1/8" W/ 7'-10" WINDOW HEADER HGTS. UNLESS NOTED.

2ND LEVEL PLATE HGTS TO BE 8'-1 1/8" W/ 7'-10" WINDOW HEADER HGTS UNLESS NOTED OPT. 8'-1 1/8" W/ 7'-10" WINDOW HEADER HGTS UNLESS NOTED

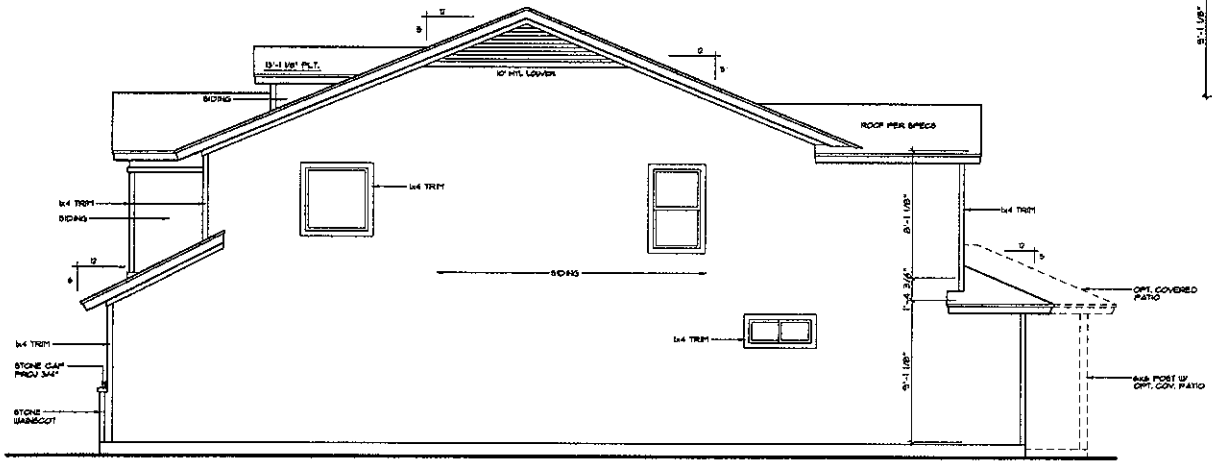
PROVIDE STEEL LINTELS ABOVE ALL OPENINGS W/ MASONRY, AS REQ'D.

PROVIDE TEMPERED GLASS WHERE REQ'D BY CODE.



REAR ELEVATION

SCALE 1/8"=1'-0"



RIGHT SIDE ELEVATION

SCALE 1/8"=1'-0"

PLAN 2067 RFA

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Sheet 7A of 10

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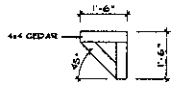
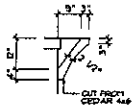


BRACKET DETAIL
SCALE: N.T.S.



BRACKET DETAIL
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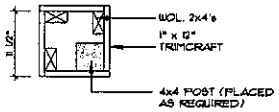
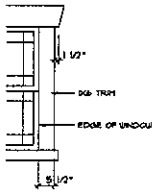
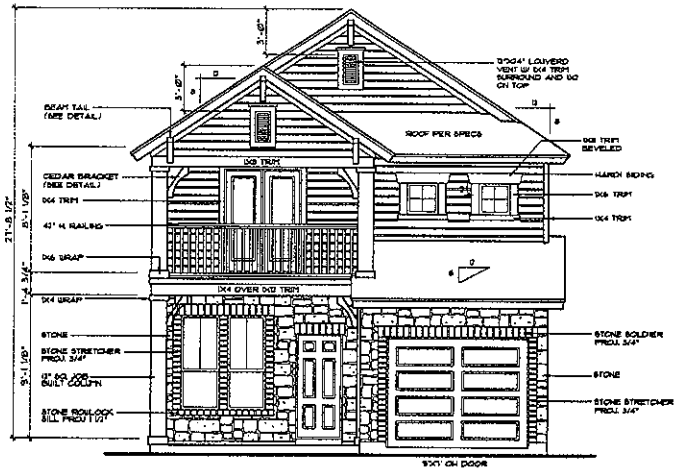


12" JOB BUILT COLUMN DETAIL
SCALE: N.T.S.



WINDOW TRIM DETAIL
SCALE: 1/4" = 1'-0"



FRONT ELEVATION
SCALE 1/8"=1'-0"

NOTES:
1st FLOOR PLATE HGTS. TO BE 8'-1 1/8" W/ 7'-10" WINDOW HEADER HGTS. UNLESS NOTED.

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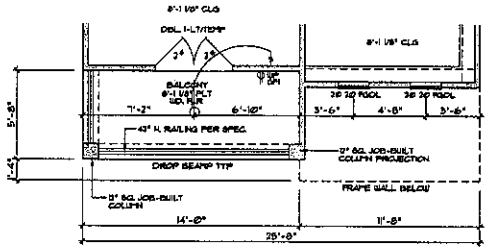
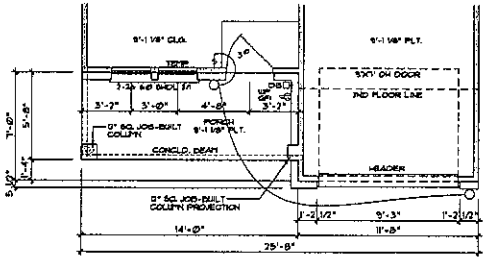
OPT. 9'-1 1/8" W/ 7'-10" WINDOW HEADER HGTS UNLESS NOTED

PROVIDE STEEL LINTELS ABOVE ALL OPENINGS W/ MASONRY, AS REQ'RD.

PROVIDE TEMPERED GLASS WHERE REQ'D BY CODE



SECOND LEVEL STRIP PLAN
SCALE 1/8"=1'-0"



FIRST LEVEL STRIP PLAN
SCALE 1/8"=1'-0"

HEADERS SCHEDULE
BUILDING WIDTH OF 30' OR LESS
(MEASURED PERPENDICULAR TO MAIN RIDGE OF HOUSE)

	ROOF and CEILING	ROOF, CEILING and ONE CENTER BEARING FLOOR	ROOF, CEILING and ONE GLEAM SPAN FLOOR	ROOF, CEILING and TWO CENTER BEARING FLOORS
FOR EXTERIOR LOAD BEARING WALLS				
2-2x4	3'-6"	3'-1"	2'-8"	2'-11"
2-2x6	5'-5"	4'-6"	3'-11"	3'-8" *
2-2x8	6'-10"	5'-10" *	5'-0" *	4'-8" *
2-2x10	8'-5" *	7'-0" *	6'-11" *	5'-8" *
2-2x12	9'-8" *	8'-1" *	7'-11" *	6'-6" *

	ONE FLOOR ONLY	TWO FLOORS
FOR INTERIOR LOAD BEARING WALLS		
2-2x4	3'-1"	2'-2"
2-2x6	4'-6"	3'-2" *
2-2x8	5'-11"	4'-11" *
2-2x10	7'-0" *	4'-11" *
2-2x12	8'-1" *	5'-8" *

FOR NON-LOADBEARING WALLS A SINGLE 2x4 HEADER MAY BE USED ON OPENINGS NOT EXCEEDING 5' IN WIDTH IF THE VERTICAL NAILING DISTANCE TO THE PARALLEL NAILING SURFACE DOES NOT EXCEED 24".

* DENOTES 2 JACK STUDS REQUIRED TO SUPPORT EACH END
** DENOTES 3 JACK STUDS REQUIRED TO SUPPORT EACH END

#2 YP. KP ARCHITECTS (REC 20061)

SIMPLIFIED PRESCRIPTIVE PACKAGE (2000/2006 IECC)	
20% MASONRY (GLASS AREA CLAD 2000)	
GLAZING U-FACTOR	0.65
CEILING R-VALUE	R-19
WALL R-VALUE	R-13
FLOOR R- VALUE	R-11
CRAWLSPACE WALL	R-5
SLAB PERIMETER	R-0
BASEMENT WALL	R-5

KP ARCHITECTS (IECC 2003)

GLAZING PERCENTAGE	
AREA OF GLAZING	243
GROSS AIR CONDITIONED WALL AREA	2850
GLAZING PERCENTAGE	8.54%

*NOTE: THESE CHARTS DO NOT REFLECT ANY PLAN OPTIONS OFFERED

MASONRY PERCENTAGE (1)

		NET EXT. WALL AREA	AREA OF GLAZING and DOORS	AREA OF MASONRY	AREA OF SIDING	MASONRY PERCENTAGE ***
FRONT	1st FLOOR	165	123	165	0	50%
	2nd FLOOR	334	42	0	334	0%
	TOTAL	519	157	165	334	36%
RIGHT	1st FLOOR	526	6	0	526	0%
	2nd FLOOR	393	31	0	395	0%
	TOTAL	920	37	0	920	0%
LEFT	1st FLOOR	456	0	0	456	0%
	2nd FLOOR	335	20	0	335	0%
	TOTAL	770	20	0	770	0%
REAR	1st FLOOR	175	69	0	175	0%
	2nd FLOOR	204	20	0	204	0%
	TOTAL	382	89	0	382	0%
SUB-TOTAL	1st FLOOR	1323	190	165	1158	14%
	2nd FLOOR	1266	113	0	1266	0%
TOTAL *		2589	303	165	2408	7%

PLAN 2067 RFB

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Not to scale: a conductor artists are design to construction material, all dimensions and numbers are approximate and may vary from site to site. Builder consult full responsibility for verifying dimensions, quantities, specifications, and all other information prior to ordering materials. Builder assumes full liability for material errors and omissions.

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11770 Westheimer Rd., Suite 100 Houston, Texas 77077-6

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GRAS-0006-182.DWG 06/03/09

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Sheet
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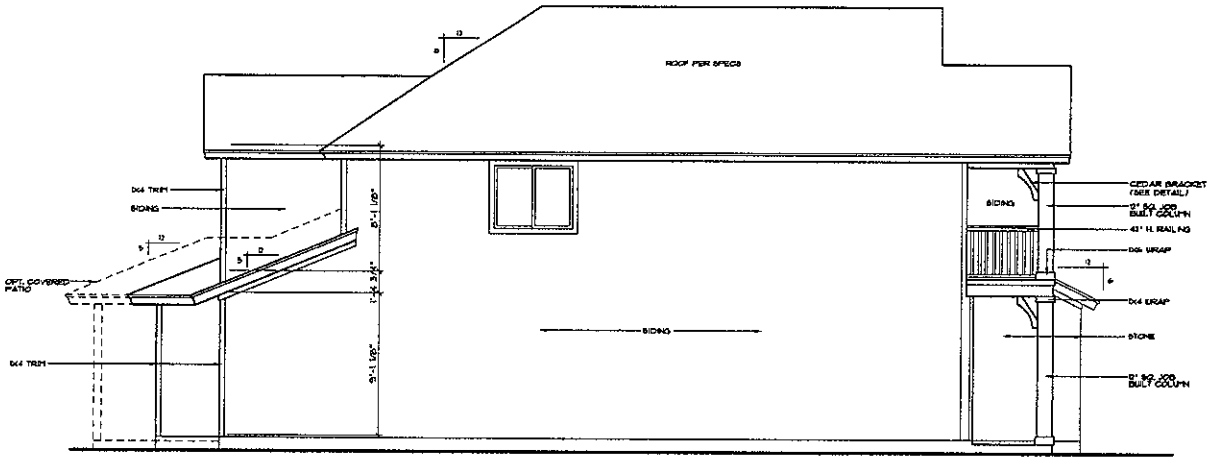


LEFT SIDE ELEVATION

SCALE 1/8"=1'-0"

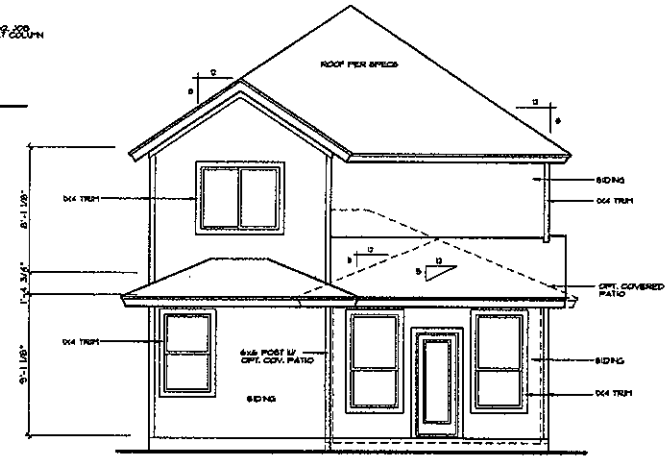
NOTES:

1st FLOOR PLATE HGTS. TO BE 8'-1 1/8" EX 7'-1/8" WINDOW HEADER HGTS. UNLESS NOTED.

2ND LEVEL PLATE HGTS TO BE 8'-1 1/8" EX 7'-10" WINDOW HEADER HGTS UNLESS NOTED OPT. 8'-1 1/8" EX 7'-10" WINDOW HEADER HGTS UNLESS NOTED

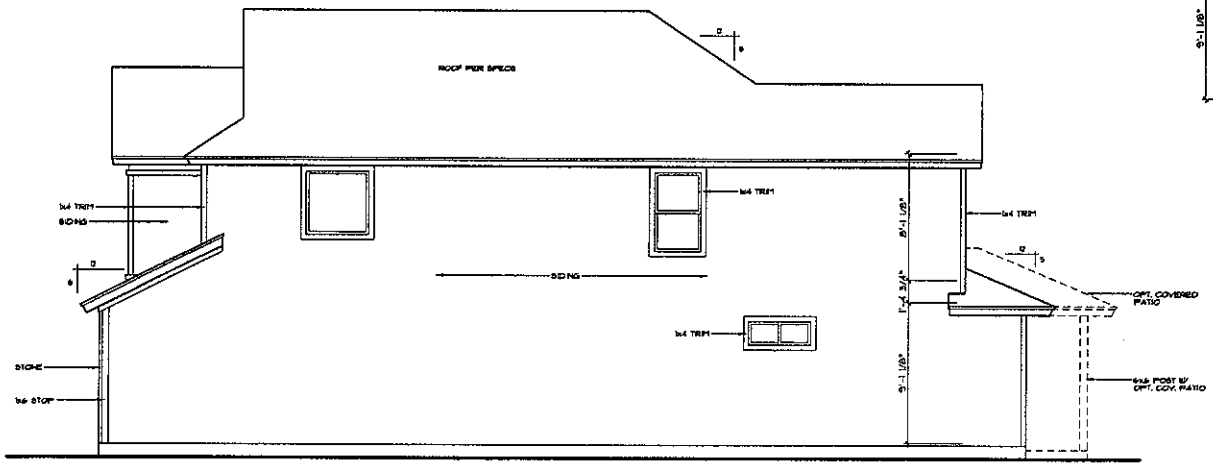
PROVIDE STEEL LINTELS ABOVE ALL OPENINGS W/ MASONRY, AS REQ'D.

PROVIDE TEMPERED GLASS WHERE REQ'D BY CODE.



REAR ELEVATION

SCALE 1/8"=1'-0"



RIGHT SIDE ELEVATION

SCALE 1/8"=1'-0"

PLAN 2067 RFB

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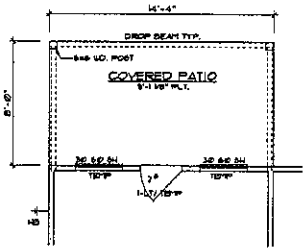
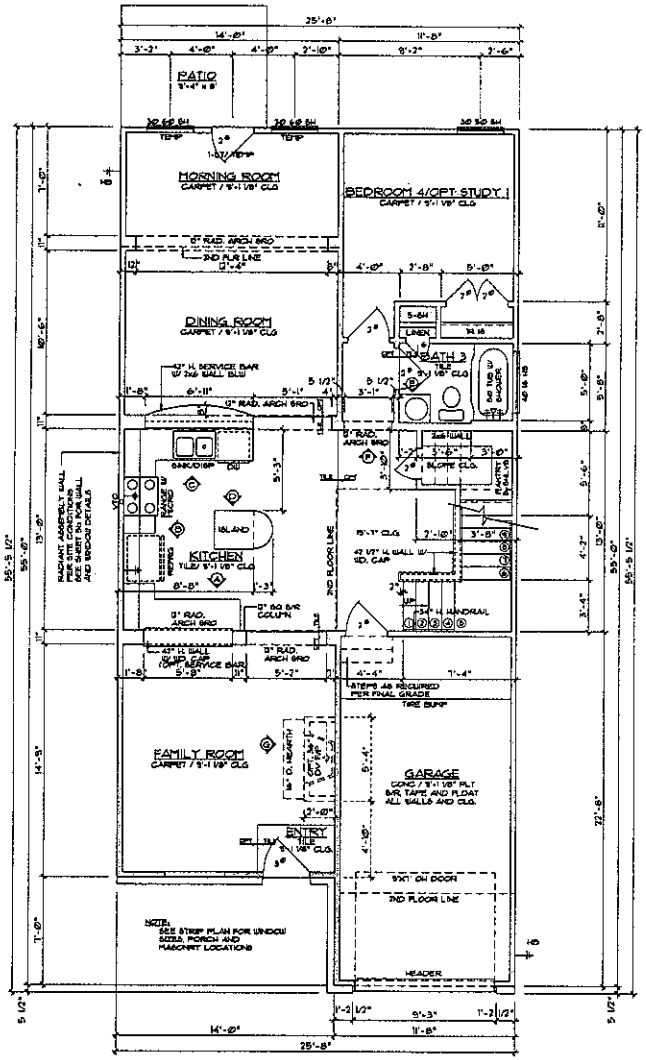


OPTIONAL COVERED PATIO
SCALE 1/8"=1'-0"



FIRST LEVEL FLOOR PLAN
SCALE 1/8"=1'-0"

NOTES:

1ST LEVEL PLATE HGTS TO BE 9'-1 1/8" W/ 7'-10" WINDOW HEADER HGTS UNLESS NOTED

2ND LEVEL PLATE HGTS TO BE 8'-1 1/8" W/ 7'-10" WINDOW HEADER HGTS UNLESS NOTED
OPT. 9'-1 1/8" W/ 7'-10" WINDOW HEADER HGTS UNLESS NOTED

PROVIDE FIRESLOCKING IN ALL AREAS AS REQUIRED PER CURRENT IRC CODE

ALL ANGLED WALLS TO BE 45° UNLESS NOTED OTHERWISE

PROVIDE PLYWD PAD IN ATTIC FOR HVAC UNITS / AND UH W/ REQRD ELECT. REQH AND PLUMB

PROVIDE TEMPERED GLASS WHERE REQRD

BATH 3 BLOCKING REQUIREMENTS:
LATERAL 2X6 OR LARGER NOMINAL WOOD BLOCKING MUST BE INSTALLED FLUSH WITH STUD EDGES OF BATHROOM WALLS
CENTERLINE OF BLOCKING MUST BE 34 INCHES FROM AND PARALLEL TO THE INTERIOR FLOOR LEVEL

HEADERS SCHEDULE BUILDING WIDTH OF 30' OR LESS (MEASURED PERPENDICULAR TO MAIN RIDGE OF HOUSE)				
FOR EXTERIOR LOAD BEARING WALLS				
	ROOF and CEILING	ROOF, CEILING and ONE CENTER BEARING FLOOR	ROOF, CEILING and ONE CLEAR SPAN FLOOR	ROOF, CEILING and TWO CENTER BEARING FLOORS
2-2x4	3'-6"	3'-1"	2'-8"	2'-11"
2-2x6	5'-0"	4'-6"	3'-11"	3'-11" *
2-2x8	6'-10"	5'-11" *	5'-10" *	5'-11" *
2-2x10	8'-8" *	7'-0" *	6'-11" *	6'-11" *
2-2x12	9'-4" *	8'-1" *	7'-11" *	8'-10" *
FOR INTERIOR LOAD BEARING WALLS				
	ONE FLOOR ONLY	TWO FLOORS		
2-2x4	3'-1"	2'-2"		
2-2x6	4'-6"	3'-2" *		
2-2x8	5'-11"	4'-1" *		
2-2x10	7'-0" *	5'-11" *		
2-2x12	8'-1" *	6'-11" *		
FOR NON-LOADBEARING WALLS A SINGLE 2x4 HEADER MAY BE USED ON OPENINGS NOT EXCEEDING 5' IN WIDTH IF THE VERTICAL NAILING DISTANCE TO THE PARALLEL NAILING SURFACE DOES NOT EXCEED 24".				
* DENOTES 2 JACK STUDS REQUIRED TO SUPPORT EACH END ** DENOTES 3 JACK STUDS REQUIRED TO SUPPORT EACH END				

*2 YR.

KP ARCHITECTS (REV 2006)

Square Footage Chart		
	FRAME	with MASONRY
1 ST FLOOR	1888	1964
2 ND FLOOR	1013	1013
TOTAL LIVING	2901	2977
GARAGE	756	769
PORCH	72	72
COV. BALCONY	61	61
TOTAL	2476	2454

PLAN 2077 RF

REVISED 3-4-09 POWR CLOSET, SIR MASN, DECK RAIL, OPT. STUDY (DOL)
REVISED 3-5-09 ELEC. CHECKOUT / TB
REVISED 4-3-09 ELEC. CHECKOUT / TB

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Due to variations in construction methods and details to construction contracts, all dimensions and elevations are approximate and may vary slightly. Buyer accepts full responsibility for checking plans to assure conformity with field conditions. Buyer may attempt to make a few changes, if deemed necessary, but will be subject to construction delays and additional costs.

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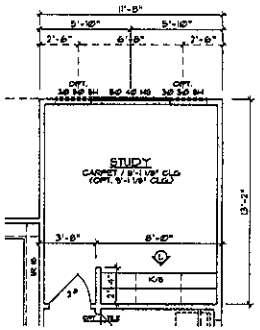
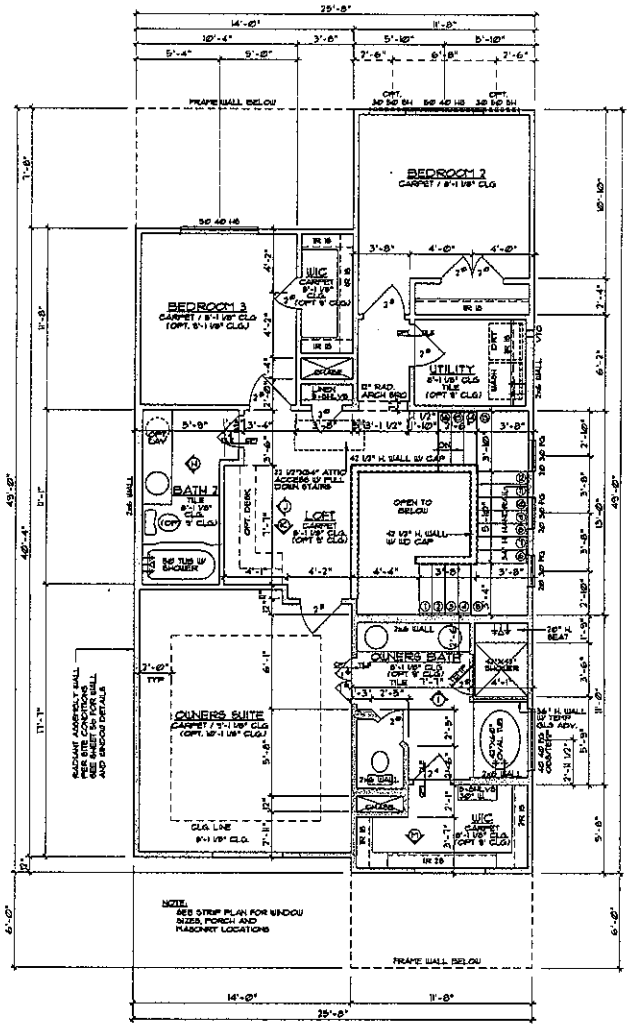


OPT. STUDY
SCALE 1/8"=1'-0"



SECOND LEVEL FLOOR PLAN
SCALE 1/8"=1'-0"

NOTES:

1ST LEVEL PLATE HGTS TO BE 9'-1 1/8" W/ 7'-10" WINDOW HEADER HGTS UNLESS NOTED

2ND LEVEL PLATE HGTS TO BE 8'-1 1/8" W/ 7'-10" WINDOW HEADER HGTS UNLESS NOTED
OPT. 9'-1 1/8" W/ 7'-10" WINDOW HEADER HGTS UNLESS NOTED

PROVIDE FIREBLOCKING IN ALL AREAS AS REQUIRED PER CURRENT IRC CODE

ALL ANGLED WALLS TO BE 45° UNLESS NOTED OTHERWISE

PROVIDE PULTUD PAD IN ATTIC FOR HVAC UNIT(S) AND UH W/ REQRD ELECT, FRCH AND PLUMB

PROVIDE TEMPERED GLASS WHERE REQRD

BATH 3 BLOCKING REQUIREMENTS:
LATERAL 2X6 OR LARGER NOMINAL WOOD BLOCKING MUST BE INSTALLED FLUSH WITH STUD EDGES OF BATHROOM WALLS
CENTERLINE OF BLOCKING MUST BE 34 INCHES FROM AND PARALLEL TO THE INTERIOR FLOOR LEVEL

HEADERS SCHEDULE
BUILDING WIDTH OF 30' OR LESS
(MEASURED PERPENDICULAR TO MAIN RIDGE OF HOUSE)

	FOR EXTERIOR LOAD BEARING WALLS			
	ROOF and CEILING	ROOF, CEILING and ONE CENTER BEARING FLOOR	ROOF, CEILING and ONE CLEAR SPAN FLOOR	ROOF, CEILING and TWO CENTER BEARING FLOORS
2-2x4	3'-6"	3'-1"	2'-6"	2'-11"
2-2x6	5'-0"	4'-6"	3'-11"	3'-4" *
2-2x8	6'-10"	5'-10" *	5'-01" *	4'-11" *
2-2x10	8'-4" *	7'-0" *	6'-1" *	5'-11" *
2-2x12	9'-8" *	8'-1" *	7'-1" *	6'-10" *

	FOR INTERIOR LOAD BEARING WALLS	
	ONE FLOOR ONLY	TWO FLOORS
2-2x4	3'-1"	2'-2"
2-2x6	4'-6"	3'-2" *
2-2x8	5'-8" *	4'-1" *
2-2x10	7'-0" *	4'-11" *
2-2x12	8'-1" *	5'-10" *

FOR NON-LOADBEARING WALLS A SINGLE 2x4 HEADER MAY BE USED ON OPENINGS NOT EXCEEDING 5' IN WIDTH IF THE VERTICAL NAILING DISTANCE TO THE PARALLEL NAILING SURFACE DOES NOT EXCEED 24"

* DENOTES 2 JACK STUDS REQUIRED TO SUPPORT EACH END
** DENOTES 3 JACK STUDS REQUIRED TO SUPPORT EACH END

12 TYP.

KF ARCHITECTS (REG 20061)

PLAN 2077 RF

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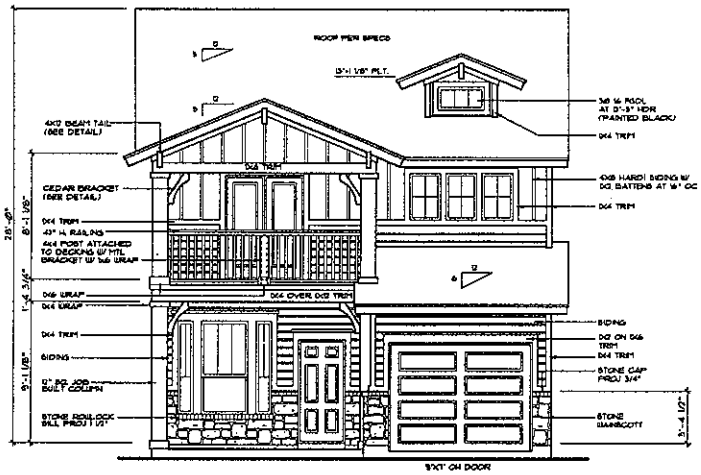


FRONT ELEVATION

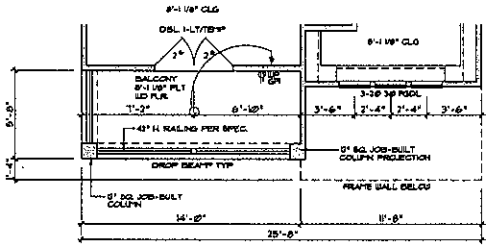
SCALE 1/8"=1'-0"

NOTE:
1st FLOOR PLATE HGTS. TO BE 9'-1 1/8" W/ 7'-10" WINDOW HEADER HGTS. UNLESS NOTED.

2ND LEVEL PLATE HGTS TO BE 8'-1 1/8" W/ 7'-0" WINDOW HEADER HGTS UNLESS NOTED
OPT. 9'-1 1/8" W/ 7'-10" WINDOW HEADER HGTS UNLESS NOTED

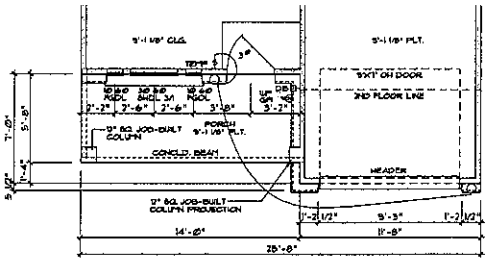
PROVIDE STEEL LINTELS ABOVE ALL OPENINGS W/ MASONRY, AS REQ'D.

PROVIDE TEMPERED GLASS WHERE REQ'D BY CODE



SECOND LEVEL STRIP PLAN

SCALE 1/8"=1'-0"



FIRST LEVEL STRIP PLAN

SCALE 1/8"=1'-0"

HEADERS SCHEDULE BUILDING WIDTH OF 24' OR LESS (MEASURED PERPENDICULAR TO MAIN RIDGE OF HOUSE)				
FOR EXTERIOR LOAD BEARING WALLS				
	ROOF ONLY CEILING	ROOF, CEILING and ONE CENTER BEARING FLOOR	ROOF, CEILING and ONE CLEAR SPAN FLOOR	ROOF, CEILING and TWO CENTER BEARING FLOORS
2-2x4	3'-6"	3'-1"	2'-8"	2'-7"
2-2x6	5'-1"	4'-6"	3'-11" *	3'-11" *
2-2x8	6'-10" *	6'-0" *	5'-10" *	4'-11" *
2-2x10	8'-4" *	7'-10" *	6'-11" *	6'-11" *
2-2x12	9'-11" *	9'-11" *	9'-11" *	8'-6" *
FOR INTERIOR LOAD BEARING WALLS				
	ONE FLOOR ONLY		TWO FLOORS	
2-2x4	3'-11"		2'-3"	
2-2x6	4'-6"		3'-2" *	
2-2x8	5'-8"		4'-11" *	
2-2x10	7'-0" *		4'-11" *	
2-2x12	8'-11" *		5'-8" *	
FOR NON-LOADBEARING WALLS A SINGLE 2x4 HEADER MAY BE USED ON OPENINGS NOT EXCEEDING 6' IN WIDTH IF THE VERTICAL NAILING DISTANCE TO THE PARALLEL NAILING SURFACE DOES NOT EXCEED 24".				
* DENOTES 2 JACK STUDS REQUIRED TO SUPPORT EACH END ** DENOTES 3 JACK STUDS REQUIRED TO SUPPORT EACH END				

#2 YP. IOF ARCHITECTS (REC 2006)

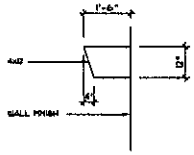
SIMPLIFIED PRESCRIPTIVE PACKAGE (2000-2009 IECC)	
FOR MAXIMUM GLAZING AREA 25.0% (MAX)	
GLAZING U-FACTOR:	0.55
CEILING R-VALUE:	R-19
WALL R-VALUE	R-13
FLOOR R- VALUE:	R-19
CRAWLSPACE WALL:	R-13
SLAB PERIMETER:	R-0
BASEMENT WALL:	R-13

IOF ARCHITECTS (REC 2005)

GLAZING PERCENTAGE	
AREA OF GLAZING	256
GROSS AIR CONDITIONED WALL AREA	2759
GLAZING PERCENTAGE	9.24%

"NOTE: THESE CHARTS DO NOT REFLECT ANY PLAN OPTIONS OFFERED

MASONRY PERCENTAGE '%'						
		NET EXT. WALL AREA	AREA OF GLAZING and DOORS	AREA OF MASONRY	AREA OF SIDING	MASONRY PERCENTAGE ***
FRONT	1st FLOOR	122	113	37	85	30%
	2nd FLOOR	173	56	0	173	0%
	TOTAL	295	169	37	258	13%
RIGHT	1st FLOOR	496	8	0	496	0%
	2nd FLOOR	661	18	0	661	0%
	TOTAL	1158	26	0	1158	0%
LEFT	1st FLOOR	509	0	27	482	5%
	2nd FLOOR	670	0	0	670	0%
	TOTAL	1179	0	27	1152	2%
REAR	1st FLOOR	165	69	0	165	0%
	2nd FLOOR	157	40	0	157	0%
	TOTAL	325	109	0	325	0%
SUB-TOTAL	1st FLOOR	1297	190	64	1233	5%
	2nd FLOOR	1661	114	0	1661	0%
TOTAL *		2958	304	64	2894	2%



BEAM TAIL DETAIL

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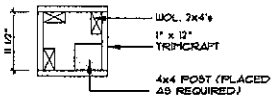
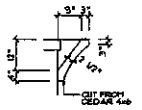


12" JOB BUILT COLUMN DETAIL

SCALE: N.T.S.



BRACKET DETAIL

SCALE: N.T.S.

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Date 5-23-09

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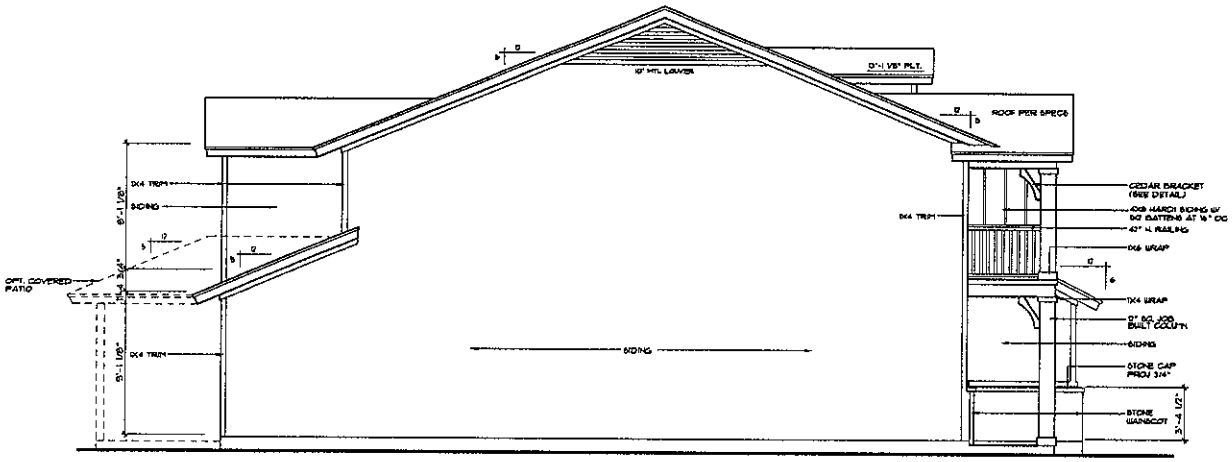


LEFT SIDE ELEVATION

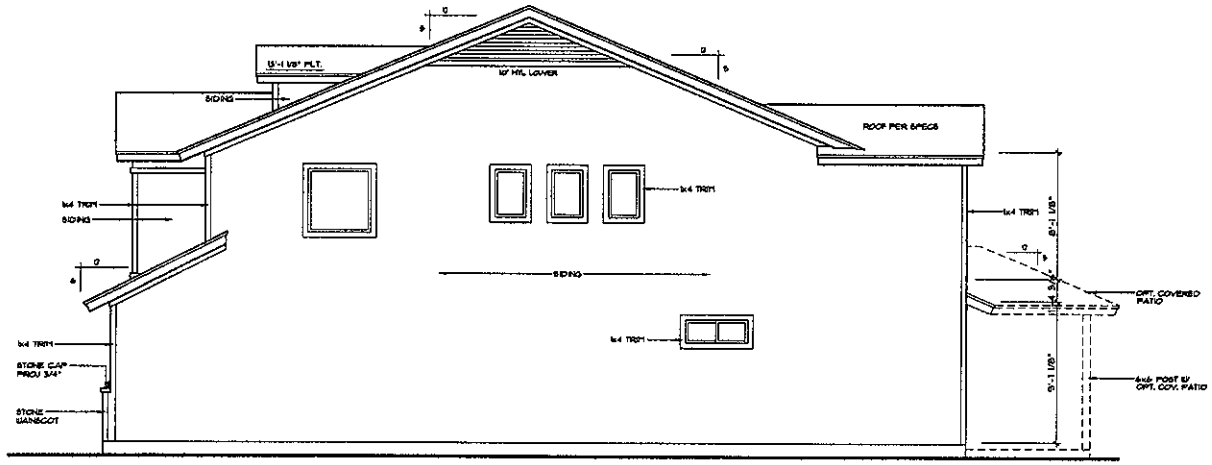
SCALE 1/8"=1'-0"

NOTES:
1st FLOOR PLATE HGTS. TO BE 8'-1 1/8" W/ 7'-10" WINDOW HEADER HGTS. UNLESS NOTED.

2ND LEVEL PLATE HGTS TO BE 8'-1 1/8" W/ 7'-8" WINDOW HEADER HGTS UNLESS NOTED OPT. 9'-1 1/8" W/ 7'-10" WINDOW HEADER HGTS UNLESS NOTED

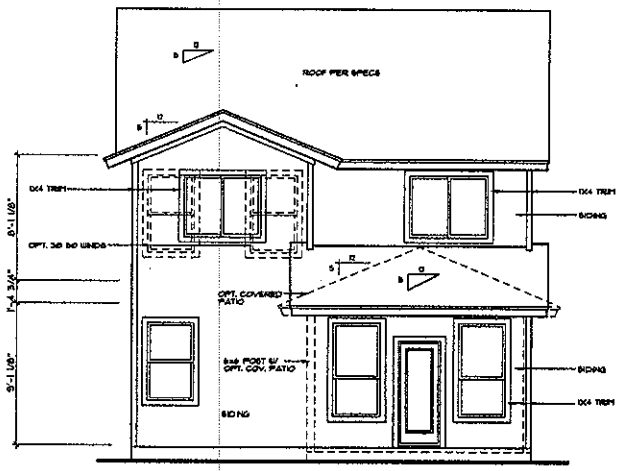
PROVIDE STEEL LINTELS ABOVE ALL OPENINGS W/ MASONRY, AS REQRD.

PROVIDE TEMPERED GLASS WHERE REQ'D BY CODE.



RIGHT SIDE ELEVATION

SCALE 1/8"=1'-0"



REAR ELEVATION

SCALE 1/8"=1'-0"

PLAN 2077 RFA

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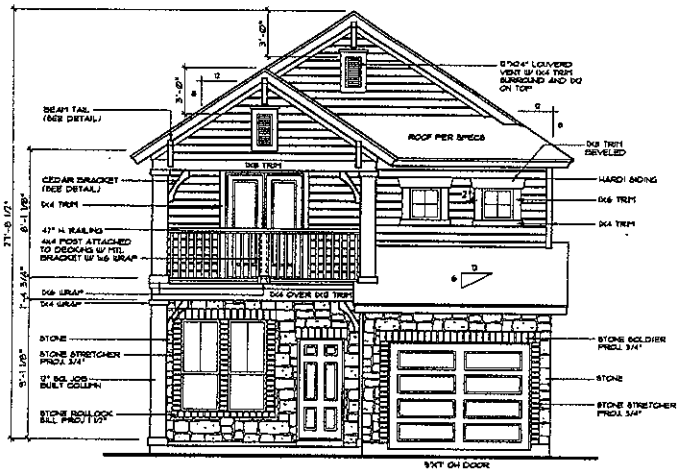


FRONT ELEVATION

SCALE 1/8"=1'-0"

NOTES:

1st FLOOR PLATE HGTS. TO BE 8'-1 1/8" W/ 7'-10" WINDOW HEADER HGTS. UNLESS NOTED.

2ND LEVEL PLATE HGTS TO BE 8'-1 1/8" W/ 7'-0" WINDOW HEADER HGTS UNLESS NOTED OPT. 8'-1 1/8" W/ 7'-10" WINDOW HEADER HGTS UNLESS NOTED

PROVIDE STEEL LINTELS ABOVE ALL OPENINGS W/ MASONRY, AS REQ'D.

PROVIDE TEMPERED GLASS WHERE REQ'D BY CODE.

HEADERS SCHEDULE BUILDING WIDTH OF 32' OR LESS (MEASURED PERPENDICULAR TO MAIN RIDGE OF HOUSE)				
FOR EXTERIOR LOAD BEARING WALLS				
	ROOF and CEILING	ROOF, CEILING and ONE CENTER BEARING FLOOR	ROOF, CEILING and ONE CLEAR SPAN FLOOR	ROOF, CEILING and TWO CENTER BEARING FLOORS
2-2x4	3'-6"	3'-1"	2'-8"	2'-7"
2-2x6	5'-3"	4'-6"	3'-11"	3'-11" *
2-2x8	6'-10"	5'-11" *	5'-10" *	5'-10" *
2-2x10	8'-5" *	7'-10" *	6'-11" *	6'-10" *
2-2x12	9'-11" *	9'-4" *	7'-11" *	8'-10" *
FOR INTERIOR LOAD BEARING WALLS				
	ONE FLOOR ONLY		TWO FLOORS	
2-2x4	3'-11"		2'-3"	
2-2x6	4'-10"		3'-10" *	
2-2x8	5'-9"		4'-11" *	
2-2x10	7'-0" *		6'-10" *	
2-2x12	8'-11" *		8'-11" *	
FOR NON-LOADBEARING WALLS A SINGLE 2x4 HEADER MAY BE USED ON OPENINGS NOT EXCEEDING 5' IN WIDTH IF THE VERTICAL WALLING DISTANCE TO THE PARALLEL WALLING SURFACE DOES NOT EXCEED 24".				
* DENOTES 2 JACK STUDS REQUIRED TO SUPPORT EACH END ** DENOTES 3 JACK STUDS REQUIRED TO SUPPORT EACH END				

R3 VP

KP ARCHITECTS (REV. 2006)

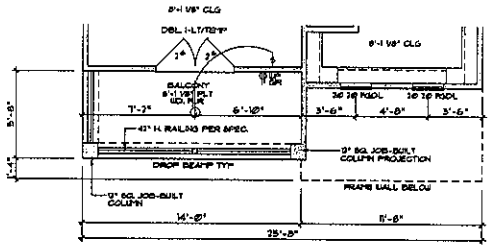
MASONRY PERCENTAGE '09						
		NET EXT. WALL AREA	AREA OF GLAZING and DOORS	AREA OF MASONRY	AREA OF SIDING	MASONRY PERCENTAGE ***
FRONT	1st FLOOR	123	113	123	0	100%
	2nd FLOOR	230	40	0	230	0%
	TOTAL	353	153	123	230	35%
RIGHT	1st FLOOR	486	8	0	486	0%
	2nd FLOOR	459	16	0	459	0%
	TOTAL	957	25	0	957	0%
LEFT	1st FLOOR	510	0	69	441	14%
	2nd FLOOR	468	0	0	468	0%
	TOTAL	978	0	69	909	7%
REAR	1st FLOOR	168	69	0	168	0%
	2nd FLOOR	162	40	0	162	0%
	TOTAL	330	109	0	330	0%
SUB-TOTAL	1st FLOOR	1299	190	192	1107	15%
	2nd FLOOR	1319	101	0	1319	0%
TOTAL		2618	291	192	2426	7%

SIMPLIFIED PRESCRIPTIVE PACKAGE (2000-2006 IRC) USE HIGHER GLAZE AREA (EE-60 ZONE)	
GLAZING U-FACTOR	0.65
CEILING R-VALUE	R-19
WALL R-VALUE	R-13
FLOOR R- VALUE	R-11
CRAWLSPACE WALL	R-5
SLAB PERIMETER	R-0
BASEMENT WALL	R-5

KP ARCHITECTS (REV. 2009)

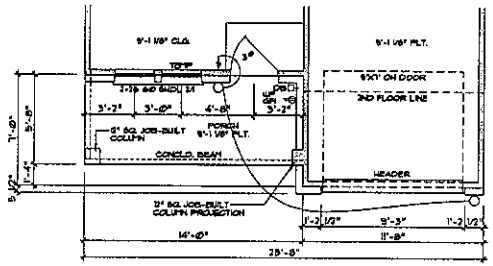
GLAZING PERCENTAGE	
AREA OF GLAZING	246
GROSS AIR CONDITIONED WALL AREA	2733
GLAZING PERCENTAGE	8.95%

*NOTE: THESE CHARTS DO NOT REFLECT ANY PLAN OPTIONS OFFERED



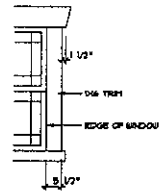
SECOND LEVEL STRIP PLAN

SCALE 1/8"=1'-0"



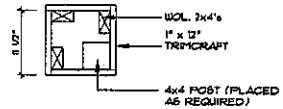
FIRST LEVEL STRIP PLAN

SCALE 1/8"=1'-0"



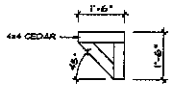
WINDOW TRIM DETAIL

SCALE: 1/4" = 1'-0"



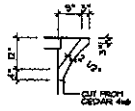
12" JOB BUILT COLUMN DETAIL

SCALE: N.T.S.



BRACKET DETAIL

SCALE: N.T.S.



BRACKET DETAIL

SCALE: N.T.S.

PLAN 2077 RFB

GRASON COMMUNITIES, LTD.

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KIPP+FLORES ARCHITECTS
11770 Jollyville Rd., Suite 100 Austin, Texas 78759
(512) 335-5477 fax (512) 335-5602

GRA-005-192.DWG 05/04/06

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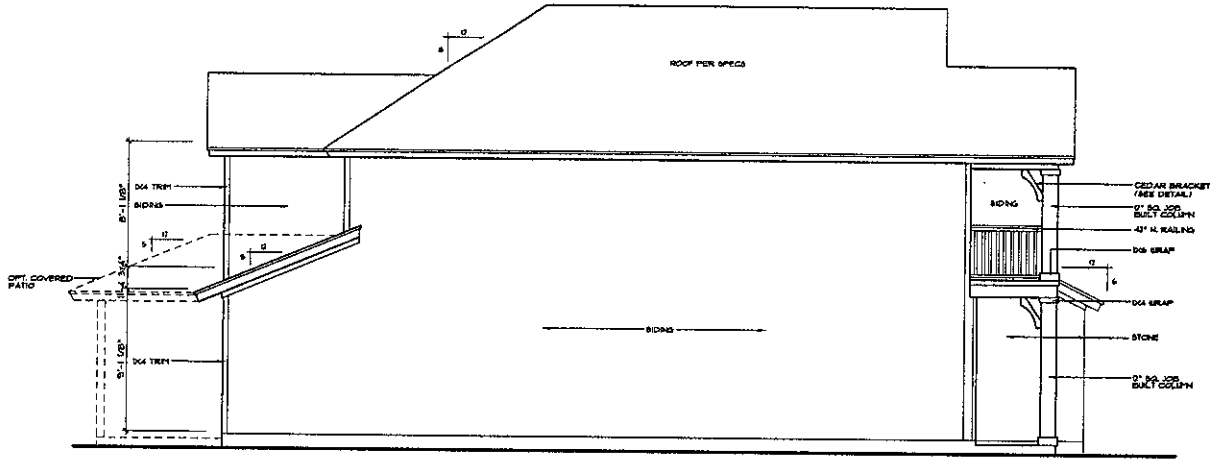
Date 5-23-09

Sheet 6B of 10



LEFT SIDE ELEVATION

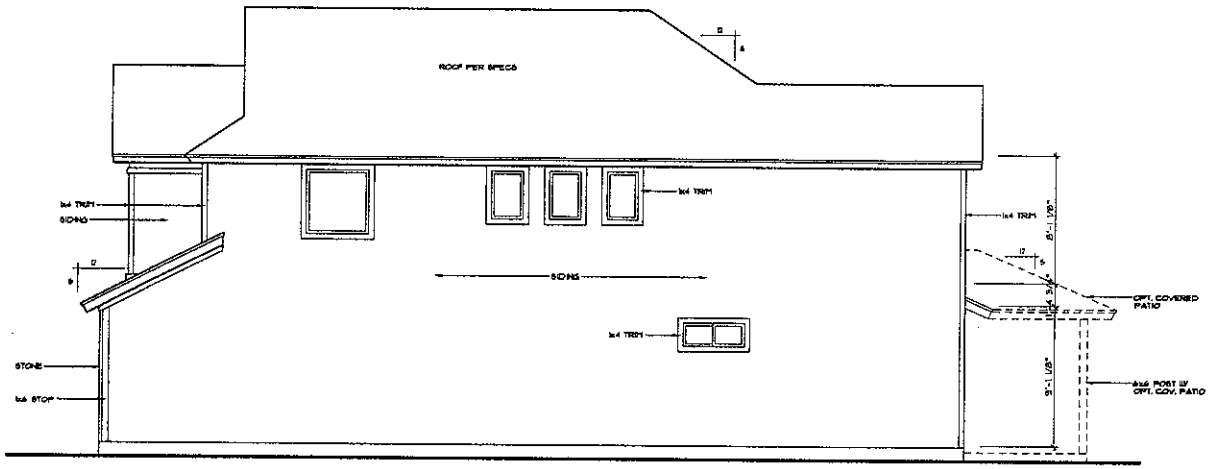
SCALE 1/8"=1'-0"

NOTES:
1st FLOOR PLATE HGTS. TO BE 8'-1 1/8" UP. 7'-10" WINDOW HEADER HGTS. UNLESS NOTED.

2ND LEVEL PLATE HGTS TO BE 8'-1 1/8" UP 7'-8" WINDOW HEADER HGTS UNLESS NOTED OPT. 8'-1 1/8" UP 7'-10" WINDOW HEADER HGTS UNLESS NOTED

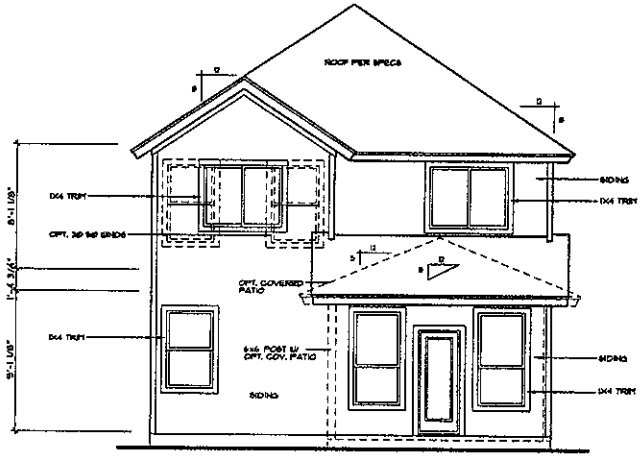
PROVIDE STEEL LINTELS ABOVE ALL OPENINGS IN MASONRY, AS REQRD.

PROVIDE TEMPERED GLASS WHERE REQ'D BY CODE.



RIGHT SIDE ELEVATION

SCALE 1/8"=1'-0"



REAR ELEVATION

SCALE 1/8"=1'-0"

PLAN 2077 RFB

GRASON COMMUNITIES, LTD.

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KIPP+FLORES ARCHITECTS
• (512) 335-0477 fax (512) 335-0302
11770 Jollyville Rd. Suite 100 Austin, Texas 78759

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Date
5-23-09

Sheet
7B of 10

GRAS-0003-103.DWG 06/04/09

CITY OF AUSTIN

CASE # 2010-09738 PR
PLAN REVIEW # _____

APPLICATION TO THE RESIDENTIAL DESIGN AND COMPATIBILITY COMMISSION (RDCC)

GENERAL MODIFICATION WAIVER

STREET ADDRESS: 1100 W. Stassney Ln.

LEGAL DESCRIPTION: Subdivision – Salem Center

Lot(s) B-1 Block A Outlot _____ Division _____

LAND STATUS DETERMINATION CASE NUMBER (if applicable) _____

I/We _____ on behalf of myself/ourselves as authorized agent for

_____ affirm that on _____, _____,

hereby apply for a hearing before the Residential Design and Compatibility Commission for modification Section 2.8.1. of up to 25% increase in one or more of the following:

X Maximum Floor to area ratio .4 or Gross floor area 2300 sq ft.
X Maximum Linear feet of Gables protruding from setback plane
X Maximum Linear feet of Dormers protruding from the setback plane

Waive or modify the side wall articulation requirement of Section 2.7.

X Side Wall Length Articulation
(*Please describe request. Please be brief but thorough*).

We are requesting this waiver to allow for compatibility between the 20 homes we have already completed in the neighborhood and the remaining 22 homes to be built. The entire neighborhood consists of 42 platted lots. We have completed homes on 20 of them. Our request is simply to continue building the remaining homes using the design criteria we have used on the existing homes allowing for compatibility throughout the entire 42 lots.

in a _____ zoning district.

Note: Certificate of Appropriateness: H (Historic) or HD (Historic Designation) – case goes to RDCC first. National Register Historical District (NRHD) Overlay: without H or HD - case goes to Historic Landmark Commission first.

APPLICATION TO THE RESIDENTIAL DESIGN AND COMPATIBILITY COMMISSION

GENERAL MODIFICATION WAIVER

REASONABLE USE:

1. The Residential Design and Compatibility Standards Ordinance applicable to the property does not allow for a reasonable use because:

   The ordinance will force us to change our product offering after roughly ½ of the homes have been built. This will cause a detrimental shift in the character and continuity of the homes in the neighborhood as the existing plans were specifically designed to be built with each other. Plans under the new requirements will stand out in character, will be smaller and will negatively impact home values in the neighborhood. Additionally, current residents purchased in this neighborhood as they enjoyed the feel of the current building program. Interjecting a new program next door to existing homes will be problematic.

REQUEST:

2. The request for the modification is unique to the property in that:

   This project was already well under way when the boundaries were expanded. As previously mentioned, roughly ½ of the homes have been completed as part of a master design plan. A change from that plan will cause existing and new homes to clash.

AREA CHARACTER:

3. The modification will not alter the character of the area adjacent to the property, will not impair the use of adjacent conforming property, and will not impair the purpose of the regulations of the zoning district in which the property is located because:

   The new homes will be constructed using the same design criteria as in the current completed homes in the neighborhood. Considerations were given during the initial approval process to make this entire development compatible with existing development in the area. The items are listed in the Conditional Overlay as well as plat notes. We simply request we be allowed to complete the program we, and our homeowners, are ½ way through.

APPLICATION TO THE RESIDENTIAL DESIGN AND COMPATIBILITY COMMISSION

GENERAL MODIFICATION WAIVER

APPLICANT CERTIFICATE – I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Mailing Address__205 Wild Basin Rd. S. Bldg 2, Suite A

City, State ___Austin, TX_____ Zip_____78746_____

Phone __512 684-3881_____ Printed Name ___Greg Hammonds_____

Signature_____ Date 11/10/2010

OWNER'S CERTIFICATE – I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Mailing Address___205 Wild Basin Rd S, Bldg 2, Suite A_____

City, State __Austin, TX_____ Zip_____78746_____

Phone ____512 684-3880_____ Printed Name ____Greg Hammonds_____

Signature_____ Date 11/10/2011

GENERAL INFORMATION FOR SUBMITTAL OF A MODICATION REQUEST TO THE RESIDENTIAL DESIGN AND COMPATIBILITY COMMISSION

200700285

RESUBDIVISION OF LOT B-1 OF SALEM CENTER

THIS SUBDIVISION PLAT IS LOCATED WITHIN THE Full Purpose OF THE CITY OF AUSTIN ON THIS THE 15TH DAY OF MAY, 2007

ACCEPTED AND AUTHORIZED FOR RECORD BY THE DIRECTOR, WATERSHED PROTECTION & DEVELOPMENT REVIEW DEPARTMENT, CITY OF AUSTIN, COUNTY OF TRAVIS, THIS THE 15TH DAY OF MAY, 2007, A.D.

for VICTORIA HSU, P.E., DIRECTOR
WATERSHED PROTECTION AND DEVELOPMENT REVIEW

ACCEPTED AND AUTHORIZED FOR RECORD, BY THE ZONING AND PLANNING COMMISSION OF THE CITY OF AUSTIN, ON THIS THE 15TH DAY OF MAY, 2007

Betty Baker
CHAIR PERSON,

SECRETARY

THE STATE OF TEXAS
COUNTY OF TRAVIS

I, DANA DEBEAUVOIR, CLERK OF TRAVIS COUNTY, TEXAS, DO HEREBY CERTIFY THAT THE FOREGOING INSTRUMENT OF WRITING, AND ITS CERTIFICATE OF AUTHENTICATION WAS FILED FOR RECORD IN MY OFFICE ON THE 19TH DAY OF SEPT, 2007 A.D. AT 10:18 O'CLOCK A.M., DULY RECORDED ON THE 19TH DAY OF SEPT 2007 A.D. AT 10:18 O'CLOCK A.M., PLAT RECORDS OF SAID COUNTY AND STATE IN DOCUMENT #200700265 OFFICIAL COUNTY PUBLIC RECORDS OF TRAVIS COUNTY.

WITNESS MY HAND AND SEAL OF OFFICE OF THE COUNTY CLERK, THE 19TH DAY OF SEPT, 2007

DANA DEBEAUVOIR, COUNTY CLERK
TRAVIS COUNTY, TEXAS

DEPUTY

THIS PLAN IS COMPLETE, ACCURATE AND IN COMPLIANCE WITH THE LAND DEVELOPMENT CODE OF THE CITY OF AUSTIN AS REQUIRED BY CHAPTER 25-8-152.

THE 100-YEAR FLOOD PLAIN, AS DEFINED BY CITY REGULATIONS, IS CONTAINED WITHIN THE DRAINAGE EASEMENT(S) SHOWN HEREON. NO PORTION OF THIS TRACT IS WITHIN THE 100-YEAR FLOOD PLAIN ACCORDING TO DATA FROM THE FEDERAL FLOOD INSURANCE ADMINISTRATION FIRM PANEL NUMBER 48453 C 0210 E, DATED JUNE 15, 1993, FOR TRAVIS COUNTY, TEXAS AND INCORPORATED AREAS.

DAVID J. REID, P.E. — 5-15-07 DATE
4303 RUSSELL DRIVE
AUSTIN, TEXAS 78704

STATE OF TEXAS — DAVID J. REID — 79858 — REGISTERED PROFESSIONAL ENGINEER

DRAINAGE NOTES:
1. ALL STREETS, DRAINAGE, SIDEWALKS, EROSION CONTROLS, AND WATER AND WASTEWATER LINES ARE REQUIRED TO BE CONSTRUCTED AND INSTALLED TO CITY OF AUSTIN STANDARDS.
2. NO STRUCTURE SHALL BE OCCUPIED UNTIL THE WATER QUALITY CONTROL AND DETENTION FACILITY HAVE BEEN CONSTRUCTED, INSPECTED AND ACCEPTED BY THE CITY OF AUSTIN.

LOT AREA TABLE

LOTS	SQ. FT.	ACRES	LOTS	SQ. FT.	ACRES
1	5750	0.13	16A	4182	0.10
2	5764	0.13	16B	4182	0.10
3	5965	0.14	17A	4182	0.10
4	14172	0.33	17B	4182	0.10
5A	6255	0.14	18A	4182	0.10
5B	5848	0.13	18B	4182	0.10
6A	5666	0.13	19	8019	0.19
6B	5487	0.13	20A	3512	0.08
7	7961	0.18	20B	3625	0.09
8 POND	85630	1.97	21A	3842	0.09
9A	4655	0.11	21B	3842	0.09
9B	4656	0.11	22A	3842	0.09
10A	4655	0.11	22B	3842	0.09
10B	4655	0.11	23A	3842	0.09
11A	4655	0.11	23B	3842	0.09
11B	4655	0.11	24A	3842	0.09
12A	4654	0.11	24B	3842	0.09
12B	6377	0.15	25A	3846	0.09
13A	7848	0.18	25B	5671	0.13
13B	4666	0.11			
14A	4915	0.11			
14B	4411	0.10			

THE STATE OF TEXAS
COUNTY OF TRAVIS

KNOWN ALL MEN BY THESE PRESENTS:
THAT GRASON COMMUNITIES, LTD., BEING THE OWNER OF LOT B-1 OF SALEM CENTER, A SUBDIVISION IN TRAVIS COUNTY, PLAT RECORDS VOL. 83, PAGE 144B-144C, HAVING BEEN CONVEYED TO THEM IN DOC.#2005197009, OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY, SAID LOT B-1 OF SALEM CENTER HAVING BEEN VACATED BY INSTRUMENT FILED IN DOC.#2007124014 OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY, DO HEREBY SUBDIVIDE VACATED LOT B-1, SALEM CENTER, ALSO BEING 8.184 ACRES OF LAND PURSUANT TO CHAPTER 25 OF THE AUSTIN CITY CODE AND CHAPTER 212 OF THE LOCAL GOVERNMENT CODE AS AMENDED AND IN ACCORDANCE WITH THE PLATS SHOWN HEREON, TO BE KNOWN AS "RESUBDIVISION OF LOT B-1 OF SALEM CENTER" AND DOES HEREBY DEDICATE TO THE PUBLIC THE USE OF ALL STREETS AND EASEMENTS SHOWN ON SAID PLAT, SUBJECT TO ANY EASEMENT AND/OR RESTRICTIONS HERETOFORE GRANTED AND NOT RELEASED.

WITNESS MY HAND, THIS THE 10 DAY OF MAY, 2007.

GRASON COMMUNITIES, LTD., A TEXAS LIMITED PARTNERSHIP
BY:
GRACOM INVESTMENTS, LLC, A TEXAS LIMITED LIABILITY COMPANY, GENERAL PARTNER
BY:
NAME: Chris Hammonds
TITLE: V.P.

THE STATE OF TEXAS
COUNTY OF TRAVIS

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Chris Hammonds, V.P. OF GRACOM INVESTMENTS, LLC, A TEXAS LIMITED LIABILITY COMPANY, GENERAL PARTNER OF GRASON COMMUNITIES, LTD., A TEXAS LIMITED PARTNERSHIP, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATION THEREIN EXPRESSED, AND IN THE CAPACITY THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS 10 DAY OF May, 2007.

KEVIN H. THOMAS — MY COMMISSION EXPIRES AUGUST 29, 2008

NOTARY PUBLIC, STATE OF TEXAS

I, TIMOTHY A. LENZ, AM AUTHORIZED UNDER THE LAW OF THE STATE OF TEXAS TO PRACTICE THE PROFESSION OF SURVEYING AND HEREBY CERTIFY THAT THIS PLAT COMPLIES WITH CHAPTER 25 OF THE AUSTIN CITY CODE, AS AMENDED, IS TRUE AND CORRECT AND WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE BY ME OR UNDER MY SUPERVISION ON THE GROUND.

5-10-2007
TIMOTHY A. LENZ, R.P.L.S. #4393 — DATE
1714 FORT VIEW RD., SUITE 101
AUSTIN, TEXAS 78704

STATE OF TEXAS — REGISTERED — TIMOTHY A. LENZ — 4393 — PROFESSIONAL LAND SURVEYOR

ENVIRONMENTAL NOTES:
1. EROSION/SEDIMENTATION CONTROLS ARE REQUIRED FOR ALL CONSTRUCTION ON EACH INDIVIDUAL LOT, INCLUDING SINGLE FAMILY AND DUPLEX CONSTRUCTION, PURSUANT TO LDC 25-8-181, AND THE ENVIRONMENTAL CRITERIA MANUAL.
2. THE PROJECT IS NOT LOCATED OVER THE EDWARDS AQUIFER RECHARGE ZONE.
3. THERE ARE TREES 19" IN DIAMETER OR LARGER LOCATED IN THIS SUBDIVISION.
4. WATER QUALITY CONTROLS ARE REQUIRED FOR ALL DEVELOPMENT WITH IMPERVIOUS COVER IN EXCESS OF 20% OF THE NET SITE AREA OF EACH LOT PURSUANT TO LDC SECTION 25-8-211.
5. THE FOLLOWING LOTS HAVE SLOPES WITH A GRADIENT OF MORE THAN 15%: BLOCK A LOTS 3, 5A, 7, 8, 9A, 9B, 13A, 13B, 14A, 14B, 15A, 15B, 18A, 18B, 17A, 17B, 18A, 18B, 19, 20B, 21A, AND 21B. CONSTRUCTION OF A BUILDING OR PARKING STRUCTURE ON A SLOPE WITH A GRADIENT OF MORE THAN 15% AND NOT MORE THAN 25% SHALL MEET THE FOLLOWING REQUIREMENTS:
   A. IMPERVIOUS COVER OF SLOPES WITH GRADIENTS OF MORE THAN 15% MAY NOT EXCEED 10% OF THE TOTAL AREA OF THE SLOPE.
   B. THE TERRACING TECHNIQUES IN THE ENVIRONMENTAL CRITERIA MANUAL ARE REQUIRED FOR CONSTRUCTION THAT IS UPHILL OR DOWNHILL OF A SLOPE WITH A GRADIENT OF MORE THAN 15%.
   C. HILLSIDE VEGETATION MAY NOT BE DISTURBED EXCEPT AS NECESSARY FOR CONSTRUCTION, AND DISTURBED AREAS MUST BE RESTORED WITH NATIVE VEGETATION.
   D. FOR CONSTRUCTION DESCRIBED IN THIS SECTION, A CUT OR FILL MUST BE REVEGETATED, OR IF A CUT OR FILL HAS A FINISHED GRADIENT OF MORE THAN 33%, STABILIZED WITH A PERMANENT STRUCTURE. THIS DOES NOT APPLY TO A STABLE CUT.
6. AN ADMINISTRATIVE VARIANCE TO LDC 25-8-341/342 FOR CUT/FILL EXCEEDING 4 FEET, BUT LESS THAN 8 FEET HAS BEEN APPROVED

DEVELOPMENT AND BUILDING STANDARDS:
SINGLE FAMILY ATTACHED 25-2-772

1. DEVELOPMENT REQUIREMENTS:
   A. SIDEWALKS SHALL BE LOCATED IN THE R.O.W.
   B. HEIGHT OF RESIDENTIAL STRUCTURES IS LIMITED TO 35 FT. AND AS PER CITY CODE.
   C. A PROPERTY OWNERS ASSOCIATION MAY BE FORMED AND BE FILED WITH THE SECRETARY OF STATE AND MAY CONTAIN ADDITIONAL COVENANTS, CONDITIONS AND RESTRICTIONS.
2. BUILDING SETBACKS ARE AS STATED IN THE CITY OF AUSTIN LAND DEVELOPMENT CODE AT THE TIME OF BUILDING PERMITS.
3. PARKING:
   A. ON STREET PARKING IN THE TURNAROUND IS EXPRESSLY PROHIBITED.
   B. ON STREET PARKING IS PROHIBITED.
   C. PARKING IN THE FRONT YARD AREA OF THE RESIDENCES IS PROHIBITED EXCEPT IN THE DRIVEWAYS.
   D. PARKING ON OR ACROSS A SIDEWALK IS PROHIBITED.
   E. A MINIMUM OF TWO OFF-STREET PARKING SPACES IS REQUIRED FOR EACH UNIT. THE DRIVEWAY MAY BE COUNTED AS ONE OF THE SPACES REQUIRED FOR EACH UNIT, FOR ANY LOT WITH 6 OR MORE BEDROOMS. THE MINIMUM PARKING REQUIREMENT IS ONE SPACE PER BEDROOM.
4. STRUCTURES ON LOTS 5-7 (A&B) AND 9-12 (A&B) ARE LIMITED TO A HEIGHT OF 15 FEET WITHIN 50 FEET OF THE REAR PROPERTY LINE.
5. LOTS 1-4 ARE RESTRICTED TO SINGLE STORY STRUCTURES.

PLAT NOTES:
1. WATERSHED STATUS — THIS PROJECT IS LOCATED IN THE WILLIAMSON CREEK WATERSHED, CLASSIFIED AS SUBURBAN.
2. PARKLAND DEDICATIONS:
   (5.0 X 42 UNITS X 2.6 PERSONS/UNIT)/1000 = 0.588 AC.
   PARKLAND REQUIREMENTS FOR 0.588 ACRES WILL BE SATISFIED PRIOR TO FINAL PLAT APPROVAL.
3. SIDEWALKS: PUBLIC SIDEWALKS, BUILT TO CITY OF AUSTIN STANDARDS, ARE REQUIRED ALONG CENTRAL PARK COURT AND SALEM PARK COURT. THEY ARE SHOWN BY A DOTTED LINE ON THE FACE OF THIS PLAT. THESE SIDEWALKS SHALL BE IN PLACE PRIOR TO THE LOTS BEING OCCUPIED. FAILURE TO CONSTRUCT THE REQUIRED SIDEWALKS MAY RESULT IN THE WITHHOLDING OF CERTIFICATES OF OCCUPANCY, BUILDING PERMITS OR UTILITY CONNECTIONS BY THE GOVERNING BODY OR UTILITY COMPANY.
4. THE OWNER OF THIS SUBDIVISION, AND HIS OR HER SUCCESSORS AND ASSIGNS, ASSUMES RESPONSIBILITY FOR PLANS FOR CONSTRUCTION OF SUBDIVISION IMPROVEMENTS WHICH COMPLY WITH APPLICABLE CODES AND REQUIREMENTS OF THE CITY OF AUSTIN. THE OWNER UNDERSTANDS AND ACKNOWLEDGES THAT PLAT VACATION OR REPLATTING MAY BE REQUIRED, AT THE OWNER'S SOLE EXPENSE, IF PLANS TO CONSTRUCT THIS SUBDIVISION DO NOT COMPLY WITH SUCH CODES AND REQUIREMENTS.
5. THE WATER AND WASTEWATER UTILITY SYSTEM SERVING THIS SUBDIVISION MUST BE IN ACCORDANCE WITH THE CITY UTILITY DESIGN CRITERIA. THE WATER AND WASTEWATER UTILITY PLAN MUST BE REVIEWED AND APPROVED BY THE AUSTIN WATER UTILITY. THE WATER AND WASTEWATER UTILITY CONSTRUCTION MUST BE INSPECTED BY THE CITY. THE LANDOWNER MUST PAY THE CITY INSPECTION FEE WITH THE WATER AND WASTEWATER UTILITY CONSTRUCTION.
6. ALL WATER AND WASTEWATER CONSTRUCTION MUST BE INSPECTED BY THE CITY OF AUSTIN.
7. NO LOT IN THIS SUBDIVISION SHALL BE OCCUPIED UNTIL CONNECTED TO THE CITY OF AUSTIN WATER AND WASTEWATER SYSTEM.
8. MAINTENANCE OF THE WATER QUALITY CONTROLS REQUIRED ABOVE SHALL BE TO ACCORDING TO CITY OF AUSTIN STANDARDS.
9. THE ELECTRIC UTILITY SHALL HAVE THE RIGHT TO PRUNE AND/OR REMOVE TREES, SHRUBBERY AND OTHER OBSTRUCTIONS TO THE EXTENT NECESSARY TO KEEP THE EASEMENTS CLEAR. THE UTILITY WILL PERFORM ALL TREE WORK IN COMPLIANCE WITH 25-8 SUBCHAPTER B ARTICLE I OF THE CITY OF AUSTIN LAND DEVELOPMENT CODE.
10. THE OWNER OF THE PROPERTY IS RESPONSIBLE FOR MAINTAINING CLEARANCES REQUIRED BY THE NATIONAL ELECTRIC SAFETY CODE, OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REGULATIONS, CITY OF AUSTIN RULES AND REGULATIONS, AND TEXAS STATE LAWS PERTAINING TO CLEARANCES WHEN WORKING IN CLOSE PROXIMITY TO OVERHEAD POWER LINES AND EQUIPMENT. AUSTIN ENERGY WILL NOT RENDER ELECTRIC SERVICE UNLESS REQUIRED CLEARANCES ARE MAINTAINED.
11. THE OWNER/DEVELOPER OF THIS SUBDIVISION SHALL PROVIDE THE CITY OF AUSTIN ELECTRIC UTILITY DEPARTMENT WITH ANY EASEMENT AND/OR ACCESS REQUIRED FOR INSTALLATION AND ON GOING MAINTENANCE OF OVERHEAD OR UNDERGROUND ELECTRIC FACILITIES WITHIN OR ALONG THE PERIMETER OF THE SUBDIVISION.
12. THE OWNER SHALL BE RESPONSIBLE FOR INSTALLATION OF TEMPORARY EROSION CONTROL, REVEGETATION AND TREE PROTECTION. IN ADDITION, THE OWNER SHALL BE RESPONSIBLE FOR ANY TREE PRUNING AND TREE REMOVAL THAT IS WITHIN TEN FEET OF THE CENTERLINE OF THE OVERHEAD ELECTRICAL FACILITIES DESIGNED TO PROVIDE ELECTRIC SERVICE TO THIS PROJECT. THE OWNER SHALL INCLUDE AUSTIN ENERGY'S WORK WITHIN THE LIMITS OF CONSTRUCTION FOR THIS PROJECT.
13. FOR A MINIMUM TRAVEL DISTANCE OF 25' FROM THE ROADWAY EDGE, DRIVEWAY GRADES MAY EXCEED 14% ONLY WITH SPECIFIC APPROVAL OF SURFACE AND GEOMETRIC DESIGN PROPOSALS BY THE CITY OF AUSTIN.
14. PRIOR TO CONSTRUCTION ON LOTS IN THIS SUBDIVISION, DRAINAGE PLANS WILL BE SUBMITTED TO THE CITY OF AUSTIN FOR REVIEW. RAINFALL RUN-OFFS SHALL BE HELD TO THE AMOUNT EXISTING AT UNDEVELOPED STATUS BY PONDING OR OTHER APPROVED METHODS.
15. ALL DRAINAGE EASEMENTS ON PRIVATE PROPERTY SHALL BE MAINTAINED BY THE PROPERTY OWNER OR ASSIGNS.
16. NO BUILDINGS, FENCES, LANDSCAPING OR OTHER OBSTRUCTIONS ARE PERMITTED IN DRAINAGE EASEMENTS EXCEPT AS APPROVED BY THE CITY OF AUSTIN OR TRAVIS COUNTY.
17. PROPERTY OWNER SHALL PROVIDE FOR ACCESS TO DRAINAGE EASEMENTS AS MAY BE NECESSARY AND SHALL NOT PROHIBIT ACCESS BY GOVERNMENT AUTHORITIES.
18. BUILDING SETBACK LINES ARE IN CONFORMANCE WITH CITY OF AUSTIN ZONING REGULATIONS.
19. STREETS WILL BE CONSTRUCTED TO CITY OF AUSTIN STANDARDS.
20. ALL LOTS EXCEPT LOTS 1-4, 8, & 19 SHALL BE SINGLE FAMILY ATTACHED. LOTS 1-4 & 19 ARE SINGLE FAMILY DETACHED. LOT 8 IS FOR USE OTHER THAN RESIDENTIAL.
21. CONSTRUCTION ON SLOPES EXCEEDING 25% IS PROHIBITED.
22. THIS SUBDIVISION PLAT WAS APPROVED AND RECORDED BEFORE THE CONSTRUCTION AND ACCEPTANCE OF STREETS AND OTHER SUBDIVISION IMPROVEMENTS. PURSUANT TO THE TERMS OF A SUBDIVISION CONSTRUCTION AGREEMENT BETWEEN THE SUBDIVIDER THE CITY OF AUSTIN, DATED 05-08, 2007, THE SUBDIVIDER IS RESPONSIBLE FOR THE CONSTRUCTION OF ALL IMPROVEMENTS NEEDED TO SERVE THE LOTS WITHIN THE SUBDIVISION. THIS RESPONSIBILITY MAY BE ASSIGNED IN ACCORDANCE WITH THE TERMS OF THAT AGREEMENT. FOR THE SUBDIVISION CONSTRUCTION AGREEMENT PERTAINING TO THIS SUBDIVISION, SEE SEPARATE INSTRUMENT RECORDED IN DOCUMENT #2007124253 IN THE DEED RECORDS OF TRAVIS COUNTY, TEXAS.
23. ALL RESTRICTIONS AND NOTES FROM THE PREVIOUS EXISTING SUBDIVISION, SALEM CENTER, RECORDED IN PLAT RECORDS OF TRAVIS COUNTY; VOLUME 83, PAGES 144 B & 144C, SHALL APPLY TO THIS AMENDED/RESUBDIVISION PLAT.
24. NO STRUCTURES OF ANY KIND WILL BE ALLOWED IN THE TRANSMISSION EASEMENT. NO INDIVIDUAL STORAGE SHEDS, POOLS, ETC.
25. A 6 FOOT PRIVACY FENCE WILL BE REQUIRED AT THE WEST SIDE OF THE 100' ELECTRIC TRANSMISSION LINE EASEMENT ON LOTS 4, 5A, 5B, 6A, 6B, & 7.
26. THE DEVELOPER MUST CONSTRUCT A DRIVEWAY, DESIGNED BY A PROFESSIONAL ENGINEER, TO HAVE AN ALL-WEATHER SURFACE AND A PAVEMENT STRUCTURE MEETING AT LEAST PRIVATE STREET STANDARDS AND PROVIDE ACCESS TO LOTS 4, 5A, 5B, 6A, AND 6B. THE DRIVEWAY MUST BE DESIGNED TO HAVE NO MORE THAN 9 INCHES OF WATER OVER TOPPING THE DRIVEWAY DURING THE 100 YEAR STORM EVENT.
27. THE DEVELOPER MUST ERECT SIGNS INDICATING "PRIVATE DRIVEWAY" AT THE DRIVEWAY ENTRANCE.
28. A PRE-CONSTRUCTION SAFETY MEETING IS REQUIRED WITH AUSTIN ENERGY 48 HOURS BEFORE COMMENCEMENT OF CONSTRUCTION FAILURE TO DO SO WILL RESULT IN THE PROJECT BEING SHUTDOWN. CALL JEAN EVRIDGE AT 512.322.6050 TO SET UP A TAILGATE SAFETY MEETING.
29. BARRICADES MUST BE ERECTED 10 FEET FROM AUSTIN ENERGY TRANSMISSION STRUCTURES DURING CONSTRUCTION.
30. ANY RELOCATION'S OR OUTAGES CAUSED BY THIS PROJECT WILL BE CHARGED TO THE CONTRACTOR/OWNER.
31. WARNING SIGNS MUST BE PLACED UNDER THE OVERHEAD TRANSMISSION LINES TO MAKE ALL PERSONNEL AWARE OF THE ELECTRICAL HAZARD.
32. NO DUMPSTERS, STAGING OR SPOILS AREAS ALLOWED WITHIN OR 20 FEET ADJACENT TO THE TRANSMISSION EASEMENT FOR SAFETY REASONS.
33. PRIOR TO MOBILIZING TALL EQUIPMENT SUCH AS CRANES, CALL JEAN EVERIDGE, 512.322.6050, TO COORDINATE WITH TRANSMISSION PERSONNEL.
34. PROPERTY OWNER IS TO PROVIDE FREE AND EASY ACCESS 24 HOURS A DAY TO THE TRANSMISSION EASEMENT.
35. LAND OWNER IS RESPONSIBLE FOR DUST CONTROLS FOR INSULATORS AND TO PREVENT FLASHING. OWNER IS RESPONSIBLE FOR ALL DUTAGES CAUSED BY THE DUST FROM THIS PROJECT.
36. GRADING AROUND ELECTRIC TRANSMISSION STRUCTURES MUST BE COORDINATED WITH AUSTIN ENERGY PRIOR TO COMMENCEMENT OF GRADING.
37. NO TREES SHALL BE PLANTED IN THE TRANSMISSION EASEMENT.
38. MAINTENANCE OF THE JOINT USE DRIVEWAY SHALL BE THE RESPONSIBILITY OF THE LOT OWNERS (LOTS 4,5A, 5B, 6A & 6B) SERVED BY THE JOINT USE DRIVEWAY.

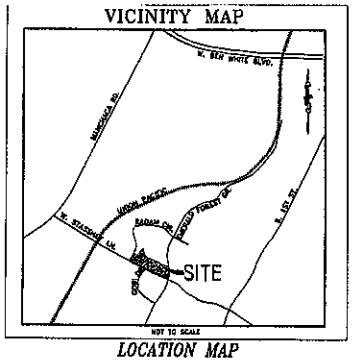
LENZ & ASSOCIATES, INC.
COMPLETE PROFESSIONAL LAND SURVEYING SERVICES
(512) 443-1174
1714 FORT VIEW RD., SUITE 101
AUSTIN, TEXAS 78704

RESUBDIVISION OF LOT B-1 OF SALEM CENTER

HOWARD ENGINEERS, INC.
4303 Russell Drive
Austin, Texas 78704
Phone: (512) 440-0881
Fax: (512) 440-0989
Email: hei@howardengineers.com

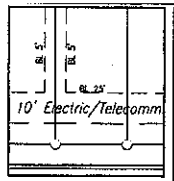
CASE NO: C8-06-0102.1A
FILING DATE: NOVEMBER 2006

VICINITY MAP



LOCATION MAP
N.T.S.

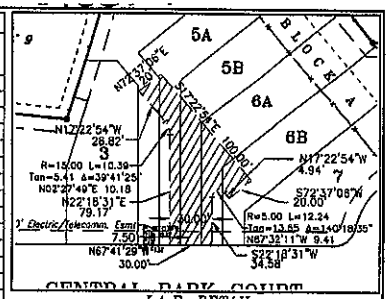
CURVE TABLE						
CURVE	DELTA	RADIUS	LENGTH	TANGENT	CHORD BEARING	CHORD DIST.
C1	90°00'16"	15.00'	23.56'	15.00'	N17°27'11"W	21.21'
C2	5°14'10"	275.00'	25.13'	12.57'	N65°04'24"W	25.12'
C3	77°11'33"	15.00'	20.21'	11.97'	N73°42'44"E	18.71'
C4	289°31'17"	60.00'	303.19'	42.39'	N00°07'24"W	69.24'
C5	32°19'44"	15.00'	8.46'	4.35'	N51°31'37"W	8.35'
C6	5°14'10"	325.00'	29.70'	14.86'	N65°04'24"W	29.69'
C7	3°24'32"	275.00'	16.36'	8.18'	S64°09'35"E	16.36'
C8	1°49'38"	275.00'	8.77'	4.39'	S66°48'40"E	8.77'
C9	84°16'07"	60.00'	88.25'	54.28'	S77°15'01"W	80.50'
C10	124°20'40"	60.00'	130.21'	113.67'	N01°33'24"E	106.12'
C11	20°26'30"	60.00'	21.41'	10.82'	N73°57'00"E	21.29'
C12	33°35'36"	60.00'	35.18'	18.11'	S79°01'57"E	34.68'
C13	26°52'24"	60.00'	28.14'	14.33'	S48°47'57"E	27.88'



TYPICAL BL DETAIL
1" = 30'

D.E. DETAIL
1" = 30'

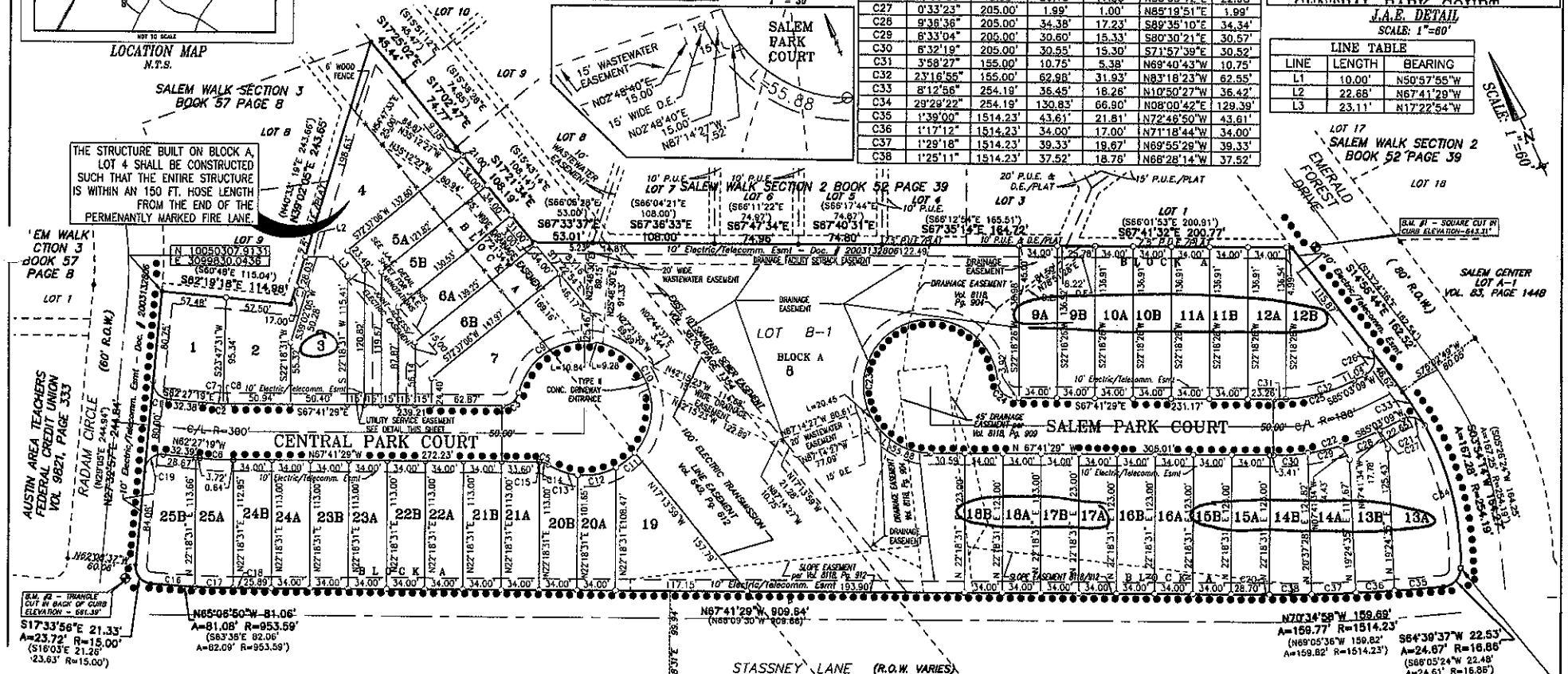
CURVE TABLE						
CURVE	DELTA	RADIUS	LENGTH	TANGENT	CHORD BEARING	CHORD DIST.
C14	30°47'08"	15.00'	8.06'	4.13'	N50°45'19"W	7.96'
C15	1°32'36"	15.00'	0.40'	0.20'	N66°55'11"W	0.40'
C16	2°20'25"	953.59'	38.95'	19.48'	N63°50'54"W	38.95'
C17	2°02'38"	953.59'	34.02'	17.01'	S66°02'25"E	34.01'
C18	0°29'15"	953.59'	8.11'	4.06'	S67°18'22"E	8.11'
C19	89°59'44"	15.00'	23.56'	15.00'	S72°32'49"W	21.21'
C20	0°12'02"	1514.23'	5.30'	2.65'	N67°39'38"W	5.30'
C21	86°12'52"	15.00'	23.09'	14.54'	N50°50'25"W	20.88'
C22	27°15'22"	205.00'	97.52'	49.70'	S81°19'10"E	96.60'
C23	266°10'41"	60.00'	278.74'	64.14'	S65°23'49"W	87.64'
C24	86°10'39"	15.00'	22.56'	14.03'	S24°36'10"E	20.49'
C25	27°15'22"	155.00'	73.73'	37.58'	S81°19'10"E	73.04'
C26	99°59'53"	15.00'	26.18'	17.88'	N35°03'12"E	22.98'
C27	0°33'23"	205.00'	1.99'	1.00'	N85°19'51"E	1.99'
C28	9°36'36"	205.00'	34.38'	17.23'	S89°35'10"E	34.34'
C29	8°33'04"	205.00'	30.60'	15.33'	S80°30'21"E	30.57'
C30	8°32'19"	205.00'	30.55'	15.30'	S71°57'39"E	30.52'
C31	3°58'27"	155.00'	10.75'	5.38'	N69°40'43"W	10.75'
C32	23°16'55"	155.00'	62.98'	31.93'	N83°18'23"W	62.55'
C33	8°12'56"	254.19'	36.45'	18.26'	N10°50'27"W	36.42'
C34	29°29'22"	254.19'	130.83'	66.90'	N08°00'42"E	129.39'
C35	1°39'00"	1514.23'	43.61'	21.81'	N72°46'50"W	43.61'
C36	1°17'12"	1514.23'	34.00'	17.00'	N71°18'44"W	34.00'
C37	1°29'18"	1514.23'	39.33'	19.67'	N69°55'29"W	39.33'
C38	1°25'11"	1514.23'	37.52'	18.76'	N66°28'14"W	37.52'



J.A.E. DETAIL
SCALE: 1"=60'

LINE TABLE		
LINE	LENGTH	BEARING
L1	10.00'	N50°57'55"W
L2	22.68'	N67°41'29"W
L3	23.11'	N17°22'54"W

SCALE: 1"=60'



NOTE: THIS LOT IS SUBJECT TO BLANKET TYPE ELECTRIC EASEMENTS OF RECORD IN VOLUME 8563, PAGE 819, & VOLUME 8643, PAGE 474.

STREET NAME	ROW	PAVEMENT (FOC TO FOC)
CENTRAL PARK COURT	50'	30' – 2' CURB & GUTTER
SALEM PARK COURT	50'	30' – 2' CURB & GUTTER

OWNER:
GRASON COMMUNITIES, LLC.
7171 HWY 6 NORTH, SUITE 100
HOUSTON, TX 77095

BEARING BASIS – TEXAS STATE PLANE COORDINATE SYSTEM, NAD 83 (GRID), CENTRAL ZONE BASED ON G.P.S OBSERVATIONS.

ELEVATION BASIS – CITY OF AUSTIN BENCHMARK, TRIANGLE ON CURB MIDPOINT, SOUTHWEST CORNER OF SALEM HILL DRIVE & EMERALD FOREST DRIVE. per C.O.A. F.B. 3648, PG. 42 ELEV.= 631.92'

LEGEND

- EXISTING SIDEWALK
- PROPOSED SIDEWALK
- LOT LINE
- EASEMENT
- 6' WOOD FENCE
- 1/2" IRON ROD W/ PLASTIC CAP SET
- 1/2" IRON ROD FOUND
- CONCRETE MONUMENT SET
- U.E. UTILITY EASEMENT
- D.E. DRAINAGE EASEMENT
- J.A.E. JOINT ACCESS EASEMENT
- B.L. BUILDING LINE
- BENCH MARK

UTILITY SERVICE EASEMENT
1" = 30'

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RESUBDIVISION OF LOT B-1 OF SALEM CENTER

HOWARD ENGINEERS, INC.
4303 Russell Drive
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Phone: (512) 448-0881
Fax: (512) 448-0989
Email: hei@howardengineers.com

CASE NO: C8-06-0102.1A
FILING DATE: NOVEMBER 2006
SHEET 2 OF 2

V:\Central Park\DRAWINGS\PLAT\Central Park .dwg dwg, 6/8/2007 4:14:02 PM 1:1 CAB

ORDINANCE NO. 020829-29

AN ORDINANCE REZONING AND CHANGING THE ZONING MAP FOR THE PROPERTY LOCATED AT 1100 WEST STASSNEY LANE FROM NEIGHBORHOOD COMMERCIAL (LR) DISTRICT, MULTIFAMILY RESIDENCE LOW DENSITY (MF-2) DISTRICT, MULTIFAMILY RESIDENCE MEDIUM DENSITY (MF-3) DISTRICT AND COMMUNITY COMMERCIAL (GR) DISTRICT TO TOWNHOUSE AND CONDOMINIUM RESIDENCE-CONDITIONAL OVERLAY (SF-6-CO) COMBINING DISTRICT.

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF AUSTIN:

PART 1. The zoning map established by Section 25-2-191 of the City Code is amended to change the base district from neighborhood commercial (LR) district, multifamily residence low density (MF-2) district, multifamily residence medium density (MF-3) district and community commercial (GR) district to townhouse and condominium residence-conditional overlay (SF-6-CO) combining district on the property described in Zoning Case No. C14-02-0005, on file at the Neighborhood Planning and Zoning Department, as follows:

> Lot B-2, Salem Center Subdivision, a subdivision in the City of Austin, Travis County, Texas, according to the map or plat of record in Plat Book 83, Pages 144B-144C, of the Plat Records of Travis County, Texas, (the "Property")

locally known as 1100 West Stassney Lane, in the City of Austin, Travis County, Texas, and generally identified in the map attached as Exhibit "A".

PART 2. The Property within the boundaries of the conditional overlay combining district established by this ordinance is subject to the following conditions:

1. The maximum height is 15 feet for a structure or a portion of a structure constructed within 50 feet of the north property line.

2. Development of the Property may not exceed 40 percent impervious coverage.

3. Development of the Property may not exceed 44 residential units.

4. A building may not contain more than one residential unit.

5. Development of the Property may not exceed 5.370 residential units per acre.

Except as specifically restricted under this ordinance, the Property may be developed and used in accordance with the regulations established for the townhouse and condominium residence (SF-6) base district and other applicable requirements of the City Code.

PART 3. The Council waives the requirements of Section 2-2-3 and 2-2-7 of the City Code for this ordinance.

PART 4. This ordinance takes effect on September 9, 2002.

PASSED AND APPROVED

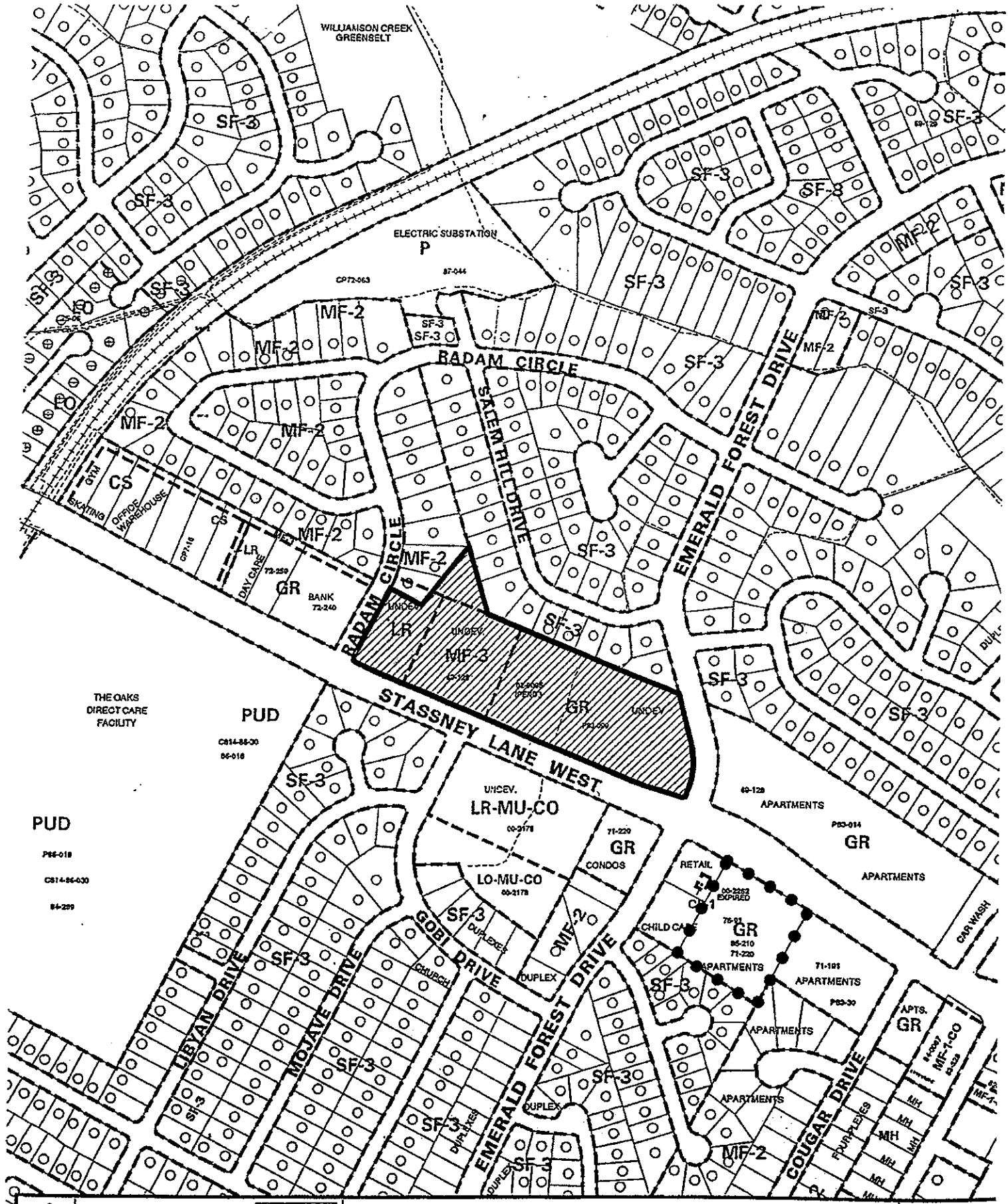
August 29, 2002 § Gustavo L. Garcia

Gustavo L. Garcia
Mayor

APPROVED: Sedora Jefferson **ATTEST:** Shirley A. Brown

Sedora Jefferson
City Attorney

Shirley A. Brown
City Clerk

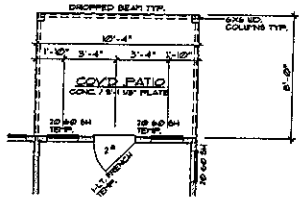


N	SUBJECT TRACT	ZONING EXHIBIT A
	PENDING CASE	CASE #: C14-02-0005
	ZONING BOUNDARY	ADDRESS: 1100 W STASSNEY LANE
	CASE MGR: W. WALSH	SUBJECT AREA (acres): 8.195
1"=400'		DATE: 02-01
		INTLS: SM

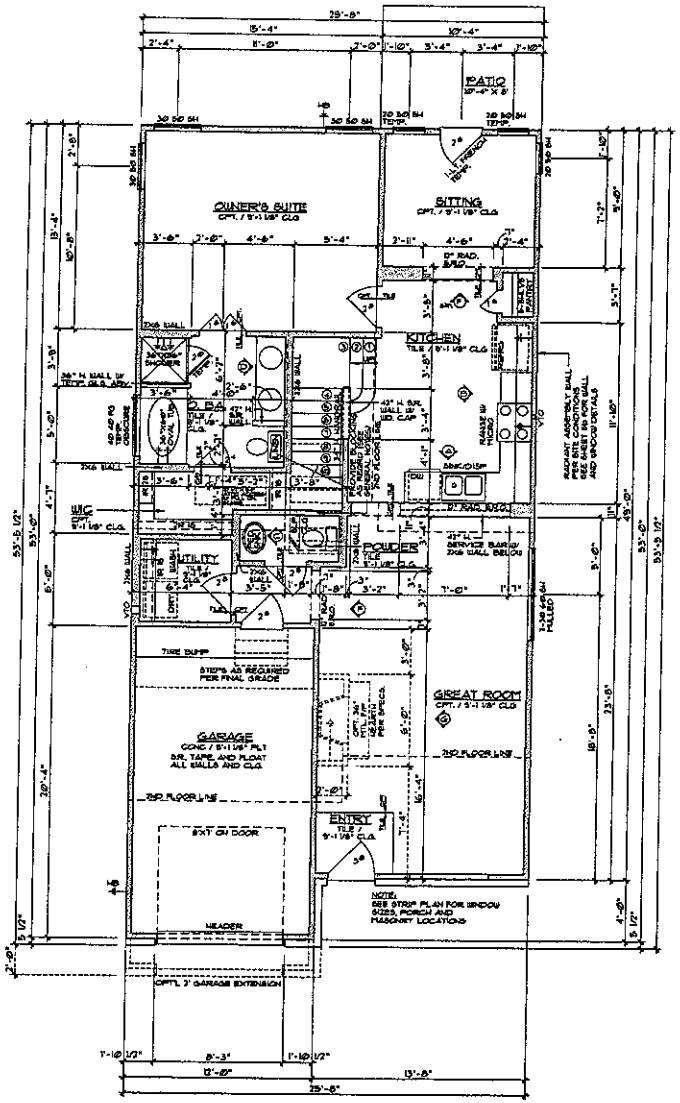
CITY GRID REFERENCE NUMBER G17

CONSTRUCTION

PLAN TYPE 1471



OPTIONAL COVERED PATIO
SCALE 1/8"=1'-0"



FIRST LEVEL FLOOR PLAN
SCALE 1/8"=1'-0"

NOTES:

1ST LEVEL PLATE HGTS TO BE 9'-1 1/8" W/ 7'-6" WINDOW HEADER HGTS UNLESS NOTED

2ND LEVEL PLATE HGTS TO BE 8'-1 1/8" W/ 6'-8" WINDOW HEADER HGTS UNLESS NOTED
OPT. 9'-1 1/8" W/ 7'-6" WINDOW HEADER HGTS UNLESS NOTED

PROVIDE TEMPERED GLASS WHERE REQ'D

PROVIDE FIRESTOPPING IN ALL AREAS AS REQUIRED PER CURRENT IRC CODE

ALL ANGLED WALLS TO BE 45° UNLESS NOTED OTHERWISE

PROVIDE PULTED PAD IN ATTIC FOR HVAC UNIT(S) AS REQ'D ELECT, PIPCH AND PLUMB

BLOCKING REQUIREMENTS:
LATERAL 2X6 OR LARGER NOMINAL WOOD BLOCKING MUST BE INSTALLED FLUSH WITH STUD EDGES OF BATHROOM WALLS
CENTERLINE OF BLOCKING MUST BE 24 INCHES FROM AND PARALLEL TO THE INTERIOR FLOOR LEVEL

HEADER SCHEDULE
BUILDING WIDTH OF 20' OR LESS
(MEASURED PERPENDICULAR TO MAIN RIDGE OF HOUSE)

FOR EXTERIOR LOAD BEARING WALLS				
	ROOF and CEILING	ROOF, CEILING and ONE CENTER BEARING FLOOR	ROOF, CEILING and ONE CLEAR SPAN FLOOR	ROOF, CEILING and TWO CENTER BEARING FLOORS
2-2x4	3'-6"	3'-4"	3'-0"	3'-1"
2-2x6	4'-6"	4'-4"	4'-0"	4'-1"
2-2x8	5'-10"	5'-4"	4'-11"	5'-1"
2-2x10	6'-10"	6'-4"	5'-11"	6'-1"
2-2x12	8'-4"	8'-1"	7'-6"	7'-11"

FOR INTERIOR LOAD BEARING WALLS		
	ONE FLOOR ONLY	TWO FLOORS
2-2x4	2'-7"	2'-3"
2-2x6	3'-4"	2'-11"
2-2x8	4'-4"	3'-8"
2-2x10	5'-2"	4'-6"
2-2x12	6'-1"	5'-3"

FOR NON-LOADBEARING WALLS A SINGLE 2x4 HEADER MAY BE USED ON OPENINGS NOT EXCEEDING 9' IN WIDTH IF THE VERTICAL NAILING DISTANCE TO THE PARALLEL NAILING SURFACE DOES NOT EXCEED 24".

* DENOTES 1 JACK STUDS REQUIRED TO SUPPORT EACH END
** DENOTES 2 JACK STUDS REQUIRED TO SUPPORT EACH END

*2 TYP.

KIPP ARCHITECTS 2008

Square Footage Chart
Elevation 'A'

	FRAME	w/ MASONRY
1 ST FLOOR	1067	1072
2 ND FLOOR	399	399
TOTAL LIVING	1466	1471
GARAGE	239	246
PORCH	57	57
TOTAL	1762	1774
OPT. COVD. PATIO	83	83
OPT. 2' GARAGE EXT.	24	25

Square Footage Chart
Elevation 'B'

	FRAME	w/ MASONRY
1 ST FLOOR	1067	1072
2 ND FLOOR	399	399
TOTAL LIVING	1466	1471
GARAGE	239	246
PORCH	61	61
TOTAL	1766	1778
OPT. COVD. PATIO	83	83
OPT. 2' GARAGE EXT.	24	25

REVISED: 5/13/09 - ADD MEDIA AND PLANTY TOILET, STORE # 8 ELEV. / CAN
REVISED: 2/5/09 - 1ST BALCONY CHECK SET. (JRS)

GRASON COMMUNITIES, LTD.

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KIPP★FLORES ARCHITECTS
(512) 335-5477 Fax (512) 335-5432
11770 Jollyville Rd. Suite 100 Austin, Texas 78759

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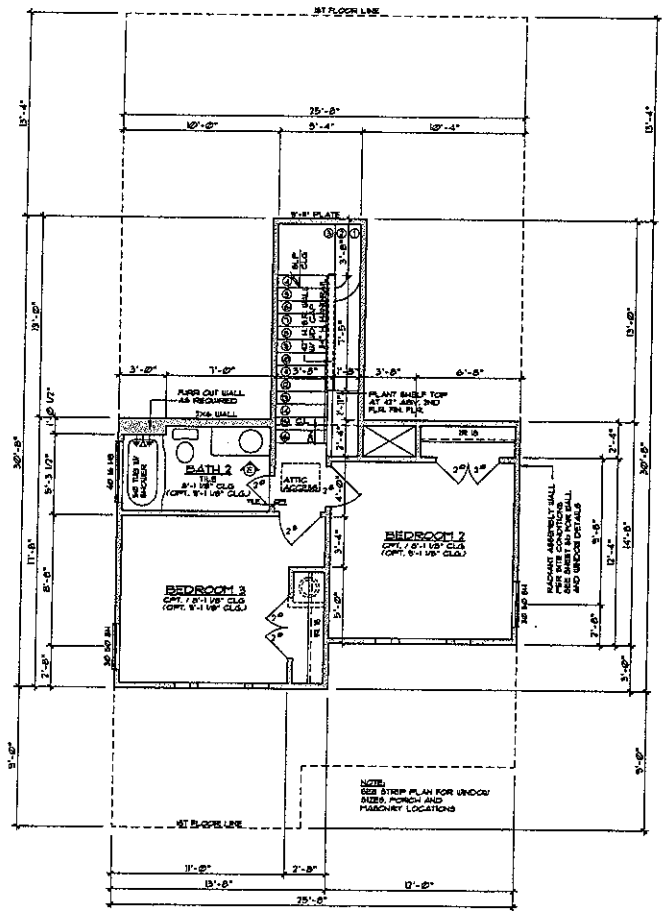
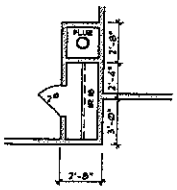
Date
5/13/09

Sheet
1 of 10

PLAN 1471 LF





BEDROOM 3 CLOSET
W/ OPT. FIREPLACE
SCALE 1/8"=1'-0"

HEADER SCHEDULE BUILDING WIDTH OF 30' OR LESS (MEASURED PERPENDICULAR TO MAIN RIDGE OF HOUSE)				
FOR EXTERIOR LOAD BEARING WALLS				
	ROOF and CEILING	ROOF, CEILING and ONE CENTER BEARING FLOOR	ROOF, CEILING and ONE CLEAR SPAN FLOOR	ROOF, CEILING and TWO CENTER BEARING FLOORS
2x4	3'-6"	3'-0"	2'-6"	2'-0"
2x6	5'-6"	4'-6"	3'-6"	3'-0"
2x8	6'-10"	5'-6"	4'-6"	3'-6"
2x10	8'-0"	6'-6"	5'-0"	4'-0"
2x12	9'-0"	7'-0"	5'-6"	4'-6"
FOR INTERIOR LOAD BEARING WALLS				
	ONE FLOOR ONLY		TWO FLOORS	
2x4	3'-6"		2'-0"	
2x6	4'-6"		3'-0"	
2x8	5'-6"		4'-0"	
2x10	6'-6"		5'-0"	
2x12	8'-0"		6'-0"	
FOR NON-LOADBEARING WALLS A SINGLE 2x4 HEADER MAY BE USED ON OPENINGS NOT EXCEEDING 3' IN WIDTH IF THE VERTICAL NAILING DISTANCE TO THE PARALLEL NAILING SURFACE DOES NOT EXCEED 24".				
* DENOTES 1 JACK STUDS REQUIRED TO SUPPORT EXCIT TRIM ** DENOTES 2 JACK STUDS REQUIRED TO SUPPORT EACH END				

KF ARCHITECTS (IRC 2006)

SECOND LEVEL FLOOR PLAN

SCALE 1/8"=1'-0"

NOTES:

1st FLOOR PLATE HGTS TO BE 9'-1 1/8" SF 7'-10" WINDOW HEADER HGTS UNLESS NOTED

2nd FLOOR PLATE HGTS TO BE 9'-1 1/8" SF 8'-10" WINDOW HEADER HGTS UNLESS NOTED OPT. 9'-1 1/8" SF 7'-10" WINDOW HEADER HGTS UNLESS NOTED

PROVIDE TEMPERED GLASS WHERE REQRD

PROVIDE FIREBLOCKING IN ALL AREAS AS REQUIRED PER CURRENT IRC CODE

ALL ANGLED WALLS TO BE 45° UNLESS NOTED OTHERWISE

PROVIDE PULLED PAD IN ATTIC FOR HVAC UNITS(S) IF REQRD ELECT, MECH AND PLUMB

PLAN 1471 LF

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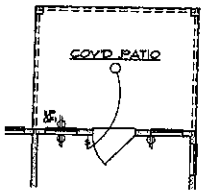
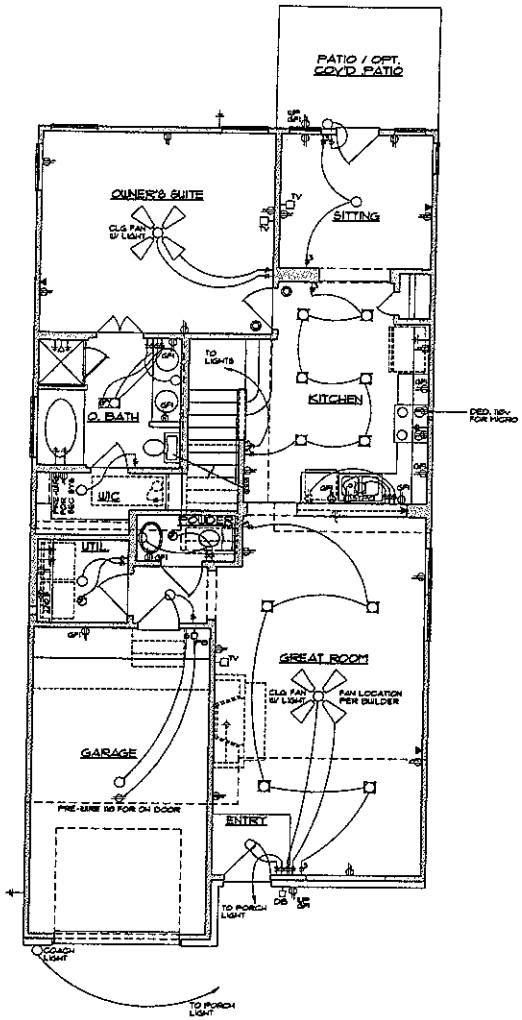


OPTIONAL COVERED PATIO
SCALE 1/8"=1'-0"



ELECTRICAL LEGEND

- 110 OUTLET
- 110 OUTLET (SLSW)
- 110 CLG OR FLR
- 220 OUTLET
- SWITCHED OUTLET
- SWITCHED OUTLET (SLSW)
- JUNCTION BOX
- ONE-WAY SWITCH
- THREE-WAY SWITCH
- FOUR-WAY SWITCH
- DIMMER SWITCH
- WALL SCONCE
- CLG MOUNT LIGHT
- EXHAUST VENT
- RECESSED LIGHT
- EYE-BALL LIGHT
- HEATER, VENT, LIGHT
- TV OUTLET
- PHONE OUTLET
- SMOKE DETECTOR
- THERMOSTAT
- DBL FLOOD LIGHT
- PUSH BUTTON
- DOOR BELL
- SPEAKER OUTLET
- CHIMES
- CARBON MONOXIDE DETECTOR
- CLG FAN W/ LIGHT
- 48" X 12" FLUOR. FIXTURE
- 48" 110 FLUOR.
- UNDER CAB LIGHT

FIRST LEVEL ELECTRICAL PLAN

SCALE 1/8"=1'-0"

NOTES:

PROVIDE PLEATED PAD IN ATTIC FOR HVAC UNIT(S) AND SH W/ REQ'D ELECTRIC, PECH AND PLUMB (PLUMB CODE SECT 34-746)

PROVIDE 110V OUTLET AND LIGHT NEAR HVAC UNIT FOR SERVICE. IF LOCATION REQUIRES, PROVIDE TWO LIGHTS, ONE AT UNIT AND ONE AT ACCESS OPENING ON ONE SWITCH.

SMOKE ALARMS TO BE INSTALLED W/ BATTERY BACKUP IN ACCORDANCE W/ NFPA 72. ALL SMOKE ALARMS SHALL BE INTERCONNECTED SO THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OTHERS.

RECESSED LIGHTING FIXTURES TO BE INSTALLED AS REQUIRED BY IECC 2012 (AIRTIGHT CANS OR SEALED STYROFOAM BOX WHEN PIERCING BUILDING ENVELOPE)

ELECTRICIAN TO PROVIDE 1P OR PLUG WITHIN 18"-48" FROM A/C CONDENSER UNIT

PLAN 1471 LF

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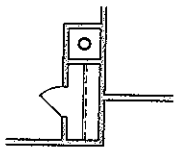
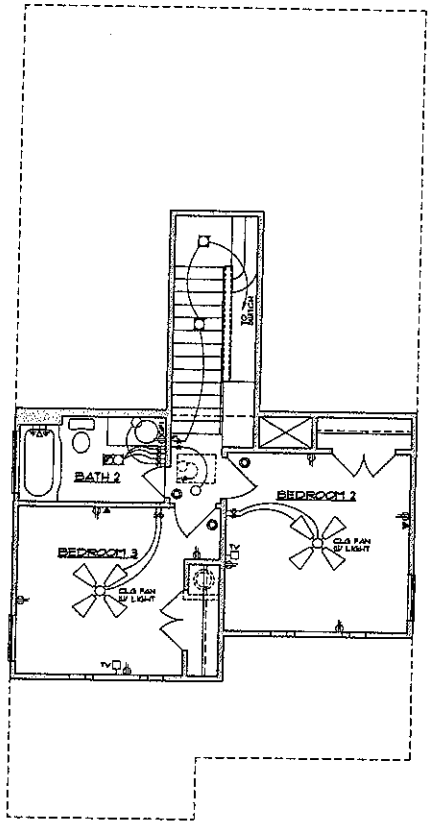
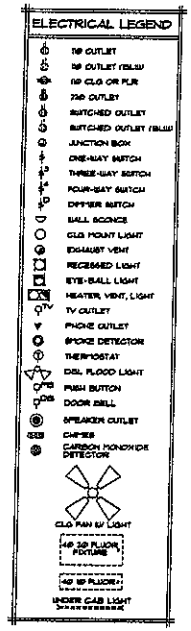


BEDROOM 3 CLOSET
W/ OPT. FIREPLACE
SCALE 1/8"=1'-0"





SECOND LEVEL ELECTRICAL PLAN

SCALE 1/8"=1'-0"

NOTES:

PROVIDE FILTRED PAD IN ATTIC FOR HVAC (WITH) AND 5H W/ REQRD ELECTRIC (YES) AND PLUMB (PLUMB CODE SECT 24-248)

PROVIDE 220V OUTLET AND LIGHT NEAR HVAC UNIT FOR SERVICE. IF LOCATION REQUIRES, PROVIDE TWO LIGHTS ONE AT UNIT AND ONE AT ACCESS OPENING ON ONE SWITCH.

SMOKE ALARMS TO BE INSTALLED W/ BATTERY BACKUP IN ACCORDANCE W/ NFPA 72. ALL SMOKE ALARMS SHALL BE INTERCONNECTED SO THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OTHERS.

RECESSED LIGHTING FIXTURES TO BE INSTALLED AS REQUIRED BY 2006 IECC (AIRTIGHT CANS OR SEALED SYTREM BOX WHEN PIERCING BUILDING ENVELOPE)

ELECTRICIAN TO PROVIDE 1/P ON PLUG WITHIN 36"-48" FROM A/C CONDENSER UNIT

PLAN 1471 LF

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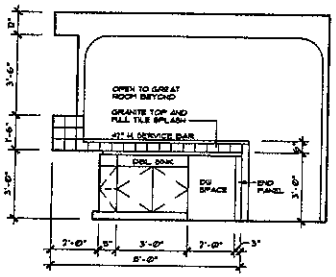
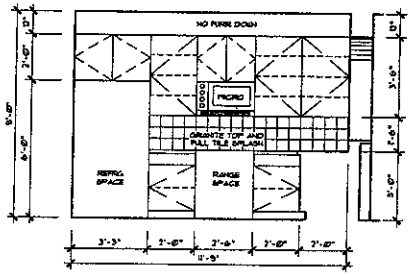


A KITCHEN



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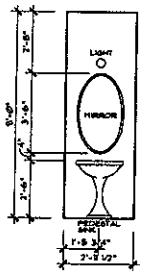
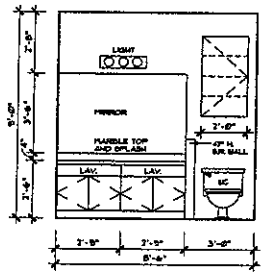
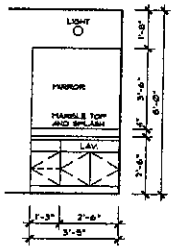


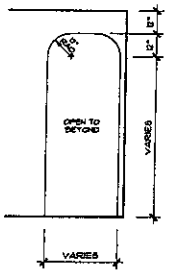
C POWDER



D O. BATH



E BATH 2



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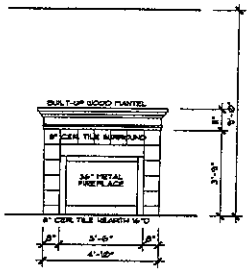
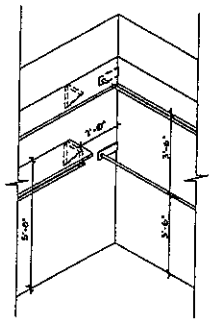


G OPT. FIREPLACE



M. BDRM. CLOSET ROD & SHELF DETAIL

SCALE 3/16"=1'-0"

NOTES:
SHELF DETAIL TO ALTERNATE ON EACH WALL AND ROTATE CLOCKWISE.

VENTILATED SHELVING PER BUILDER SPEC.

CABINET ELEVATIONS

SCALE 3/8"=1'-0"

PLAN 1471 LF

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Do not scale drawings. Contractor shall verify and be responsible for all dimensions and conditions on jobsite before commencement of work. Any discrepancies found in the drawings or specifications shall be reported to the Architect immediately. Failure to do so shall make the contractor responsible for any resulting damage.

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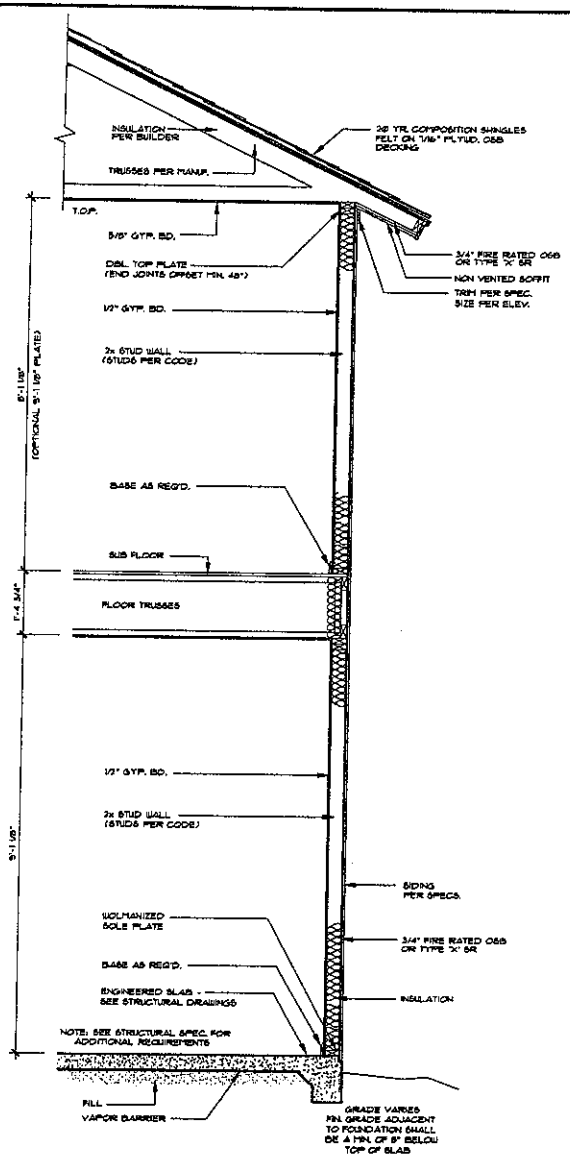
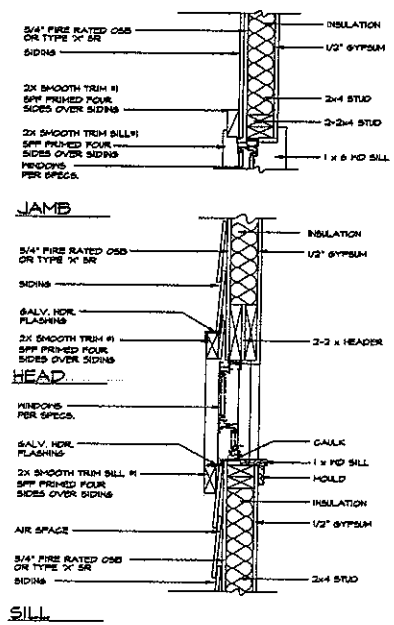


TYPICAL FIRE RATED / RADIANT ASSEMBLEY
1 2 STORY EXTERIOR WALL SECTION W/ SIDING
SCALE 3/8"= 1'-0"
REFER TO PLANS & ELEVS. FOR ROOF PITCHES



TYPICAL FIRERATED / RADIANT ASSEMBLEY
1 EXTERIOR WINDOW DETAIL W/ SIDING
SCALE 3/4"=1'-0"

PLAN 1471 LF

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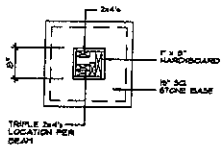
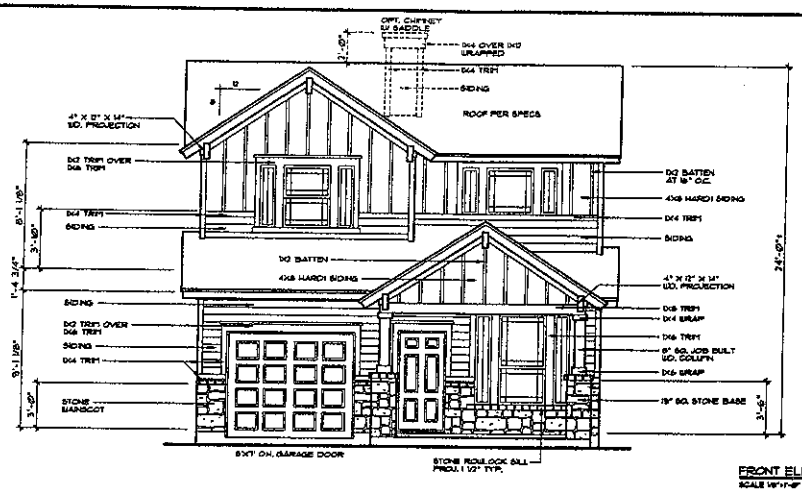


8" JOB-BUILT COLUMN
SCALE 3/8"=1'-0"



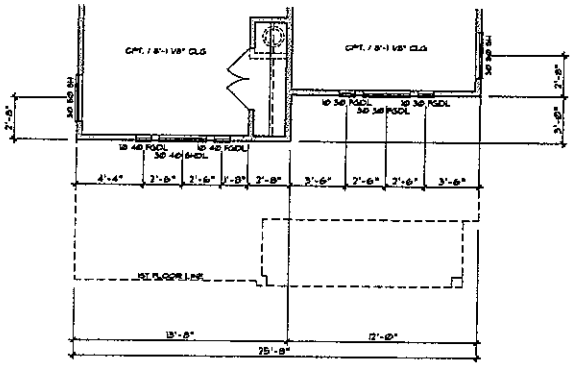
FRONT ELEVATION
SCALE 1/8"=1'-0"

NOTES:
1st FLOOR PLATE HGTS TO BE 8'-1 1/8" EX 6'-10" WINDOW HEADER HGTS. UNLESS NOTED.

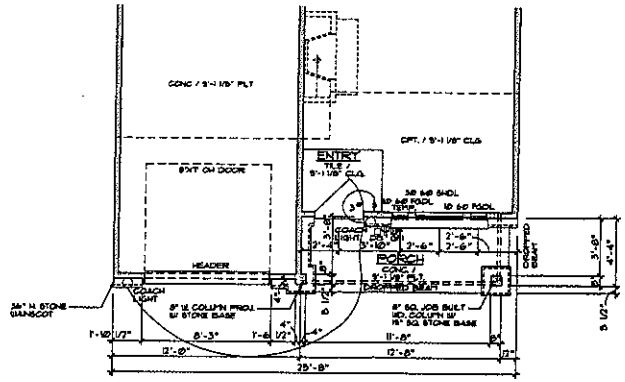
2ND LEVEL PLATE HGTS TO BE 8'-1 1/8" EX 6'-10" WINDOW HEADER HGTS UNLESS NOTED
OPT. 9'-1 1/8" EX 7'-10" WINDOW HEADER HGTS UNLESS NOTED

PROVIDE STEEL LINTELS ABOVE ALL OPENINGS W/ MASONRY, AS REQ'D.

PROVIDE TEMPERED GLASS WHERE REQ'D BY CODE.



SECOND LEVEL STRIP PLAN
SCALE 1/8"=1'-0"



FIRST LEVEL STRIP PLAN
SCALE 1/8"=1'-0"

HEADERS SCHEDULE BUILDING WIDTH OF 30' OR LESS (MEASURED PERPENDICULAR TO MAIN RIDGE OF HOUSE)				
FOR EXTERIOR LOAD BEARING WALLS				
	ROOF and CEILING	ROOF, CEILING and ONE CENTER BEARING FLOOR	ROOF, CEILING and ONE CLEAR SPAN FLOOR	ROOF, CEILING and TWO CENTER BEARING FLOORS
2-2x4	3'-6"	3'-1"	2'-3"	2'-1"
2-2x6	5'-0"	4'-3"	3'-1"	2'-11"
2-2x8	6'-10"	5'-8" *	4'-0" *	3'-4" *
2-2x10	8'-8" *	7'-0" *	5'-1" *	4'-1" *
2-2x12	9'-4" *	8'-4" *	6'-1" *	5'-0" *
FOR INTERIOR LOAD BEARING WALLS				
	ONE FLOOR ONLY		TWO FLOORS	
2-2x4	3'-1"		2'-3"	
2-2x6	4'-8"		3'-3" *	
2-2x8	5'-8"		4'-0" *	
2-2x10	7'-0" *		4'-11" *	
2-2x12	8'-4" *		5'-8" *	
FOR NON-LOADBEARING WALLS A SINGLE 2x4 HEADER MAY BE USED ON OPENINGS NOT EXCEEDING 6' IN WIDTH IF THE VERTICAL NAILING DISTANCE TO THE PARALLEL NAILING SURFACE DOES NOT EXCEED 24".				
* DENOTES 2 JACK STUDS REQUIRED TO SUPPORT EACH END				
** DENOTES 3 JACK STUDS REQUIRED TO SUPPORT EACH END				

#2 YP. IRC ARCHITECTS (REV. 2006)

SIMPLIFIED PRESCRIPTIVE PACKAGE 2000-2009 IRC	
(SEE MAXIMUM GLASS AREA IN #2 BELOW)	
GLAZING U-FACTOR	0.65
CEILING R-VALUE	R-30
WALL R-VALUE	R-13
FLOOR R- VALUE	R-19
CRAWLSPACE WALL	R-4
SLAB PERIMETER	R-0
BASEMENT WALL	R-9

IRC ARCHITECTS (REV. 2006)

MASONRY PERCENTAGE "W"						
		NET EXT. WALL AREA	AREA OF GLAZING and DOORS	AREA OF MASONRY	AREA OF SIDING	MASONRY PERCENTAGE
FRONT	1st FLOOR	227	106	85	142	42%
	2nd FLOOR	127	35	0	127	0%
	TOTAL	354	141	85	269	27%
LEFT	1st FLOOR	437	34	0	437	0%
	2nd FLOOR	235	21	0	235	0%
	TOTAL	672	55	0	672	0%
RIGHT	1st FLOOR	425	48	17	406	4%
	2nd FLOOR	232	15	0	232	0%
	TOTAL	657	63	17	638	3%
REAR	1st FLOOR	124	60	0	124	0%
	2nd FLOOR	0	0	0	0	0%
	TOTAL	124	60	0	124	0%
SUB-TOTAL	1st FLOOR	1211	268	112	1099	9%
	2nd FLOOR	594	71	0	594	0%
TOTAL *		1805	339	112	1693	6%

GLAZING PERCENTAGE	
AREA OF GLAZING	216 sf
GROSS AIR CONDITIONED WALL AREA	2159 sf
GLAZING PERCENTAGE	12.32%

*NOTE: THESE CHARTS DO NOT REFLECT ANY PLAN OPTIONS OFFERED

PLAN 1471 LFA

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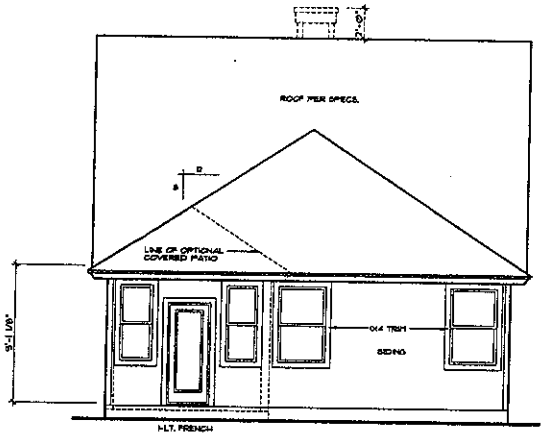
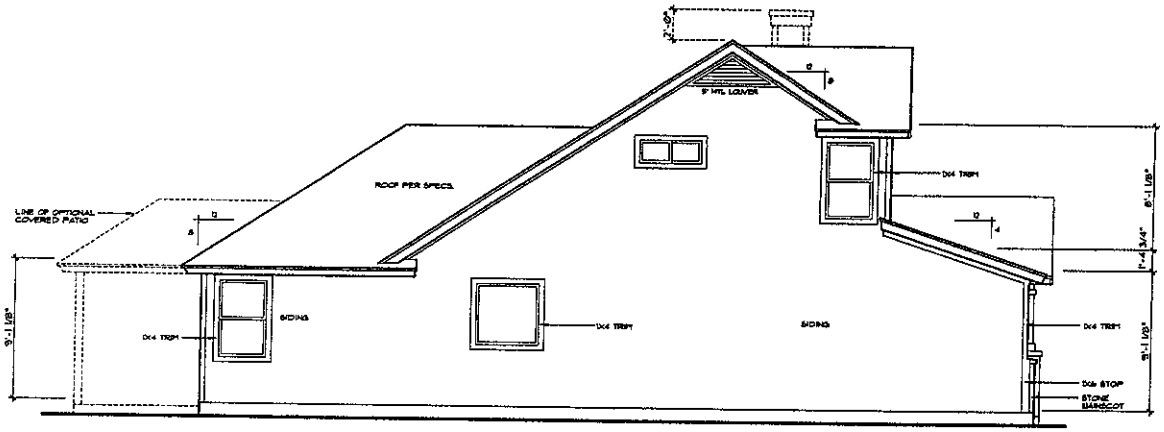


REAR ELEVATION
SCALE 1/8"=1'-0"



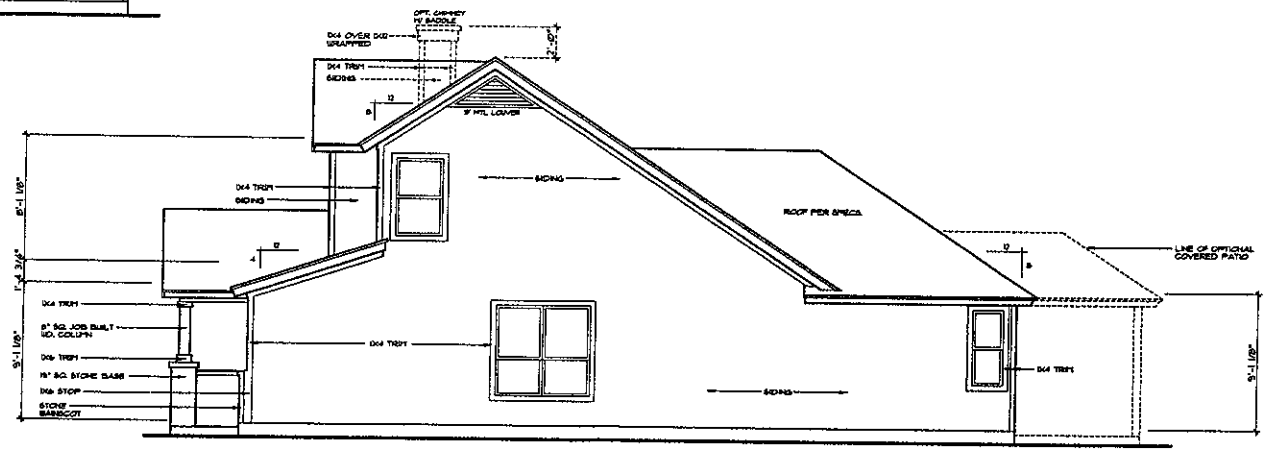
LEFT ELEVATION
SCALE 1/8"=1'-0"

NOTES:
1st FLOOR PLATE HGTS. TO BE 9'-1 1/8" W/ 7'-10" WINDOW HEADER HGTS. UNLESS NOTED.

2ND LEVEL PLATE HGTS TO BE 8'-1 1/8" W/ 6'-10" WINDOW HEADER HGTS UNLESS NOTED OPT. 9'-1 1/8" W/ 7'-10" WINDOW HEADER HGTS UNLESS NOTED

PROVIDE STEEL LINTELS ABOVE ALL OPENINGS W/ MASONRY, AS REQRD.

PROVIDE TEMPERED GLASS WHERE REQ'D BY CODE.



RIGHT ELEVATION
SCALE 1/8"=1'-0"

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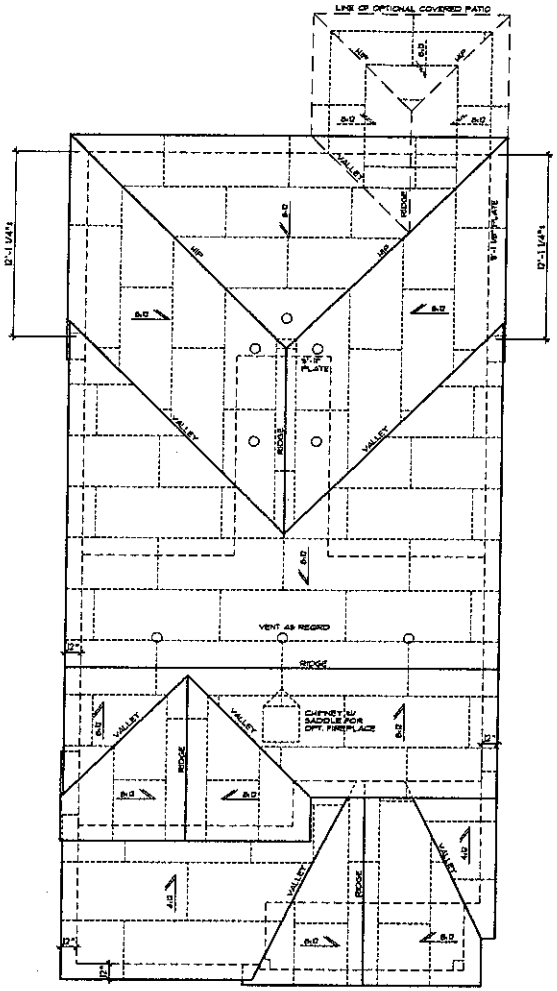

ROOF PLAN

SCALE 1/8"=1'-0"

NOTES:

ALL 4:12 ROOF PITCHES TO HAVE 2'-3" OVERHANGS UNLESS NOTED OTHERWISE

ALL 8:12 ROOF PITCHES TO HAVE 1'-1 1/2" OVERHANGS UNLESS NOTED OTHERWISE

ALL GABLE ENDS TO HAVE 1'-0" OVERHANGS UNLESS NOTED OTHERWISE

VENT AS REQUIRED

PLAN 1471 LFA

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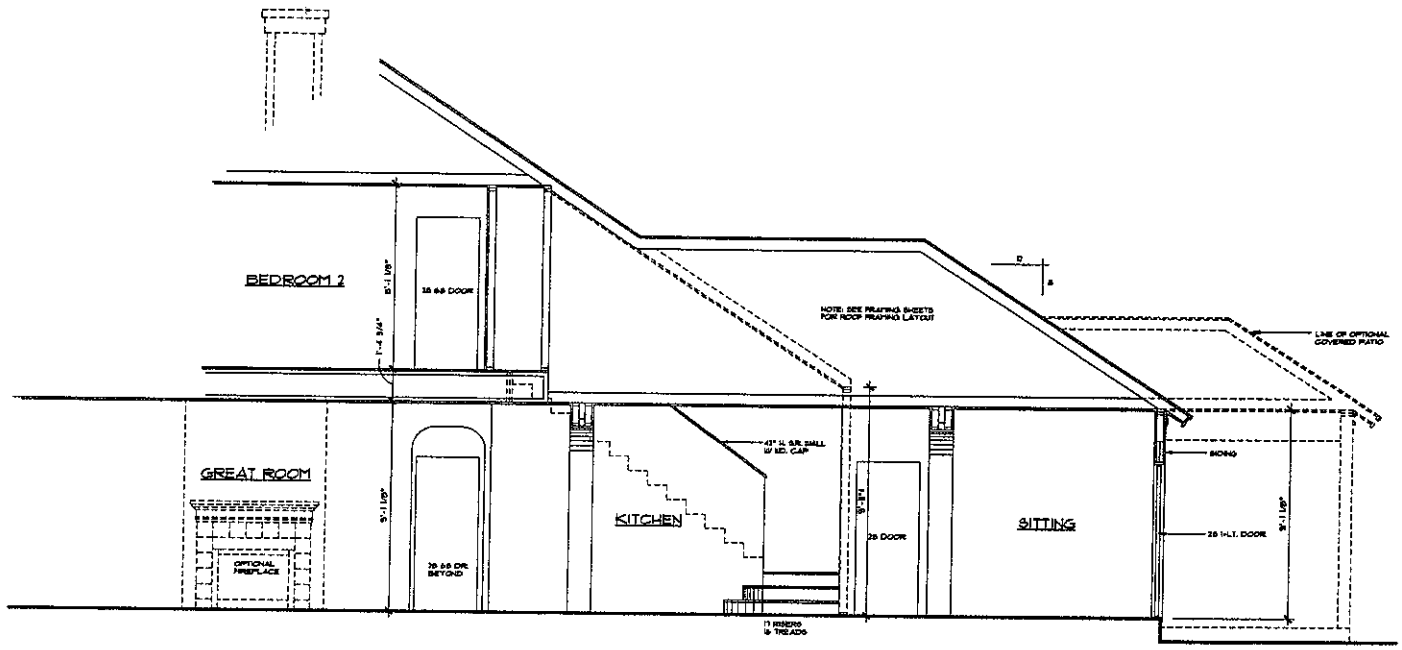

CROSS SECTION

SCALE 3/16"=1'-0"

- DO NOT SCALE THESE DRAWINGS. IN THE EVENT OF ERROR OR OMISSION CONTACT BUILDER FOR CLARIFICATION.
- ALL SUB-CONTRACTORS TO VERIFY ALL DIMENSIONS AND ACTUAL FIELD CONDITIONS WITH PLANS. REPORT ANY VARIATION TO BUILDER IMMEDIATELY.

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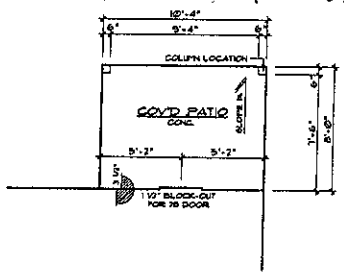
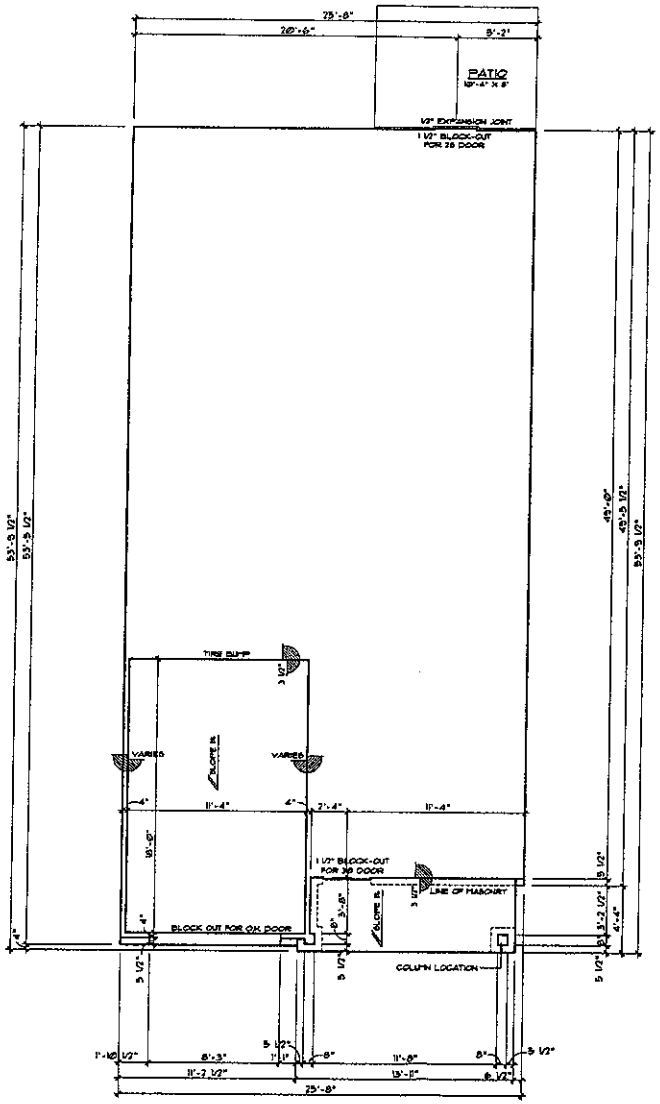
PLAN 1471 LF



OPTIONAL COVERED PATIO



FOUNDATION PLAN

NOTE: FOUNDATION CONTRACTOR TO COMPARE FOUNDATION PLANS WITH STRUCTURAL ENGINEER TO THOSE ARCHITECTURAL PLANS

ANY DISCREPANCY TO BE REPORTED TO BUILDER

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KIPP+FLORES ARCHITECTS

Date 5/13/09

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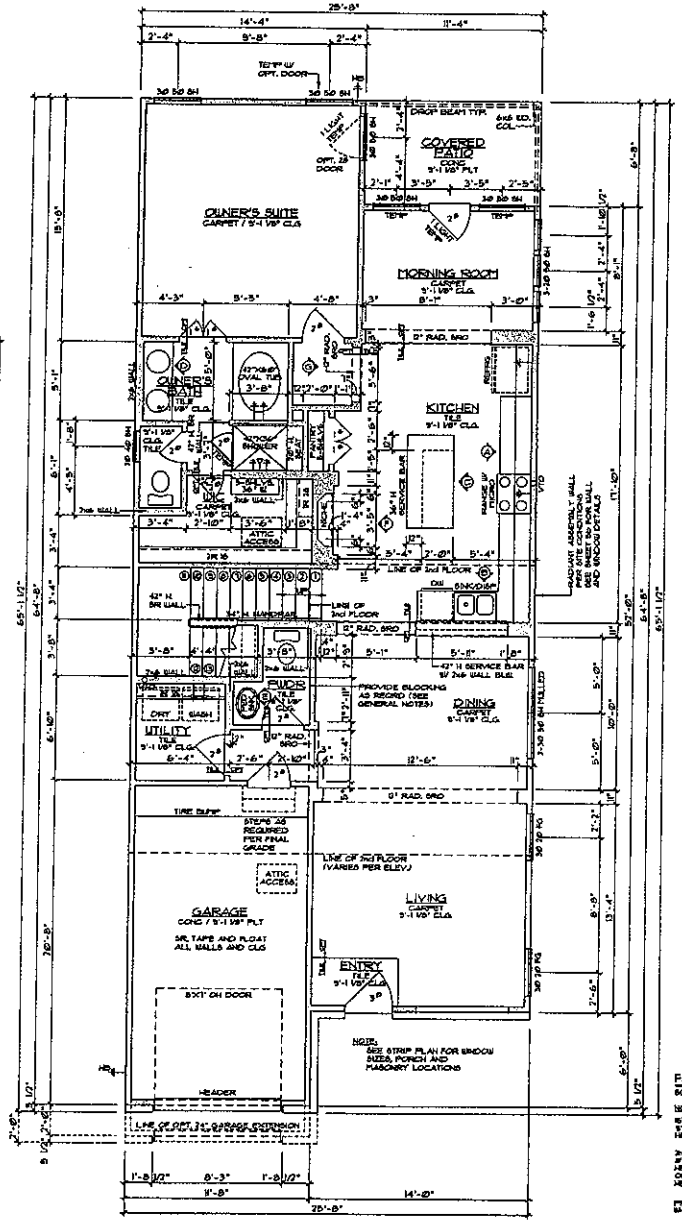
PLAN 1471 LFA

CONSTRUCTION

PLAN TYPE 1706



FIRST LEVEL FLOOR PLAN
SCALE 1/8"=1'-0"

NOTES:

1ST LEVEL PLATE HGTS TO BE 9'-1 1/8" W/ 7'-10" WINDOW HEADER HGTS UNLESS NOTED

2ND LEVEL PLATE HGTS TO BE 8'-1 1/8" W/ 7'-0" WINDOW HEADER HGTS UNLESS NOTED
OPT. 9'-1 1/8" W/ 7'-10" WINDOW HEADER HGTS UNLESS NOTED

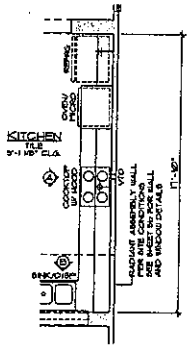
PROVIDE TEMPERED GLASS WHERE REQRD

PROVIDE FIREBLOCKING IN ALL AREAS AS REQUIRED PER CURRENT IRC CODE

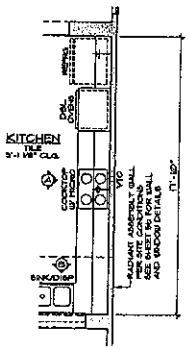
ALL ANGLED WALLS TO BE 45° UNLESS NOTED OTHERWISE

PROVIDE FILTHED PAD IN ATTIC FOR SIM. 1 SKAID UNITS W/ REQRD SUBCT, TRECH AND PUMPS

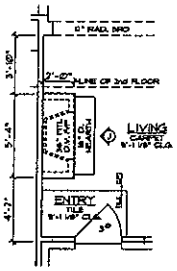
BLOCKING REQUIREMENTS:
LATERAL 2x6 OR LARGER NOMINAL WOOD BLOCKING MUST BE INSTALLED FLUSH WITH STUD EDGES OF BATHROOM WALLS
CENTERLINE OF BLOCKING MUST BE 34 INCHES FROM AND PARALLEL TO THE INTERIOR FLOOR LEVEL



OPT. KITCHEN 1
SCALE 1/8"=1'-0"



OPT. KITCHEN 2
SCALE 1/8"=1'-0"



OPT. DIRECT VENT FIREPLACE
SCALE 1/8"=1'-0"

HEADERS SCHEDULE BUILDING WIDTH OF 32' OR LESS (MEASURED PERPENDICULAR TO MAIN RIDGE OF HOUSE)				
FOR EXTERIOR LOAD BEARING WALLS				
	ROOF and CEILING	ROOF, CEILING and ONE CENTER BEARING FLOOR	ROOF, CEILING and ONE GLEAR SPAN FLOOR	ROOF, CEILING and TWO CENTER BEARING FLOORS
2-2x4	3'-6"	3'-1"	2'-5"	2'-1"
2-2x6	5'-0"	4'-4"	3'-4"	2'-11"
2-2x8	6'-10"	5'-11"	4'-6"	3'-11"
2-2x10	8'-4" *	7'-3" *	5'-11" *	5'-1" *
2-2x12	9'-4" *	8'-1" *	7'-1" *	6'-2" *
FOR INTERIOR LOAD BEARING WALLS				
	ONE FLOOR ONLY	TWO FLOORS		
2-2x4	3'-4"	2'-3"		
2-2x6	4'-10"	3'-3"		
2-2x8	5'-11"	4'-0" *		
2-2x10	7'-3" *	4'-11" *		
2-2x12	8'-1" *	5'-6" *		
FOR NON-LOADBEARING WALLS A SINGLE 2x4 HEADER MAY BE USED ON OPENINGS NOT EXCEEDING 5' IN WIDTH IF THE VERTICAL NAILING DISTANCE TO THE PARALLEL NAILING SURFACE DOES NOT EXCEED 24".				
* DENOTES 2 JACK STUDS REQUIRED TO SUPPORT EACH END ** DENOTES 3 JACK STUDS REQUIRED TO SUPPORT EACH END				

92 TP.

KF ARCHITECTS (RAC 3006)

Square Footage Chart Elevation 'A'		
	FRAME	w/ MASONRY
1 ST FLOOR	1268	1274
2 ND FLOOR	432	432
TOTAL LIVING	1700	1706
GARAGE	232	241
PORCH	89	89
COV. PATIO	16	16
TOTAL	2037	2112
OPT. 2' GARAGE EXT.	23	24
OPT. LOFT / FINISHED 4/ GAME ROOM	438	438

Square Footage Chart Elevation 'B'		
	FRAME	w/ MASONRY
1 ST FLOOR	1268	1274
2 ND FLOOR	418	418
TOTAL LIVING	1687	1693
GARAGE	232	241
PORCH	81	81
COV. PATIO	16	16
TOTAL	2016	2031
OPT. 2' GARAGE EXT.	23	24
OPT. LOFT / FINISHED 4/ GAME ROOM	438	438

PLAN 1706 LF

REVISED: 6-4-09 M. BUILDER CHECK SET (VCB)

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5-15-09

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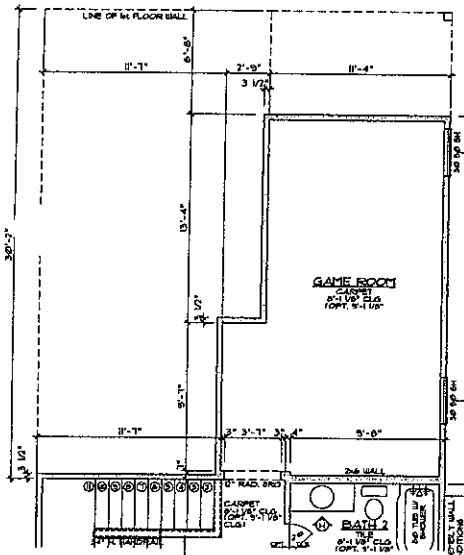
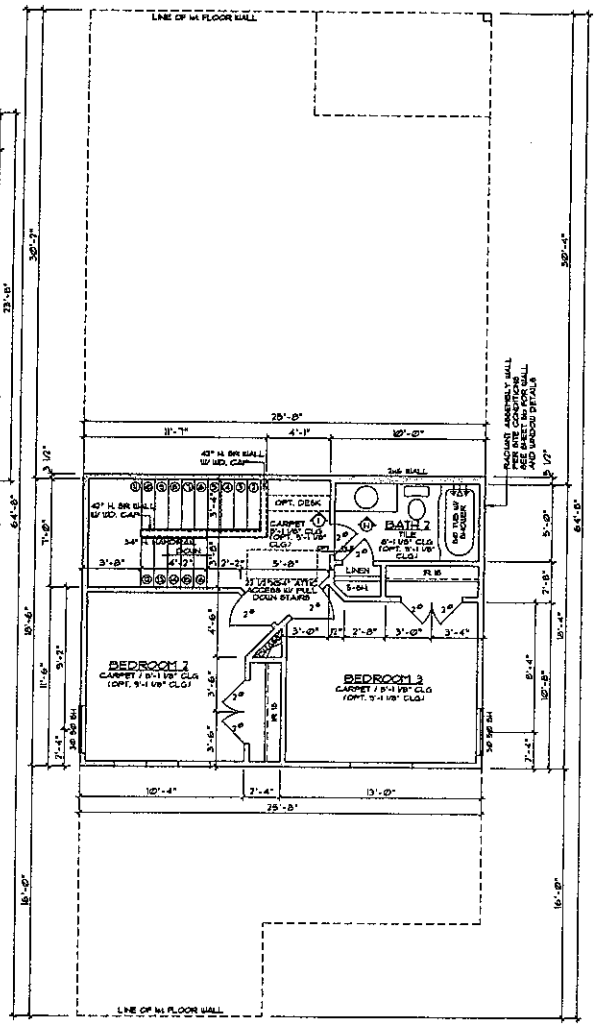
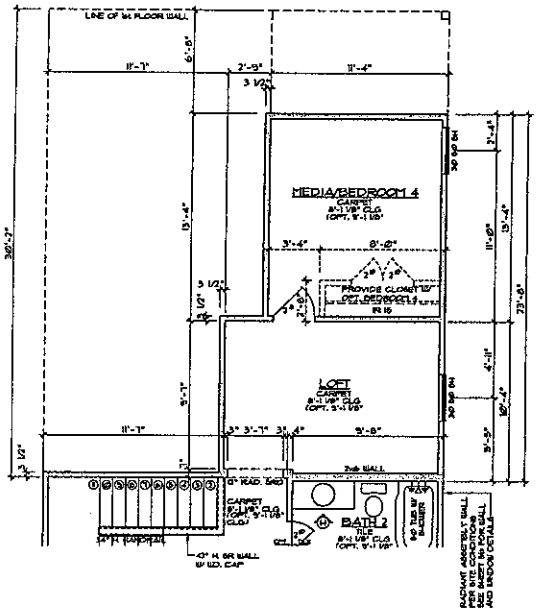


OPT. GAME ROOM
SCALE 1/8"=1'-0"





OPT. LOFT / MEDIA / BEDROOM 4
SCALE 1/8"=1'-0"

SECOND LEVEL FLOOR PLAN
SCALE 1/8"=1'-0"

NOTES:

1ST LEVEL PLATE HGTS TO BE 9'-1 1/8" W/ 7'-10" WINDOW HEADER HGTS UNLESS NOTED

2ND LEVEL PLATE HGTS TO BE 8'-1 1/8" W/ 7'-0" WINDOW HEADER HGTS UNLESS NOTED
OPT. 9'-1 1/8" W/ 7'-10" WINDOW HEADER HGTS UNLESS NOTED

PROVIDE TEMPERED GLASS WHERE REQ'D

PROVIDE FIREBLOCKING IN ALL AREAS AS REQUIRED PER CURRENT IRC CODE

ALL ANGLED WALLS TO BE 45° UNLESS NOTED OTHERWISE

PROVIDE FILTHED PAD IN ATTIC FOR EAH 1 HVAC UNITS W/ REQ'D ELECT, MECH AND PLUMB

PLAN 1706 LF

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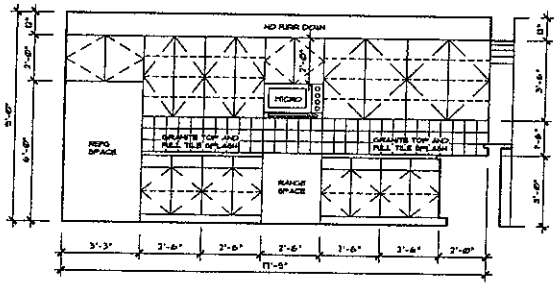
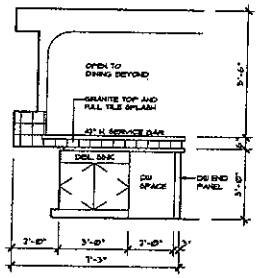
Sheet
2 of 10



A KITCHEN



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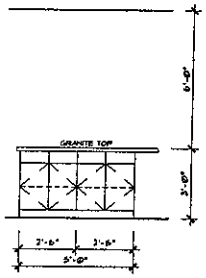

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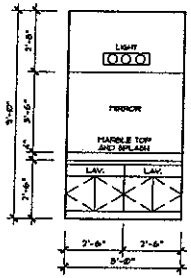
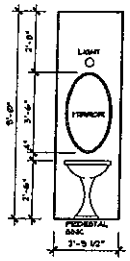
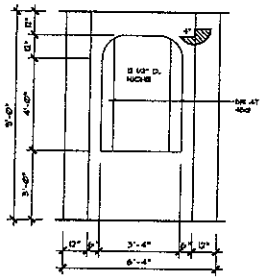


D OWNER'S BATH



E POWDER



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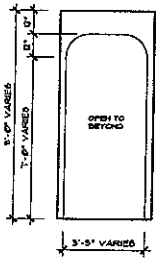
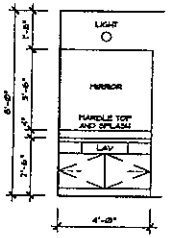
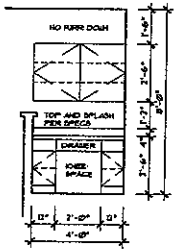


G TYP. 12" RAD. SRO



H BATH 2



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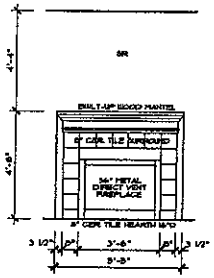
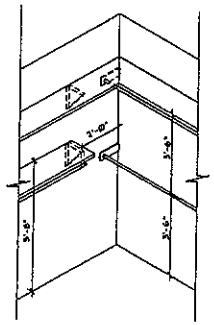
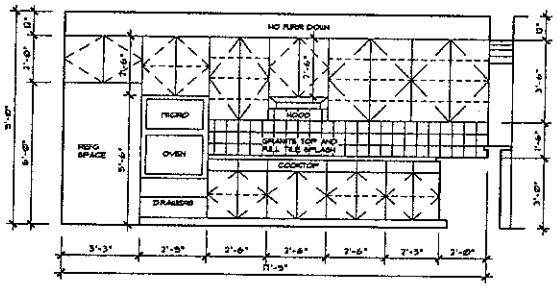


J OPT. FIREPLACE

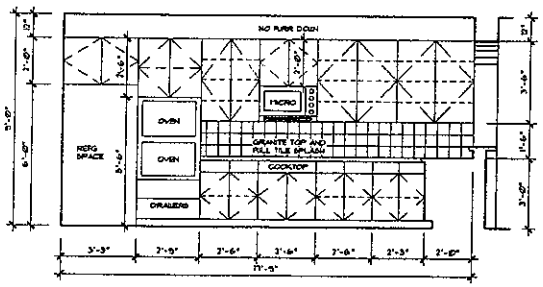


M BDRM. CLOSET ROD & SHELF DETAIL
SCALE 3/16"=1'-0"

NOTES:
S-ELF DETAIL TO ALTERNATE ON EACH WALL AND ROTATE CLOCKWISE.
VENTILATED SHELVING PER BUILDER SPEC.



A OPT. KITCHEN 1



A OPT. KITCHEN 2

CABINET ELEVATIONS
SCALE 3/8"=1'-0"

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5-16-09
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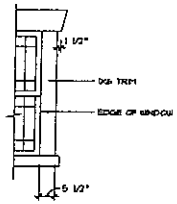
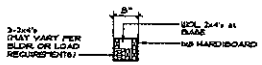
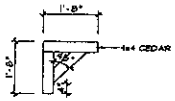
PLAN 1706 LF



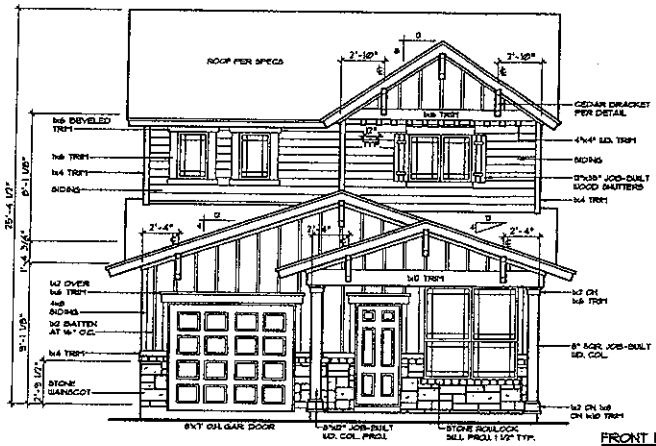
WINDOW TRIM DETAIL
SCALE: N.T.S.



8" JOB-BUILT COLUMN
SCALE: N.T.S.



CEDAR BRACKET
SCALE: N.T.S.



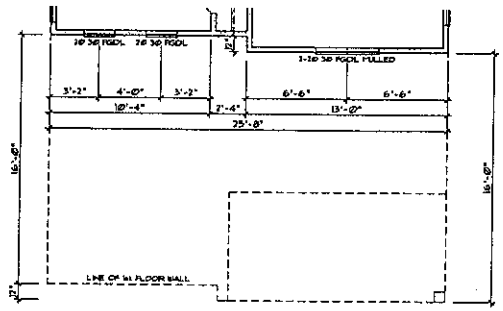
FRONT ELEVATION
SCALE 1/8"=1'-0"

NOTES:
1st FLOOR PLATE HGTS. TO BE 9'-1 1/8" W/ 7'-10" WINDOW HEADER HGTS. UNLESS NOTED.

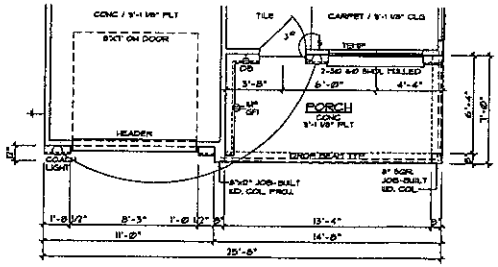
2ND LEVEL PLATE HGTS TO BE 8'-1 1/8" W/ 7'-0" WINDOW HEADER HGTS UNLESS NOTED OTH. 9'-1 1/8" W/ 7'-10" WINDOW HEADER HGTS UNLESS NOTED

PROVIDE STEEL LINTELS ABOVE ALL OPENINGS IN MASONRY, AS REQ'D.

PROVIDE TEMPERED GLASS WHERE REQ'D BY CODE.



SECOND LEVEL STRIP PLAN
SCALE 1/8"=1'-0"



FIRST LEVEL STRIP PLAN
SCALE 1/8"=1'-0"

HEADERS SCHEDULE
BUILDING WIDTH OF 30' OR LESS
(MEASURED PERPENDICULAR TO MAIN RIDGE OF HOUSE)

FOR EXTERIOR LOAD BEARING WALLS

	ROOF and CEILING	ROOF, CEILING and ONE CENTER BEARING FLOOR	ROOF, CEILING and ONE CLEAR SPAN FLOOR	ROOF, CEILING and TWO CENTER BEARING FLOORS
2-2x4	3'-6"	3'-1"	3'-0"	2'-7"
2-2x6	5'-0"	4'-4"	3'-10"	3'-4" *
2-2x8	6'-10"	5'-11" *	5'-10" *	4'-11" *
2-2x10	8'-3" *	7'-0" *	6'-11" *	5'-11" *
2-2x12	9'-4" *	8'-1" *	7'-11" *	6'-8" *

FOR INTERIOR LOAD BEARING WALLS

	ONE FLOOR ONLY	TWO FLOORS
2-2x4	3'-1"	2'-7"
2-2x6	4'-4"	3'-11" *
2-2x8	5'-6"	5'-0" *
2-2x10	7'-0"	4'-11" *
2-2x12	8'-1" *	5'-8" *

FOR NON-LOADBEARING WALLS A SINGLE 2x4 HEADER MAY BE USED ON OPENINGS NOT EXCEEDING 5' IN WIDTH IF THE VERTICAL NAILING DISTANCE TO THE PARALLEL NAILING SURFACE DOES NOT EXCEED 24".

* DENOTES 3 JACK STUDS REQUIRED TO SUPPORT EACH END
** DENOTES 3 JACK STUDS REQUIRED TO SUPPORT EACH END

*2 YP. KF ARCHITECTS (RAC 2008)

SIMPLIFIED PRESCRIPTIVE PACKAGE
(2000-2ph IRC)
(SEE MASONRY & GLAZ. AREA ELAB. SHEET)

GLAZING U-FACTOR	0.65
CEILING R-VALUE	R-19
WALL R-VALUE	R-13
FLOOR R-VALUE	R-19
CRAWLSPACE WALL	R-5
SLAB PERIMETER	R-0
BASEMENT WALL	R-5

KF ARCHITECTS (RAC 2008)

MASONRY PERCENTAGE 'A'

		NET EXT. WALL AREA	AREA OF GLAZING and DOORS	AREA OF MASONRY	AREA OF SIDING	MASONRY PERCENTAGE ***
FRONT	1st FLOOR	222	112	63	159	28%
	2nd FLOOR	139	24	0	139	0%
	TOTAL	361	136	63	298	17%
RIGHT	1st FLOOR	305	72	0	305	0%
	2nd FLOOR	227	15	0	227	0%
	TOTAL	613	87	0	613	0%
LEFT	1st FLOOR	556	6	0	556	0%
	2nd FLOOR	222	15	0	222	0%
	TOTAL	778	23	0	778	0%
REAR	1st FLOOR	179	93	0	179	0%
	2nd FLOOR	100	0	0	100	0%
	TOTAL	279	93	0	279	0%
SUB-TOTAL	1st FLOOR	1343	265	63	1280	5%
	2nd FLOOR	688	54	0	688	0%
TOTAL *		2031	339	63	1968	3%

GLAZING PERCENTAGE

AREA OF GLAZING	387#
GROSS AIR CONDITIONED WALL AREA	3358#
GLAZING PERCENTAGE	11.97%

*NOTE: THESE CHARTS DO NOT REFLECT ANY PLAN OPTIONS OFFERED

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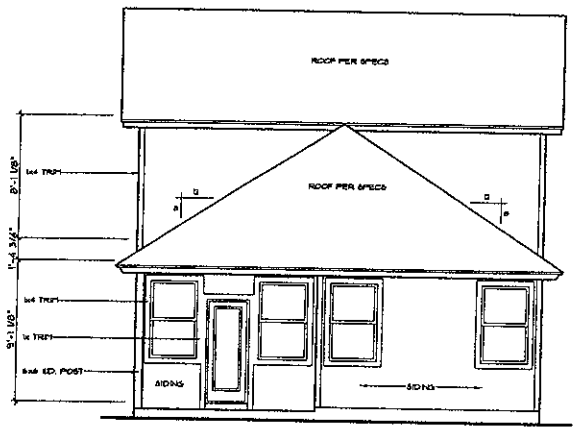
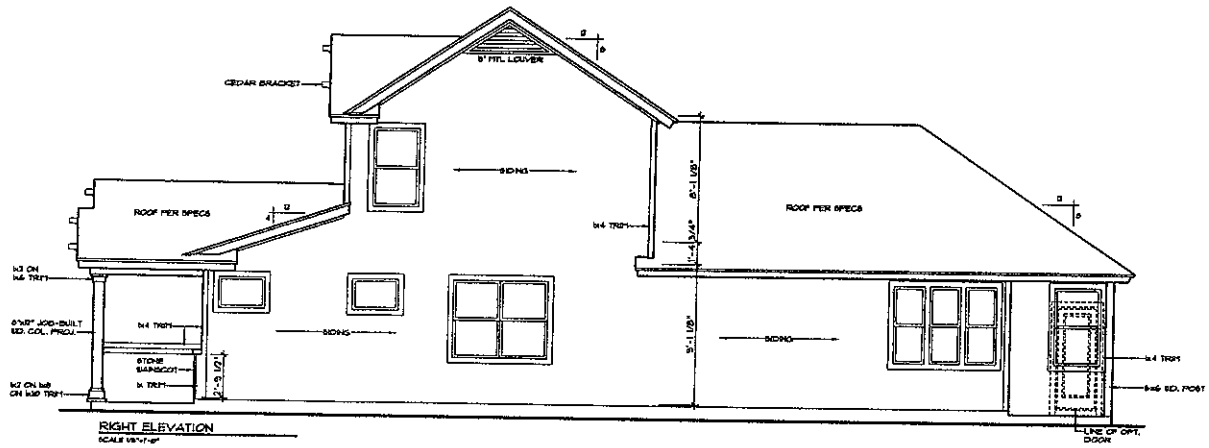
Sheet 6A of 10

GRAS-0803-742.DWG 06/04/09

PLAN 1706 LFA



REAR ELEVATION
SCALE 1/8"=1'-0"



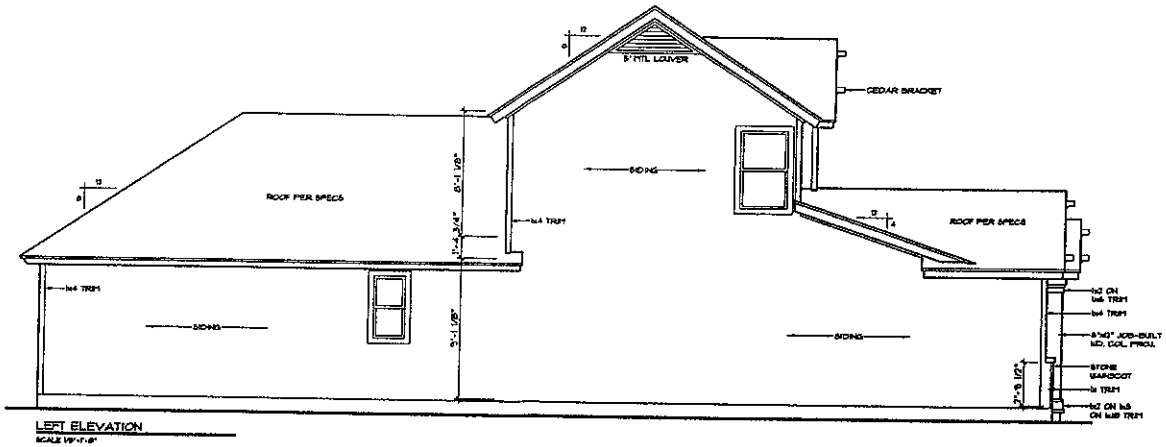
RIGHT ELEVATION
SCALE 1/8"=1'-0"

NOTES:
1x4 FLOOR PLATE HGTS. TO BE 8'-1 1/8" W/ 7'-10" WINDOW HEADER HGTS. UNLESS NOTED.

2ND LEVEL PLATE HGTS TO BE 8'-1 1/8" W/ 7'-0" WINDOW HEADER HGTS (UNLESS NOTED OPT. 8'-1 1/8" W/ 7'-10" WINDOW HEADER HGTS UNLESS NOTED

PROVIDE STEEL LINTELS ABOVE ALL OPENINGS W/ MASONRY, AS REQ'D.

PROVIDE TEMPERED GLASS WHERE REQ'D BY CODE.



LEFT ELEVATION
SCALE 1/8"=1'-0"

PLAN 1706 LFA

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5-15-09

Sheet
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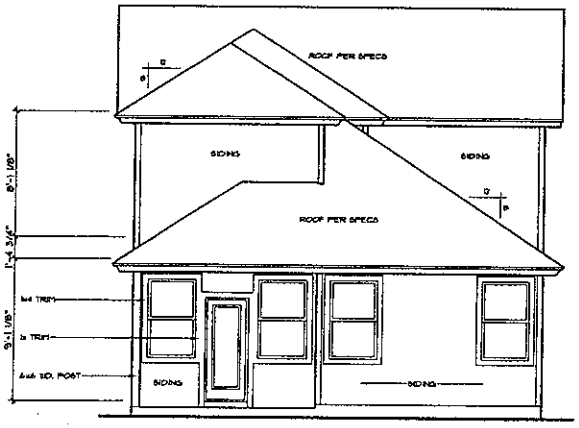
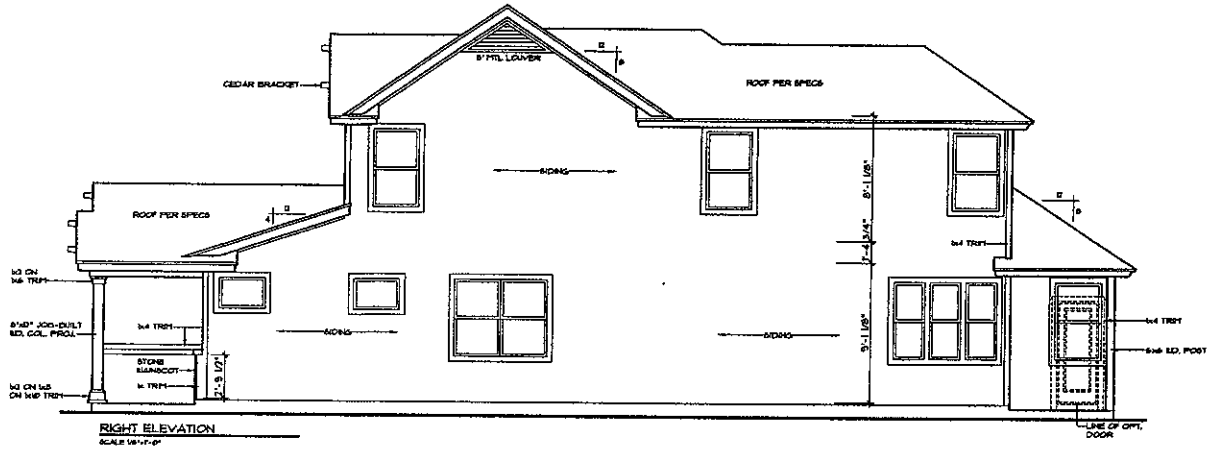


REAR ELEVATION
SCALE 1/8"=1'-0"



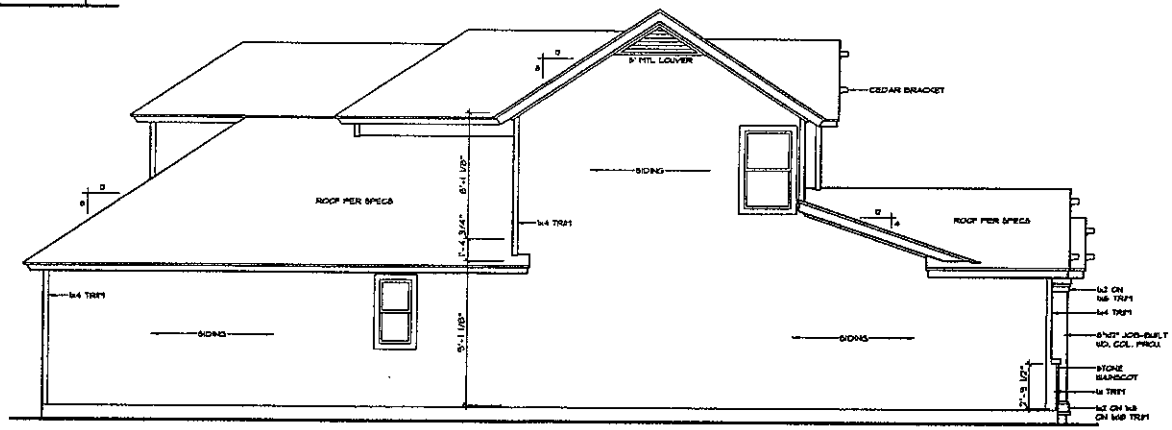
RIGHT ELEVATION
SCALE 1/8"=1'-0"

NOTES:
1st FLOOR PLATE HGTS TO BE 9'-1 1/8" W/ 7'-10" WINDOW HEADER HGTS. UNLESS NOTED.

2ND LEVEL PLATE HGTS TO BE 8'-1 1/8" W/ 7'-0" WINDOW HEADER HGTS UNLESS NOTED
OPT. 9'-1 1/8" W/ 7'-10" WINDOW HEADER HGTS UNLESS NOTED

PROVIDE STEEL LINTELS ABOVE ALL OPENINGS W/ MASONRY, AS REQ'D.

PROVIDE TEMPERED GLASS WHERE REQ'D BY CODE.



LEFT ELEVATION
SCALE 1/8"=1'-0"

OPT. LOFT/MEDIA/
BEDROOM 4/GAME ROOM
PLAN 1706 LFA

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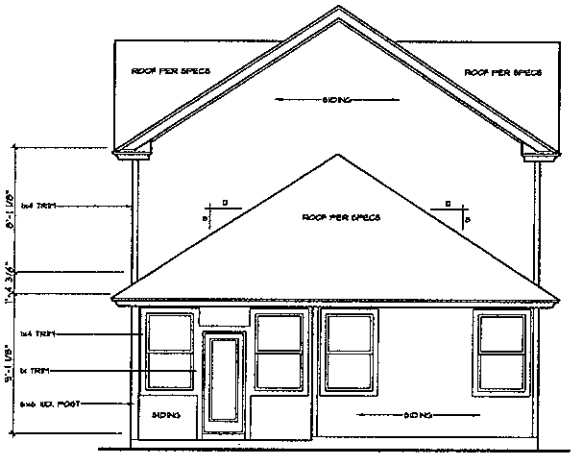
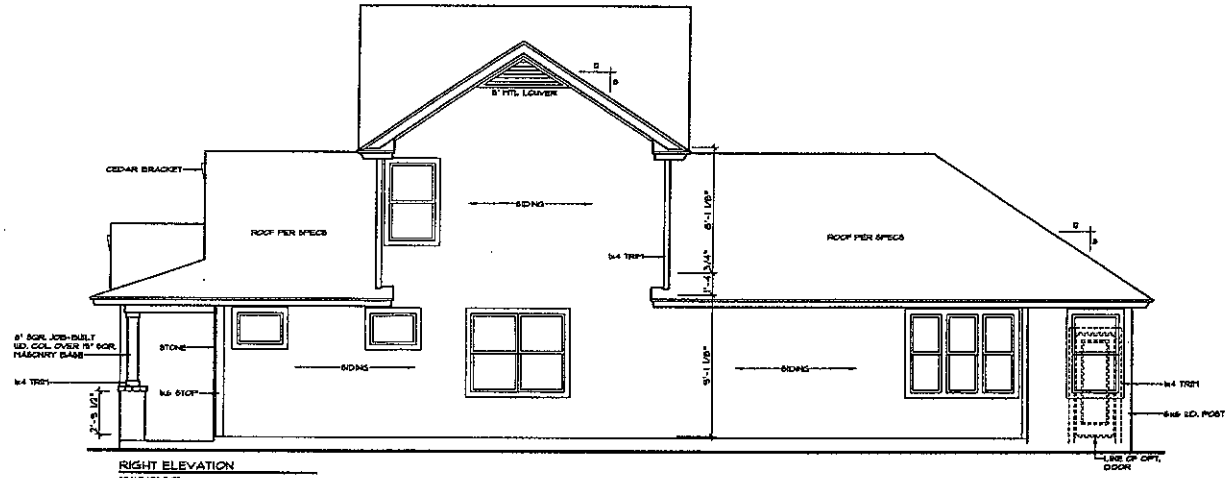
GRAN-0003-203-OPT 2ND FLOOR.DWG 05/04/09



REAR ELEVATION

SCALE 1/8"=1'-0"



RIGHT ELEVATION

SCALE 1/8"=1'-0"

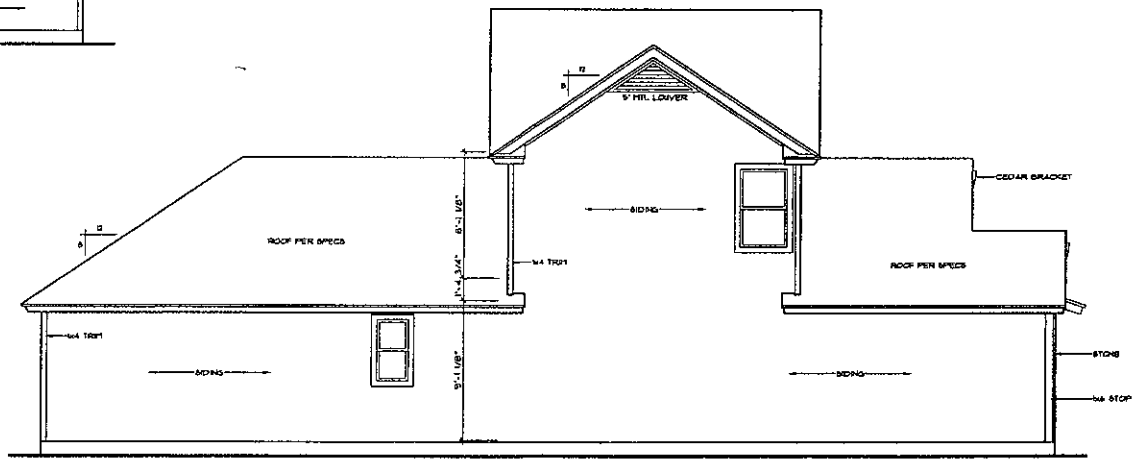
NOTES:

1st FLOOR PLATE HGTS TO BE 8'-1 1/8" W/ 7'-0" WINDOW HEADER HGTS UNLESS NOTED.

2ND LEVEL PLATE HGTS TO BE 8'-1 1/8" W/ 7'-0" WINDOW HEADER HGTS UNLESS NOTED OPT. 8'-1 1/8" W/ 7'-0" WINDOW HEADER HGTS UNLESS NOTED

PROVIDE STEEL LINTELS ABOVE ALL OPENINGS W/ MASONRY, AS REQ'D.

PROVIDE TEMPERED GLASS WHERE REQ'D BY CODE.



LEFT ELEVATION

SCALE 1/8"=1'-0"

PLAN 1706 LFB

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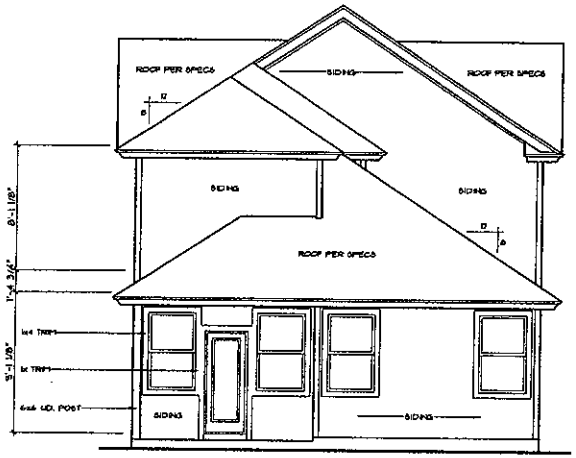
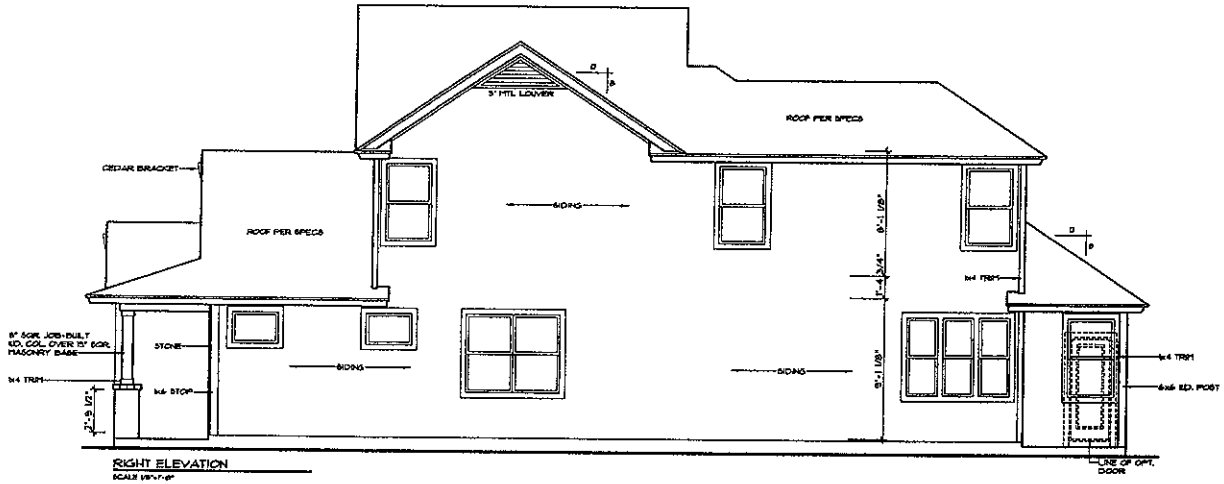


REAR ELEVATION
SCALE 1/8"=1'-0"



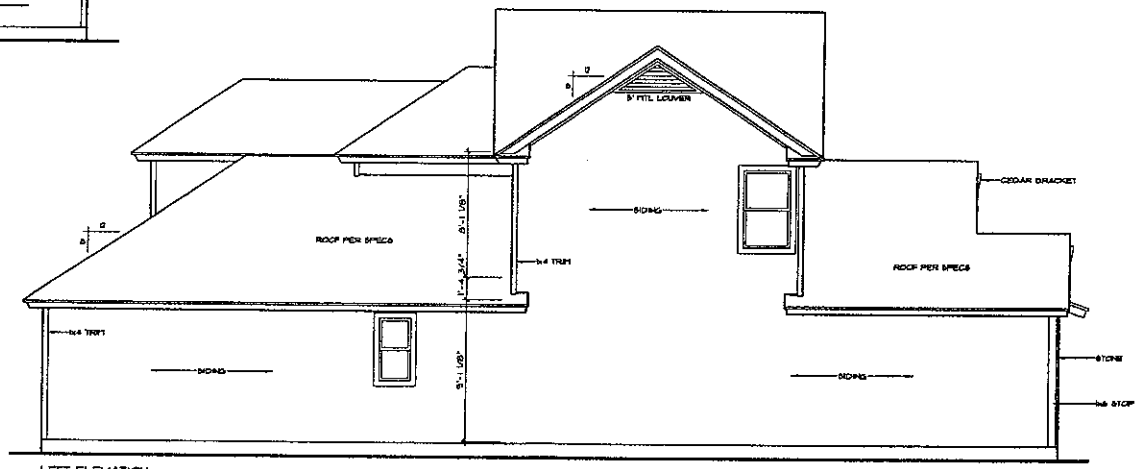
RIGHT ELEVATION
SCALE 1/8"=1'-0"

NOTES:
1st FLOOR PLATE HGTS. TO BE 9'-1 1/8" W/ 7'-10" WINDOW HEADER HGTS. UNLESS NOTED.

2ND LEVEL PLATE HGTS TO BE 8'-1 1/8" W/ 7'-10" WINDOW HEADER HGTS UNLESS NOTED
OPT.: 8'-1 1/8" W/ 7'-10" WINDOW HEADER HGTS UNLESS NOTED

PROVIDE STEEL LINTELS ABOVE ALL OPENINGS W/ MASONRY, AS REQ'D.

PROVIDE TEMPERED GLASS WHERE REQ'D BY CODE.



LEFT ELEVATION
SCALE 1/8"=1'-0"

OPT. LOFT/MEDIA/
BEDROOM 4/GAME ROOM
PLAN 1706 LFB

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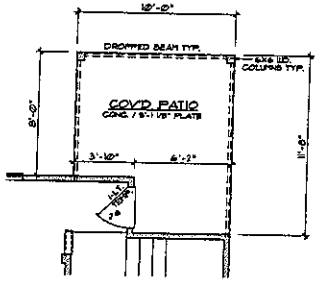
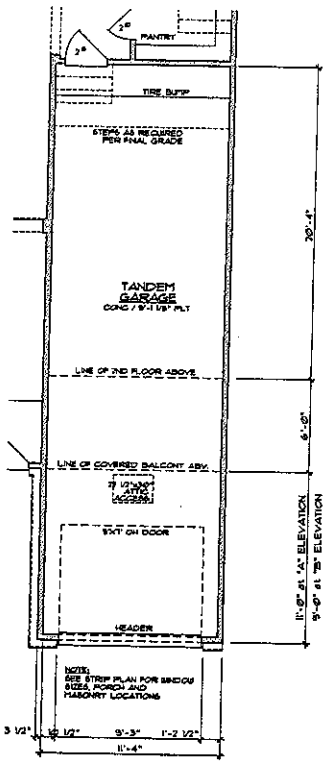
CONSTRUCTION

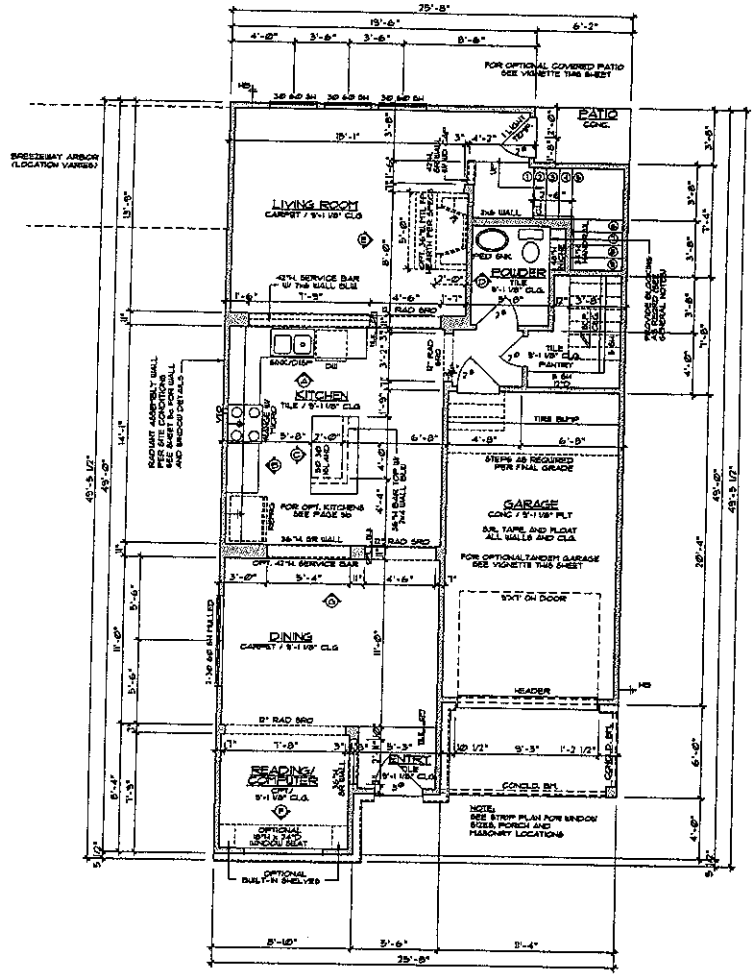
PLAN TYPE 1930



OPTIONAL COVERED PATIO FLOOR PLAN
SCALE 1/8"=1'-0"



OPTIONAL TANDEM GARAGE FLOOR PLAN
SCALE 1/8"=1'-0"



FIRST LEVEL FLOOR PLAN
SCALE 1/8"=1'-0"

NOTES:

1ST LEVEL PLATE HGTS TO BE 9'-1 1/8" W/ 7'-0" WINDOW HEADER HGTS UNLESS NOTED

2ND LEVEL PLATE HGTS TO BE 8'-1 1/8" W/ 7'-0" WINDOW HEADER HGTS UNLESS NOTED
OPT. 9'-1 1/8" W/ 7'-0" WINDOW HEADER HGTS UNLESS NOTED

PROVIDE TEMPERED GLASS WHERE REQIRD

PROVIDE FIREBLOCKING IN ALL AREAS AS REQUIRED PER CURRENT IRC CODE

ALL ANGLED WALLS TO BE 45° UNLESS NOTED OTHERWISE

PROVIDE FLTED PAD IN ATTIC FOR HVAC UNITS(S) BY RECIRD ELECT, HEGH AND PLUTHS

BLOCKING REQUIREMENTS:
LATERAL 2X8 OR LARGER NOTMAL WOOD BLOCKING MUST BE INSTALLED FLUSH WITH STUD EDGES OF BATHROOM WALLS
CENTERLINE OF BLOCKING MUST BE 34 INCHES FROM AND PARALLEL TO THE INTERIOR FLOOR LEVEL

HEADER SCHEDULE
BUILDING WIDTH OF 32' OR LESS
(MEASURED PERPENDICULAR TO MAIN RIDGE OF HOUSE)

FOR EXTERIOR LOAD BEARING WALLS	ROOF and CEILING	ROOF, CEILING and ONE CENTER BEARING FLOOR	ROOF, CEILING and ONE CLEAR SPAN FLOOR	ROOF, CEILING and TWO CENTER BEARING FLOORS
2-2x4	3'-6" *	3'-0" *	3'-6" *	2'-3" *
3-2x4	4'-6" *	3'-6" *	4'-0" *	3'-0" *
2-2x6	5'-0" *	4'-0" *	4'-6" *	3'-6" *
3-2x6	6'-0" *	5'-0" *	5'-0" *	4'-0" *
2-2x10	7'-0" *	6'-0" *	6'-0" *	5'-0" *
2-2x12	8'-0" *	7'-0" *	7'-0" *	6'-0" *

FOR INTERIOR LOAD BEARING WALLS	ONE FLOOR ONLY	TWO FLOORS
2-2x4	3'-0" *	2'-3" *
3-2x4	3'-6" *	2'-0" *
2-2x6	4'-6" *	3'-0" *
3-2x6	5'-0" *	3'-6" *
2-2x10	6'-0" *	4'-6" *
2-2x12	6'-0" *	5'-0" *

FOR NON-LOADBEARING WALLS A SINGLE 2x4 HEADER MAY BE USED ON OPENINGS NOT EXCEEDING 8' IN WIDTH IF THE VERTICAL NAILING DISTANCE TO THE PARALLEL NAILING SURFACE DOES NOT EXCEED 24".

* DENOTES 1 JACK STUDS REQUIRED TO SUPPORT EACH END
** DENOTES 3 JACK STUDS REQUIRED TO SUPPORT EACH END

92 TYP.

KIPP ARCHITECTS 2009

"A" Square Footage Chart

	FRAME	with BRICK
1 ST FLOOR	1669	1669
2 ND FLOOR	1056	1056
TOTAL LIVING	2725	2725
GARAGE	336	336
PORCH	164	164
COV. BALCONY	68	68
PORTE-COCHERE	60	60
TOTAL	3353	3353
OPT COV PATIO	103	103

"A" Square Footage Chart with TANDEM GARAGE

	FRAME	with BRICK
1 ST FLOOR	1669	1671
2 ND FLOOR	1056	1056
TOTAL LIVING	2725	2727
GARAGE	427	427
PORCH	92	92
COV. BALCONY	68	68
TOTAL	3544	3554
OPT COV PATIO	103	103

"B" Square Footage Chart

	FRAME	with BRICK
1 ST FLOOR	1669	1669
2 ND FLOOR	1056	1056
TOTAL LIVING	2725	2725
GARAGE	336	336
PORCH	126	126
COV. BALCONY	68	68
PORTE-COCHERE	150	150
TOTAL	3454	3454
OPT COV PATIO	103	103

"B" Square Footage Chart with TANDEM GARAGE

	FRAME	with BRICK
1 ST FLOOR	1669	1671
2 ND FLOOR	1056	1056
TOTAL LIVING	2725	2727
GARAGE	427	427
PORCH	94	94
COV. BALCONY	68	68
TOTAL	3529	3546
OPT COV PATIO	103	103

REVISED 05-25-09 COURT FLOORING LINES IN KITCH (2ND)
REVISED 05-21-09 BEDROOM CLOSET
REVISED 05-14-09 1ST FLOOR CLOSET (ONLY)

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KIPP★FLORES ARCHITECTS
T.B.P.E. Registration No. 2166

Date
05-26-09

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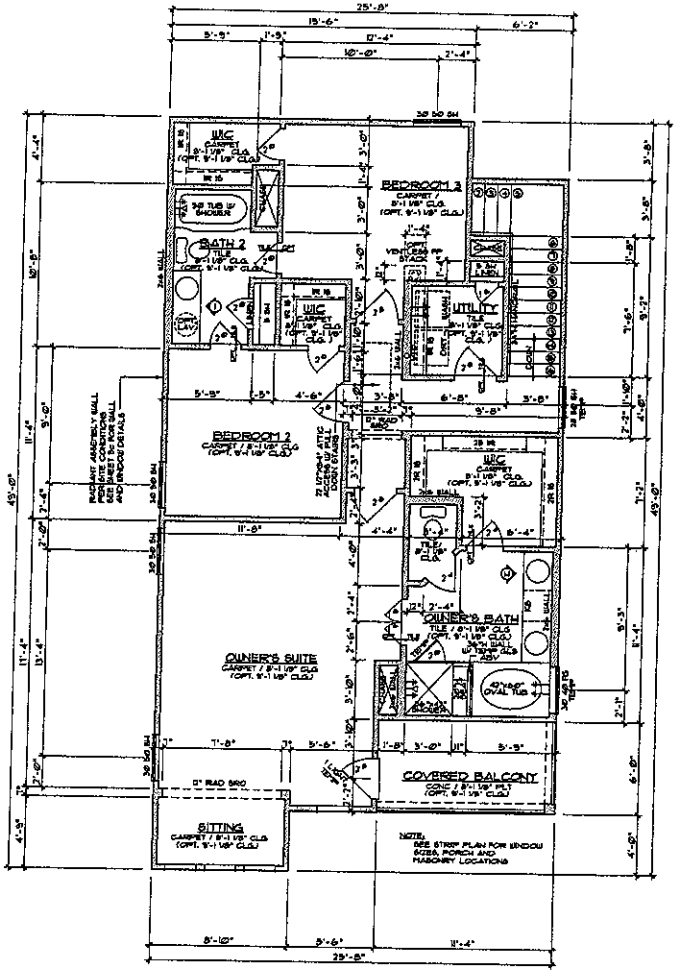
1 of 11

PLAN 1090 PE



SECOND LEVEL FLOOR PLAN

SCALE 1/8"=1'-0"

NOTES:

1st FLOOR PLATE HGTS TO BE 9'-1 1/8" W/ 7'-0" WINDOW HEADER HGTS UNLESS NOTED

2nd FLOOR PLATE HGTS TO BE 8'-1 1/8" W/ 7'-0" WINDOW HEADER HGTS UNLESS NOTED OPT. 9'-1 1/8" W/ 7'-10" WINDOW HEADER HGTS UNLESS NOTED

PROVIDE TEMPERED GLASS WHERE REQRD

PROVIDE FIREBLOCKING IN ALL AREAS AS REQUIRED PER CURRENT IRC CODE

ALL ANGLED WALLS TO BE 45° UNLESS NOTED OTHERWISE

PROVIDE PLYWD PAD IN ATTIC FOR HVAC UNITS/ W/ REQRD ELECT, HEAT AND PLUMB

HEADERS SCHEDULE
BUILDING WIDTH OF 30'-0" OR LESS
(MEASURED PERPENDICULAR TO MAIN RIDGE OF HOUSE)

FOR EXTERIOR LOAD BEARING WALLS				
	ROOF and CEILING	ROOF, CEILING and ONE CENTER BEARING FLOOR	ROOF, CEILING and ONE CLEAR SPAN FLOOR	ROOF, CEILING and TWO CENTER BEARING FLOORS
1-2x4	3'-0"	3'-0"	3'-0"	3'-0"
1-2x6	3'-6"	3'-6"	3'-6"	3'-6"
1-2x8	4'-6"	4'-6"	4'-6"	4'-6"
1-2x10	5'-6"	5'-6"	5'-6"	5'-6"
1-2x12	6'-6"	6'-6"	6'-6"	6'-6"
2-2x4	4'-6" *	4'-6" *	4'-6" *	4'-6" *
2-2x6	5'-6" *	5'-6" *	5'-6" *	5'-6" *
2-2x8	7'-0" *	7'-0" *	7'-0" *	7'-0" *
2-2x10	8'-0" *	8'-0" *	8'-0" *	8'-0" *
2-2x12	9'-0" *	9'-0" *	9'-0" *	9'-0" *

FOR INTERIOR LOAD BEARING WALLS		
	ONE FLOOR ONLY	TWO FLOORS
1-2x4	3'-0"	3'-0"
1-2x6	4'-6"	4'-6"
1-2x8	5'-6"	5'-6"
1-2x10	6'-6"	6'-6"
1-2x12	7'-6"	7'-6"
2-2x4	6'-0" *	6'-0" *
2-2x6	7'-6" *	7'-6" *
2-2x8	9'-6" *	9'-6" *
2-2x10	11'-0" *	11'-0" *
2-2x12	12'-0" *	12'-0" *

FOR NON-LOADBEARING WALLS A SINGLE 2x4 HEADER MAY BE USED ON OPENINGS NOT EXCEEDING 5' IN WIDTH IF THE VERTICAL WALLING DISTANCE TO THE PARALLEL WALLING SURFACE DOES NOT EXCEED 34".

* DENOTES 2 JACK STUDS REQUIRED TO SUPPORT EXCIT END
** DENOTES 3 JACK STUDS REQUIRED TO SUPPORT EACH END

*2 TYP.

KF ARCHITECTS (RG 3006)

REVISED 09-21-09 (CLOSET FLOORING LINES IN KITCH (TAP)
REVISED 09-21-09 (ADD 2 NEW SHOWERS) (TAP)
REVISED 09-21-09 (2 NEW SHOWERS) (MLB)

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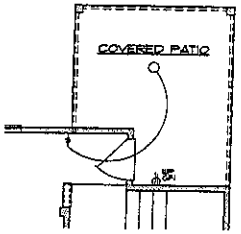
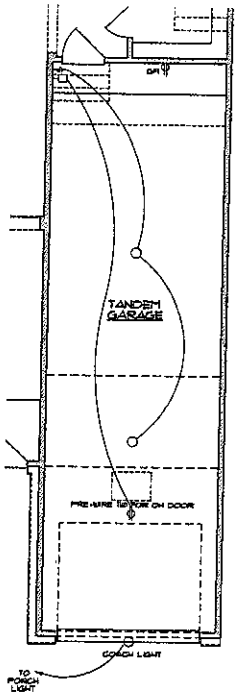
Date
05-26-09

Sheet
2 of 11

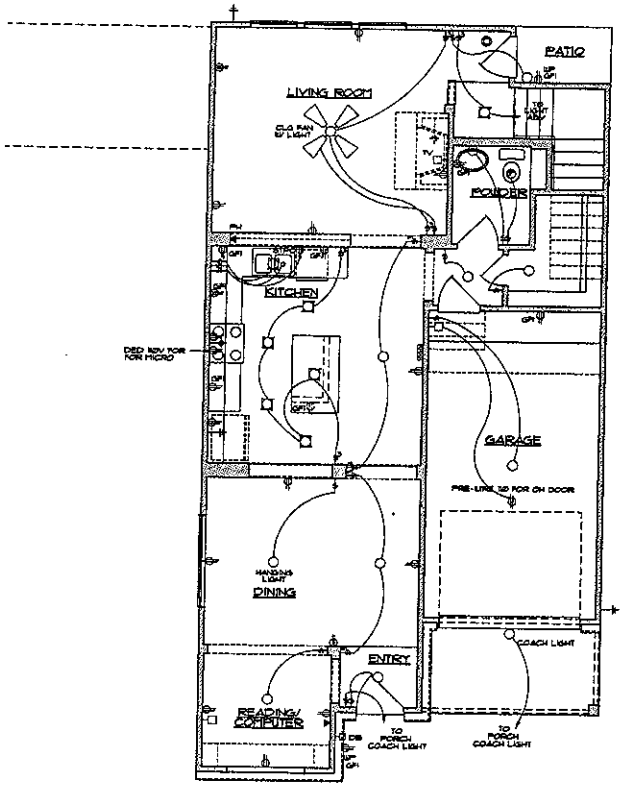
PLAN 1930 RF



OPTIONAL COVERED PATIO FLOOR PLAN
SCALE 1/8"=1'-0"



OPTIONAL TANDEM GARAGE FLOOR PLAN
SCALE 1/8"=1'-0"



FIRST LEVEL ELECTRICAL PLAN
SCALE 1/8"=1'-0"

NOTES:

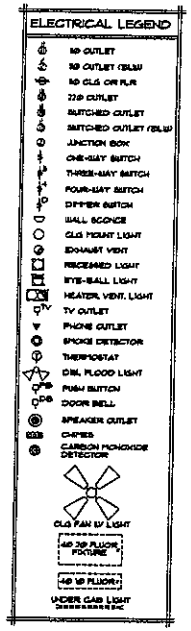
PROVIDE 3/4" A/C FILTER PAD IN ATTIC FOR HVAC UNIT(S) W/ REQUIRED ELECTRICAL, FRICH, & PLIFED.

PROVIDE 120V OUTLET AND LIGHT NEAR HVAC UNIT FOR SERVICE. IF LOCATION REQUIRES PROVIDE TWO LIGHTS, ONE AT UNIT AND ONE AT ACCESS OPENING, ON ONE SWITCH.

SMOKE ALARMS TO BE INSTALLED W/ BATTERY BACKUP IN ACCORDANCE WITH NFPA72. ALL SMOKE ALARMS SHALL BE INTERCONNECTED SO THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OTHERS.

RECESSED LIGHTING FIXTURES TO BE INSTALLED AS REQUIRED BY IECC W/ICLS (AIRTIGHT CANS OR SEALED GYPSUM BOX WHEN PERCING BUILDING ENVELOPE)

ELECTRICIAN TO PROVIDE UPGR PLUG WITHIN 25' FROM A/C CONDENSER UNIT.



REVISED 03-05-09 ADJUST FLOORING LINES IN KITCH (TJAH)
REVISED 05-01-09 / REVISIONS (TJR)
REVISED 05-22-09 / REVISIONS (TJR)

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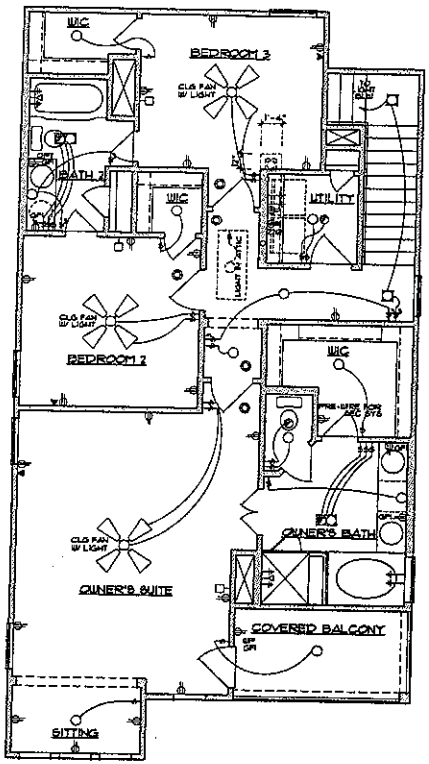
PLAN 1930 RF



SECOND LEVEL ELECTRICAL PLAN

SCALE 1/8"=1'-0"

NOTES:

PROVIDE 3/4" A/C PLYWD. PAD IN ATTIC FOR HVAC UNIT(S) W/ REQUIRED ELECTRICAL PER 1 PLUMB.

PROVIDE 110V OUTLET AND LIGHT NEAR HVAC UNIT FOR SERVICE. IF LOCATION REQUIRES PROVIDE TWO LIGHTS, ONE AT UNIT AND ONE AT ACCESS OPENING ON ONE SWITCH.

SMOKE ALARMS TO BE INSTALLED W/ BATTERY BACKUP IN ACCORDANCE WITH NFPA 72. ALL SMOKE ALARMS SHALL BE INTERCONNECTED SO THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OTHERS.

RECESSED LIGHTING FIXTURES TO BE INSTALLED AS REQUIRED BY IECC 2012 (AIRTIGHT CANS OR SEALED GYPSUM BOX WITH RESILIENT BUILDING ENVELOPE)

ELECTRICIAN TO PROVIDE UPGR PLUG WITHIN 25' FROM A/C CONDENSER UNIT.

ELECTRICAL LEGEND

- 110 OUTLET
- 110 OUTLET (SWITCHED)
- 110 CLG OR FLR
- 220 OUTLET
- SWITCHED OUTLET
- SWITCHED OUTLET (SWITCHED)
- JUNCTION BOX
- ONE-WAY SWITCH
- THREE-WAY SWITCH
- FOUR-WAY SWITCH
- DIMMER SWITCH
- WALL SCONCE
- CLG MOUNT LIGHT
- EXHAUST VENT
- RECESSED LIGHT
- EYE-BALL LIGHT
- HEATER, VENT, LIGHT
- TV OUTLET
- PHONE OUTLET
- SMOKE DETECTOR
- THERMOSTAT
- DBL FLOOD LIGHT
- PUSH BUTTON
- DOOR BELL
- SPEAKER OUTLET
- CHIMES
- CARBON MONOXIDE DETECTOR
- CLG FAN W/ LIGHT
- 48 3/8 FLUOR. FIXTURE
- 48 1/2 FLUOR.
- UNDER CAB LIGHT

REVISED 05-26-09 ADJUST FLOORING LINES IN KITCH (TJM)
REVISED 05-05-09 / REVISEAL (TLJ)
REVISED 05-01-09 / ADD ROOF CURBS (TLJ)

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Date
05-26-09

Sheet
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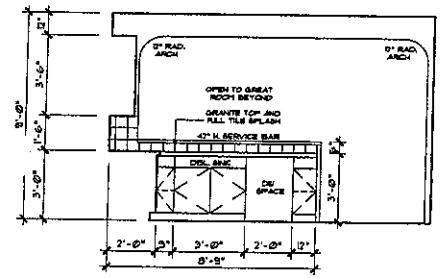
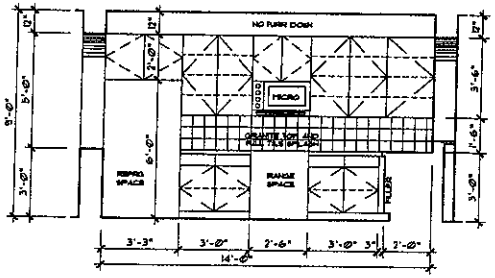
PLAN 1930 RF



A KITCHEN



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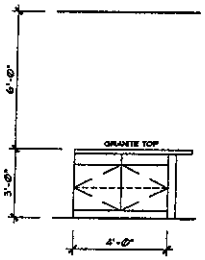

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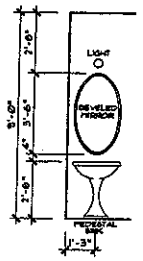
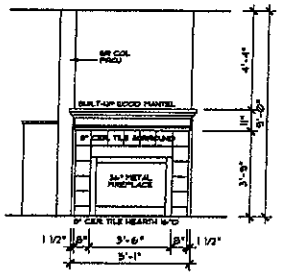
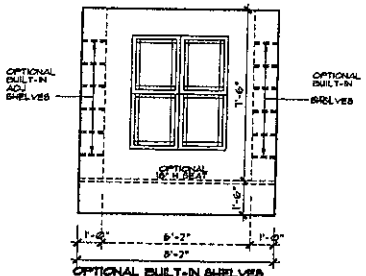


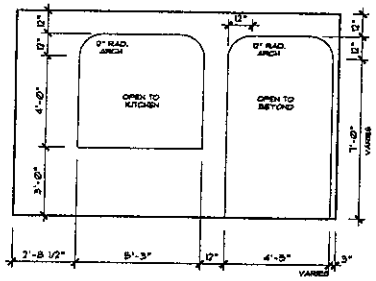
D POWDER



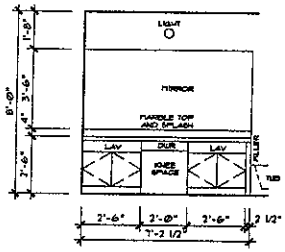
E OPT. FIREPLACE



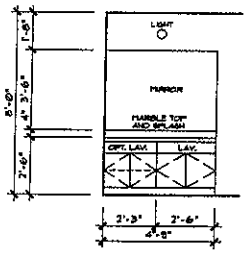
OPTIONAL BUILT-IN SHELVES AND WINDOW SEAT & COMPUTER/READING



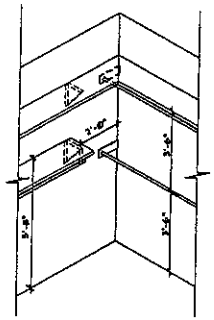
G TYP. S.R.O.



H OWNER'S BATH



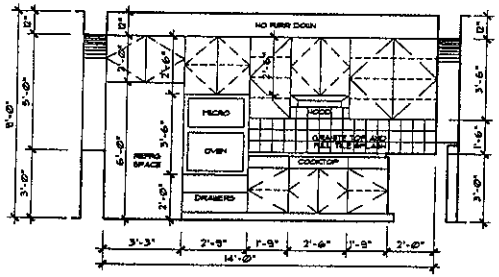
I BATH 2



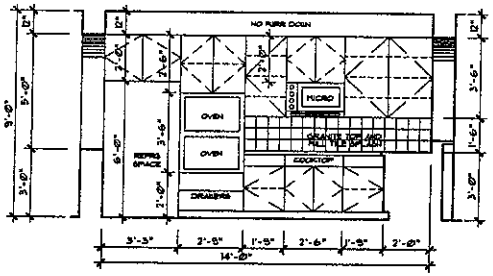
M. BDRM. CLOSET ROD & SHELF DETAIL

SCALE 3/8"=1'-0"

NOTES:
SHELF DETAIL TO ALTERNATE ON EACH WALL AND ROTATE CLOCKWISE.
VENTILATED SHELVING PER BUILDER SPEC.



B OPTIONAL KITCHEN #1



B OPTIONAL KITCHEN #2

CABINET ELEVATIONS

SCALE 3/8"=1'-0"

PLAN 1930 RF

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The architect is conducting review and plans in particular details, of dimensions and structure in accordance with his or her job. Note: Architect is responsible for all dimensions and structure in accordance with his or her job. Note: Architect is responsible for all dimensions and structure in accordance with his or her job. Note: Architect is responsible for all

OPTIONS
PLAN 1930 RF

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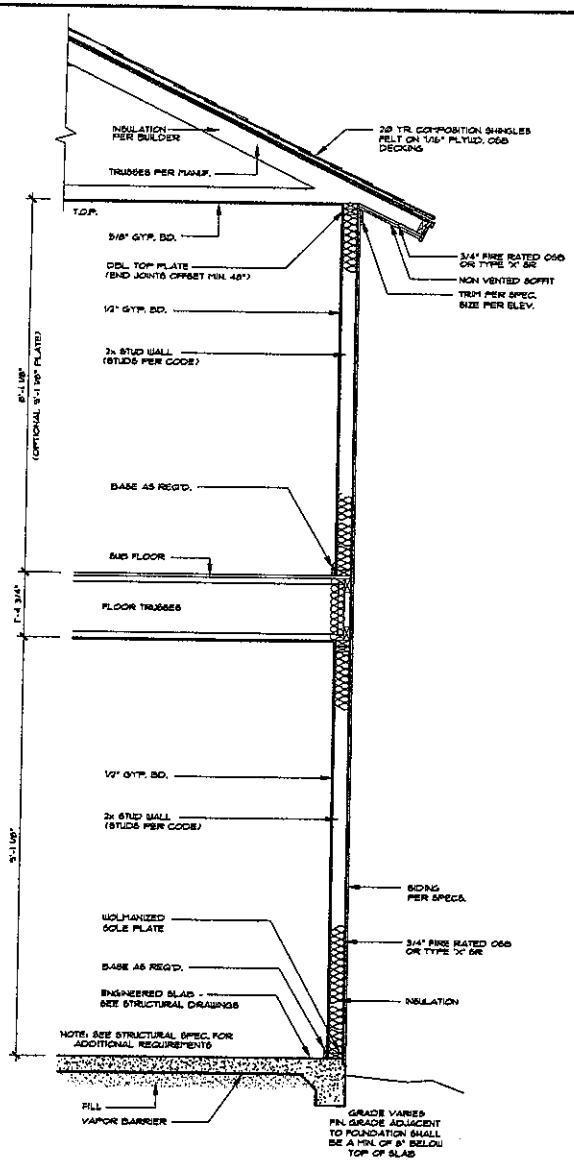
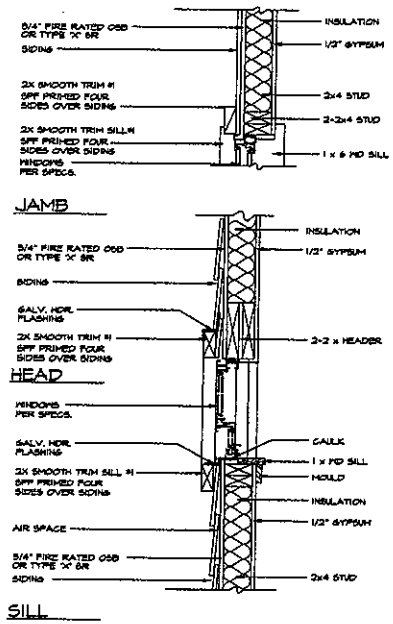


TYPICAL FIRE RATED / RADIANT ASSEMBLEY
1 2 STORY EXTERIOR WALL SECTION W/ SIDING
SCALE 3/8"= 1'-0"
REFER TO PLANS & ELEVS. FOR ROOF PITCHES



TYPICAL FIRERATED / RADIANT ASSEMBLEY
1 EXTERIOR WINDOW DETAIL W/ SIDING
SCALE 3/4"=1'-0"

GRASON COMMUNITIES, LTD.

KIPP*FLORES ARCHITECTS

Date 05-26-09

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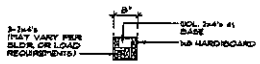
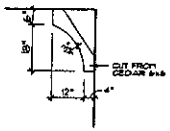
PLAN 1930 RF



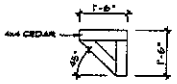
8" JOB-BUILT COLUMN

SCALE: N.T.S.



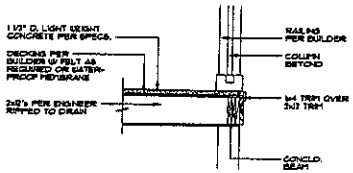
CEDAR PORCH BRACKET DETAIL

SCALE: N.T.S.



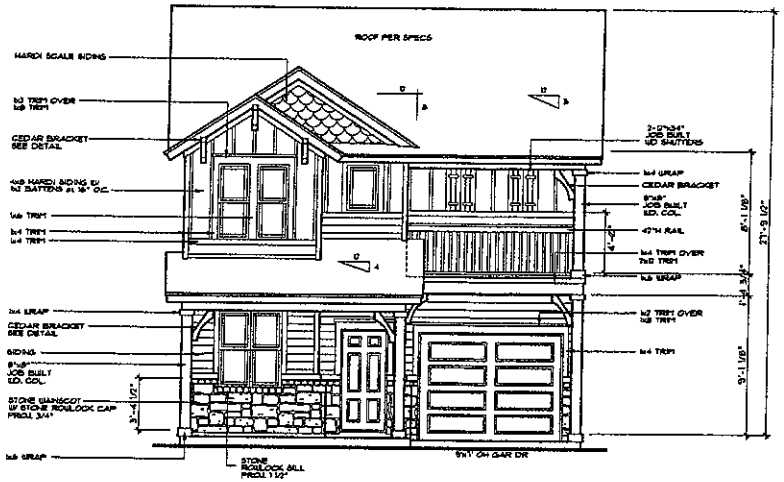
BRACKET DETAIL

SCALE: N.T.S.



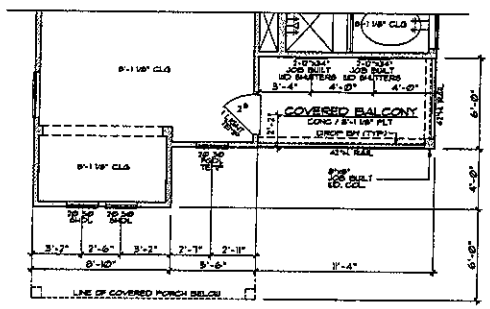
LIGHTWEIGHT CONC. DECK DETAIL

SCALE: 1/4"=1'-0"



FRONT ELEVATION

SCALE 1/8"=1'-0"



NOTES:

W1 FLOOR PLATE HGTS. TO BE 9'-1 1/8" W/ 7'-0" WINDOW HEADER HGTS. UNLESS NOTED.

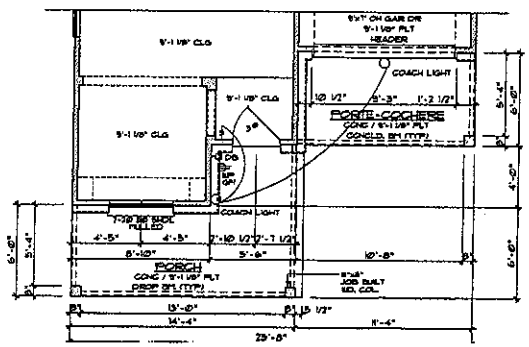
2ND LEVEL PLATE HGTS TO BE 8'-1 1/8" W/ 7'-0" WINDOW HEADER HGTS UNLESS NOTED OPT. 9'-1 1/8" W/ 7'-10" WINDOW HEADER HGTS UNLESS NOTED

PROVIDE STEEL LINTELS ABOVE ALL OPENINGS IN MASONRY, AS REQ'D.

PROVIDE TEMPERED GLASS WHERE REQ'D BY CODE.

SECOND LEVEL STRIP PLAN

SCALE 1/8"=1'-0"



FIRST LEVEL STRIP PLAN

SCALE 1/8"=1'-0"

HEADER SCHEDULE
BUILDING WIDTH OF 30' OR LESS
(MEASURED PERPENDICULAR TO MAIN RIDGE OF HOUSE)

	ROOF and CEILING	ROOF, CEILING and ONE CENTER BEARING FLOOR	ROOF, CEILING and ONE CLEAR SPAN FLOOR	ROOF, CEILING and TWO CENTER BEARING FLOORS
FOR EXTERIOR LOAD BEARING WALLS				
2-2x4	3'-6"	3'-4"	2'-8"	2'-7"
2-2x6	5'-3"	4'-4"	3'-11"	3'-11" *
2-2x8	6'-10"	5'-7" *	5'-0" *	5'-4" *
2-2x10	8'-5" *	6'-10" *	6'-1" *	6'-6" *
2-2x12	9'-8" *	8'-1" *	7'-2" *	8'-5" *
FOR INTERIOR LOAD BEARING WALLS				
	ONE FLOOR ONLY		TWO FLOORS	
2-2x4	3'-1"		2'-7"	
2-2x6	4'-6"		3'-10" *	
2-2x8	5'-9"		4'-11" *	
2-2x10	7'-0" *		6'-1" *	
2-2x12	8'-1" *		7'-1" *	

FOR NON-LOADBEARING WALLS A SINGLE 2x4 HEADER MAY BE USED ON OPENINGS NOT EXCEEDING 5' IN WIDTH IF THE VERTICAL NAILING DISTANCE TO THE PARALLEL NAILING SURFACE DOES NOT EXCEED 24".

* DENOTES 2 JACK STUDS REQUIRED TO SUPPORT EACH END
** DENOTES 3 JACK STUDS REQUIRED TO SUPPORT EACH END

*2 YR. KF ARCHITECTS (REC 2006)

SIMPLIFIED PRESCRIPTIVE PACKAGE
DOOR-WAY MAP

GLAZING U-FACTOR	0.65
CEILING R-VALUE	R-49
WALL R-VALUE	R-19
FLOOR R- VALUE	R-11
CRAWLSPACE WALL	R-8
SLAB PERIMETER	R-0
BASEMENT WALL	R-15

KF ARCHITECTS (REC 2006)

MASONRY PERCENTAGE 'A'

		NET EXT. WALL AREA	AREA OF GLAZING and DOORS	AREA OF MASONRY	AREA OF SIDING	MASONRY PERCENTAGE ***
FRONT	1st FLOOR	119	103	39	80	33%
	2nd FLOOR	180	26	0	180	0%
	TOTAL	299	129	39	260	13%
LEFT	1st FLOOR	417	36	0	417	0%
	2nd FLOOR	573	45	0	573	0%
	TOTAL	990	81	0	990	0%
RIGHT	1st FLOOR	436	18	34	402	8%
	2nd FLOOR	576	43	0	576	0%
	TOTAL	1012	61	34	978	3%
REAR	1st FLOOR	179	54	0	179	0%
	2nd FLOOR	272	15	0	272	0%
	TOTAL	451	69	0	451	0%
SUB-TOTAL	1st FLOOR	1151	211	73	1078	6%
	2nd FLOOR	1601	129	0	1601	0%
TOTAL *		2752	340	73	2679	3%

GLAZING PERCENTAGE

AREA OF GLAZING	283#
GROSS AIR CONDITIONED WALL AREA	2775#
GLAZING PERCENTAGE	10.20%

*NOTE: THESE CHARTS DO NOT REFLECT ANY PLAN OPTIONS OFFERED

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GRAA-0004-1.02.DWG 06/04/09

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05-26-09

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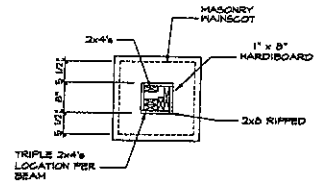
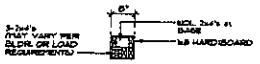
PLAN 1930 RFA



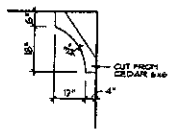
8"x8" JOB BUILT COL. OVER 19" x 19" SQ. MASONRY BASE

SCALE 3/8"=1'-0"



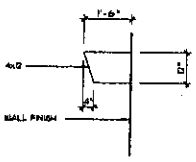
8" JOB-BUILT COLUMN

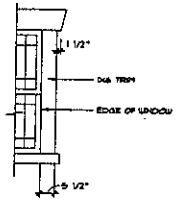
SCALE: N.T.S.



CEDAR PORCH BRACKET DETAIL

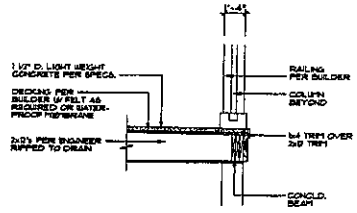
SCALE: N.T.S.





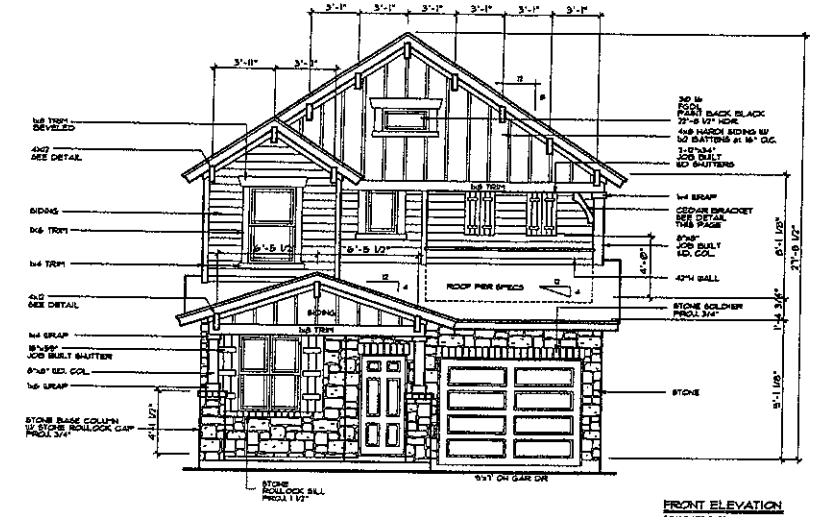
BRACKET DETAIL

SCALE: N.T.S.



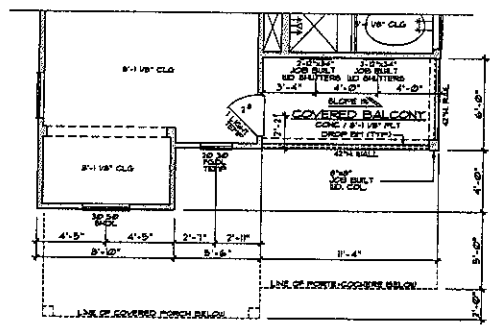
LIGHTWEIGHT CONC. DECK DETAIL

SCALE: 1/4"=1'-0"



FRONT ELEVATION

SCALE 1/8"=1'-0"



NOTES:
1st FLOOR PLATE HGTS. TO BE 8'-1 1/8" W/ 7'-10" WINDOW HEADER HGTS UNLESS NOTED.

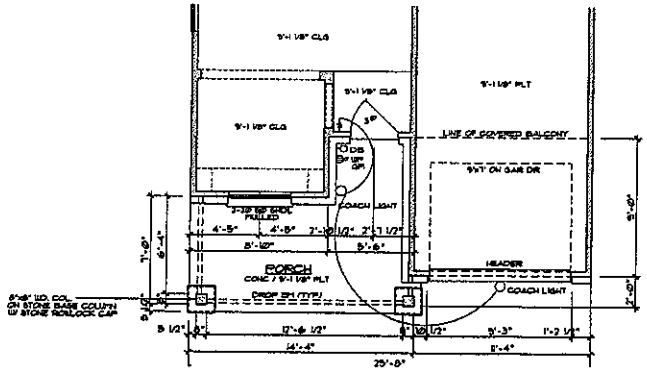
2ND LEVEL PLATE HGTS TO BE 8'-1 1/8" W/ 7'-10" WINDOW HEADER HGTS UNLESS NOTED OPT. 9'-1 1/8" W/ 7'-10" WINDOW HEADER HGTS UNLESS NOTED

PROVIDE STEEL LINTELS ABOVE ALL OPENINGS W/ MASONRY, AS REQRD.

PROVIDE TEMPERED GLASS IN-SIRE REQD BY CODE.

SECOND LEVEL STRIP PLAN

SCALE 1/8"=1'-0"



FIRST LEVEL STRIP PLAN

SCALE 1/8"=1'-0"

HEADERS SCHEDULE BUILDING WIDTH OF 30' OR LESS (MEASURED PERPENDICULAR TO MAIN RIDGE OF HOUSE)				
FOR EXTERIOR LOAD BEARING WALLS				
	ROOF and CEILING	ROOF, CEILING and ONE CENTER BEARING FLOOR	ROOF, CEILING and ONE CLEAR SPAN FLOOR	ROOF, CEILING and TWO CENTER BEARING FLOORS
1-2x4	3'-6" *	3'-1"	3'-6"	3'-1"
2-2x4	5'-0" *	4'-4"	5'-0"	4'-4" *
1-2x6	4'-0" *	3'-4" *	4'-0" *	3'-4" *
2-2x6	5'-8" *	4'-10" *	5'-8" *	4'-10" *
1-2x8	4'-4" *	3'-7" *	4'-4" *	3'-7" *
2-2x8		5'-1" *	5'-1" *	5'-1" *
1-2x10				4'-6" *
2-2x10				5'-8" *
FOR INTERIOR LOAD BEARING WALLS				
	ONE FLOOR ONLY	TWO FLOORS		
1-2x4	3'-1"	2'-3"		
2-2x4	4'-4"	3'-2" *		
1-2x6	3'-4"	2'-11" *		
2-2x6	4'-10" *	4'-1" *		
1-2x8	3'-7" *	3'-2" *		
2-2x8	5'-1" *	4'-4" *		
1-2x10		3'-8" *		
2-2x10		5'-2" *		
FOR NON-LOADBEARING WALLS A SINGLE 2x4 HEADER MAY BE USED ON OPENINGS NOT EXCEEDING 5' IN WIDTH IF THE VERTICAL NAILING DISTANCE TO THE PARALLEL NAILING SURFACE DOES NOT EXCEED 24'.				
* DENOTES 1 JACK STUDS REQUIRED TO SUPPORT EACH END				
** DENOTES 2 JACK STUDS REQUIRED TO SUPPORT EACH END				

12 YR. KF ARCHITECTS (REC 2006)

SIMPLIFIED PRESCRIPTIVE PACKAGE 2000-2ANI MM	
(THE MAXIMUM GLASS AREA IS 40 PERCENT)	
GLAZING U-FACTOR:	0.55
CEILING R-VALUE:	R-38
WALL R-VALUE	R-19
FLOOR R- VALUE:	R-11
CRAWLSPACE WALL:	R-5
SLAB PERIMETER:	R-0
BASEMENT WALL:	R-5

KF ARCHITECTS (REC 2006)

MASONRY PERCENTAGE @ TANDEM						
		NET EXT. WALL AREA	AREA OF GLAZING and DOORS	AREA OF MASONRY	AREA OF SIDING	MASONRY PERCENTAGE ---
FRONT	1st FLOOR	122	103	96	24	80%
	2nd FLOOR	235	26	0	235	0%
	TOTAL	357	129	96	259	27%
LEFT	1st FLOOR	419	36	0	419	0%
	2nd FLOOR	378	43	0	378	0%
	TOTAL	797	81	0	797	0%
RIGHT	1st FLOOR	436	16	86	350	20%
	2nd FLOOR	376	45	0	376	0%
	TOTAL	812	61	86	726	11%
REAR	1st FLOOR	179	54	0	179	0%
	2nd FLOOR	310	15	0	310	0%
	TOTAL	489	69	0	489	0%
SUB-TOTAL	1st FLOOR	1156	211	184	972	16%
	2nd FLOOR	1299	129	0	1299	0%
TOTAL *		2455	340	184	2271	7%

GLAZING PERCENTAGE	
AREA OF GLAZING	2129
GROSS AIR CONDITIONED WALL AREA	21151
GLAZING PERCENTAGE	10.07%

*NOTE: THESE CHARTS DO NOT REFLECT ANY PLAN OPTIONS OFFERED

OPTIONAL TANDEM PLAN 1930 RFB

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Date 05-26-09

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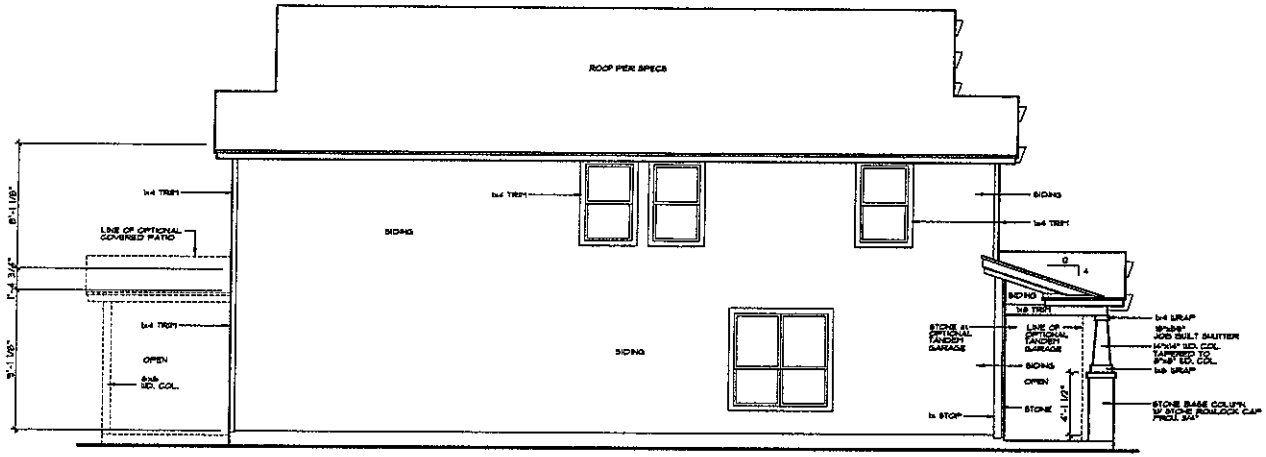


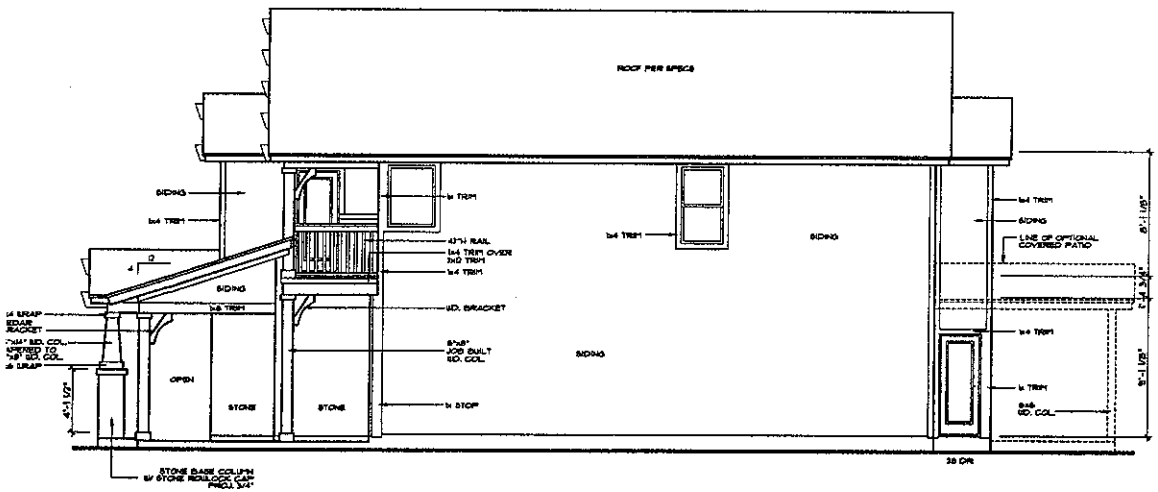
LEFT ELEVATION
SCALE 1/8"=1'-0"

NOTES:
1st FLOOR PLATE HGTS. TO BE 8'-1 1/8" (W 7'-10" WINDOW HEADER HGTS. UNLESS NOTED.

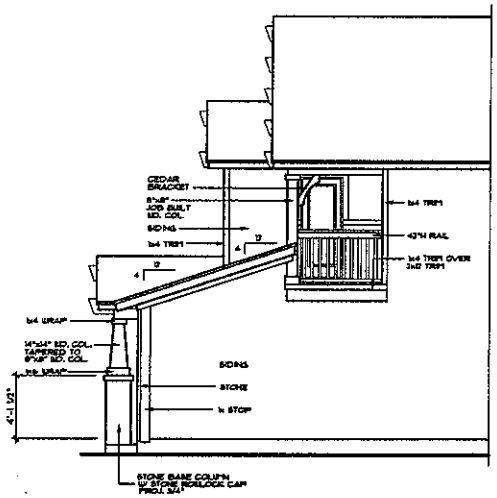
2ND LEVEL PLATE HGTS TO BE 8'-1 1/8" (W 7'-10" WINDOW HEADER HGTS UNLESS NOTED OTH. 8'-1 1/8" (W 7'-10" WINDOW HEADER HGTS UNLESS NOTED

PROVIDE STEEL LINTELS ABOVE ALL OPENINGS W/ MASONRY, AS REQ'D.

PROVIDE TEMPERED GLASS WHERE REQ'D BY CODE.



RIGHT ELEVATION
SCALE 1/8"=1'-0"



OPTIONAL TANDEM GARAGE
RIGHT ELEVATION
SCALE 1/8"=1'-0"

PLAN 1930 RFB

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GRAX-1930-1103.DWG 06/04/09

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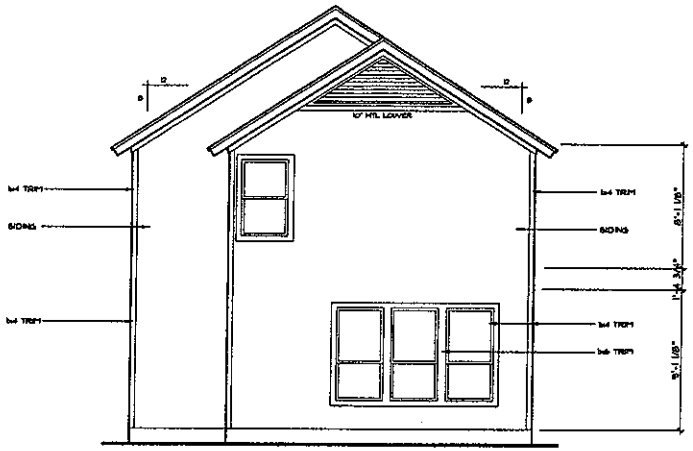


REAR ELEVATION

SCALE 1/8"=1'-0"

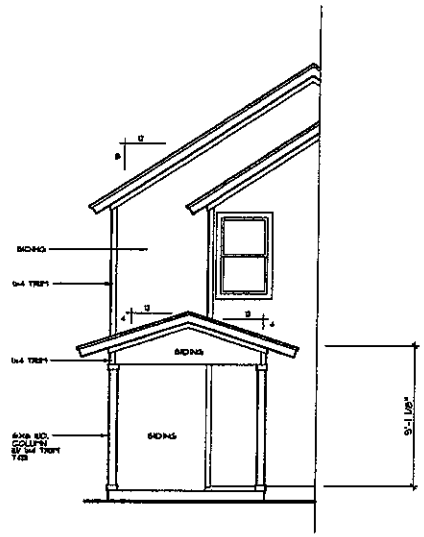
NOTES:

1st FLOOR PLATE HGTS TO BE 8'-1 1/8" W/ 7'-0" WINDOW HEADER HGTS UNLESS NOTED.

2ND LEVEL PLATE HGTS TO BE 8'-1 1/8" W/ 7'-0" WINDOW HEADER HGTS UNLESS NOTED (OPT. 8'-1 1/8" W/ 7'-10" WINDOW HEADER HGTS UNLESS NOTED

PROVIDE STEEL LINTELS ABOVE ALL OPENINGS IN MASONRY, AS REQ'D.

PROVIDE TEMPERED GLASS WHERE REQ'D BY CODE.



OPTIONAL COVERED PATIO
REAR ELEVATION

SCALE 1/8"=1'-0"

PLAN 1930 RFB

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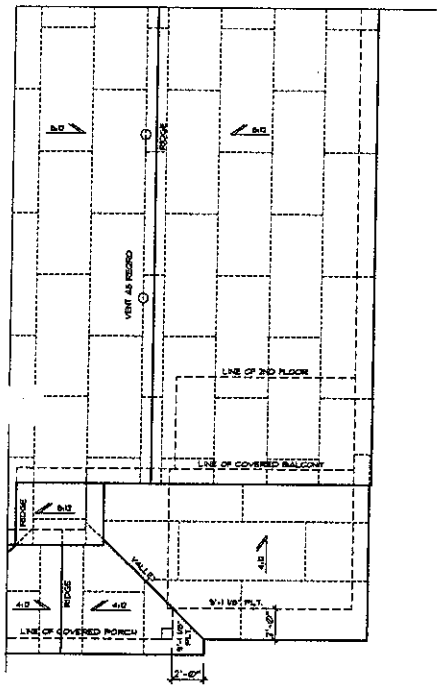
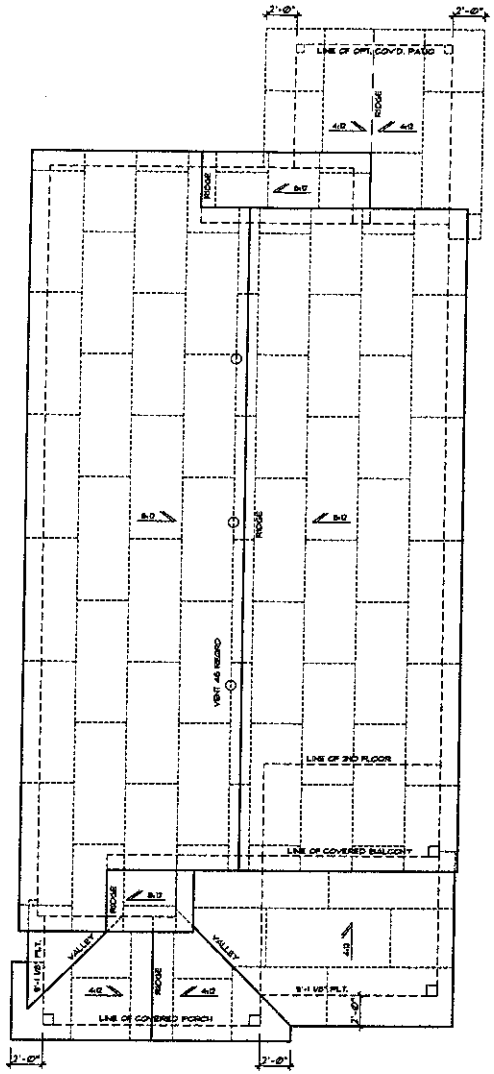


OPTIONAL TANDEM GARAGE
ROOF PLAN
SCALE 1/8"=1'-0"



ROOF PLAN
SCALE 1/8"=1'-0"

NOTES:
ALL 5/12 ROOF PITCHES TO HAVE 1'-1 1/2" OVER-HANGS UNLESS NOTED OTHERWISE
ALL GABLE ENDS TO HAVE 1'-0" OVER-HANGS UNLESS NOTED OTHERWISE
VENT AS REQUIRED

REVISED 05-05-09 (GUEST BEDROOM) LINES IN NITCH (CEIL)
REVISED 04-02-09 / REVISED FLOORING
REVISED 02-24-09 / NET FLOOR CHART (FLR)

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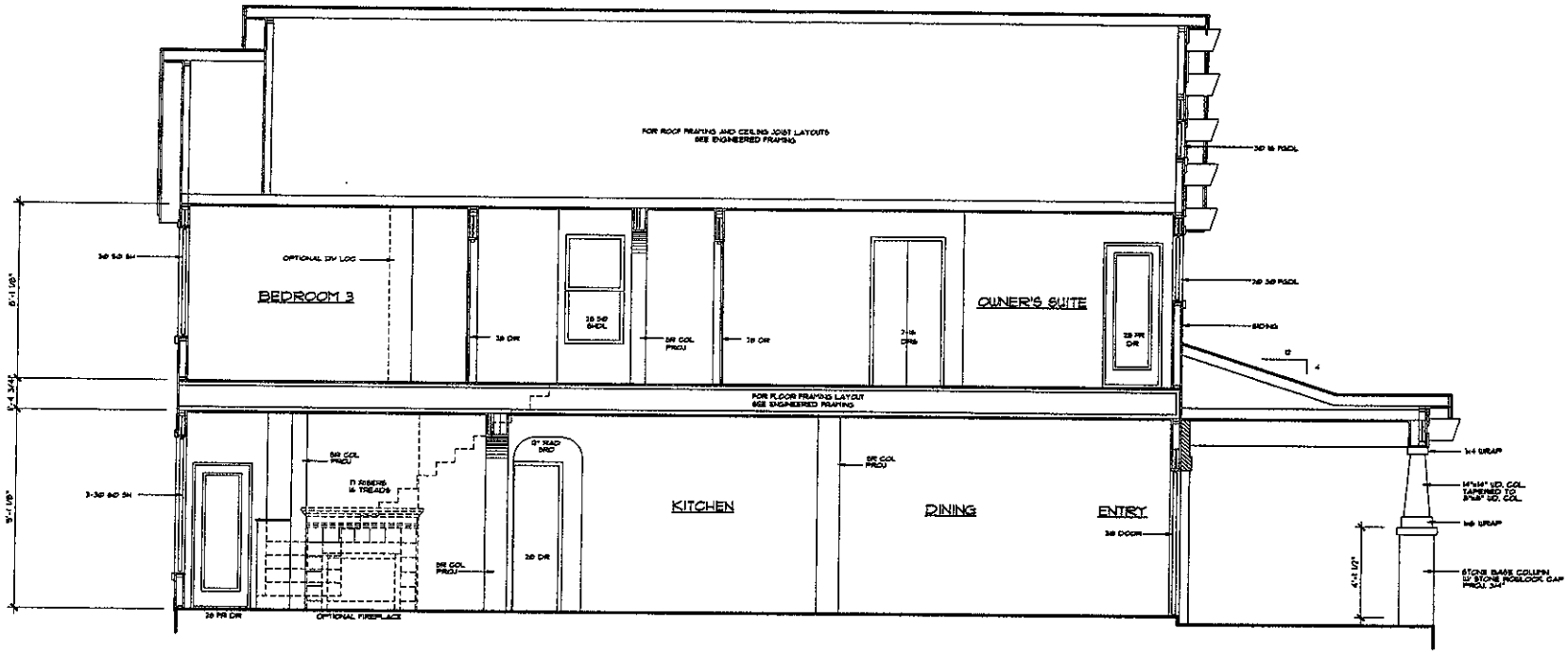
PLAN 1930 RFB



CROSS SECTION

SCALE 3/16"=1'-0"

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- ALL SUB-CONTRACTORS TO VERIFY ALL DIMENSIONS AND ACTUAL FIELD CONDITIONS WITH PLANS. REPORT ANY VARIATION TO BUILDER IMMEDIATELY.

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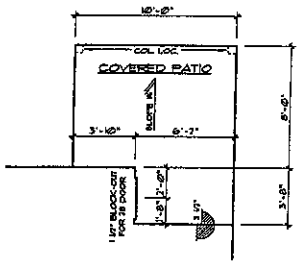
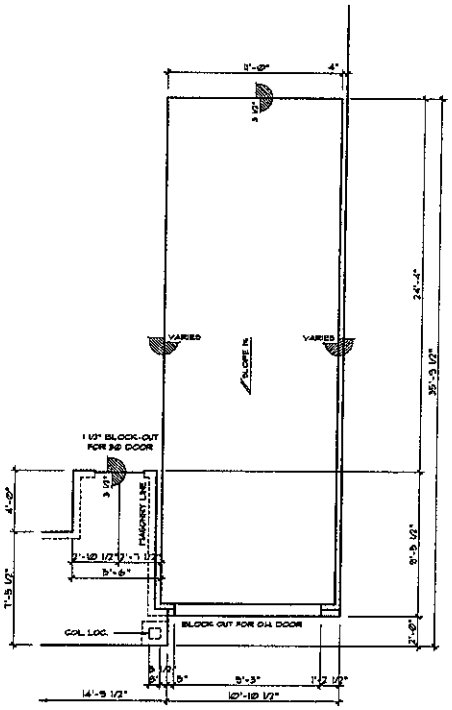
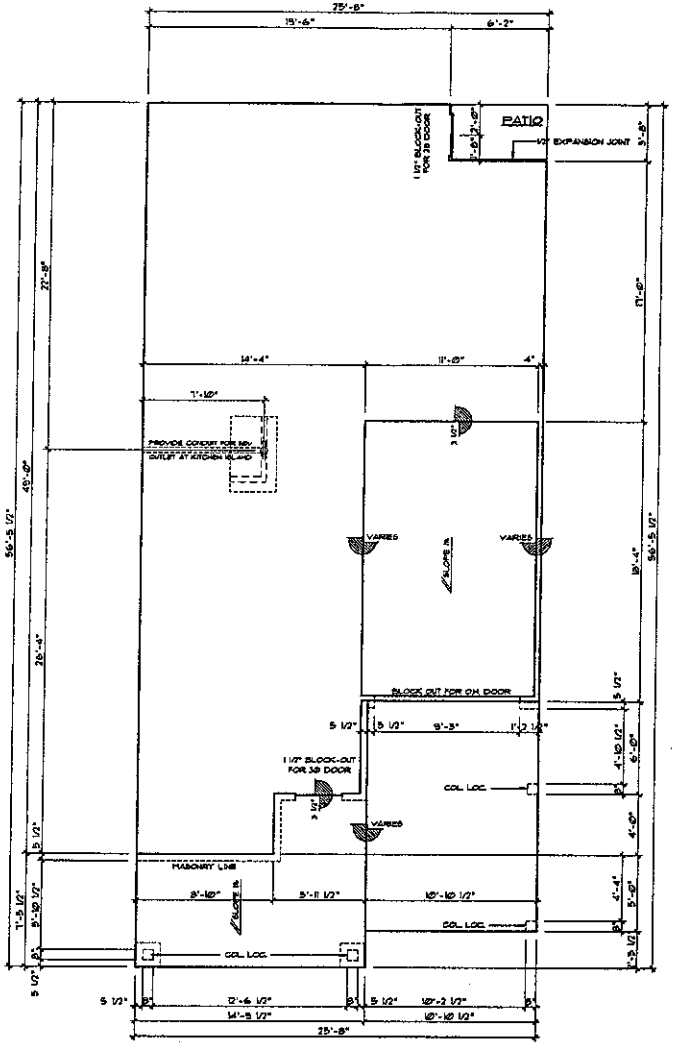


OPTIONAL COVERED PATIO FOUNDATION PLAN
SCALE 1/8"=1'-0"



OPTIONAL TANDEM GARAGE FOUNDATION PLAN
SCALE 1/8"=1'-0"



FOUNDATION PLAN
SCALE 1/8"=1'-0"

NOTES: FOUNDATION CONTRACTOR TO COORDINATE FOUNDATION PLANS FROM STRUCTURAL ENGINEER TO THESE ARCHITECTURAL PLANS

ANY DISCREPANCY TO BE REPORTED TO BUILDER

REVISED 05-26-09 ADJUST FLOORS LINES & NOTCH (DAV)
REVISED 04-24-09 / REVISEL PLAN
REVISED 04-21-09 / REVISEL PLAN
REVISED 04-21-09 / REVISEL PLAN

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05-26-09

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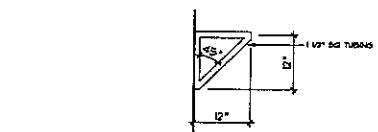
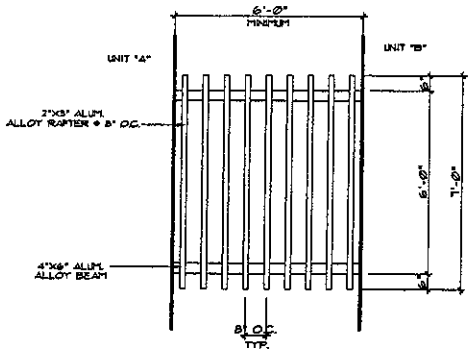
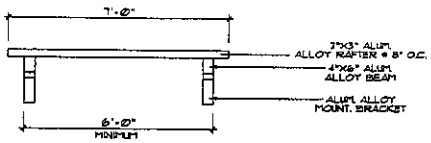
PLAN 1930 RFB



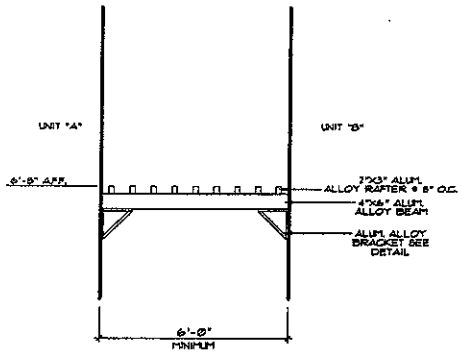
MTL. BRACKET DETAIL
SCALE: N.T.S.



PLAN
SCALE 1/4"=1'-0"



CUT THRU ELEVATION
SCALE 1/4"=1'-0"



SIDE ELEVATION
SCALE 1/4"=1'-0"

BREEZEWAY DETAIL

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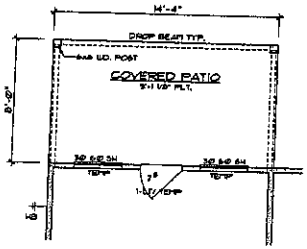
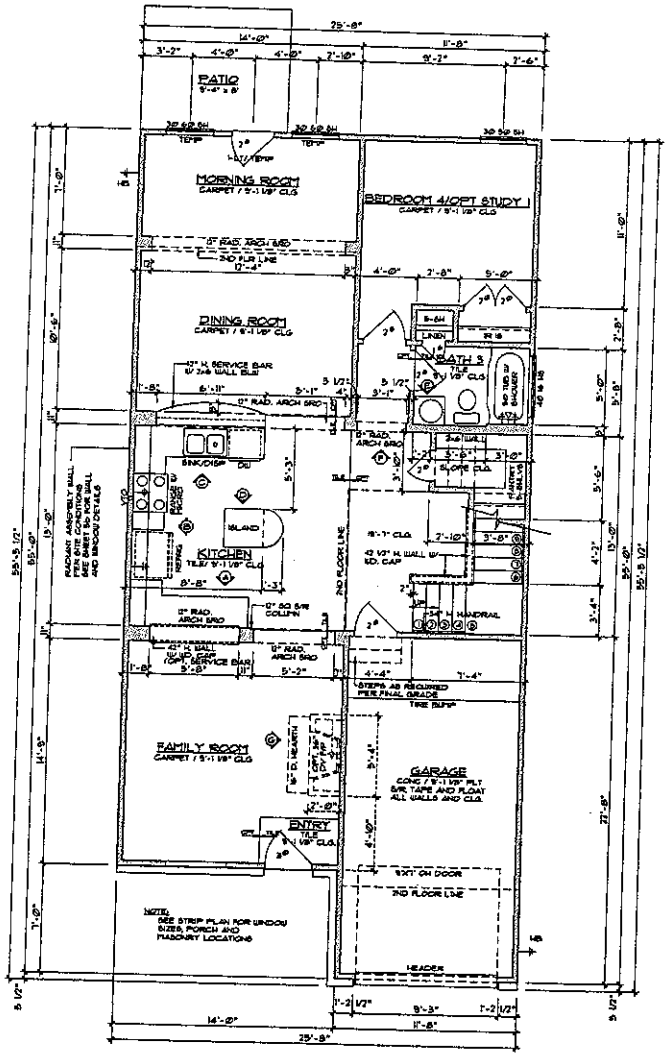
CONSTRUCTION

PLAN TYPE 2077



OPTIONAL COVERED PATIO
SCALE 1/8"=1'-0"



FIRST LEVEL FLOOR PLAN
SCALE 1/8"=1'-0"

NOTES:

1ST LEVEL PLATE HGTS TO BE 9'-1 1/8" EX 7'-10" WINDOW HEADER HGTS UNLESS NOTED

2ND LEVEL PLATE HGTS TO BE 8'-1 1/8" EX 7'-0" WINDOW HEADER HGTS UNLESS NOTED

OPT. 9'-1 1/8" EX 7'-10" WINDOW HEADER HGTS UNLESS NOTED

PROVIDE FIREBLOCKING IN ALL AREAS AS REQUIRED PER CURRENT IRC CODE

ALL ANGLED WALLS TO BE 45° UNLESS NOTED OTHERWISE

PROVIDE PLYWD PAD IN ATTIC FOR HVAC UNIT(S) AND 120 V REQ'D ELECT. PTSCH AND PLUMB

PROVIDE TEMPERED GLASS WHERE REQ'D

BATH 3 BLOCKING REQUIREMENTS:
LATERAL 2x6 OR LARGER NOMINAL WOOD BLOCKING MUST BE INSTALLED FLUSH WITH STUD EDGES OF BATHROOM WALLS
CENTERLINE OF BLOCKING MUST BE 34 INCHES FROM AND PARALLEL TO THE INTERIOR FLOOR LEVEL

HEADERS SCHEDULE
BUILDING WIDTH OF 30' OR LESS
(MEASURED PERPENDICULAR TO MAIN RIDGE OF HOUSE)

	FOR EXTERIOR LOAD BEARING WALLS			
	ROOF and CEILING	ROOF, CEILING and ONE CENTER BEARING FLOOR	ROOF, CEILING and ONE CLEAR SPAN FLOOR	ROOF, CEILING and TWO CENTER BEARING FLOORS
2-2x4	3'-6"	2'-6"	2'-0"	2'-0"
2-2x6	5'-0"	4'-0"	3'-0"	3'-0"
2-2x8	6'-6"	5'-0"	4'-0"	4'-0"
2-2x10	8'-0" *	6'-0" *	5'-0" *	4'-6" *
2-2x12	9'-6" *	7'-0" *	6'-0" *	5'-6" *
	FOR INTERIOR LOAD BEARING WALLS			
	ONE FLOOR ONLY		TWO FLOORS	
2-2x4	2'-0"		2'-0"	
2-2x6	3'-6" *		3'-0"	
2-2x8	4'-6" *		4'-0" *	
2-2x10	5'-6" *		4'-6" *	
2-2x12	6'-6" *		5'-6" *	

FOR NON-LOADBEARING WALLS A SINGLE 2x4 HEADER MAY BE USED ON OPENINGS NOT EXCEEDING 5' IN WIDTH IF THE VERTICAL NAILING DISTANCE TO THE PARALLEL NAILING SURFACE DOES NOT EXCEED 24".

* DENOTES 2 JACK STUDS REQUIRED TO SUPPORT EACH END
** DENOTES 3 JACK STUDS REQUIRED TO SUPPORT EACH END

KF ARCHITECTS (IRC 2006)

Square Footage Chart

	FRAME	WITH MASONRY
1 ST FLOOR	1259	1264
2 ND FLOOR	1012	1013
TOTAL LIVING	2271	2277
GARAGE	266	266
PORCH	72	72
COV. BALCONY	81	81
TOTAL	2479	2454

REVISED 5-6-09 FIRST CLOSET, BATH BOX, PROP. FAIL, OPT. STUDY (RDU)
REVISED 5-12-09 REGRETTER (LAST BATH BOX)
REVISED 5-13-09 SET BLDR CHECKOUT PG

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5-23-09

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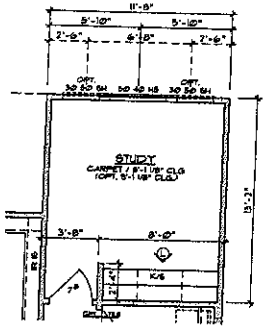
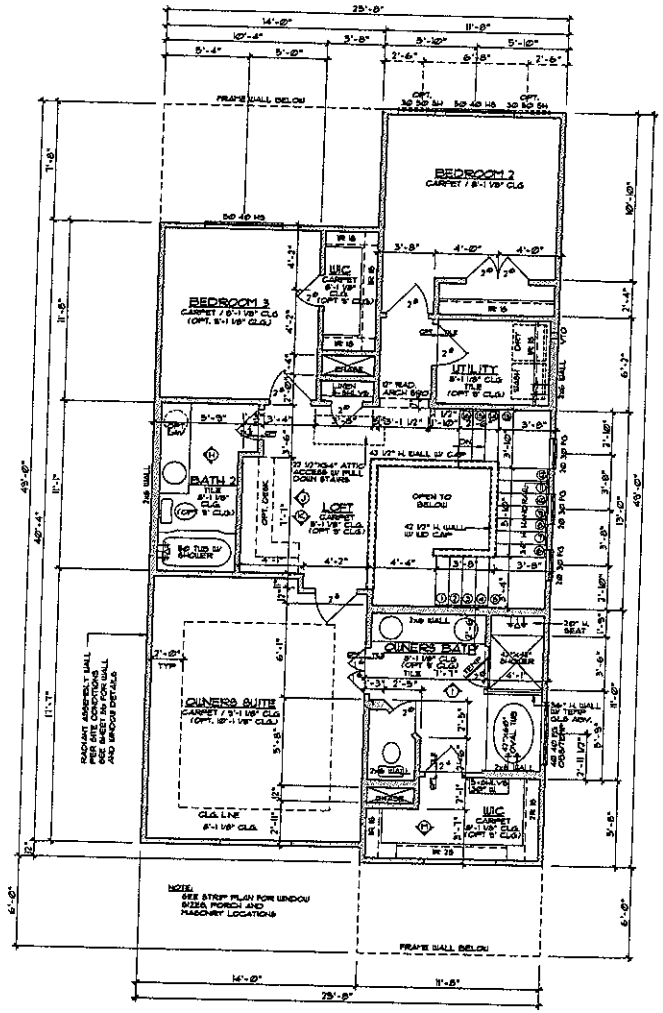
PLAN 2077 RF



OPT. STUDY
SCALE 1/8"=1'-0"



SECOND LEVEL FLOOR PLAN
SCALE 1/8"=1'-0"

NOTES:

1ST LEVEL PLATE HGTS TO BE 8'-1 1/8" EX 7'-10" WINDOW HEADER HGTS UNLESS NOTED

2ND LEVEL PLATE HGTS TO BE 8'-1 1/8" EX 7'-10" WINDOW HEADER HGTS UNLESS NOTED
OPT. 9'-1 1/8" EX 7'-10" WINDOW HEADER HGTS UNLESS NOTED

PROVIDE FIREBLOCKING IN ALL AREAS AS REQUIRED PER CURRENT IRC CODE

ALL ANGLED WALLS TO BE 45° UNLESS NOTED OTHERWISE

PROVIDE FILTER PAD IN ATTIC FOR HVAC UNIT(S) AND 3/4 EX RECIRC ELECT. HEAT AND PUMP

PROVIDE TEMPERED GLASS UNDER RECIRC

BATH 3 BLOCKING REQUIREMENTS:
LATERAL 2x6 OR LARGER NOMINAL WOOD BLOCKING MUST BE INSTALLED FLUSH WITH STUD EDGES OF BATHROOM WALLS
CENTERLINE OF BLOCKING MUST BE 34 INCHES HIGH AND PARALLEL TO THE INTERIOR FLOOR LEVEL

HEADERS SCHEDULE
BUILDING WIDTH OF 24' OR LESS
(MEASURED PERPENDICULAR TO MAIN RIDGE OF HOUSE)

FOR EXTERIOR LOAD BEARING WALLS				
	ROOF and CEILING	ROOF, CEILING and ONE CENTER BEARING FLOOR	ROOF, CEILING and ONE CLEAR SPAN FLOOR	ROOF, CEILING and TWO CENTER BEARING FLOORS
2-2x4	3'-6"	3'-4"	3'-0"	3'-0"
3-2x4	5'-0"	4'-6"	3'-11"	3'-11"
2-2x6	5'-10"	5'-4"	4'-6"	4'-6"
3-2x6	6'-8"	6'-0" *	5'-0" *	5'-0" *
2-2x8	7'-4"	6'-10" *	5'-10" *	5'-10" *
3-2x8	8'-4"	7'-6" *	6'-6" *	6'-6" *
2-2x10	8'-8"	8'-0" *	7'-0" *	7'-0" *
3-2x10	9'-8"	8'-10" *	7'-11" *	7'-11" *
2-2x12	9'-8"	9'-4" *	8'-6" *	8'-6" *
3-2x12	10'-8"	9'-10" *	8'-11" *	8'-11" *

FOR INTERIOR LOAD BEARING WALLS		
	ONE FLOOR ONLY	TWO FLOORS
2-2x4	3'-0"	3'-0"
3-2x4	4'-0"	3'-0"
2-2x6	4'-6"	4'-0"
3-2x6	5'-6"	4'-6"
2-2x8	6'-6"	5'-6"
3-2x8	7'-0"	6'-0"
2-2x10	7'-10"	6'-10"
3-2x10	8'-6"	7'-6"
2-2x12	8'-10"	7'-10"
3-2x12	9'-6"	8'-6"

FOR NON-LOADBEARING WALLS A SINGLE 2x4 HEADER MAY BE USED ON OPENINGS NOT EXCEEDING 5' IN WIDTH IF THE VERTICAL NAILING DISTANCE TO THE PARALLEL NAILING SURFACE DOES NOT EXCEED 24".

* DENOTES 2 JACK STUDS REQUIRED TO SUPPORT EACH END
** DENOTES 3 JACK STUDS REQUIRED TO SUPPORT EACH END

KZ YP.

KP ARCHITECTS (IRC 2006)

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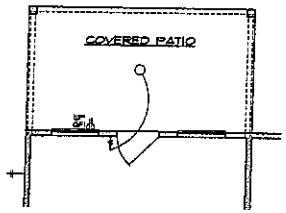
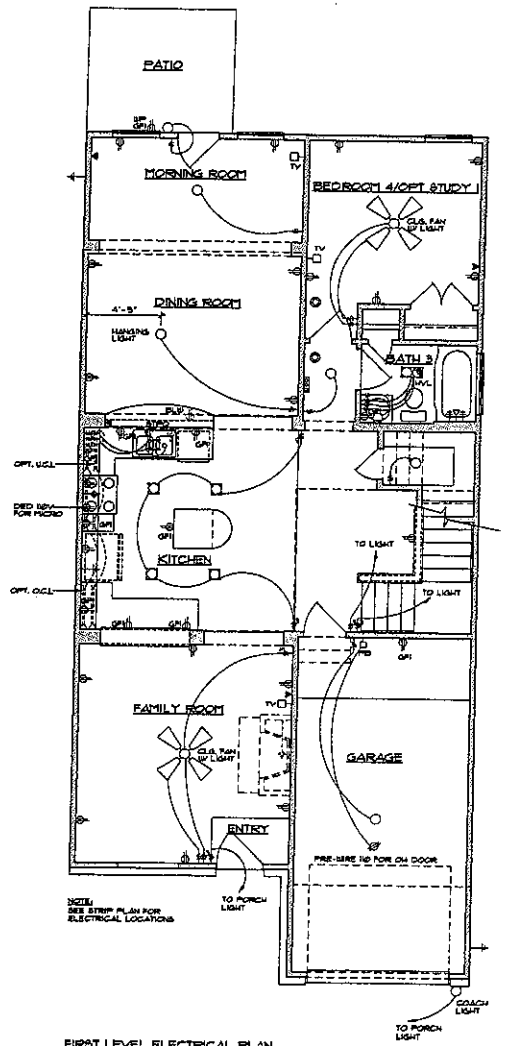


OPTIONAL COVERED PATIO
SCALE 1/8"=1'-0"



NOTE:
SEE STRIP PLAN FOR ELECTRICAL LOCATIONS

FIRST LEVEL ELECTRICAL PLAN
SCALE 1/8"=1'-0"

NOTES:

PROVIDE PULTUD PAID IN ATTIC FOR HVAC UNIT(S) AND 1H 8' RECORD ELECTRIC TRUNK AND PULTUD (PLUMB CODE SECT 3-4-3.4.6)

PROVIDE 120V. OUTLET AND LIGHT NEAR HVAC UNIT FOR SERVICE. IF LOCATION REQUIRES, PROVIDE TWO LIGHTS, ONE AT UNIT AND ONE AT ACCESS OPENING ON ONE SWITCH.

SMOKE ALARMS TO BE INSTALLED W/ BATTERY BACKUP IN ACCORDANCE W/ NFPA 72. ALL SMOKE ALARMS SHALL BE INTERCONNECTED SO THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OTHERS.

RECESSED LIGHTING FIXTURES TO BE INSTALLED AS REQUIRED BY IECC 502.1.3 (AIRTIGHT CANS OR SEALED OTHER BOX WHEN PIERCING BUILDING ENVELOPE)

ELECTRICIAN TO PROVIDE UP OR PLUG WITHIN 25'-0" FROM A/C CONDENSER UNIT

ELECTRICAL LEGEND

- 1Ø OUTLET
- 1Ø OUTLET (DUP)
- 1Ø G.F.I. OR FLR
- 3Ø OUTLET
- SWITCHED OUTLET
- SWITCHED OUTLET (DUP)
- JUNCTION BOX
- ONE-WAY SWITCH
- THREE-WAY SWITCH
- FOUR-WAY SWITCH
- DIMMER SWITCH
- WALL SCONCE
- C.L.G. MOUNT LIGHT
- EXHAUST VENT
- RECESSED LIGHT
- EYE-BALL LIGHT
- HEATER, VENT, LIGHT
- TV OUTLET
- PHONE OUTLET
- SMOKE DETECTOR
- THERMOSTAT
- DBL. FLOOD LIGHT
- PUSH BUTTON
- DOOR BELL
- SPEAKER OUTLET
- CHIMES
- CARBON MONOXIDE DETECTOR
- C.L.G. FAN W/ LIGHT
- 1Ø 7Ø FLOOR FIXTURE
- 1Ø 1Ø FLOOR
- UNDER CAB LIGHT

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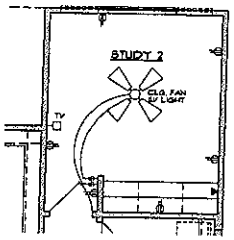
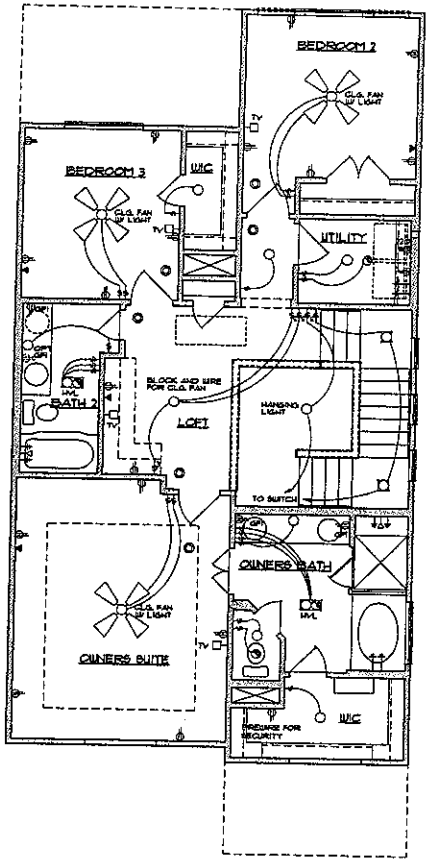
PLAN 2077 RF



OPT. STUDY 2
SCALE 1/8"=1'-0"



SECOND LEVEL ELECTRICAL PLAN
SCALE 1/8"=1'-0"

NOTES:

PROVIDE PLYWOOD PAD IN ATTIC FOR HVAC UNIT(S) AND SUPPORT ELECTRIC, FRESH AND PLUMB (PLUMB CODE SECT 3-3.4e)

PROVIDE 110V OUTLET AND LIGHT NEAR HVAC UNIT FOR SERVICE. LOCATION REQUIRED. PROVIDE TWO LIGHTS, ONE AT UNIT, AND ONE AT ACCESS OPENING ON ONE SWITCH.

SMOKE ALARMS TO BE INSTALLED W/ BATTERY BACKUP IN ACCORDANCE W/ NFPA 72. ALL SMOKE ALARMS SHALL BE INTERCONNECTED SO THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OTHERS.

RECESSED LIGHTING FIXTURES TO BE INSTALLED AS REQUIRED BY IECC 402.13 (AIRTIGHT CANS OR SEALED GYPSUM BOX IN EXTERIOR BUILDING ENVELOPE)

ELECTRICIAN TO PROVIDE 110 GFI PLUG WITHIN 25'-0" FROM A/C CONDENSER UNIT

ELECTRICAL LEGEND

- 110 OUTLET
- 110 OUTLET (BLW)
- 110 CLG OR FLR
- 220 OUTLET
- SWITCHED OUTLET
- SWITCHED OUTLET (BLW)
- JUNCTION BOX
- ONE-WAY SWITCH
- THREE-WAY SWITCH
- FOUR-WAY SWITCH
- DIMMER SWITCH
- WALL SCONCE
- CLG MOUNT LIGHT
- EXHAUST VENT
- RECESSED LIGHT
- EYE-BALL LIGHT
- HEATER, VENT, LIGHT
- TV OUTLET
- PHONE OUTLET
- SMOKE DETECTOR
- THERMOSTAT
- OBL FLOOD LIGHT
- PUSH BUTTON
- DOOR BELL
- SPEAKER OUTLET
- CHIMES
- CARBON MONOXIDE DETECTOR
- CLG FAN W/ LIGHT
- ADD 110 FLOOR FIXTURE
- ADD 110 FLOOR
- UNDER CAB LIGHT

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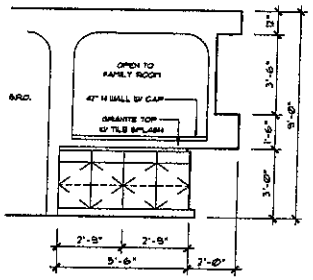
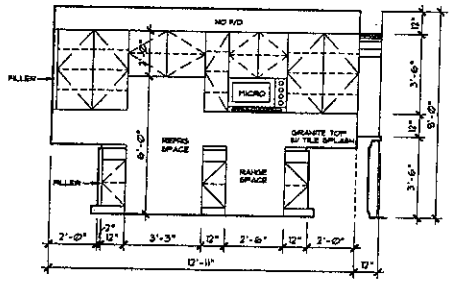
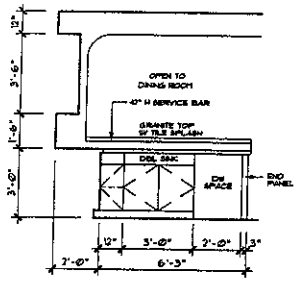
PLAN 2077 RF



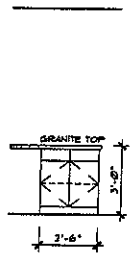
A KITCHEN



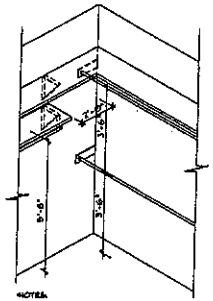
B KITCHEN



C KITCHEN

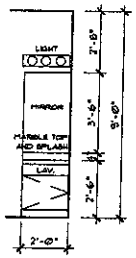


D ISLAND

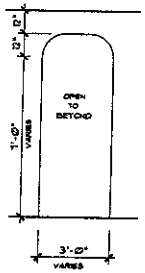


NOTES:
SHELF DETAIL TO ALTERNATE ON EACH WALL AND ROTATE CLOCKWISE.
VENTILATED SHELVING PER BUILDER SPEC.

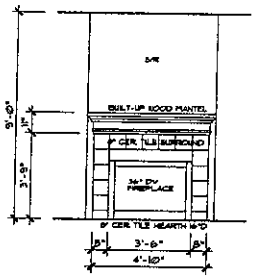
M. BDRM. CLOSET ROD & SHELF DETAIL
SCALE 3/8"=1'-0"



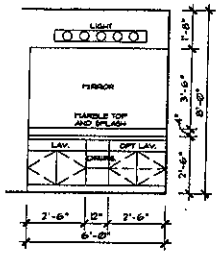
E BATH 3



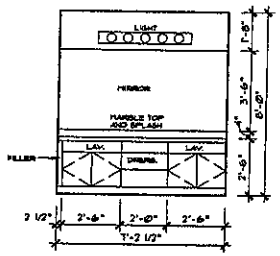
F TYP. 6/R.O.



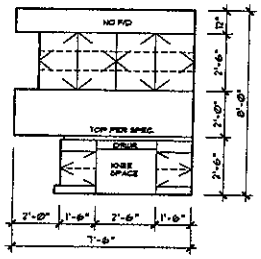
G OPT. FIREPLACE



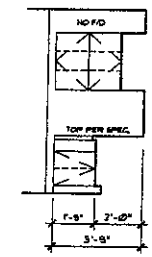
H BATH 2



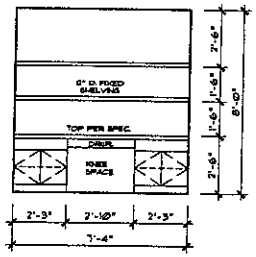
I OWNERS BATH



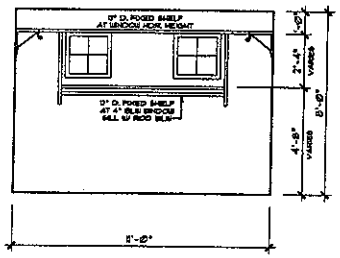
J OPTIONAL DESK



K OPTIONAL DESK



L DESK AT OPT. STUDY 2



M MASTER CLOSET
NOTE: WINDOW SIZE VARIES PER ELEVATION

CABINET ELEVATIONS
SCALE 3/8"=1'-0"

PLAN 2077 RF

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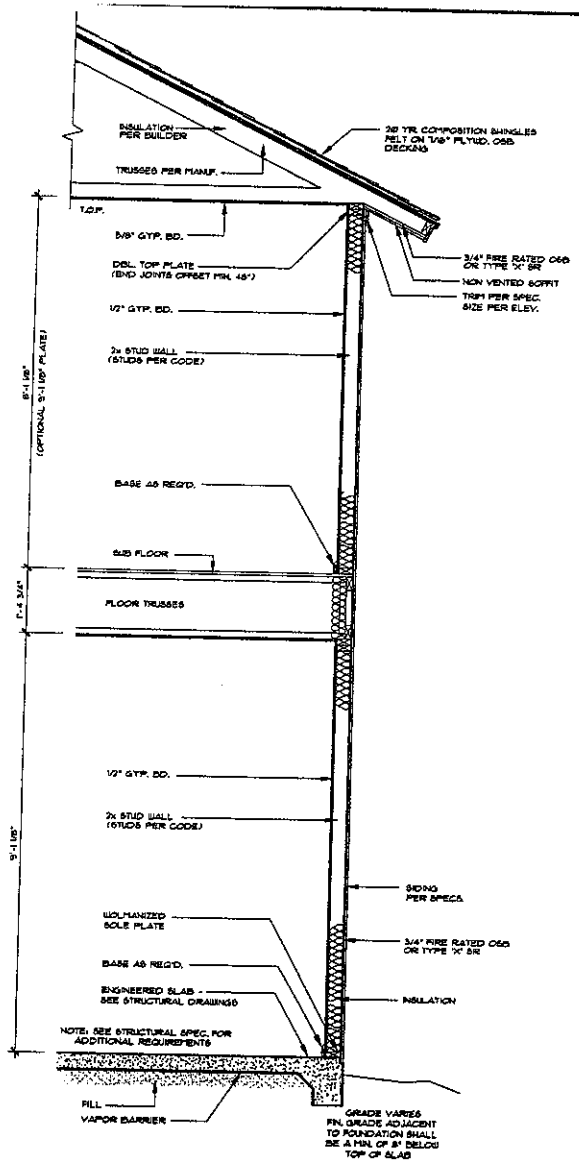
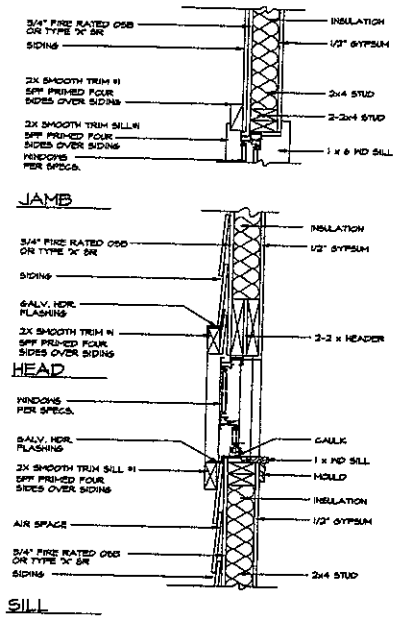


TYPICAL FIRE RATED / RADIANT ASSEMBLEY
2 STORY EXTERIOR WALL SECTION W/ SIDING
1 SCALE 3/8" = 1'-0"

REFER TO PLANS & ELEVS. FOR ROOF PITCHES



TYPICAL FIRERATED / RADIANT ASSEMBLEY
EXTERIOR WINDOW DETAIL W/ SIDING
1 SCALE 3/4" = 1'-0"

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KIPP + FLORES ARCHITECTS

Date 5-23-09

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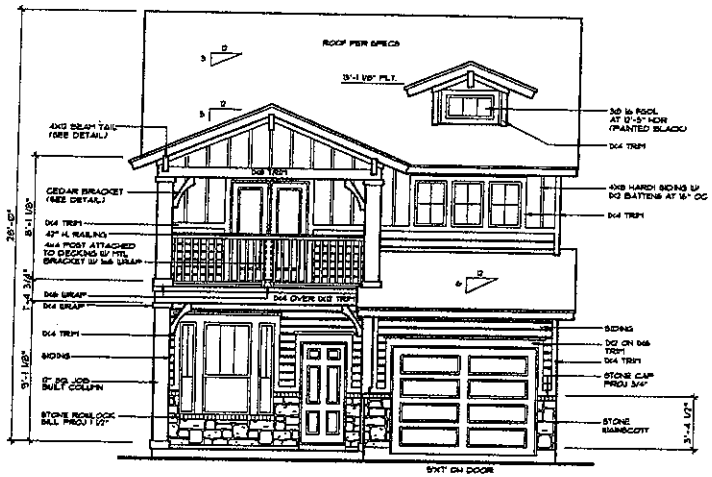
PLAN 2077 RF



FRONT ELEVATION

SCALE: 1/8"=1'-0"

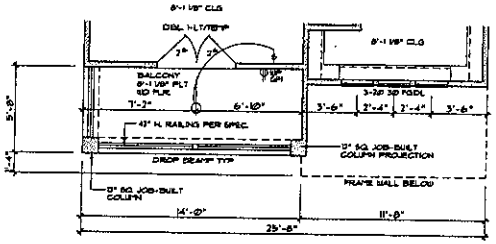
NOTES:

1st FLOOR PLATE HGTS. TO BE 9'-1 1/8" W/ 7'-10" WINDOW HEADER HGTS. UNLESS NOTED.

2ND LEVEL PLATE HGTS TO BE 8'-1 1/8" W/ 7'-0" WINDOW HEADER HGTS UNLESS NOTED OPT. 9'-1 1/8" W/ 7'-10" WINDOW HEADER HGTS UNLESS NOTED

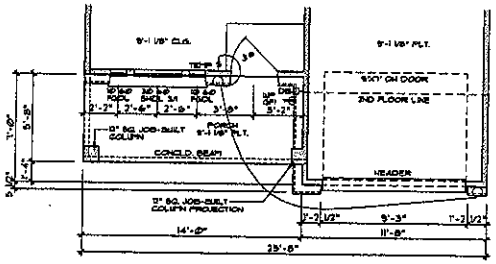
PROVIDE STEEL LINTELS ABOVE ALL OPENINGS W/ MASONRY, AS REQ'D.

PROVIDE TEMPERED GLASS WHERE REQ'D BY CODE.



SECOND LEVEL STRIP PLAN

SCALE: 1/8"=1'-0"



FIRST LEVEL STRIP PLAN

SCALE: 1/8"=1'-0"

HEADER SCHEDULE BUILDING WIDTH OF 30' OR LESS (MEASURED PERPENDICULAR TO MAIN RIDGE OF HOUSE)				
FOR EXTERIOR LOAD BEARING WALLS				
	ROOF, and CEILING	ROOF, CEILING and ONE CENTER BEARING FLOOR	ROOF, CEILING and ONE CLEAR SPAN FLOOR	ROOF, CEILING and TWO CENTER BEARING FLOORS
2x4	3'-6"	3'-11"	3'-9"	3'-7"
2x6	5'-6"	4'-8"	5'-11"	5'-4" *
2x8	6'-10"	5'-11"	7'-5"	6'-11" *
2x10	8'-3" *	7'-2" *	8'-11" *	8'-11" *
2x12	9'-7" *	8'-11" *	11'-1" *	9'-11" *
FOR INTERIOR LOAD BEARING WALLS				
		ONE FLOOR ONLY	TWO FLOORS	
2x4		3'-4"	3'-2"	
2x6		4'-6"	5'-10" *	
2x8		5'-8"	7'-2" *	
2x10		7'-0" *	8'-11" *	
2x12		8'-7" *	9'-11" *	

FOR NON-LOADBEARING WALLS A SINGLE 2x4 HEADER MAY BE USED ON OPENINGS NOT EXCEEDING 5' IN WIDTH IF THE VERTICAL NAILING DISTANCE TO THE PARALLEL NAILING SURFACE DOES NOT EXCEED 24".

* DENOTES 2 JACK STUDS REQUIRED TO SUPPORT EACH END
** DENOTES 3 JACK STUDS REQUIRED TO SUPPORT EACH END

#2 TP. KF ARCHITECTS (IRC 2006)

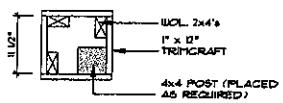
SUPPLIED PRESCRIPTIVE PACKAGE (2006/2009 IRC) (SEE HOUSE PLANS FOR AREA SQUARE FOOTAGE)	
GLAZING U-FACTOR:	0.65
CEILING R-VALUE:	R-49
WALL R-VALUE	R-13
FLOOR R- VALUE:	R-19
CRAWLSPACE WALL:	R-5
SLAB PERIMETER:	R-0
BASEMENT WALL:	R-5

KF ARCHITECTS (IECC 2009)

GLAZING PERCENTAGE	
AREA OF GLAZING	256
GROSS AIR CONDITIONED WALL AREA	2755
GLAZING PERCENTAGE	9.24%

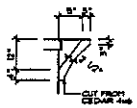
*NOTE: THESE CHARTS DO NOT REFLECT ANY PLAN OPTIONS OFFERED

MASONRY PERCENTAGE %						
		NET EXT. WALL AREA	AREA OF GLAZING and DOORS	AREA OF MASONRY	AREA OF SIDING	MASONRY PERCENTAGE
FRONT	1st FLOOR	122	113	37	85	30%
	2nd FLOOR	175	56	0	175	0%
	TOTAL	295	169	37	258	13%
RIGHT	1st FLOOR	488	0	0	488	0%
	2nd FLOOR	671	16	0	671	0%
	TOTAL	1159	26	0	1159	0%
LEFT	1st FLOOR	508	0	27	482	5%
	2nd FLOOR	670	0	0	670	0%
	TOTAL	1179	0	27	1152	2%
REAR	1st FLOOR	166	69	0	166	0%
	2nd FLOOR	157	40	0	157	0%
	TOTAL	323	109	0	323	0%
SUB.	1st FLOOR	1297	190	64	1233	5%
TOTAL	2nd FLOOR	1661	114	0	1661	0%
TOTAL *		2958	304	64	2894	2%



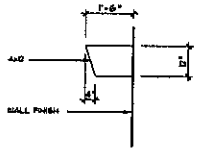
12" JOB BUILT COLUMN DETAIL

SCALE: N.T.S.



BRACKET DETAIL

SCALE: N.T.S.



BEAM TAIL DETAIL

SCALE: N.T.S.

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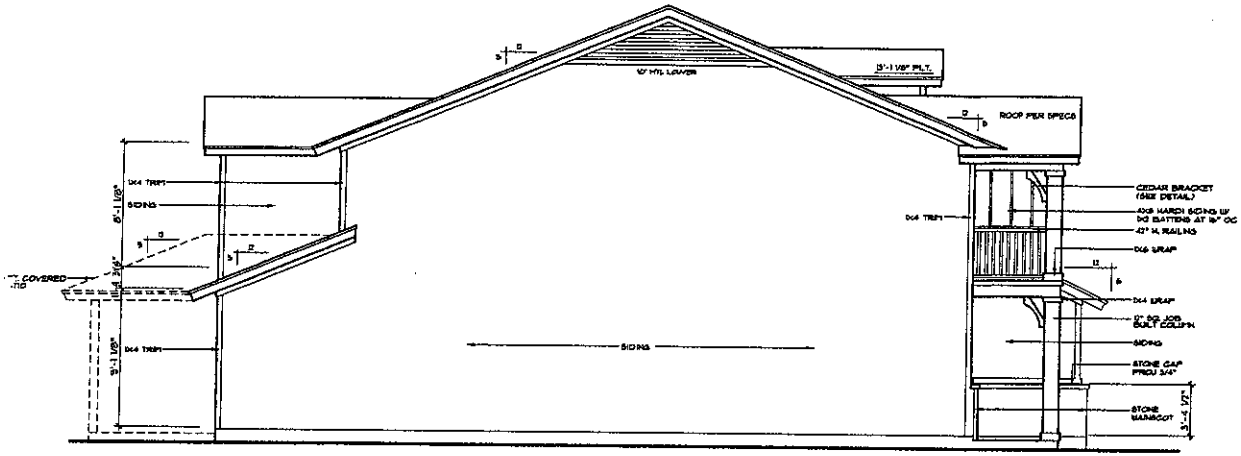
PLAN 2077 RFA



LEFT SIDE ELEVATION

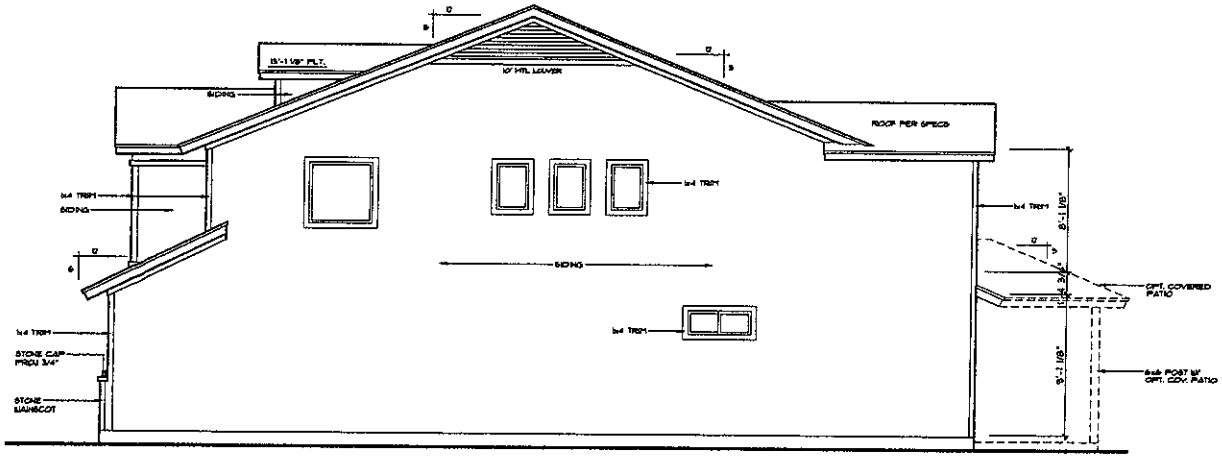
SCALE 1/8"=1'-0"

NOTE:
1st FLOOR PLATE HGTS. TO BE 9'-1 1/8" @ 7'-10" WINDOW HEADER HGTS. UNLESS NOTED.

2ND LEVEL PLATE HGTS TO BE 8'-1 1/8" @ 7'-0" WINDOW HEADER HGTS UNLESS NOTED OPT. 8'-1 1/8" @ 7'-10" WINDOW HEADER HGTS UNLESS NOTED

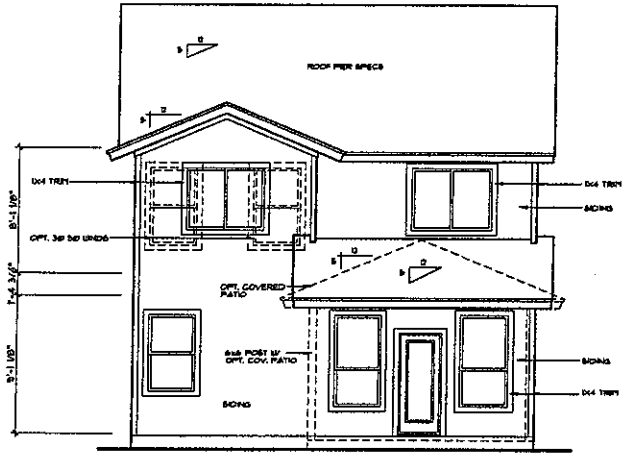
PROVIDE STEEL LINTELS ABOVE ALL OPENINGS IN MASONRY, AS REQ'D.

PROVIDE TEMPERED GLASS WHERE REQ'D BY CODE.



RIGHT SIDE ELEVATION

SCALE 1/8"=1'-0"



REAR ELEVATION

SCALE 1/8"=1'-0"

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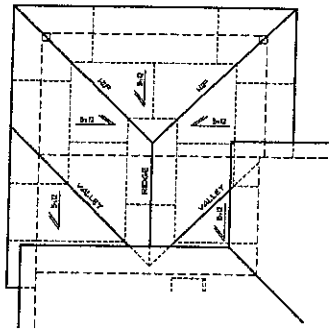
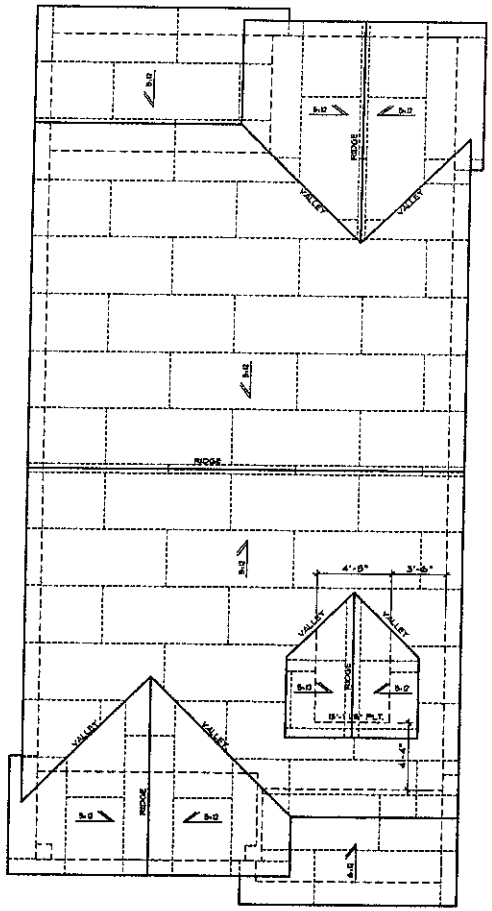


OPTIONAL COVERED PATIO
SCALE 1/8"=1'-0"



ROOF PLAN
SCALE 1/8"=1'-0"

NOTES:

ALL 5:12 ROOF PITCHES TO HAVE 1'-3 1/2" OVERHANGS UNLESS NOTED OTHERWISE

ALL 4:12 ROOF PITCHES TO HAVE 1'-4" OVERHANGS UNLESS NOTED OTHERWISE

ALL GABLE ENDS TO HAVE 1'-0" OVERHANGS UNLESS NOTED OTHERWISE

VENT AS REQUIRED

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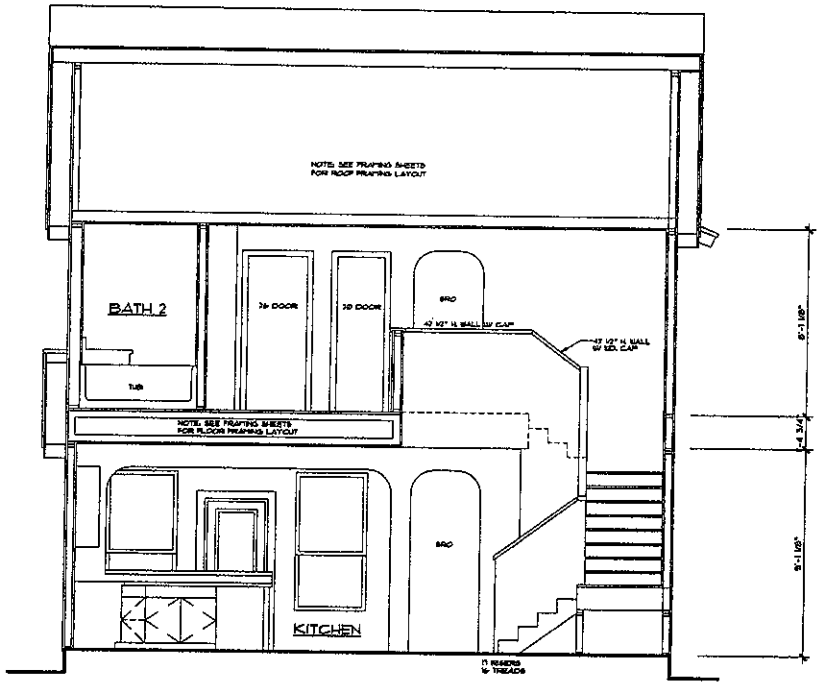

CROSS SECTION

SCALE 3/8"=1'-0"

- DO NOT SCALE THESE DRAWINGS. IN THE EVENT OF ERROR OR OMISSION CONTACT BUILDER FOR CLARIFICATION.
- ALL SUB-CONTRACTORS TO VERIFY ALL DIMENSIONS AND ACTUAL FIELD CONDITIONS WITH PLANS. REPORT ANY VARIATION TO BUILDER IMMEDIATELY.

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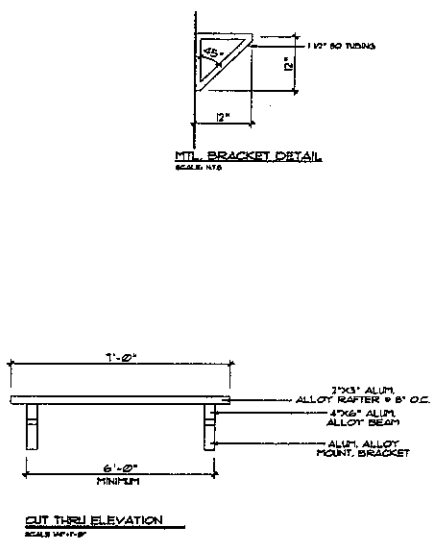

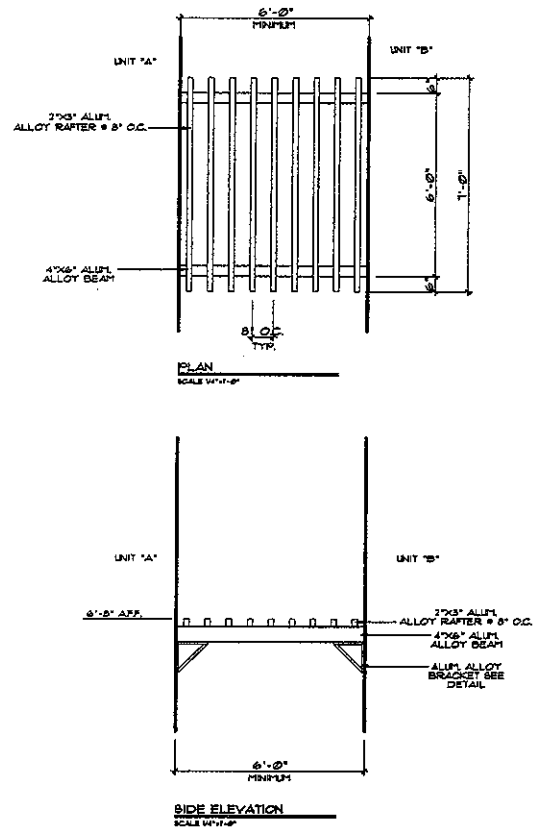

BREEZEWAY DETAIL

GRASON COMMUNITIES, LTD.

As a solution to construction conflicts and clarify in construction contracts, all dimensions shall take precedence over scale dimensions. Do not scale the drawing. All dimensions to be verified on the job site by the general contractor before ordering materials or performing work. Any conflicts or discrepancies shall be reported to the architect before proceeding with the work. Failure to do so shall be at the general contractor's own risk and expense. Drawings are not to be reproduced, in whole or in part, or used for other projects without the written permission of KIPP + FLORES ARCHITECTS.

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(512) 335-5477 fax (512) 335-0002
11778 Jollyville Rd. Suite 100 Austin, Texas 78759

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Date
6/13/09

Sheet
1 of 1

Written comments must be submitted to the board or commission (or the contact person listed on the notice) before or at a public hearing. Your comments should include the board or commission's name, the scheduled date of the public hearing, and the Case Number and the contact person listed on the notice.

Case Number: 10-097381PR
ADDRESS 1100 West Stassney
Contact: Sylvia Benavidez, 974-2522
Public Hearing: Dec 1, 2010
Residential Design and Compatibility Commission

☒ **I am in favor**
☐ **I object**

Your Name *(please print)*
Mr. + Mrs. Davis Phillips

Your address(es) affected by this application
5411 Salem Hill Drive

Signature

11-24-2010
Date

Comments: Katherine Phillips

Please proceed with the project

If you use this form to comment, it may be returned to:
City of Austin
Sylvia Benavidez
P.O. Box 1088
Austin, TX 78767-8810

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☒ **I object**

William BOIKO
Your Name *(please print)*

1435 Salem Meadow CR Austin TX 78745
Your address(es) affected by this application

Wm Boiko — 10/22/2010
Signature — Date

Comments:

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☒ **I object**

OTTO MUCH
Your Name *(please print)*

1001 CEDAR GLEN
Your address(es) affected by this application

Otto Much 11/29/10
Signature Date

Comments: Those Homes are already so close to each outher, I worry if fire were to break out in one it would easyly spread to others.

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