

CITY OF AUSTIN

CASE # 2011-00905PR
PLAN REVIEW # _____

APPLICATION TO THE RESIDENTIAL DESIGN
AND COMPATIBILITY COMMISSION (RDCC)

GENERAL MODIFICATION WAIVER

TP# 024602-1203
Row# 10543651

STREET ADDRESS: 3730 Cima Serena Dr.

LEGAL DESCRIPTION: Subdivision - Savoy Subdivision

Lot(s) _____ Block _____ Outlot _____ Division _____

LAND STATUS DETERMINATION CASE NUMBER (if applicable) _____

I/We Kevin Flahive on behalf of myself/ourselves as authorized agent for
The Bohn Group, LLC affirm that on 02/03, 2011,

hereby apply for a hearing before the Residential Design and Compatibility Commission
for modification Section 2.8.1. of up to 25% increase in one or more of the following:

- ☒ Maximum Floor to area ratio .4 or Gross floor area 2300 sq ft.
- ☒ Maximum Linear feet of Gables protruding from setback plane
- ☒ Maximum Linear feet of Dormers protruding from the setback plane

Waive or modify the side wall articulation requirement of Section 2.7.

☒ Side Wall Length Articulation
(Please describe request. Please be brief but thorough).

The Bohn Group, LLC requests a modification to
allow an increase of up to 25% in the maximum
FAR, maximum linear feet of gables or dormers
protruding from the setback plane, and to modify the
side wall length articulation.

in a SF-3 zoning district.

Note: Certificate of Appropriateness: H (Historic) or HD (Historic Designation) -
case goes to RDCC first. National Register Historical District (NRHD) Overlay:
without H or HD - case goes to Historic Landmark Commission first.

**CITY OF AUSTIN
APPLICATION TO THE RESIDENTIAL DESIGN
AND COMPATIBILITY COMMISSION
GENERAL MODIFICATION WAIVER**

REASONABLE USE:

1. The Residential Design and Compatibility Standards Ordinance applicable to the property does not allow for a reasonable use because:

Please see attached.

REQUEST:

2. The request for the modification is unique to the property in that:

Please see attached.

AREA CHARACTER:

3. The modification will not alter the character of the area adjacent to the property, will not impair the use of adjacent conforming property, and will not impair the purpose of the regulations of the zoning district in which the property is located because:

Please see attached.

**CITY OF AUSTIN
APPLICATION TO THE RESIDENTIAL DESIGN
AND COMPATIBILITY COMMISSION
GENERAL MODIFICATION WAIVER**

APPLICANT CERTIFICATE – I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Mailing Address 1717 W. 6th St., Suite 420
City, State Austin, TX Zip 78703
Phone 541-3597 Printed Name Kevin M. Flahive
Signature K. M. Flahive Date 2/2/11

OWNER'S CERTIFICATE – I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Mailing Address 8140 North Mopac Expressway, Bldg. 4, Ste. 270
City, State Austin, TX Zip 78759
Phone 320-8833 Printed Name Adam Boenigk
Signature Adam Boenigk Date 2/2/11

GENERAL INFORMATION FOR SUBMITTAL OF A MODIFICATION REQUEST TO THE RESIDENTIAL DESIGN AND COMPATIBILITY COMMISSION

(The following is intended to provide assistance in explaining the modification process. These suggestions are not intended to be a complete or exhaustive guide in assisting you through this process).

SUBMITTAL DEADLINE IS THE 2ND TUESDAY OF EACH MONTH FOR A COMPLETENESS CHECK

Must be submitted in person

An approved submittal will be scheduled for the next available RDCC hearing date

Confirm with City Staff sylvia.benavidez@ci.austin.tx.us for any scheduled changes

SUBMITTAL REQUIREMENTS: (Failure to complete the application or to submit all the required materials will result in non-acceptance of the application).

1. A completed waiver application indicating all modifications being requested and a completed and reviewed residential application (initial fee \$100.00). An application must include all required information.
2. A tax plat map with subject property clearly marked indicating property within a 300-foot radius. This is available from the Travis Central Appraisal District at 8314 Cross Park Drive (834-9138).
3. Check made payable to the City of Austin for the Residential Design and Compatibility Commission notification/sign fee - \$220.00.
4. Other Information – Although the following is not a requirement of submittal you may wish to include additional information that may assist the Commission in making an informed decision regarding your request, such as: visual aids to support the request, letters from the neighborhood association(s), etc. Any additional information you wish to submit must be in our office one week prior to the meeting. The Commission will receive a packet with all information that has been submitted on the Monday prior to the meeting.

Modifications approved by the Commission are limited to and conditioned upon the plans and specifications presented by the applicants, except as modified by the Commission.

Reasonable Use:

Application must demonstrate to the Commission how the Residential Design and Compatibility Standards regulations applicable to the property do not allow for a reasonable use of the property. [Note: The Commission cannot approve modifications that are not stated in the Residential Design and Compatibility Standards Ordinance, Subchapter F - 2.8.1].

- a. Application must demonstrate to the Commission how the alteration for which the modification is requested is unique to the property.

Area Character:

Application must demonstrate to the Commission how the modification will not alter the character of the area adjacent to the property, will not impair the use of adjacent conforming property, and will not impair the purpose of the zoning regulations of the zoning district in which the property is located.

REASONABLE USE

- 1. The Residential Design and Compatibility Standards Ordinance applicable to the property does not allow for a reasonable use because:**

Application of the ordinance's 0.4:1 FAR/2,300 Gross Floor Area limitation would require that the property contain residences smaller in scale and bulk than the existing residences in the vicinity, contrary to intent of the ordinance that new construction be compatible in scale and bulk with existing neighborhoods.

REQUEST:

- 2. The request for the modification is unique to the property in that:**

The property is an urban infill 26-lot subdivision with an internal roadway and no connectivity to adjacent lots. The applicant had contracted for the purchase of the property and initiated subdivision design prior to the City Council's adoption of the Heritage Tree Ordinance (Ord. No. 20100204-038) on February 4, 2010. Application of the new ordinance created substantial site constraints due to the existence of 11 protected and 9 heritage trees on the property. Compliance with the Heritage Tree ordinance resulted in a reduction of lots from 30 to 26.

AREA CHARACTER:

- 3. The modification will not alter the character of the area adjacent to the property, will not impair the use of adjacent conforming property, and will not impair the purpose of the regulations of the zoning district in which the property is located because:**

The property is an urban infill 26-lot subdivision with a single internal roadway, no connectivity to adjacent lots and proposed residences that would be compatible in scale and bulk with structures in the vicinity of the development.

The property is adjacent to two single-family residences (8600 Oak Mountain Circle is 2,731 SF excluding the two-car garage; 8601 Oak Mountain Circle is 2,693 SF excluding the two-car garage) and eight two-unit, single-family condominiums (8401, 8403, 8501, 8503, 8505, 8507, 8601 and 8603 Cima Oak Lane average 2,514 SF per structure, excluding two-car garages for each unit) all of which are consistent with the massing, scale and square footage of the proposed residences (1,700 to 3,000 SF, excluding two-car garages).

The proposed residences will not adversely impact the privacy of adjacent rear yards. However, to address the concern of the owner of 8600 Oak Mountain Circle, Mr. Thomas Sedberry, the applicant has committed to construct a single-story residence on Lot 11. The proposed residences within the property will comply with all other applicable zoning site development regulations. The requested FAR/GFA variance is the minimum necessary to

offset the impact of the substantial site constraints and resulting subdivision re-design due to the Heritage Tree Ordinance.

FINAL PLAT OF SAVOY SUBDIVISION

5.94 ACRES OUT OF THE JAMES P. WALLACE SURVEY, NO. 18, ABS. NO. 792,
TRAVIS COUNTY, TEXAS

OWNER: SAVOY 26, LLC
8140 N. MOPAC EXPRESSWAY
BUILDING 4, SUITE 270
AUSTIN, TX 78759

SURVEY: JAMES P. WALLACE SURVEY
NO. 18, ABS. NO. 792

BEARINGS CITED HEREON BASED ON GRID
NORTH TEXAS STATE PLANE COORDINATE
SYSTEM CENTRAL ZONE (NAD83)



Scale: 1" = 100'

LAND USE:
TOTAL ACREAGE: 5.94 ACRES
R.O.W. DEDICATION: 0.75 ACRE TO ETENNE COVE
TOTAL NO. OF BLOCKS: 1
TOTAL LOTS: 28
TOTAL RESIDENTIAL LOTS: 28

LINEAR FEET OF
NEW STREETS: 615.38'

TOTAL RIGHT-OF-WAY ACREAGE: 0.75 ACRE

DATE: JUNE 30, 2010

SURVEYOR: CASTLEBERRY SURVEYING, LTD.
3613 WILLIAMS DRIVE, STE. 903
GEORGETOWN, TEXAS 78626
(512) 930-1600/(512) 930-9389 fax

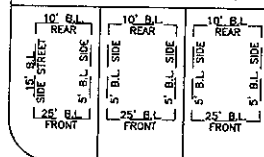
ENGINEER: HANRAHAN PRITCHARD ENGINEERING INC.
8333 CROSS PARK DRIVE
AUSTIN, TEXAS 78754
(512) 458-4734/(512) 459-4752 fax

CURVE TABLE					
NUMBER	DELTA	RADIUS	ARC	CHORD	DIRECTION
C1	9°00'19"	774.87'	121.79'	121.66'	N 81°58'28" W
C2	89°59'45"	15.00'	23.56'	21.21'	S 45°32'12" W
C3	9°24'40"	205.00'	33.67'	33.83'	S 05°14'39" W
C4	12°24'27"	205.00'	44.39'	44.31'	S 18°08'13" W
C5	5°14'47"	205.00'	18.77'	18.76'	S 24°58'50" W
C6	90°00'00"	25.00'	39.27'	35.36'	N 17°23'47" W
C7	90°00'00"	25.00'	39.27'	35.36'	S 72°36'13" W
C8	27°03'55"	155.00'	73.22'	72.54'	S 14°04'16" W
C9	90°00'14"	15.00'	23.56'	21.21'	S 44°27'47" E
C10	49°09'04"	72.50'	62.19'	60.30'	S 73°03'05" W
C11	8°04'50"	784.87'	110.69'	110.60'	N 82°27'22" W
C12	1°08'56"	774.87'	15.54'	15.54'	N 78°02'47" W
C13	7°51'23"	774.87'	106.25'	106.17'	N 82°32'56" W
C14	9°48'12"	25.00'	4.28'	4.27'	S 32°30'19" W
C15	56°27'17"	25.00'	24.63'	23.65'	S 89°22'35" W

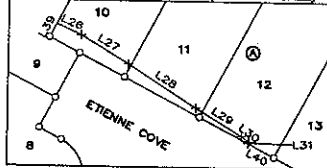
LINE TABLE		
NUMBER	DIRECTION	DISTANCE
L1	S 27°38'13" W	20.24'
L2	S 82°23'47" E	15.00'
L3	S 27°38'13" W	20.10'
L4	N 27°36'13" E	28.90'
L5	S 62°23'47" E	20.05'
L6	N 62°23'42" W	15.01'
L7	N 27°36'13" E	25.00'
L8	S 62°23'47" E	9.41'
L9	S 27°36'13" W	25.00'
L11	S 26°10'16" W	27.16'
L12	N 24°09'42" E	35.66'
L13	S 00°32'19" W	52.33'
L14	S 00°32'19" W	64.97'
L15	N 75°46'13" W	25.64'
L16	S 27°04'20" W	17.62'
L17	S 24°09'42" W	11.90'
L18	N 22°11'08" E	13.33'
L19	N 44°54'48" E	16.82'
L20	N 00°32'19" E	36.57'
L21	S 75°46'13" E	22.46'
L22	N 75°46'13" W	15.56'
L23	N 89°27'56" W	7.88'
L24	N 00°32'19" E	10.00'
L25	N 27°04'20" E	10.38'
L26	S 65°36'17" E	16.00'
L27	S 59°08'14" E	32.36'
L28	S 57°26'22" E	47.60'

LINE TABLE		
NUMBER	DIRECTION	DISTANCE
L29	S 58°40'32" E	31.47'
L30	S 54°32'35" E	5.48'
L31	S 27°36'13" W	1.00'
L32	S 68°14'39" E	3.06'
L33	N 31°19'58" E	24.31'
L34	N 38°48'10" E	10.03'
L35	N 70°52'29" E	7.95'
L36	N 26°00'44" E	25.83'
L37	N 19°57'26" E	39.36'
L38	N 12°18'31" E	21.69'
L39	N 27°37'36" E	8.85'
L40	S 62°23'47" E	17.46'
L41	S 53°44'43" E	9.58'
L42	N 74°12'14" E	5.30'
L43	S 82°41'08" E	5.69'
L44	S 76°24'39" E	7.20'
L45	S 62°52'13" E	18.29'
L46	S 59°46'20" E	41.53'
L47	S 65°51'07" E	22.07'
L48	S 64°37'01" E	34.53'
L49	N 27°36'13" E	2.40'
L50	S 27°36'13" W	16.03'
L51	N 27°36'13" E	32.47'
L52	S 00°32'19" W	5.00'

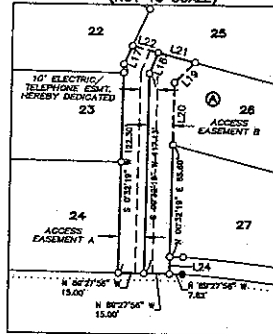
TYPICAL LOT
BUILDING SETBACK
(UNLESS OTHERWISE NOTED)



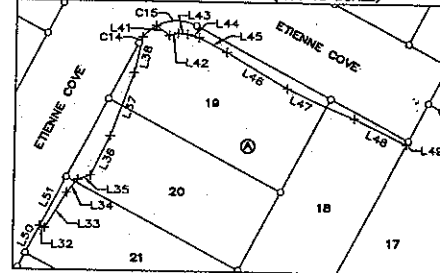
SLOPE EASEMENT INSET 1 (NOT TO SCALE)



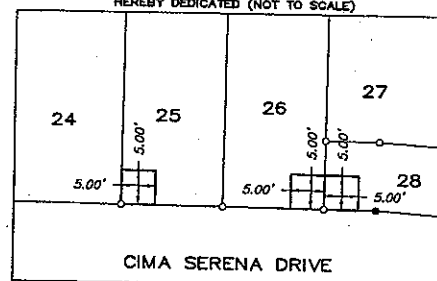
ACCESS EASEMENT AND 10'
ELECTRIC/TELEPHONE EASEMENT INSET
(NOT TO SCALE)



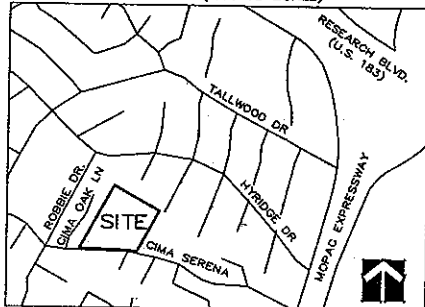
SLOPE EASEMENT INSET 2 (NOT TO SCALE)



WATER AND WASTEWATER EASEMENTS
HEREBY DEDICATED (NOT TO SCALE)



SITE MAP (NOT TO SCALE)



LEGEND	
●	1/2" IRON PIN FOUND (UNLESS OTHERWISE NOTED)
○	1/2" IRON PIN SET
○	W/YELLOW PLASTIC CAP "CS LTD"
⊙	BLOCK DESIGNATION
+	CALCULATED POINT
—	BUILDING SETBACK LINE
—	DRAINAGE EASEMENT
—	EASEMENT
—	P.U.E. PUBLIC UTILITY EASEMENT
—	P.A.T.C. PLAT RECORDS TRAVIS CO.
—	D.R.T.C. DEED RECORDS TRAVIS CO.
—	O.P.A.T.C. OFFICIAL PUBLIC RECORDS TRAVIS CO.



3613 Williams Drive, Suite 903 — Georgetown, Texas 78626
(512) 930-1600/(512) 930-9389 fax
www.castleberry-surveying.com

SHEET

1 OF 2

CASE# CB-2010-0035.1A

FINAL PLAT OF
SAVOY SUBDIVISION

5.94 ACRES OUT OF THE JAMES P. WALLACE SURVEY, NO. 18, ABS. NO. 792,
TRAVIS COUNTY, TEXAS

NOTES:

1. NO BUILDINGS, FENCES, LANDSCAPING OR OTHER STRUCTURES ARE PERMITTED IN DRAINAGE EASEMENTS EXCEPT AS APPROVED BY THE CITY OF AUSTIN.
2. ALL DRAINAGE EASEMENTS ON PRIVATE PROPERTY SHALL BE MAINTAINED BY THE PROPERTY OWNER OR HIS OR HER ASSIGNS.
3. PROPERTY OWNER SHALL PROVIDE FOR ACCESS TO THE DRAINAGE EASEMENTS AS MAY BE NECESSARY AND SHALL NOT PROHIBIT ACCESS BY GOVERNMENTAL AUTHORITIES.
4. PRIOR TO CONSTRUCTION ON LOTS IN THIS SUBDIVISION, DRAINAGE PLANS WILL BE SUBMITTED TO THE CITY OF AUSTIN FOR REVIEW. RAINFALL RUNOFF SHALL BE HELD TO THE AMOUNT EXISTING AT UNDEVELOPED STATUS BY PONDING OR OTHER APPROVED METHODS.
5. WATER AND WASTEWATER SERVICE TO THIS TRACT WILL BE PROVIDED BY THE CITY OF AUSTIN.
6. THE WATER AND WASTEWATER UTILITY SYSTEM SERVING THIS SUBDIVISION MUST BE IN ACCORDANCE WITH THE CITY DESIGN CRITERIA AND SPECIFICATIONS. THE WATER AND WASTEWATER UTILITY PLAN MUST BE REVIEWED AND APPROVED BY THE AUSTIN WATER UTILITY. THE WATER AND WASTEWATER UTILITY CONSTRUCTION MUST BE INSPECTED BY THE CITY.
7. PUBLIC SIDEWALKS, BUILT TO CITY OF AUSTIN STANDARDS, ARE REQUIRED ALONG THE SUBDIVISION SIDE OF THE FOLLOWING STREETS, AS SHOWN BY A DOTTED LINE ON THE FACE OF THE PLAT: ETIENNE COVE & CIMA SERENA DRIVE. THESE SIDEWALKS SHALL BE IN PLACE PRIOR TO THE LOT BEING OCCUPIED. FAILURE TO CONSTRUCT THE REQUIRED SIDEWALKS MAY RESULT IN THE WITHHOLDING OF CERTIFICATES OF OCCUPANCY, BUILDING PERMITS, OR UTILITY CONNECTIONS BY THE GOVERNING BODY OR UTILITY COMPANY.
8. AUSTIN ENERGY HAS THE RIGHT TO PRUNE AND/OR REMOVE TREES, SHRUBBERY AND OTHER OBSTRUCTIONS TO THE EXTENT NECESSARY TO KEEP THE EASEMENTS CLEAR. AUSTIN ENERGY WILL PERFORM ALL TREE WORK IN COMPLIANCE WITH CHAPTER 25-8, SUBCHAPTER B OF THE CITY OF AUSTIN LAND DEVELOPMENT CODE.
9. THE OWNER/DEVELOPER OF THIS SUBDIVISION SHALL PROVIDE AUSTIN ENERGY WITH ANY EASEMENT AND/OR ACCESS REQUIRED, IN ADDITION TO THOSE INDICATED, FOR THE INSTALLATION AND ONGOING MAINTENANCE OF OVERHEAD AND UNDERGROUND ELECTRIC FACILITIES. THESE EASEMENTS AND/OR ACCESS ARE REQUIRED TO PROVIDE ELECTRIC SERVICE TO THE BUILDING, AND WILL NOT BE LOCATED SO AS TO CAUSE THE SITE TO BE OUT OF COMPLIANCE WITH CHAPTER 25-8 OF THE CITY OF AUSTIN LAND DEVELOPMENT CODE.
10. THE OWNER SHALL BE RESPONSIBLE FOR INSTALLATION OF TEMPORARY EROSION CONTROL, REVEGETATION AND TREE PROTECTION. IN ADDITION, THE OWNER SHALL BE RESPONSIBLE FOR ANY INITIAL TREE PRUNING AND TREE REMOVAL THAT IS WITHIN TEN FEET OF THE CENTER LINE OF THE PROPOSED OVERHEAD ELECTRICAL FACILITIES DESIGNED TO PROVIDE ELECTRIC SERVICE TO THE PROJECT. THE OWNER SHALL INCLUDE AUSTIN ENERGY'S WORK WITHIN THE LIMITS OF CONSTRUCTION FOR THIS PROJECT.
11. THE OWNER OF THE PROPERTY IS RESPONSIBLE FOR MAINTAINING CLEARANCES REQUIRED BY THE NATIONAL ELECTRIC SAFETY CODE, OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REGULATIONS, CITY OF AUSTIN RULES AND REGULATIONS AND TEXAS STATE LAWS PERTAINING TO CLEARANCES WHEN WORKING IN CLOSE PROXIMITY TO OVERHEAD POWER LINES AND EQUIPMENT. AUSTIN ENERGY WILL NOT RENDER ELECTRIC SERVICE UNLESS REQUIRED CLEARANCES ARE MAINTAINED. ALL COSTS INCURRED BECAUSE OF FAILURE TO COMPLY WITH THE REQUIRED CLEARANCES WILL BE CHARGED TO THE OWNER.
12. THE OWNER OF THE SUBDIVISION, AND HIS OR HER SUCCESSORS AND ASSIGNS, ASSUMES RESPONSIBILITY FOR PLANS FOR CONSTRUCTION OF SUBDIVISION IMPROVEMENTS WHICH COMPLY WITH APPLICABLE CODES AND REQUIREMENTS OF THE CITY OF AUSTIN. THE OWNER UNDERSTANDS AND ACKNOWLEDGES THAT PLAT VACATION OR REPLATING MAY BE REQUIRED, AT THE OWNER'S SOLE EXPENSE, IF PLANS TO CONSTRUCT THIS SUBDIVISION DO NOT COMPLY WITH SUCH CODES AND REQUIREMENTS.
13. THIS TRACT IS LOCATED WITHIN THE EDWARDS AQUIFER RECHARGE ZONE PER CITY OF AUSTIN MAPS.
14. EROSION/SEEDMENTATION CONTROLS ARE REQUIRED FOR ALL CONSTRUCTION ON INDIVIDUAL LOTS, INCLUDING DETACHED SINGLE FAMILY AND DUPLEX CONSTRUCTION IN ACCORDANCE WITH SECTION 25-8-161 OF THE CITY OF AUSTIN LAND DEVELOPMENT CODE AND THE ENVIRONMENTAL CRITERIA MANUAL.
15. WATER QUALITY CONTROLS ARE REQUIRED FOR ALL DEVELOPMENT PURSUANT TO SECTION 25-8-211 OF THE CITY OF AUSTIN LAND DEVELOPMENT CODE.
16. THIS SUBDIVISION PLAT WAS APPROVED AND RECORDED BEFORE THE CONSTRUCTION AND ACCEPTANCE OF STREETS AND OTHER SUBDIVISION IMPROVEMENTS. PURSUANT TO THE TERMS OF A SUBDIVISION CONSTRUCTION AGREEMENT BETWEEN THE SUBDIVIDER AND THE CITY OF AUSTIN RECORDED IN DOC. NO. _____ OF THE REAL PROPERTY RECORDS OF TRAVIS COUNTY, TEXAS, THE SUBDIVIDER IS RESPONSIBLE FOR THE CONSTRUCTION OF ALL STREETS AND FACILITIES NEEDED TO SERVE THE LOTS WITHIN THE SUBDIVISION. THIS RESPONSIBILITY MAY BE ASSIGNED IN ACCORDANCE WITH THE TERMS OF THAT AGREEMENT. FOR THE CONSTRUCTION AGREEMENT PERTAINING TO THIS SUBDIVISION, SEE SEPARATE INSTRUMENT RECORDED IN DOCUMENT NO. _____ OF THE REAL PROPERTY RECORDS OF TRAVIS COUNTY, TEXAS.
17. NO LOT IN THIS SUBDIVISION SHALL BE OCCUPIED UNTIL CONNECTED TO THE CITY OF AUSTIN WATER AND WASTEWATER SYSTEM.
18. PRIOR TO CONSTRUCTION, EXCEPT DETACHED SINGLE FAMILY ON ANY LOT IN THIS SUBDIVISION, A SITE DEVELOPMENT PERMIT MUST BE OBTAINED FROM THE CITY OF AUSTIN. [SECTION 25-5-1 OF THE CITY OF AUSTIN LAND DEVELOPMENT CODE].
19. FOR A MINIMUM TRAVEL DISTANCE OF 25 FEET FROM THE ROADWAY EDGE, DRIVEWAY GRADES MAY EXCEED 14% ONLY WITH SPECIFIC APPROVAL OF SURFACE AND GEOMETRIC DESIGN PROPOSALS BY THE CITY OF AUSTIN.
20. WATERSHED STATUS: THIS PROJECT IS LOCATED IN THE SHOAL CREEK (URBAN) WATERSHED.
21. MAINTENANCE OF THE WATER QUALITY CONTROLS REQUIRED SHALL BE TO THE CITY OF AUSTIN STANDARDS.
22. THIS SUBDIVISION SHALL BE DEVELOPED, CONSTRUCTED AND MAINTAINED IN CONFORMANCE WITH THE TERMS AND CONDITIONS OF CHAPTER 25-2, AND CHAPTER 25-8 OF THE CITY OF AUSTIN LAND DEVELOPMENT CODE.
23. ANY ELECTRIC UTILITY ACTIVITY INSIDE THE SUBDIVISION SHALL BE INCLUDED UNDER THE DEVELOPMENT PERMIT.
24. CUT AND FILL FOR STREET CONSTRUCTION SHALL BE CONTAINED WITHIN THE STREETS RIGHT-OF-WAY OR SLOPE EASEMENTS.
25. ALL STREETS IN THIS SUBDIVISION SHALL BE CONSTRUCTED TO THE CITY OF AUSTIN URBAN STREET STANDARDS.
26. BUILDING SETBACK LINES SHALL BE IN ACCORDANCE WITH THE CITY OF AUSTIN ZONING ORDINANCES.
27. PARKLAND FOR 26 UNITS WAS PAID PRIOR TO PLAT APPROVAL.
28. ALL STREETS, DRAINAGE, SIDEWALKS, EROSION CONTROLS AND WATER AND WASTEWATER LINES ARE REQUIRED TO BE CONSTRUCTED AND INSTALLED TO CITY OF AUSTIN STANDARDS. NO STRUCTURE SHALL BE OCCUPIED UNTIL THE WATER QUALITY CONTROL AND SINGLE FACILITY HAVE BEEN CONSTRUCTED, INSPECTED AND ACCEPTED BY THE CITY OF AUSTIN.
29. THE LANDOWNER IS RESPONSIBLE FOR PROVIDING ANY REQUIRED SUBDIVISION INFRASTRUCTURE, WATER AND WASTEWATER UTILITY IMPROVEMENTS AND SYSTEM UPGRADES.
30. ACCESS TO LOTS 25, 26 & 27 SHALL BE VIA A COMMON DRIVEWAY CONSTRUCTED WITHIN ACCESS EASEMENTS A AND B ONLY. ACCESS EASEMENTS A AND B ARE LOCATED ON THE "FLAG" PORTION OF LOTS 25 AND 28, RESPECTIVELY, AS SHOWN ON THE FACE OF THE PLAT.
31. LOT 28 SHALL BE FOR OPEN SPACE, LANDSCAPING AND DRAINAGE ONLY, AND SHALL BE OWNED AND MAINTAINED BY THE HOME OWNERS ASSOCIATION.
32. AN INCREASE IN EMERGENCY VEHICLE ACCESS DISTANCE HAS BEEN APPROVED FOR LOTS 25 AND 26, AS REQUESTED BY THE OWNER. PER EXCEPTION 3 TO SECTION 502.1.1 OF THE CITY OF AUSTIN FIRE CODE IN EFFECT ON THE DATE OF APPROVAL OF THE PRELIMINARY PLAN, THIS EXCEPTION IS LIMITED TO CONSTRUCTION OF NO MORE THAN TWO SINGLE FAMILY RESIDENCES IMPACTED BY THE INCREASED EMERGENCY VEHICLE ACCESS DISTANCE.
33. THIS SITE IS SUBJECT TO THE VOID AND WATER FLOW MITIGATION RULE (ECM 1.12.0 AND CITY OF AUSTIN STANDARD SPECIFICATION ITEM NO. 6585). ALL TRENCHING GREATER THAN FIVE (5) FEET DEEP MUST BE INSPECTED BY A LICENSED GEOLOGIST OR THEIR DESIGNATED REPRESENTATIVE.
34. THIS SUBDIVISION IS LOCATED WITHIN THE FULL PURPOSE CITY LIMITS OF THE CITY OF AUSTIN.
35. EACH SINGLE FAMILY RESIDENTIAL LOT MUST CONTAIN AT LEAST THREE TREES OF AT LEAST TWO DIFFERENT SPECIES LISTED IN ECM APPENDIX F. EACH TREE MUST HAVE A MINIMUM DIAMETER OF 2 INCHES AND MUST BE MAINTAINED IN ACCORDANCE WITH THE ECM. EXISTING TREES CAN BE USED TO ADDRESS THIS REQUIREMENT. THIS REQUIREMENT IS IN ADDITION TO ANY REQUIRED TREE MITIGATION.

OWNER CERTIFICATION

STATE OF TEXAS
COUNTY OF TRAVIS

KNOW ALL MEN BY THESE PRESENTS:

THAT SAVOY 28, LLC, A TEXAS LIMITED LIABILITY COMPANY, BEING THE OWNER OF THAT 5.94 ACRES SHOWN HEREON, OUT OF THE JAMES P. WALLACE SURVEY, NO. 18, ABSTRACT NO. 792, AND DESCRIBED IN DOC. NO. 2010112770 OF THE OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY, TEXAS, DO HEREBY STATE THAT THERE ARE NO HOLDERS OF THE CERTAIN TRACT OF LAND AND DO HEREBY SUBMIT SAID PARCELS IN ACCORDANCE WITH TEXAS LOCAL GOVERNMENT CODE, CHAPTER 212 AND CHAPTER 25 OF THE CITY OF AUSTIN CODE, AS SHOWN HEREON, AND DO HEREBY CONSENT TO ALL PLAT NOTE REQUIREMENTS SHOWN HEREON, AND DO HEREBY DEDICATE TO THE TRUSTEE OF THE PUBLIC AS MAY DEEM APPROPRIATE THE STREETS, ALLEYS, RIGHT-OF-WAY, EASEMENTS NOT LABELED AS PRIVATE, AND PUBLIC PLACES SHOWN HEREON FOR SUCH PUBLIC PURPOSES AS THE TRUSTEE OF THE PUBLIC MAY DEEM APPROPRIATE. THIS SUBDIVISION IS TO BE KNOWN AS "SAVOY SUBDIVISION".

SAVOY 26, LLC, A TEXAS LIMITED LIABILITY COMPANY

BY:

ADAM B. BOENIG, MANAGER
8140 N. MOPAC EXPRESSWAY
BUILDING 4, SUITE 270
AUSTIN, TX 78759

TO CERTIFY WHICH, WITNESS BY MY HAND THIS _____ DAY OF _____, 20____

STATE OF TEXAS
COUNTY OF TRAVIS

BEFORE ME, THE UNDERSIGNED AUTHORITY PERSONALLY APPEARED ADAM B. BOENIG SWORN TO AND SUBSCRIBED BEFORE ME THIS _____ DAY OF _____, 20____

NOTARY PUBLIC, STATE OF TEXAS

ENGINEER'S CERTIFICATION

I, LAWRENCE M. HANRAHAN, P.E., AM AUTHORIZED UNDER THE LAWS OF THE STATE OF TEXAS TO PRACTICE THE PROFESSION OF ENGINEERING, AND HEREBY CERTIFY THAT THIS PLAT IS FEASIBLE FROM AN ENGINEERING STANDPOINT AND COMPLIES WITH THE ENGINEERING RELATED PORTIONS OF CHAPTER 25 OF THE AUSTIN CITY CODE OF 1996, AS AMENDED, AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE.

NO PORTION OF THIS TRACT IS WITHIN THE DESIGNATED FLOOD HAZARD AREA AS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) #18453C0265H & 48453C0455H DATED SEPTEMBER 26, 2008, FOR TRAVIS COUNTY, TEXAS.

LAWRENCE M. HANRAHAN, P.E. 58474

DATE

ENGINEERING BY:

HANRAHAN PRITCHARD ENGINEERING, INC.
8333 CROSS PARK DR. AUSTIN, TEXAS
78754 512.459.4734 512.459.4752 (FAX)

SURVEYOR'S CERTIFICATION

I, CLYDE C. CASTLEBERRY, JR., DO HEREBY CERTIFY THAT I PREPARED THIS PLAT FROM AN ACTUAL AND ACCURATE ON-THE-GROUND SURVEY OF THE LAND SHOWN HEREON, AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY PERSONAL SUPERVISION IN ACCORDANCE WITH CHAPTER 25 OF THE CITY OF AUSTIN, TEXAS LAND DEVELOPMENT CODE, AND THAT ALL KNOWN EASEMENTS WITHIN THE BOUNDARY OF THE PLAT ARE SHOWN HEREON.

DATE OF SURVEY: DECEMBER 18, 2009.

BEARING BASED GRID-NORTH TEXAS STATE PLANE COORDINATE SYSTEM CENTRAL ZONE (NAD83)

CLYDE C. CASTLEBERRY, JR.
REGISTERED PROFESSIONAL LAND SURVEYOR NO. 4835
STATE OF TEXAS

CASTLEBERRY SURVEYING, LTD.
3613 WILLIAMS DRIVE, STE. 903
GEORGETOWN, TEXAS 78628
(512) 930-1600

CITY OF AUSTIN

ACCEPTED AND AUTHORIZED FOR RECORD BY THE DIRECTOR, PLANNING & DEVELOPMENT REVIEW DEPARTMENT, CITY OF AUSTIN, COUNTY OF TRAVIS, THIS THE _____ DAY OF _____, 20____ A.D.

Greg Guernsey, Director
Planning & Development Review Department

ACCEPTED AND AUTHORIZED FOR RECORD BY THE ZONING AND PLATTING COMMISSION OF THE CITY OF AUSTIN, TEXAS, THIS THE _____ DAY OF _____, 20____

CHAIRPERSON, BETTY BAKER

SECRETARY

STATE OF TEXAS
COUNTY OF TRAVIS

I, DANA DEBEAUVOR, CLERK OF TRAVIS COUNTY, TEXAS, DO HEREBY CERTIFY THAT THE FOREGOING INSTRUMENT OF WRITING AND ITS CERTIFICATE OF AUTHENTICATION WAS FILED FOR RECORD IN MY OFFICE ON THE _____ DAY OF _____, 20____ A.D. AT _____ O'CLOCK _____ M. OF SAID COUNTY AND STATE IN DOCUMENT NUMBER _____ OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY

WITNESS MY HAND AND SEAL OF OFFICE OF THE COUNTY CLERK THIS _____ DAY OF _____, 20____ A.D.

DANA DEBEAUVOR, COUNTY CLERK, TRAVIS COUNTY, TEXAS

DEPUTY



3613 Williams Drive, Suite 903 - Georgetown, Texas 78628
(512) 930-1600 / (512) 930-8388 fax
www.castleberrysurveying.com

SHEET

2

OF 2

TaxNetUSA: Travis County Property Information

Property ID Number: 252787 Ref ID2 Number: 02460212030000

Owner's Name **WHATLEY STEPHEN RAY**

Mailing Address
% RAYBURN WHATLEY
15875 LOMITA SPRINGS DR
SAN ANTONIO, TX 78247-5609

Location
CIMA SERENA 78759

Legal
ABS 792 SUR 18 WALLACE J P ACR 6.00

Property Details

Deed Date

12221983

Deed Volume

08393

Deed Page

00857

Exemptions

Freeze Exempt

F

ARB Protest

F

Agent Code

0

Land Acres

6.0000

Block

6.0000

Tract or Lot

Docket No.

Abstract Code

Neighborhood Code

A0789

X9004

Value Information

Land Value

2010 Preliminary
1,530,000.00

Improvement Value

0.00

AG Value

0.00

AG Productivity Value

0.00

Timber Value

0.00

Timber Productivity Value

0.00

Assessed Value

1,530,000.00

10% Cap Value

0.00

Total Value

1,530,000.00

Data up to date as of 2011-01-14

AGRICULTURAL (1-D-1)

APPOINTMENT OF AGENT FORM

FREEPORT EXEMPTION

HOMESTEAD EXEMPTION FORM

PRINTER FRIENDLY REPORT

PROTEST FORM

RELIGIOUS EXEMPTION FORM

PLAT MAP

PLAT MAP

Value By Jurisdiction

Entity Code	Entity Name	2009 Tax Rate	Assessed Value	Taxable Value	Market Value	Appraised Value
0A	TRAVIS CENTRAL APP DIST		1,530,000.00	1,530,000.00	1,530,000.00	1,530,000.00
01	AUSTIN ISD	1.227000	1,530,000.00	1,530,000.00	1,530,000.00	1,530,000.00
02	CITY OF AUSTIN	0.467100	1,530,000.00	1,530,000.00	1,530,000.00	1,530,000.00
03	TRAVIS COUNTY	0.465800	1,530,000.00	1,530,000.00	1,530,000.00	1,530,000.00
2J	TRAVIS CO HEALTHCARE DIST	0.071900	1,530,000.00	1,530,000.00	1,530,000.00	1,530,000.00
68	AUSTIN COMM COLL DIST	0.095100	1,530,000.00	1,530,000.00	1,530,000.00	1,530,000.00

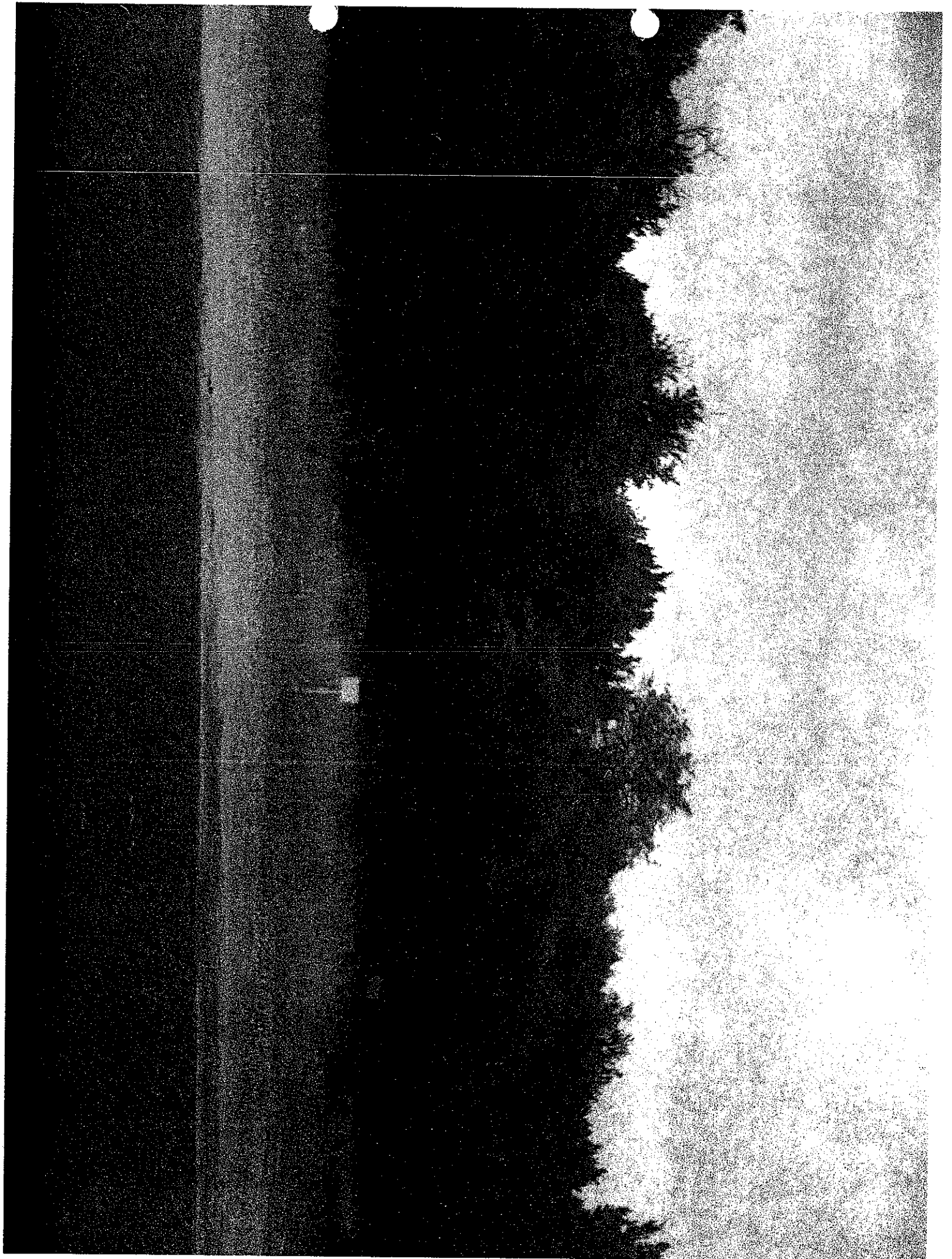
Improvement Information

Improvement ID

State Category

Description

Segment Information									
Imp ID	Seg ID	Type Code	Description	Class	Effective Year Built	Area			
Land Information									
Land ID	Type Code		SPTB Code	Homesite	Size-Acres	Front	Depth	Size-Sqft	
248448	LAND		D2	F	6.000	0	0	261,360	
show history									











Amy Cir

Tallwood Dr

Hillcrest Village

Woodbrook Cir

Summerwood

Robbie Dr

Cima Jaks

Mountainwood Cir

Hydridge Dr

Cima Serene

Oakmountain Cir

Honeysuckle Trail

Willowick Dr

Azalea Trail

Serena W

Greenslope Dr

61811

Summer Pl Dr

Claburn Dr

©2010 Google

Antanacien

Cima Se

Savoy Subdivision

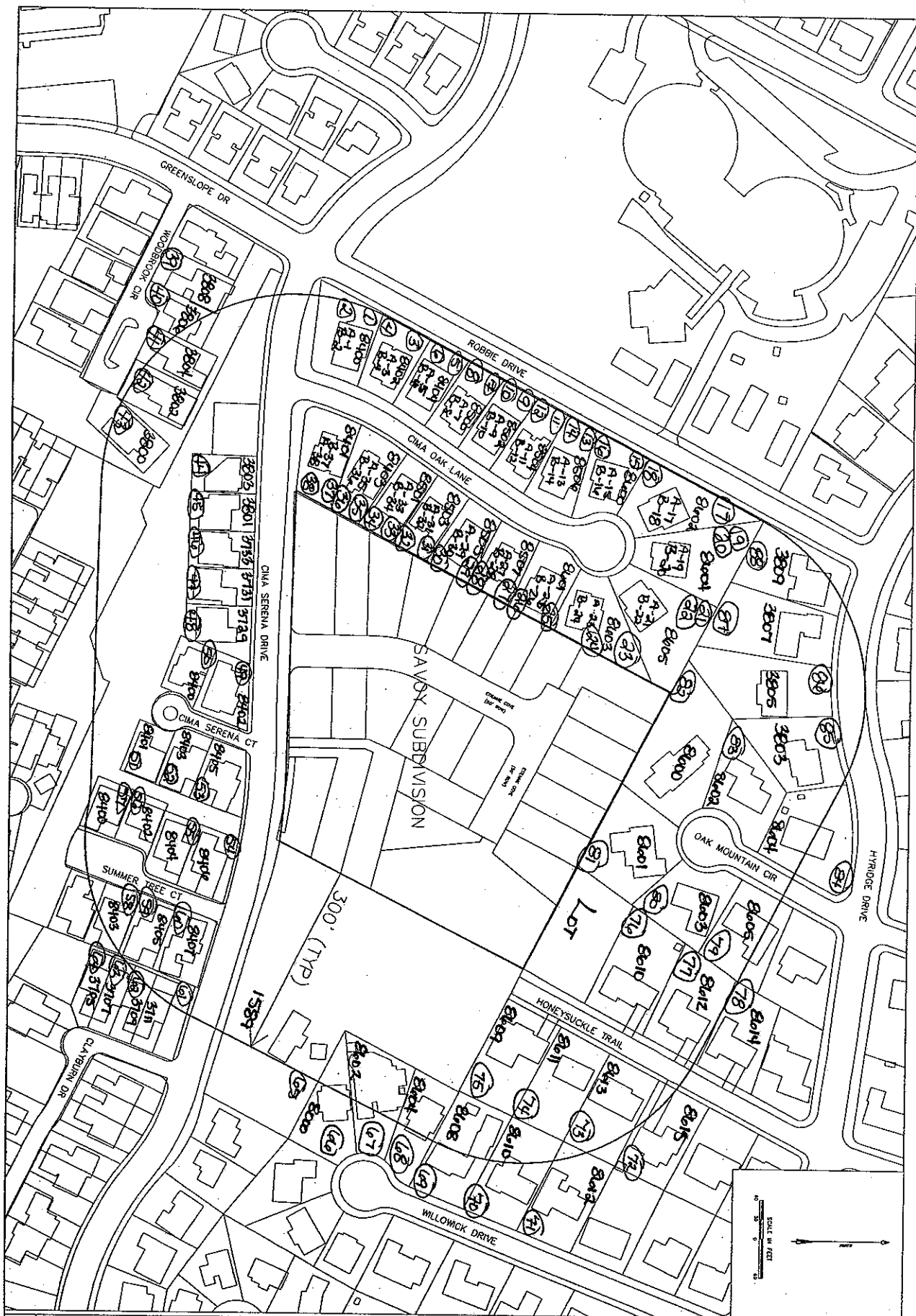
City of Austin Case # C8-2010-0035.1B

Properties Within 300' FAR Chart

Subject	Home Address	Home Size S.F. Per TCAD	Allow for 450 S.F. Garage	Deduct 200 S.F. of garage per RDCC	Total Home Size S.F.	Home Type	Lot Size S.F.(Per TCAD)	% FAR
1	8400 A1 Cima Oak Ln.	1,248	450	200	1,498	Attached Condo	1,175	127%
2	8400 B2 Cima Oak Ln.	1,506	450	200	1,756	Attached Condo	1,422	123%
3	8402 A3 Cima Oak Ln.	1,251	450	200	1,501	Attached Condo	1,557	96%
4	8402 B4 Cima Oak Ln.	1,458	450	200	1,708	Attached Condo	1,373	124%
5	8404 C5 Cima Oak Ln.	1,248	450	200	1,498	Attached Condo	1,175	127%
6	8404 B6 Cima Oak Ln.	1,506	450	200	1,756	Attached Condo	1,422	123%
7	8500 A7 Cima Oak Ln.	1,251	450	200	1,501	Attached Condo	1,160	129%
8	8500 B8 Cima Oak Ln.	1,458	450	200	1,708	Attached Condo	1,373	124%
9	8502 9 Cima Oak Ln.	1,248	450	200	1,498	Attached Condo	1,175	127%
10	8502 B10 Cima Oak Ln.	1,506	450	200	1,756	Attached Condo	1,422	123%
11	8504 A11 Cima Oak Ln.	1,251	450	200	1,501	Attached Condo	1,180	127%
12	8504 A12 Cima Oak Ln.	931	450	200	1,181	Attached Condo	880	134%
13	8506 A13 Cima Oak Ln.	1,248	450	200	1,498	Attached Condo	1,175	127%
14	8506 B14 Cima Oak Ln.	1,506	450	200	1,756	Attached Condo	1,422	123%
15	8600 A15 Cima Oak Ln.	1,458	450	200	1,708	Attached Condo	1,373	124%
16	8600 B16 Cima Oak Ln.	1,251	450	200	1,501	Attached Condo	1,180	127%
17	8602 A17 Cima Oak Ln.	1,248	450	200	1,498	Attached Condo	1,175	127%
18	8602 B18 Cima Oak Ln.	1,506	450	200	1,756	Attached Condo	1,422	123%
19	8604 A19 Cima Oak Ln.	1,458	450	200	1,708	Attached Condo	1,373	124%
20	8604 B20 Cima Oak Ln.	1,251	450	200	1,501	Attached Condo	1,180	127%
21	8605 A21 Cima Oak Ln.	1,248	450	200	1,498	Attached Condo	1,175	127%
22	8605 B22 Cima Oak Ln.	1,506	450	200	1,756	Attached Condo	1,422	123%
23	8603 A23 Cima Oak Ln.	1,251	450	200	1,501	Attached Condo	1,180	127%
24	8603 B24 Cima Oak Ln.	1,458	450	200	1,708	Attached Condo	1,373	124%
25	8601 A25 Cima Oak Ln.	1,248	450	200	1,498	Attached Condo	1,175	127%
26	8601 B26 Cima Oak Ln.	1,506	450	200	1,756	Attached Condo	1,422	123%
27	8507 A27 Cima Oak Ln.	1,251	450	200	1,501	Attached Condo	1,180	127%
28	8507 B28 Cima Oak Ln.	1,458	450	200	1,708	Attached Condo	1,373	124%
29	8505 A29 Cima Oak Ln.	1,248	450	200	1,498	Attached Condo	1,175	127%
30	8505 B30 Cima Oak Ln.	1,506	450	200	1,756	Attached Condo	1,432	123%
31	8503 A31 Cima Oak Ln.	1,251	450	200	1,501	Attached Condo	1,180	127%
32	8503 B32 Cima Oak Ln.	1,450	450	200	1,700	Attached Condo	1,373	124%
33	8501 A33 Cima Oak Ln.	1,248	450	200	1,498	Attached Condo	1,175	127%
34	8501 B34 Cima Oak Ln.	1,506	450	200	1,756	Attached Condo	1,422	123%
35	8403 A35 Cima Oak Ln.	1,301	450	200	1,551	Attached Condo	1,228	126%
36	8403 B36 Cima Oak Ln.	931	450	200	1,181	Attached Condo	880	134%
37	8401 B37 Cima Oak Ln.	1,251	450	200	1,501	Attached Condo	1,180	127%
38	8401 A38 Cima Oak Ln.	1,458	450	200	1,708	Attached Condo	1,373	124%

Subject	Home Address	Home Size S.F. Per TCAD	Allow for 450 S.F. Garage	Deduct 200 S.F. of garage per RDCC	Total Home Size S.F.	Home Type	Lot Size S.F.(Per TCAD)	% FAR
39	3808 Woodbrook Cir.	2,106	450	200	2,356	Single Family	3,808	62%
40	3806 Woddbrook Cir.	2,497	450	200	2,747	Single Family	5,900	47%
41	3804 Woodbrook Cir.	2,099	450	200	2,349	Single Family	6,512	36%
42	3802 Woodbrook Cir.	3,114	450	200	3,364	Single Family	7,210	47%
43	3800 Woodbrook Cir.	2,712	450	200	2,962	Single Family	7,386	40%
44	3803 Cima Serena Dr.	2,055	450	200	2,305	Single Family	5,772	40%
45	3801 Cima Serena Dr.	2,603	450	200	2,853	Single Family	5,826	49%
46	3733 Cima Serena Dr.	1,795	450	200	2,045	Single Family	5,727	36%
47	3731 Cima Serena Dr.	1,798	450	200	2,048	Single Family	5,759	36%
48	3729 Cima Serena Dr.	1,793	450	200	2,043	Single Family	7,037	29%
49	8402 Cima Serena Ct.	2,287	450	200	2,537	Single Family	7,261	35%
50	8400 Cima Serena Ct.	1,802	450	200	2,052	Single Family	5,045	41%
51	8401 Cima Serena Ct.	1,769	450	200	2,019	Single Family	4,899	41%
52	8403 Cima Serena Ct.	1,810	450	200	2,060	Single Family	5,688	36%
53	8405 Cima Serena Ct.	2,047	450	200	2,297	Single Family	7,109	32%
54	8406 Summer Tree Ct.	2,092	450	200	2,342	Single Family	6,994	33%
55	8404 Summer Tree Ct.	1,998	450	200	2,248	Single Family	5,727	39%
56	8402 Summer Tree Ct.	1,878	450	200	2,128	Single Family	4,705	45%
57	8400 Summer Tree Ct.	1,879	450	200	2,129	Single Family	4,706	45%
58	8403 Summer Tree Ct.	2,005	450	200	2,255	Single Family	5,801	39%
59	8405 Summer Tree Ct.	2,133	450	200	2,383	Single Family	6,061	39%
60	8407 Summer Tree Ct.	2,019	450	200	2,269	Single Family	7,360	31%
61	3711 Claburn Dr.	1,439	450	200	1,689	SF Attached	4,140	41%
62	3709 Claburn Dr.	1,396	450	200	1,646	SF Attached	4,025	41%
63	3707 Claburn Dr.	1,489	450	200	1,739	SF Attached	4,025	43%
64	3705 Claburn Dr.	2,048	450	200	2,298	SF Attached	3,900	59%
65	1589 Cima Serena Dr.	1,589	450	200	1,839	Single Family	82,328	2%
66	8600 Willowick Dr.	2,864	450	200	3,114	Single Family	10,212	30%
67	8602 Willowick Dr.	3,376	450	200	3,626	Single Family	13,820	26%
68	8604 Willowick Dr.	2,864	450	200	3,114	Single Family	10,082	31%
69	8608 Willowick Dr.	3,879	450	200	4,129	Single Family	14,824	28%
70	8610 Willowick Dr.	2,669	450	200	2,919	Single Family	13,902	21%
71	8612 Willowick Dr.	2,091	450	200	2,341	Single Family	13,463	17%
72	8615 Honeysuckle Tr.	1,623	450	200	1,873	Single Family	12,744	15%
73	8613 Honeysuckle Tr.	1,760	450	200	2,010	Single Family	13,226	15%
74	8611 Honeysuckle Tr.	2,684	450	200	2,934	Single Family	13,562	22%
75	8609 Honeysuckle Tr.	2,257	450	200	2,507	Single Family	14,715	17%
76	8610 Honeysuckle Tr.	1,986	450	200	2,236	Single Family	16,051	14%
77	8612 Honeysuckle Tr.	2,573	450	200	2,823	Single Family	14,085	20%
78	8614 Honeysuckle Tr.	1,996	450	200	2,246	Single Family	12,436	18%
79	8605 Oak Mountain Cir.	2,397	450	200	2,647	Single Family	13,785	19%

Subject	Home Address	Home Size S.F. (Per TCAD)	Allow for 450 S.F. Garage	Deduct 200 S.F. of garage per RDCC	Total Home Size S.F.	Home Type	Lot Size S.F.(Per TCAD)	% FAR
80	8603 Oak Mountain Cir.	2,302	450	200	2,552	Single Family	12,427	21%
81	8601 Oak Mountain Cir.	2,693	450	200	2,943	Single Family	16,784	18%
82	8600 Oak Mountain Cir.	2,731	450	200	2,981	Single Family	22,884	13%
83	8602 Oak Mountain Cir.	3,359	450	200	3,609	Single Family	12,990	28%
84	8604 Oak Mountain Cir.	2,416	450	200	2,666	Single Family	17,183	16%
85	3803 Hyridge Dr.	2,362	450	200	2,612	Single Family	13,773	19%
86	3805 Hyridge Dr.	2,085	450	200	2,335	Single Family	18,038	13%
87	3807 Hyridge Dr.	2,244	450	200	2,494	Single Family	17,821	14%
88	3809 Hyridge Dr.	1,888	450	200	2,138	Single Family	15,032	14%



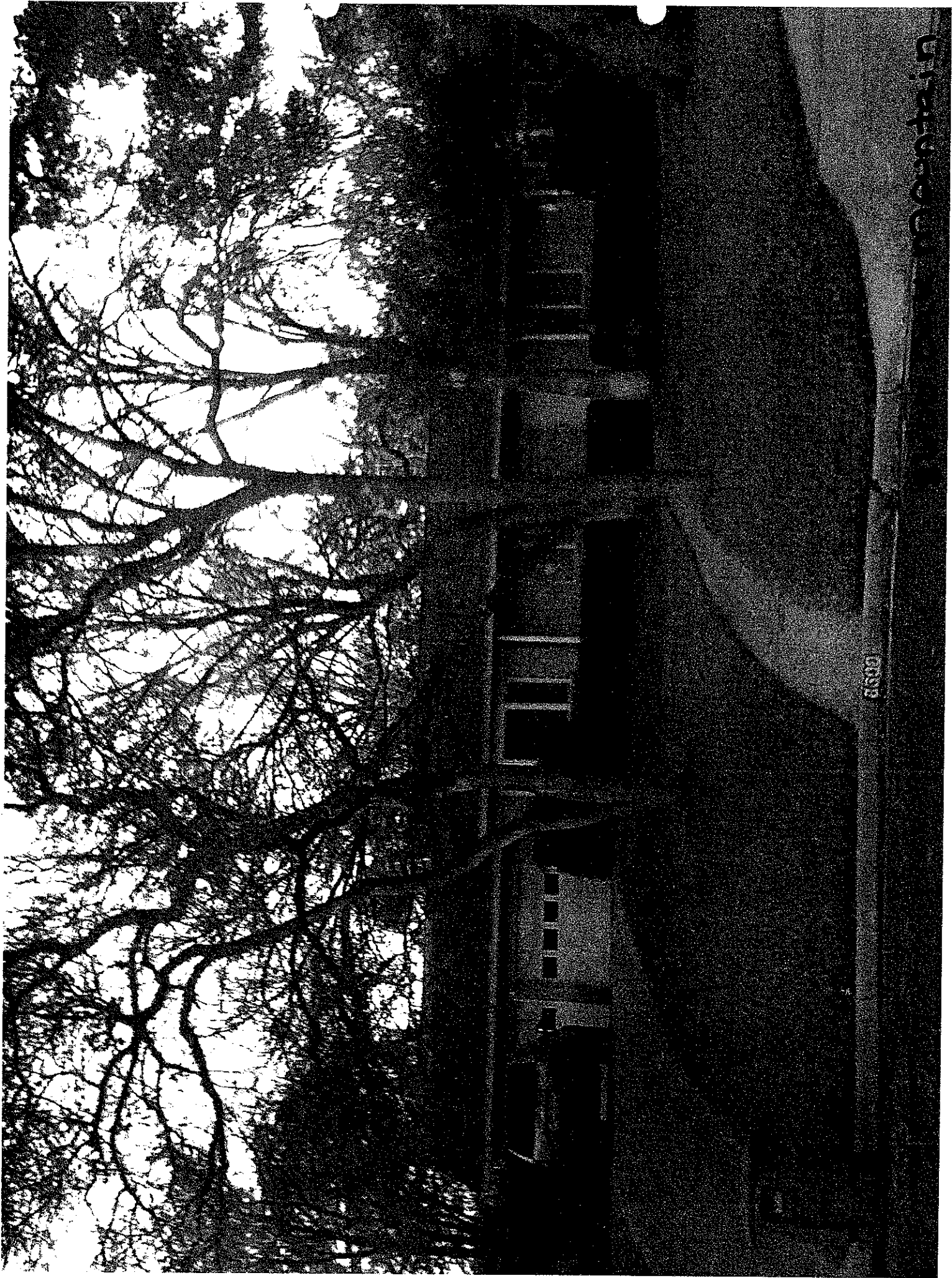
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Job No: 207-01	Scale: 1/4" = 1'-0"
Date: 06/28/11	Checked By: LMT (Drawn By: LMT)
Revision 1:	
Revision 2:	
Revision 3:	
Revision 4:	

SAVOY SUBDIVISION
PROPERTIES WITHIN 300 FEET
AUSTIN, TEXAS

HANRAHAN • PRITCHARD ENGINEERING, INC.
CONSULTING ENGINEERS
(TX PE FIRM REG. #440)
8000 Crane Park Drive
AUSTIN, TEXAS 78754
OFFICE 512.458.4724 FAX 512.458.4752
hpe@hpe-eng.com

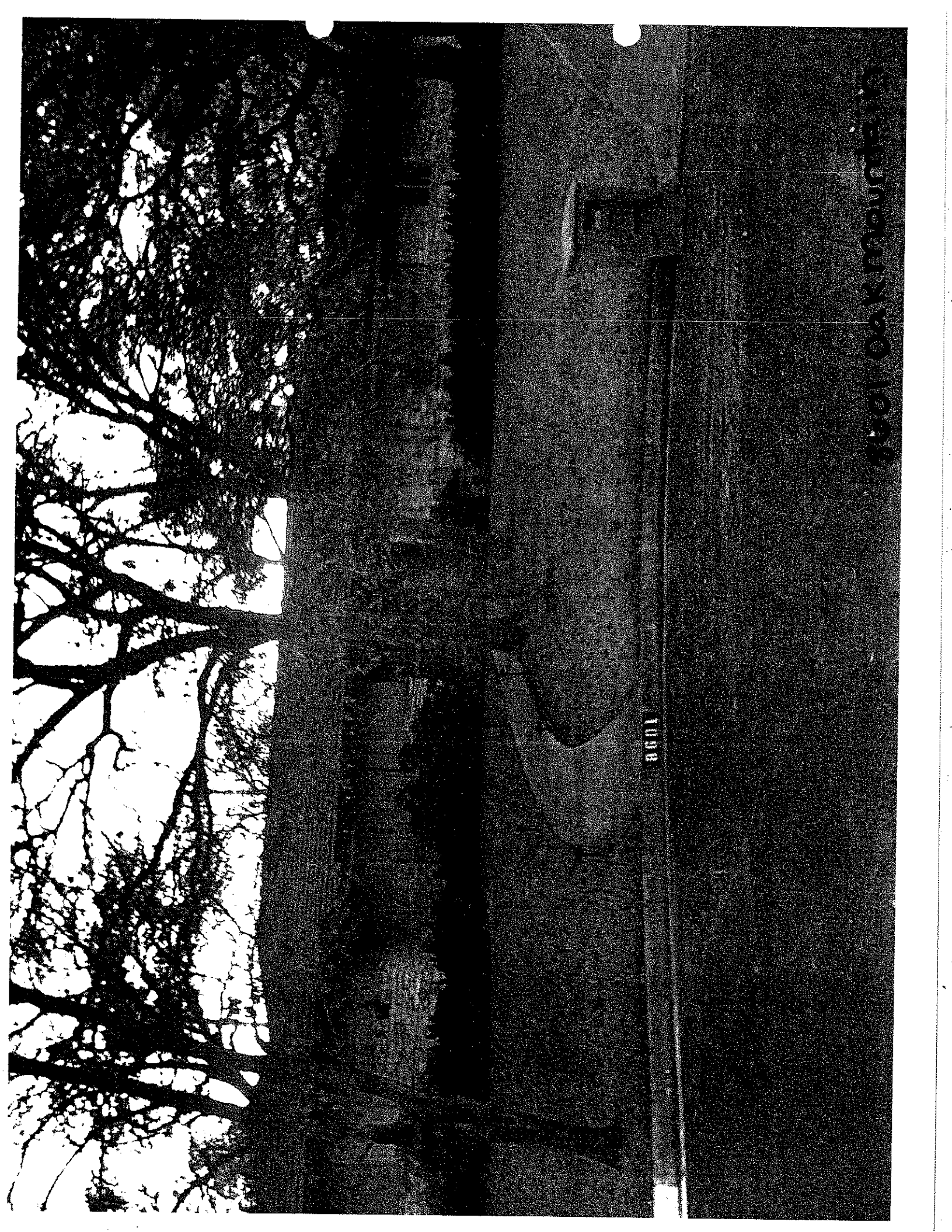
HPE

SHEET
01 OF 01



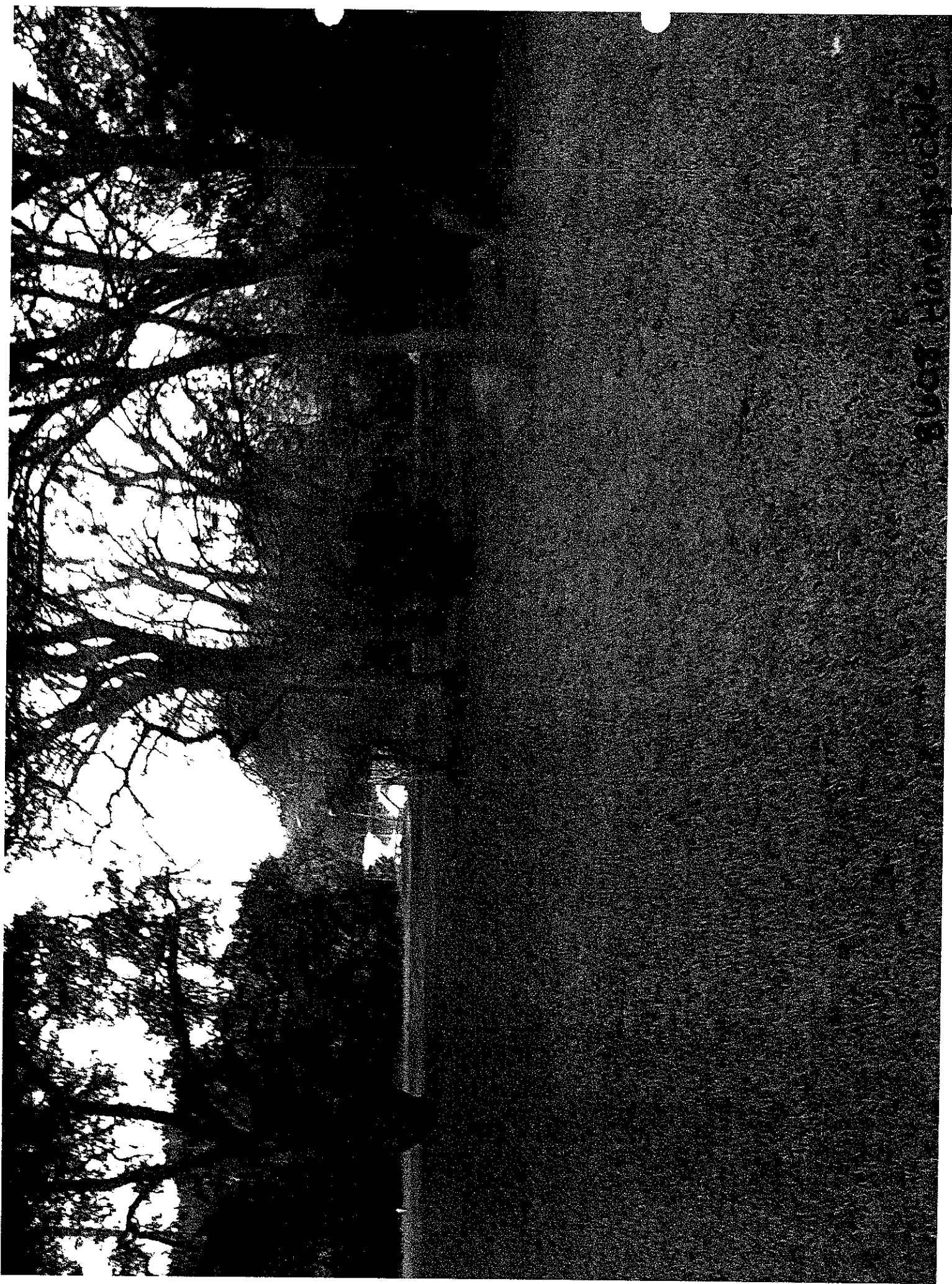
Mountain

1930

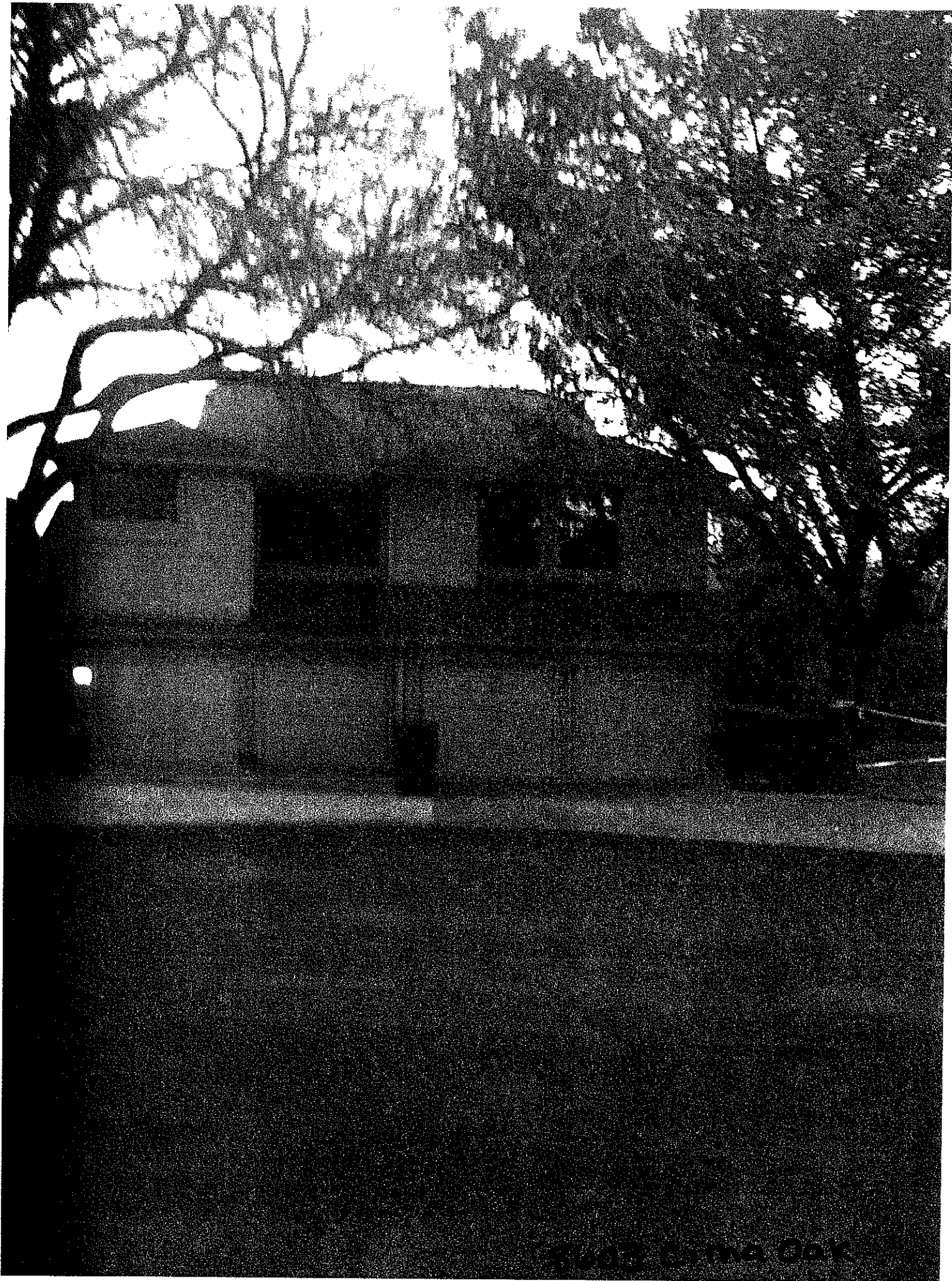


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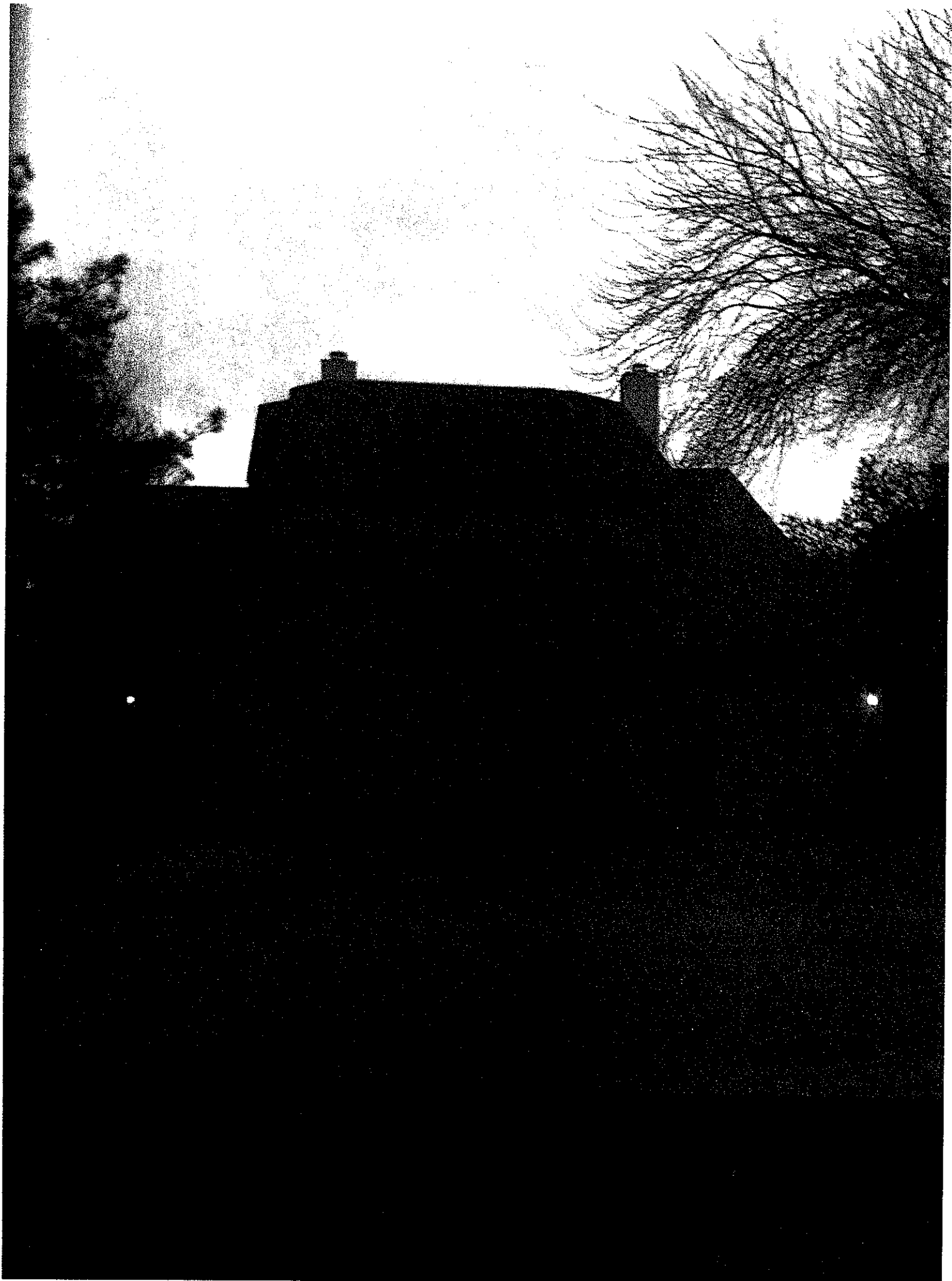
8601

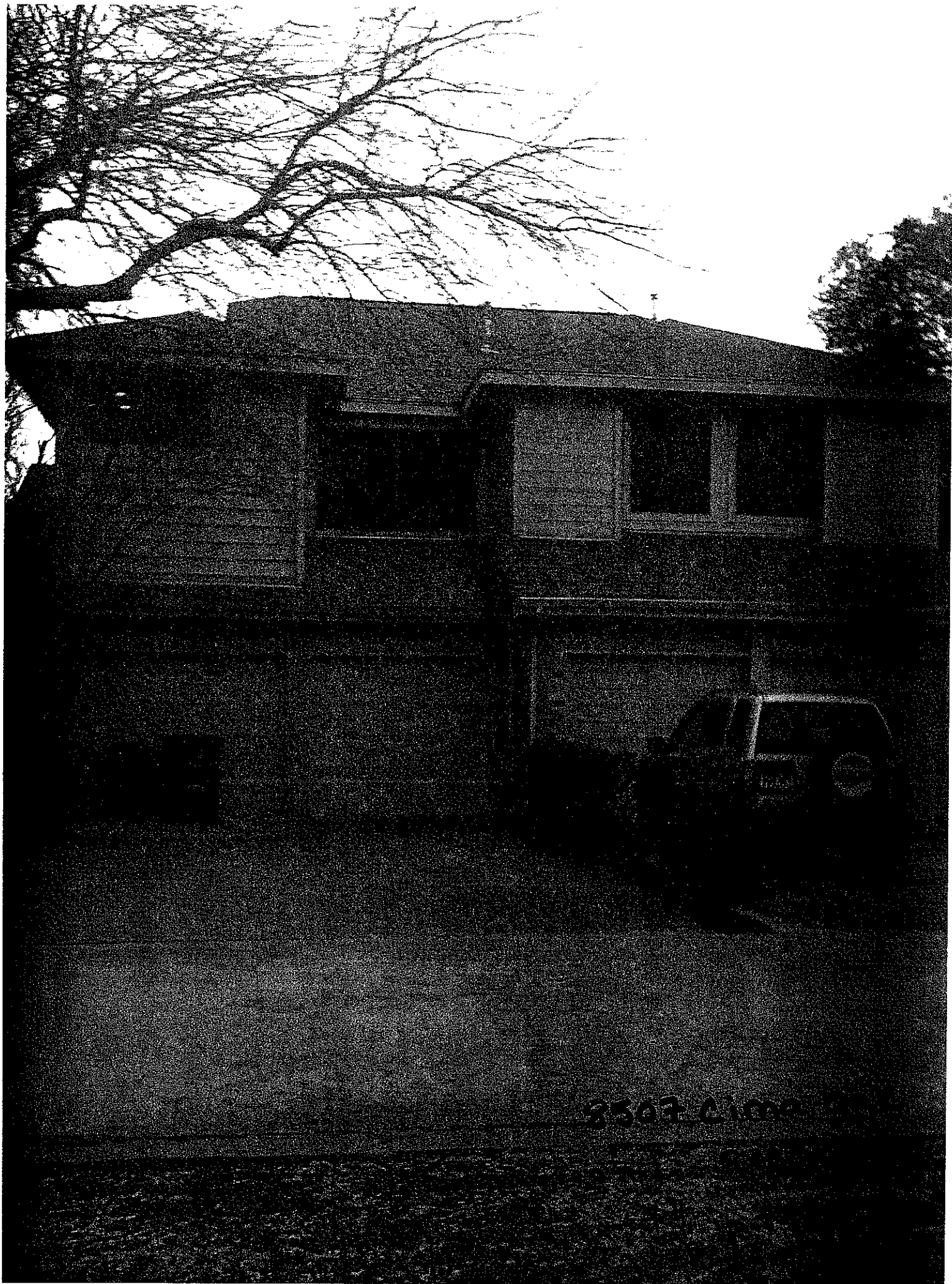


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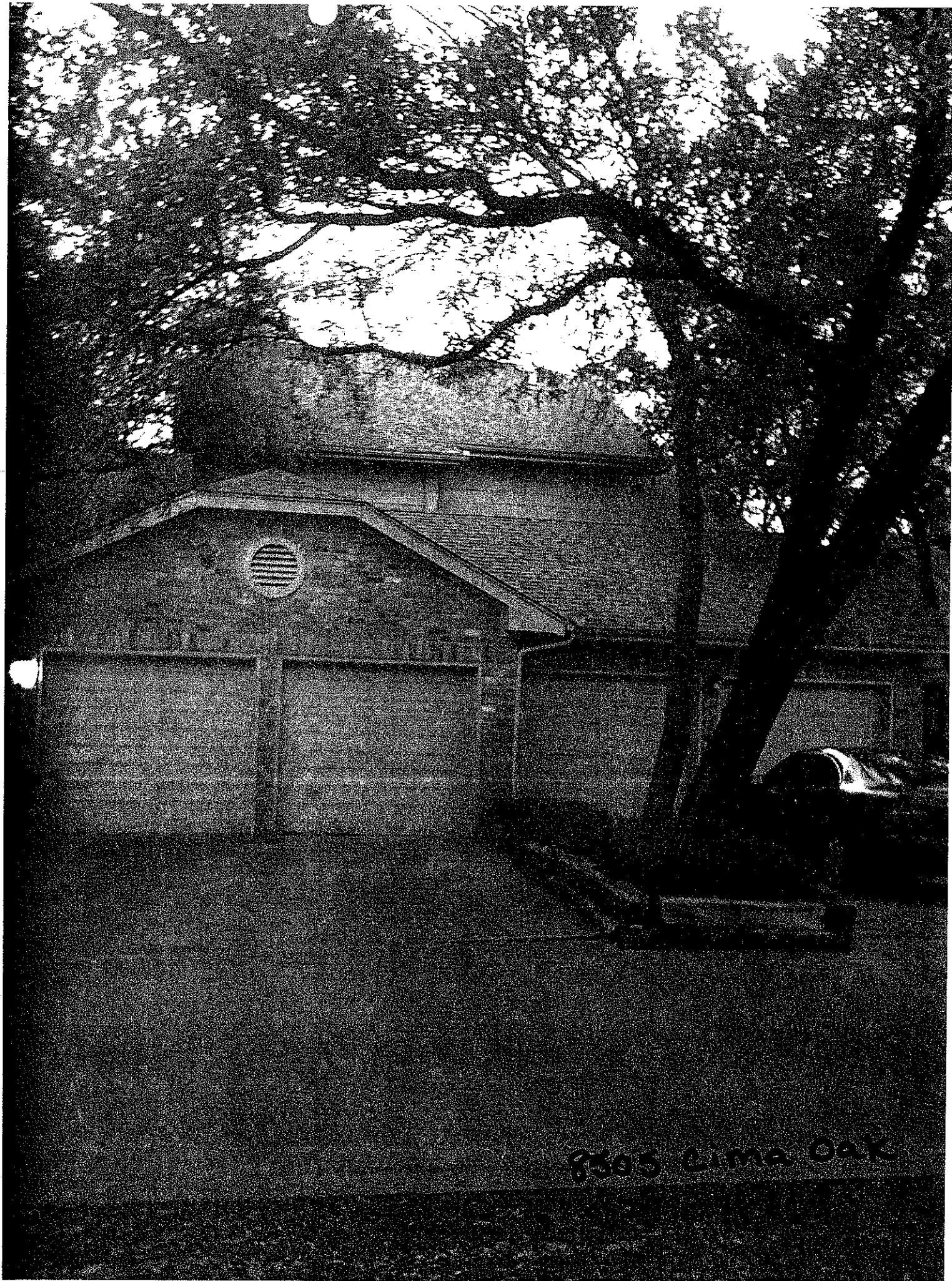


3403 China Oak

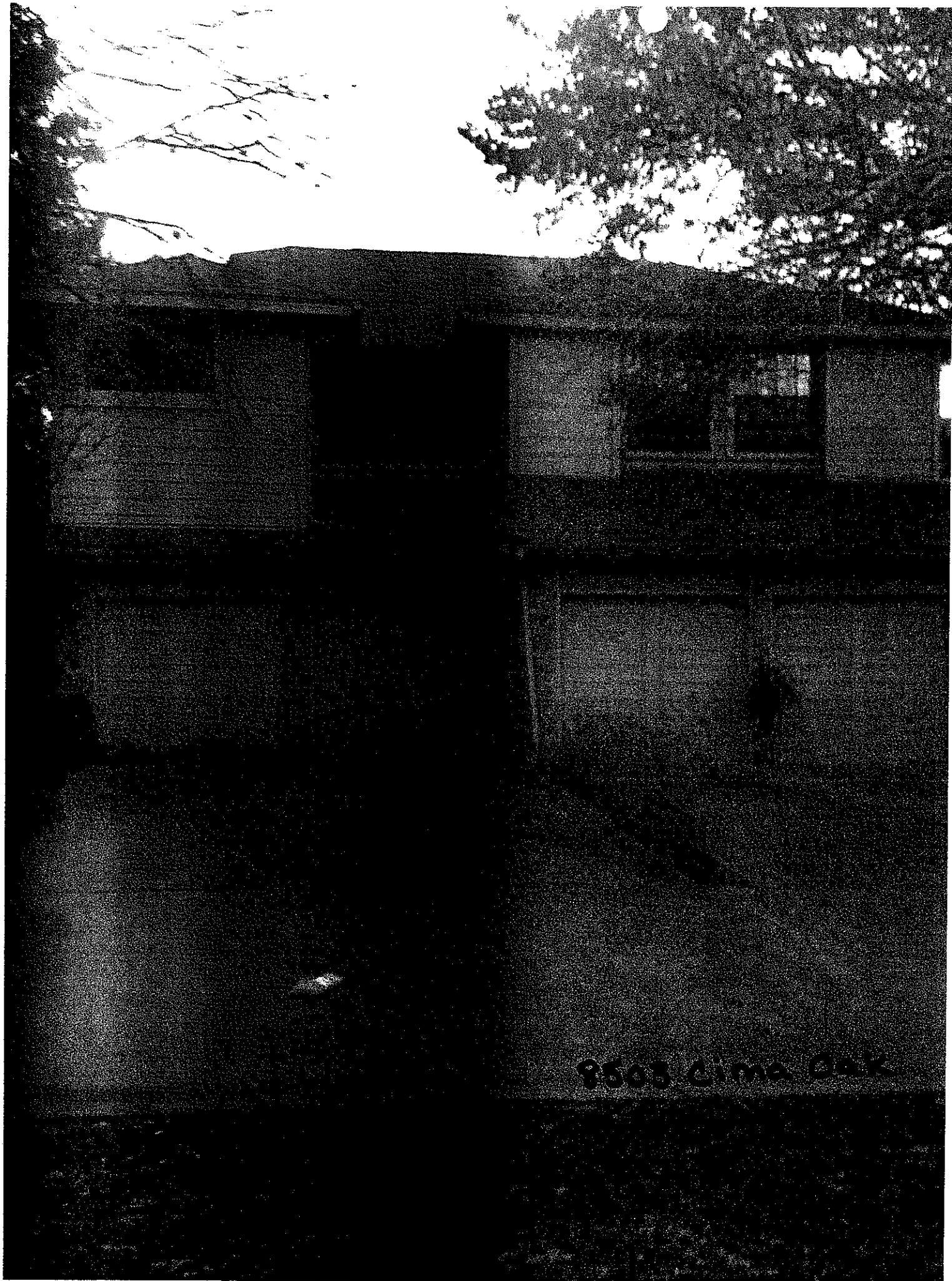




8507 CAMP



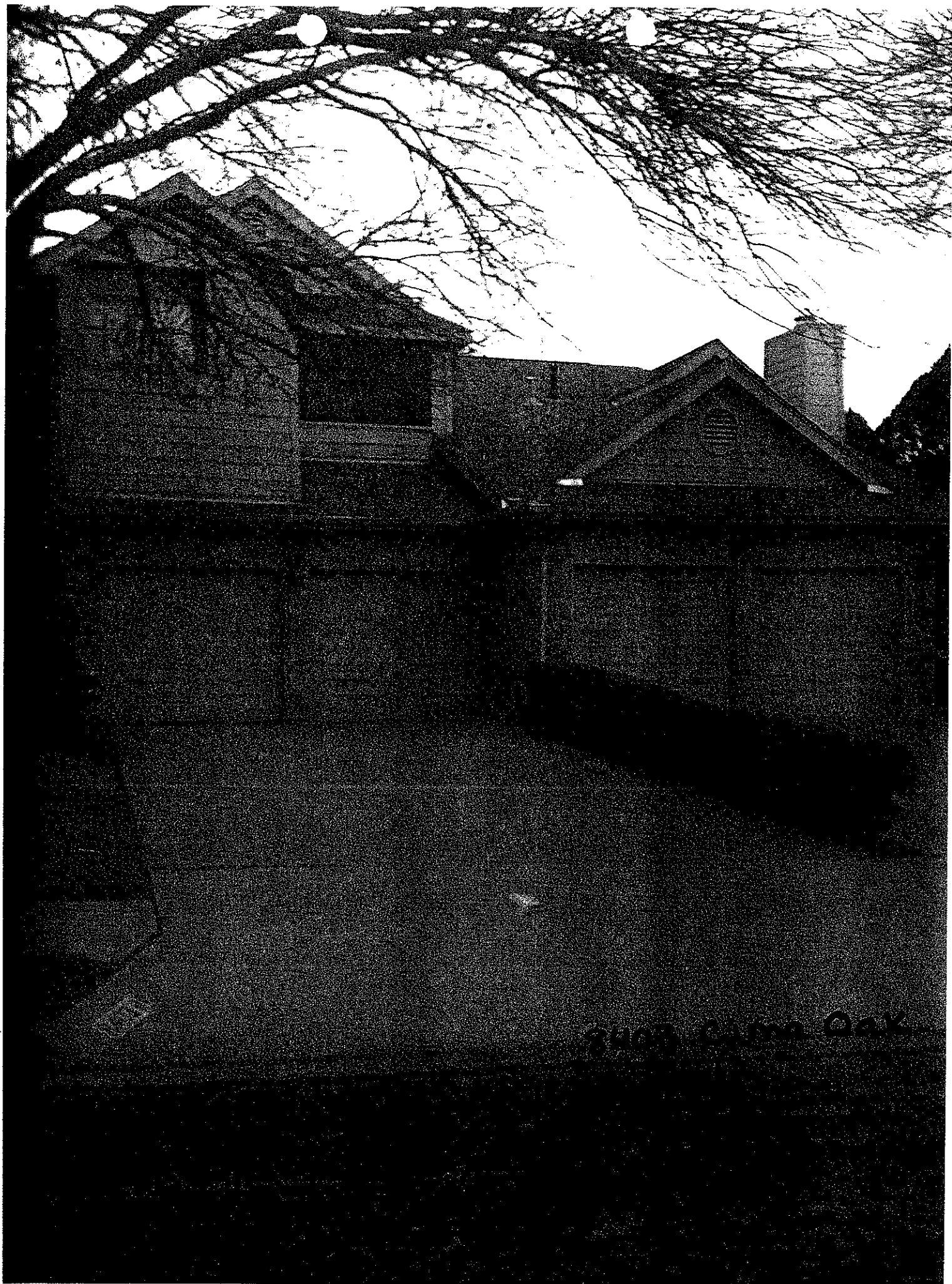
8305 Lima Oak



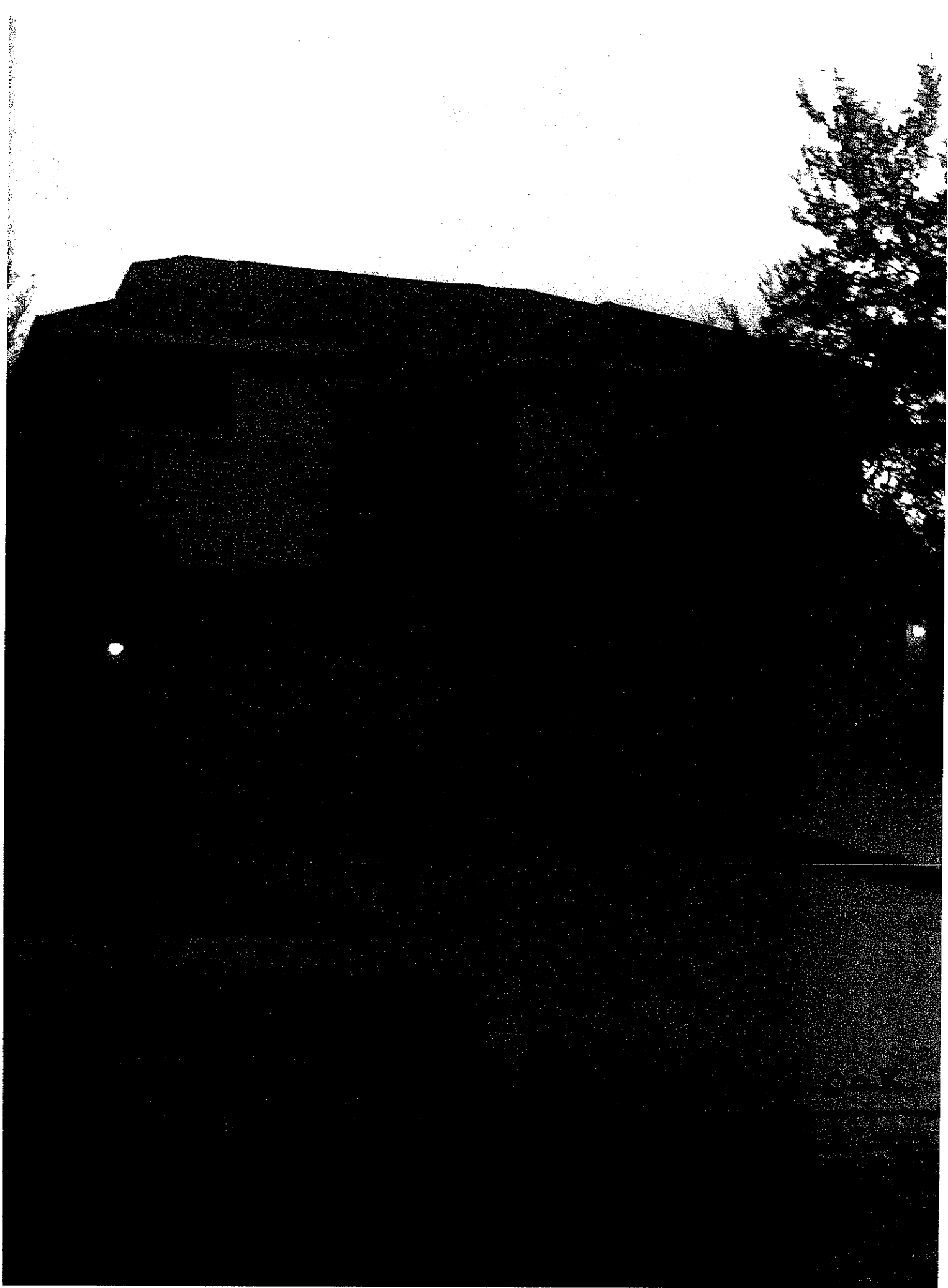
8503 Lima Oak



8501



2405 Lima Oak



TaxNetUSA: Travis County Property Information

Property ID Number: 252740 Ref ID2 Number: 024602060000

Owner's Name

SEDBERRY THOMAS F

Mailing Address

8600 OAKMOUNTAIN CIR
AUSTIN, TX 78759-7527

Location

8600 OAKMOUNTAIN CIR 78759

Legal

LOT 10 BLK H WESTOVER HILLS SEC 2

Property Details

Deed Date

09291969

Deed Volume

03756

Deed Page

00219

Exemptions

HS, OA

Freeze Exempt

F

ARB Protest

F

Agent Code

O

Land Acres

0.5253

Block

H

Tract or Lot

10

Docket No.

S15235

Abstract Code

X9000

Neighborhood Code

Value Information

Land Value

220,000.00

Improvement Value

183,361.00

AG Value

0.00

AG Productivity Value

0.00

Timber Value

0.00

Timber Productivity Value

0.00

Assessed Value

403,361.00

10% Cap Value

0.00

Total Value

403,361.00

Data up to date as of 2011-01-14

➤ AGRICULTURAL (1-D-1)

➤ APPOINTMENT OF AGENT FORM

➤ FIREPROOF EXEMPTION

➤ HOMESTEAD EXEMPTION FORM

➤ PRINTER FRIENDLY REPORT

➤ PROTEST FORM

➤ RELIGIOUS EXEMPTION FORM

(TIFF)

➤ PLAT MAP

(PDF)

➤ PLAT MAP

Value By Jurisdiction

Entity Code	Entity Name	2009 Tax Rate	Assessed Value	Taxable Value	Market Value	Appraised Value
0A	TRAVIS CENTRAL APP DIST		403,361.00	403,361.00	403,361.00	403,361.00
01	AUSTIN ISD	1.227000	403,361.00	353,361.00	403,361.00	403,361.00
02	CITY OF AUSTIN	0.457100	403,361.00	352,361.00	403,361.00	403,361.00
03	TRAVIS COUNTY	0.465800	403,361.00	257,689.00	403,361.00	403,361.00
2J	TRAVIS CO HEALTHCARE DIST	0.071900	403,361.00	257,689.00	403,361.00	403,361.00
68	AUSTIN COMM COLL DIST	0.095100	403,361.00	283,361.00	403,361.00	403,361.00

Improvement Information

Improvement ID

State Category

Description

211700

A1

1 FAM DWELLING

Segment Information

Imp ID	Seg ID	Type Code	Description	Class	Effective Year Built	Area
211700	246511	1ST	1st Floor	WV5-	1967	2,731
211700	1063935	011	PORCH OPEN 1ST F	*5-	1967	336
211700	1063936	011	PORCH OPEN 1ST F	*5-	1967	136
211700	1063937	041	GARAGE ATT 1ST F	WV5-	1967	561
211700	1063938	095	HVAC RESIDENTIAL	**	1967	2,731
211700	1063939	251	BATHROOM	**	1967	2
211700	1063940	320	OBS DRIVEWAY	SDC*	1967	1
211700	1063941	522	FIREPLACE	*5-	1967	1
211700	1063942	531	OBS FENCE	WAA*	1967	1

Total Living Area 2,731

Land Information

Land ID	Type Code	SPTB Code	Homesite	Size-Acres	Front	Depth	Size-Sqft
246401	LAND	A1	T	0.525	0	0	22,884

Show History

TaxNetUSA: Travis County Property Information

Property ID Number: 252741 Ref ID2 Number: 02460206070000

Owner's Name **TJEPEKEMA CHRIS & TAMARA YANNOY**Mailing Address
8601 OAKMOUNTAIN CIR
AUSTIN, TX 78759-7527Location
8601 OAKMOUNTAIN CIR 78759Legal
LOT 9 BLK H WESTOVER HILLS SEC 2

Property Details

10251991

11552

01276

HS

F

F

0

0.3853

H

9

Value Information

2010 Preliminary

Land Value 210,000.00 Block

Improvement Value 176,614.00 Tract or Lot

AG Value 0.00 Docket No.

AG Productivity Value 0.00 Abstract Code

Timber Value 0.00 Neighborhood Code

Timber Productivity Value 0.00

Assessed Value 386,614.00

10% Cap Value 0.00

Total Value 386,614.00

Data up to date as of 2011-01-14

AGRICULTURAL (1-D-1)

APPOINTMENT OF AGENT FORM

FREEPORT EXEMPTION

HOMESTEAD EXEMPTION FORM

PRINTER FRIENDLY REPORT

PROTEST FORM

RELIGIOUS EXEMPTION FORM

(TIFF) PLAT MAP

(PDF) PLAT MAP

Value By Jurisdiction

Entity Code	Entity Name	2009 Tax Rate	Assessed Value	Taxable Value	Market Value	Appraised Value
0A	TRAVIS CENTRAL APP DIST		386,614.00	386,614.00	386,614.00	386,614.00
01	AUSTIN ISD	1.227000	386,614.00	371,614.00	386,614.00	386,614.00
02	CITY OF AUSTIN	0.457100	386,614.00	386,614.00	386,614.00	386,614.00
03	TRAVIS COUNTY	0.465800	386,614.00	309,291.00	386,614.00	386,614.00
2J	TRAVIS CO HEALTHCARE DIST	0.071900	386,614.00	309,291.00	386,614.00	386,614.00
68	AUSTIN COMM COLL DIST	0.095100	386,614.00	381,614.00	386,614.00	386,614.00

Improvement Information

Improvement ID

State Category

Description

211701

A1

1 FAM DWELLING

Segment Information

Imp ID	Seg ID	Type Code	Description	Class	Effective Year Built	Area
211701	246512	1ST	1st Floor	WM5-	1965	2,693
211701	1063943	011	PORCH OPEN 1ST F	*S-	1965	36
211701	1063944	061	CARPORT ATT 1ST	*S-	1965	704
211701	1063945	095	HVAC RESIDENTIAL	**	1965	2,693
211701	1063946	251	BATHROOM	**	1965	3
211701	1063947	320	OBS DRIVEWAY	LSA*	1965	1
211701	1063948	522	FIREPLACE	*S-	1965	1
211701	1063949	581	STORAGE ATT	WM4-	1965	114
211701	1063950	591	MASONRY TRIM SF	AVG*	1965	950
211701	1063951	612	TERRACE UNCOVERD	*S-	1965	143

Total Living Area 2,693

Land Information

Land ID	Type Code	SPTB Code	Homesite	Size-Acres	Front	Depth	Size-Sqft
248402	LAND	A1	T	0.385	0	0	16,784

[show history](#)

TaxNetUSA: Travis County Property Information

Property ID Number: 252749 Ref ID2 Number: 02460206150000

Owner's Name **DUNIGAN TERENCE J**

Mailing Address
PO BOX 26598
AUSTIN, TX 78755-0598

Location
8608 HONEYSUCKLE TRL 78749

Legal
LOT 1 BLK H WESTOVER HILLS SEC 1

Property Details

Deed Date 03031986
Deed Volume 08593
Deed Page 00369
Exemptions
Freeze Exempt
ARB Protest
Agent Code
Land Acres
Block
Tract or Lot
Docket No.
Abstract Code
Neighborhood Code

Value Information

2010 Preliminary

Land Value 210,000.00
Improvement Value 0.00
AG Value 0.00
AG Productivity Value 0.00
Timber Value 0.00
Timber Productivity Value 0.00
Assessed Value 210,000.00
10% Cap Value 0.00
Total Value 210,000.00

Data up to date as of 2011-01-14

AGRICULTURAL (1-D-1)

APPOINTMENT OF AGENT FORM

FREEPORT EXEMPTION

HOMESTEAD EXEMPTION FORM

PRINTER FRIENDLY REPORT

PROTEST FORM

RELIGIOUS EXEMPTION FORM

(TIFF) [PLAT MAP](#)(PDF) [PLAT MAP](#)

Value By Jurisdiction

Entity Code	Entity Name	2009 Tax Rate	Assessed Value	Taxable Value	Market Value	Appraised Value
0A	TRAVIS CENTRAL APP DIST		210,000.00	210,000.00	210,000.00	210,000.00
01	AUSTIN ISD	1.227000	210,000.00	210,000.00	210,000.00	210,000.00
02	CITY OF AUSTIN	0.457100	210,000.00	210,000.00	210,000.00	210,000.00
03	TRAVIS COUNTY	0.465800	210,000.00	210,000.00	210,000.00	210,000.00
2J	TRAVIS CO HEALTHCARE DIST	0.071900	210,000.00	210,000.00	210,000.00	210,000.00
68	AUSTIN COMM COLL DIST	0.095100	210,000.00	210,000.00	210,000.00	210,000.00

Improvement Information

Improvement ID State Category Description

Segment Information									
Imp ID	Seg ID	Type Code	Description	Class	Effective Year Built		Area		
							Total Living Area	0	
Land Information									
Land ID	Type Code	SPTB Code	Homesite	Size-Acres	Front	Depth	Size-Sqft		
248410	LAND	C1	F	0.423	0	0	18,421		
Show History									

TaxNetUSA: Travis County Property Information

Property ID Number: 547403 Ref ID2 Number: 02450007240000

Owner's Name JURCAK-COTTON KIMBERLY ANN

Property Details

Mailing Address
UNIT B-23
8603 CIMA OAK LN
AUSTIN, TX 78759-8262

09152006

Location
8603 CIMA OAK LN B-23 78759

Legal
UNIT 23 BLD M CIMA OAKS CONDOMINIUM PHS II PLUS 2.46% INT IN COMMON
AREA (AKA 8603 B)

Deed Date

Deed Volume

Deed Page

Exemptions

Freeze Exempt

ARB Protest

Agent Code

Land Acres

Block

Tract or Lot

Docket No.

Abstract Code

Neighborhood Code

2010 Preliminary

Land Value 106,181.00
Improvement Value 95,373.00
AG Value 0.00
AG Productivity Value 0.00
Timber Value 0.00
Timber Productivity Value 0.00
Assessed Value 201,554.00
10% Cap Value 0.00
Total Value 201,554.00

2006180957TR

C00177

X651L

Data up to date as of 2011-01-14

AGRICULTURAL (1-D-1)

APPOINTMENT OF AGENT FORM

FREEDOM EXEMPTION

HOMESTEAD EXEMPTION FORM

PRINTER FRIENDLY REPORT

PROTEST FORM

RELIGIOUS EXEMPTION FORM

(TIF)

PLAY MAP

(PDF)

PLAY MAP

Value By Jurisdiction

Entity Code	Entity Name	2009 Tax Rate	Assessed Value	Taxable Value	Market Value	Appraised Value
0A	TRAVIS CENTRAL APP DIST		201,554.00	201,554.00	201,554.00	201,554.00
01	AUSTIN ISD	1.227000	201,554.00	201,554.00	201,554.00	201,554.00
02	CITY OF AUSTIN	0.457100	201,554.00	201,554.00	201,554.00	201,554.00
03	TRAVIS COUNTY	0.465800	201,554.00	201,554.00	201,554.00	201,554.00
2J	TRAVIS CO HEALTHCARE DIST	0.071900	201,554.00	201,554.00	201,554.00	201,554.00
68	AUSTIN COMM COLL DIST	0.095100	201,554.00	201,554.00	201,554.00	201,554.00

Improvement Information

Improvement ID		State Category		Description		
404431		A4		CONDO (STACKED)		
Segment Information						
Imp ID	404431	Seg ID	2534496	Type Code	1ST	Description
						1st Floor
						Class
						WM4
						Effective Year Built
						1984
						Area
						1,261
						Total Living Area 1,251
Land Information						
Land ID	448963	Type Code	LAND	SPTB Code	A4	Homesite
						T
						Size-Acres
						0.027
						Front
						0
						Depth
						0
						Size-Sqft
						1,180

[show history](#)

TaxNetUSA: Travis County Property Information

Property ID Number: 547404 RefID2 Number: 02450007250000

Owner's Name **WEY LIVING TRUST**

Property Details

Mailing Address
8603 CIMBA OAK LN
A-24
AUSTIN, TX 78758-8282

Deed Date
Deed Volume
Deed Page
Exemptions

Location
8603 CIMBA OAK LN A-24 78759

Freeze Exempt
ARB Protest
Agent Code

Legal
UNIT 24 BLD M CIMBA OAKS CONDOMINIUM PHS II PLUS 2.86% INT IN COMMON
AREA (AKA 8603 A)

Land Acres

Block

Tract or Lot

Docket No.

Abstract Code

Neighborhood Code

2010 Preliminary

Land Value 123,588.00
Improvement Value 91,412.00
AG Value 0.00
AG Productivity Value 0.00
Timber Value 0.00
Timber Productivity Value 0.00
Assessed Value 215,000.00
10% Cap Value 0.00
Total Value 215,000.00

HS
F
F
0
0.0315
M
24

C00177
X651L

Data up to date as of 2011-01-14

AGRICULTURAL (1-9-1)

APPOINTMENT OF AGENT FORM

FREEPORT EXEMPTION

HOMESTEAD EXEMPTION FORM

PRINTER FRIENDLY REPORT

PROTEST FORM

RELIGIOUS EXEMPTION FORM

PLAT MAP (TIFF)

PLAT MAP (PDF)

Value By Jurisdiction

Entity Code	Entity Name	2009 Tax Rate	Assessed Value	Taxable Value	Market Value	Appraised Value
0A	TRAVIS CENTRAL APP DIST		215,000.00	215,000.00	215,000.00	215,000.00
01	AUSTIN ISD	1.2227000	215,000.00	200,000.00	215,000.00	215,000.00
02	CITY OF AUSTIN	0.457100	215,000.00	215,000.00	215,000.00	215,000.00
03	TRAVIS COUNTY	0.465800	215,000.00	172,000.00	215,000.00	215,000.00
2J	TRAVIS CO HEALTHCARE DIST	0.071900	215,000.00	172,000.00	215,000.00	215,000.00
68	AUSTIN COMM COLL DIST	0.095100	215,000.00	210,000.00	215,000.00	215,000.00

Improvement Information

Improvement ID		State Category		Description	
404432		A4		CONDO (STACKED)	
Segment Information					
Imp ID	Seg ID	Type Code	Description	Class	Effective Year Built
404432	2534497	1ST	1st Floor	WM4	1984
					Total Living Area 1,458
Area 1,458					
Land Information					
Land ID	Type Code	SPTB Code	Homesite	Size-Acres	Front Depth
448964	LAND	A4	T	0.032	0 0
Size-Sqft 1,373					
show history					

TaxNetUSA: Travis County Property Information

Property ID Number: 547405 Ref ID2 Number: 02450007260000

Owner's Name **SCALZI CYNTHIA C**

Mailing Address
1520 E MOYAMENSING AVE
PHILADELPHIA, PA 19147-6028

Location
8601 CIMA OAK LN B-25 78759

Legal
UNT 25 BLD N CIMA OAKS CONDOMINIUM PHS II PLUS 2.46% INT IN COMMON
AREA (AKA 8601 B)

Property Details

02221985

Deed Date

09047

Deed Volume

00367

Deed Page

Exemptions

Freeze Exempt

ARB Protest

Agent Code

Land Acres

Block

Tract or Lot

Docket No.

Abstract Code

Neighborhood Code

2010 Preliminary

105,746.00

95,144.00

0.00

0.00

0.00

200,890.00

0.00

200,890.00

200,890.00

Data up to date as of 2011-01-14

Value Information

Land Value

Improvement Value

AG Value

AG Productivity Value

Timber Value

Timber Productivity Value

Assessed Value

10% Cap Value

Total Value

AGRICULTURAL (1-D-1)

APPOINTMENT OF AGENT FORM

FREEPORT EXEMPTION

HOMESTEAD EXEMPTION FORM

PRINTER FRIENDLY REPORT

PROTEST FORM

RELIGIOUS EXEMPTION FORM

(TIF) PLAT MAP

(PDF) PLAT MAP

Value By Jurisdiction

Entity Code	Entity Name	2009 Tax Rate	Assessed Value	Taxable Value	Market Value	Appraised Value
0A	TRAVIS CENTRAL APP DIST		200,890.00	200,890.00	200,890.00	200,890.00
01	AUSTIN ISD	1.227000	200,890.00	200,890.00	200,890.00	200,890.00
02	CITY OF AUSTIN	0.457100	200,890.00	200,890.00	200,890.00	200,890.00
03	TRAVIS COUNTY	0.465800	200,890.00	200,890.00	200,890.00	200,890.00
2J	TRAVIS CO HEALTHCARE DIST	0.071900	200,890.00	200,890.00	200,890.00	200,890.00
68	AUSTIN COMM COLL DIST	0.095100	200,890.00	200,890.00	200,890.00	200,890.00

Improvement Information

Improvement ID 404433		State Category A4		Description CONDO (STACKED)	
Segment Information					
Imp ID 404433	Seg ID 2534498	Type Code 1ST	Description 1st Floor	Class WNA	Effective Year Built 1984
					Area 1,248
Land Information					
Land ID 448965	Type Code LAND	SPTB Code A4	Homesite F	Size-Acres 0.027	Front 0
					Depth 0
					Size-Sqft 1,175
Total Living Area 1,248					
show history					

TaxNetUSA: Travis County Property Information

Property ID Number: 547406 Ref ID2 Number: 02450007270000

Owner's Name **DEVAULT JAN LOGAN**

Property Details

Mailing Address
5916 BACK BAY LN
AUSTIN, TX 78738-1698Deed Date 07202005
Deed Volume
Deed Page
Exemptions

Location 8601 CIMA OAK LN A-16 78759

Freeze Exempt

Legal UNT 26 BLD N CIMA OAKS CONDOMINIUM PHS II PLUS 2.96% INT IN COMMON
AREA (AKA 8601 A)

ARB Protest

Agent Code

HS

Value Information

2010 Preliminary

Land Value	127,940.00	Block	26
Improvement Value	111,217.00	Tract or Lot	2005138572TR
AG Value	0.00	Docket No.	C00177
AG Productivity Value	0.00	Abstract Code	X651L
Timber Value	0.00	Neighborhood Code	
Timber Productivity Value	0.00		
Assessed Value	239,157.00		
10% Cap Value	0.00		
Total Value	239,157.00		

Data up to date as of 2011-01-14

AGRICULTURAL (1-D-1)

APPOINTMENT OF AGENT FORM

FREEPORT EXEMPTION

HOMESTEAD EXEMPTION FORM

PRINTER FRIENDLY REPORT

PROTEST FORM

RELIGIOUS EXEMPTION FORM

PLAT MAP

HOMESTEAD EXEMPTION FORM

(TIFF)

PLAT MAP

(PDF)

PLAT MAP

Value By Jurisdiction

Entity Code	Entity Name	2009 Tax Rate	Assessed Value	Taxable Value	Market Value	Appraised Value
0A	TRAVIS CENTRAL APP DIST		239,157.00	239,157.00	239,157.00	239,157.00
01	AUSTIN ISD	1.227000	239,157.00	224,157.00	239,157.00	239,157.00
02	CITY OF AUSTIN	0.457100	239,157.00	239,157.00	239,157.00	239,157.00
03	TRAVIS COUNTY	0.465800	239,157.00	191,326.00	239,157.00	239,157.00
2J	TRAVIS CO HEALTHCARE DIST	0.071900	239,157.00	191,326.00	239,157.00	239,157.00
68	AUSTIN COMM COLL DIST	0.095100	239,157.00	234,157.00	239,157.00	239,157.00

Improvement Information

Improvement ID 404434		State Category A4		Description CONDO (STACKED)			
Segment Information							
Imp ID 404434	Seg ID 2534499	Type Code 1ST	Description 1st Floor	Class WM4	Effective Year Built 1984	Area 1,508	Total Living Area 1,506
Land Information							
Land ID 448966	Type Code LAND	SPTB Code A4	Homesite T	Size-Acres 0.033	Front 0	Depth 0	Size-Sqft 1,422
show history							

TaxNetUSA: Travis County Property Information

Property ID Number: 547407 Ref ID2 Number: 02450007280000

Owner's Name **BURNETT HEATHER LEIGH**

Property Details

Mailing

8507 CIMA OAK LN
AUSTIN, TX 78759-8261

01142008

Location

8507 CIMA OAK LN B-27 78759

Legal

UNT 27 BLD O CIMA OAKS CONDOMINIUM PHS III PLUS 2.46% INT IN COMMON
AREA (AKA 8507 B)

Value Information

2010 Preliminary

Land Value 106,181.00
 Improvement Value 95,373.00
 AG Value 0.00
 AG Productivity Value 0.00
 Timber Value 0.00
 Timber Productivity Value 0.00
 Assessed Value 201,554.00
 10% Cap Value 0.00
 Total Value 201,554.00

Deed Date
 Deed Volume
 Deed Page
 Exemptions
 Freeze Exempt
 ARB Protest
 Agent Code
 Land Acres
 Block
 Tract or Lot
 Docket No.
 Abstract Code
 Neighborhood Code

HS
 F
 F
 0
 0.0271
 27
 2008007127TR
 C00178
 X651L

Data up to date as of 2011-01-14

AGRICULTURAL (1-D-1)

APPOINTMENT OF AGENT FORM

FREEDOM EXEMPTION

HOMESTEAD EXEMPTION FORM

PRINTER FRIENDLY REPORT

PROTEST FORM

RELIGIOUS EXEMPTION FORM

(TIFF) PLAT MAP

(PDF) PLAT MAP

Value By Jurisdiction

Entity Code	Entity Name	2009 Tax Rate	Assessed Value	Taxable Value	Market Value	Appraised Value
0A	TRAVIS CENTRAL APP DIST		201,554.00	201,554.00	201,554.00	201,554.00
01	AUSTIN ISD	1.2227000	201,554.00	186,554.00	201,554.00	201,554.00
02	CITY OF AUSTIN	0.457100	201,554.00	201,554.00	201,554.00	201,554.00
03	TRAVIS COUNTY	0.465800	201,554.00	161,243.00	201,554.00	201,554.00
2J	TRAVIS CO HEALTHCARE DIST	0.071900	201,554.00	161,243.00	201,554.00	201,554.00
68	AUSTIN COMM COLL DIST	0.095100	201,554.00	196,554.00	201,554.00	201,554.00

Improvement Information

Improvement ID 404435		State Category A4		Description CONDO (STACKED)		
Segment Information						
Imp ID 404435	Seg ID 2534500	Type Code 1ST	Description 1st Floor	Class WV4	Effective Year Built 1984	Area 1,251
Land Information						Total Living Area 1,251
Land ID 448967	Type Code LAND	SPTB Code A4	Homesite T	Size-Acres 0.027	Front 0	Depth 0
					Size-Sqft 1,180	
show history						

TaxNexus: Travis County Property Information

Property ID Number: 547408 Ref ID2 Number: 02450007290000

Owner's Name **BENTON WILLIAM MATT &**

Property Details

Mailing Address
JESSICAH MORGAN BENTON
8507A CIMA OAK LN
AUSTIN, TX 78759-8261

07/28/2005

Location
8507 CIMA OAK LN A-28 78759

Legal
UNT 28 BLD O CIMA OAKS CONDOMINIUM PHS III PLUS 2.86% INT IN COMMON
AREA (AKA 8507 A)

Value Information

2010 Preliminary

Land Value	123,588.00	Block	0.0315
Improvement Value	107,673.00	Tract or Lot	28
AG Value	0.00	Docket No.	2005138107TR
AG Productivity Value	0.00	Abstract Code	C00178
Timber Value	0.00	Neighborhood Code	X651L
Timber Productivity Value	0.00		
Assessed Value	231,261.00		
10% Cap Value	0.00		
Total Value	231,261.00		

Data up to date as of 2011-01-14

AGRICULTURAL (1-D-1)

APPOINTMENT OF AGENT FORM

FREEPORT EXEMPTION

HOMESTEAD EXEMPTION FORM

PRINTER FRIENDLY REPORT

PROTEST FORM

RELIGIOUS EXEMPTION FORM

(TIFF) PLAT MAP

(PDF) PLAT MAP

Value By Jurisdiction

Entity Code	Entity Name	2009 Tax Rate	Assessed Value	Taxable Value	Market Value	Appraised Value
0A	TRAVIS CENTRAL APP DIST		231,261.00	231,261.00	231,261.00	231,261.00
01	AUSTIN ISD	1.227000	231,261.00	231,261.00	231,261.00	231,261.00
02	CITY OF AUSTIN	0.457100	231,261.00	231,261.00	231,261.00	231,261.00
03	TRAVIS COUNTY	0.465800	231,261.00	231,261.00	231,261.00	231,261.00
2J	TRAVIS CO HEALTHCARE DIST	0.071900	231,261.00	231,261.00	231,261.00	231,261.00
68	AUSTIN COMM COLL DIST	0.095100	231,261.00	231,261.00	231,261.00	231,261.00

Improvement Information

Improvement ID		State Category		Description	
404436		A4		CONDO (STACKED)	
Segment Information					
Imp ID	Seg ID	Type Code	Description	Class	Effective Year Built
404436	2534501	1ST	1st Floor	WM4	1984
					Total Living Area 1,458
Land Information					
Land ID	Type Code	SPTB Code	Homesite	Size-Acres	Front
448968	LAND	A4	T	0.032	0
					Depth
					0
					Size-Sqft
					1,373
show history					

TaxNetUSA: Travis County Property Information

Property ID Number: 547409 Ref ID2 Number: 02450007300000

Owner's Name **MCCRAIL WILLIAM JR**Mailing Address
8505B CIMA OAK LN
AUSTIN, TX 78759-8261Location
8505 CIMA OAK LN B-29 78759Legal
UNT 29 BLD P CIMA OAKS CONDOMINIUM PHS III PLUS 2.46% INT IN COMMON
AREA (AKA 8505 B)

Property Details

Deed Date

Deed Volume

Deed Page

Exemptions

Freeze Exempt

ARB Protest

Agent Code

Land Acres

Block

Tract or Lot

Docket No.

Abstract Code

Neighborhood Code

2010 Preliminary

105,746.00

95,144.00

0.00

0.00

0.00

0.00

200,890.00

0.00

200,890.00

0.0270

P

29

C00178

X651L

Data up to date as of 2011-01-14

Total Value

AGRICULTURAL (1-D-1)

APPOINTMENT OF AGENT FORM

PREPORT EXEMPTION

HOMESTEAD EXEMPTION FORM

PRINTER FRIENDLY REPORT

PROTEST FORM

RELIGIOUS EXEMPTION FORM

(TIFF) PLAT MAP

(PDF) PLAT MAP

Value By Jurisdiction

Entity Code	Entity Name	2009 Tax Rate	Assessed Value	Taxable Value	Market Value	Appraised Value
0A	TRAVIS CENTRAL APP DIST		200,890.00	200,890.00	200,890.00	200,890.00
01	AUSTIN ISD	1.227000	200,890.00	185,890.00	200,890.00	200,890.00
02	CITY OF AUSTIN	0.457100	200,890.00	200,890.00	200,890.00	200,890.00
03	TRAVIS COUNTY	0.465800	200,890.00	160,712.00	200,890.00	200,890.00
2J	TRAVIS CO HEALTHCARE DIST	0.071900	200,890.00	160,712.00	200,890.00	200,890.00
68	AUSTIN COMM COLL DIST	0.095100	200,890.00	195,890.00	200,890.00	200,890.00

Improvement Information

Improvement ID		State Category		Description	
404437		A4		CONDO (STACKED)	
Segment Information					
Imp ID	Seg ID	Type Code	Description	Class	Effective Year Built
404437	2534502	1ST	1st Floor	WM4	1984
				Total Living Area 1,248	
Land Information					
Land ID	Type Code	SPTB Code	Homesite	Size-Acres	Front Depth Size-Sqft
448969	LAND	A4	T	0.027	0 0 1,175
show history					

TaxNetUSA: Travis County Property Information

Property ID Number: 547410 RefID2 Number: 02450007310000

Owner's Name **BROWN ARACELI D**

Property Details

Mailing Address
8505 CIMA OAK LN
AUSTIN, TX 78759-8261

Deed Date

04/22/2003

Location 8505 CIMA OAK LN A-30 78759

Deed Volume

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Legal UNT 30 BLD P CIMA OAKS CONDOMINIUM PHS III PLUS 2.96% INT IN COMMON AREA (AKA 8505 A)

Deed Page

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Exemptions
Freeze Exempt
ARB Protest
Agent Code
Land Acres
Block
Tract or Lot
Docket No.
Abstract Code
Neighborhood Code

2003092406TR
C00178
X651L

Value Information

2010 Preliminary

Land Value 127,940.00
Improvement Value 111,217.00
AG Value 0.00
AG Productivity Value 0.00
Timber Value 0.00
Timber Productivity Value 0.00
Assessed Value 239,157.00
10% Cap Value 0.00
Total Value 239,157.00

Data up to date as of 2011-01-14

AGRICULTURAL (1-D-1)

APPOINTMENT OF AGENT FORM

FREEPORT EXEMPTION

HOMESTEAD EXEMPTION FORM

PRINTER FRIENDLY REPORT

PROTEST FORM

RELIGIOUS EXEMPTION FORM

(TIFF) PLAT MAP

(PDF) PLAT MAP

Value By Jurisdiction

Entity Code	Entity Name	2009 Tax Rate	Assessed Value	Taxable Value	Market Value	Appraised Value
0A	TRAVIS CENTRAL APP DIST		239,157.00	239,157.00	239,157.00	239,157.00
01	AUSTIN ISD	1.227000	239,157.00	224,157.00	239,157.00	239,157.00
02	CITY OF AUSTIN	0.457100	239,157.00	239,157.00	239,157.00	239,157.00
03	TRAVIS COUNTY	0.465800	239,157.00	191,326.00	239,157.00	239,157.00
21	TRAVIS CO HEALTHCARE DIST	0.071900	239,157.00	191,326.00	239,157.00	239,157.00
68	AUSTIN COMM COLL DIST	0.095100	239,157.00	234,157.00	239,157.00	239,157.00

Improvement Information

Improvement ID		State Category		Description			
404438		A4		CONDO (STACKED)			
Segment Information							
Imp ID	Seg ID	Type Code	Description	Class	Effective Year Built	Area	
404438	2534503	1ST	1st Floor	WM4	1984	1,506	
						Total Living Area 1,506	
Land Information							
Land ID	Type Code	SPTB Code	Homesite	Size-Acres	Front	Depth	Size-Sqft
448970	LAND	A4	T	0.033	0	0	1,422
show history							

TaxNetUSA: Travis County Property Information

Property ID Number: 547411 Ref ID2 Number: 02450007320000

Owner's Name **SNOW TERESA ANN**

Property Details

Mailing Address
8503B CIMA OAK LN
AUSTIN, TX 78759-8261

Deed Date
Deed Volume
Deed Page
Exemptions

06/21/1989

10968

00213

HS

Location
8503 CIMA OAK LN B-31 78759

Legal
UNT 31 BLD G CIMA OAKS CONDOMINIUM PHS III PLUS 2.46% INT IN COMMON
AREA (AKA 8503 B)

Freeze Exempt
ARB Protest
Agent Code

Land Acres

Block

Tract or Lot

Docket No.

Abstract Code

Neighborhood Code

2010 Preliminary

106,181.00

95,373.00

0.00

0.00

0.00

201,554.00

0.00

201,554.00

201,554.00

Data up to date as of 2011-01-14

AGRICULTURAL (1-B-1)

APPOINTMENT OF AGENT FORM

FREEPORT EXEMPTION

HOMESTEAD EXEMPTION FORM

PRINTER FRIENDLY REPORT

PROTEST FORM

RELIGIOUS EXEMPTION FORM

(TIFF) [PLAT MAP](#)(PDF) [PLAT MAP](#)

Value By Jurisdiction

Entity Code	Entity Name	2009 Tax Rate	Assessed Value	Taxable Value	Market Value	Appraised Value
0A	TRAVIS CENTRAL APP DIST		201,554.00	201,554.00	201,554.00	201,554.00
01	AUSTIN ISD	1.227000	201,554.00	186,554.00	201,554.00	201,554.00
02	CITY OF AUSTIN	0.457100	201,554.00	201,554.00	201,554.00	201,554.00
03	TRAVIS COUNTY	0.465800	201,554.00	161,243.00	201,554.00	201,554.00
2J	TRAVIS CO HEALTHCARE DIST	0.071900	201,554.00	161,243.00	201,554.00	201,554.00
68	AUSTIN COMM COLL DIST	0.095100	201,554.00	196,554.00	201,554.00	201,554.00

Improvement Information

Improvement ID		State Category		Description	
404439		A4		CONDO (STACKED)	
Segment Information					
Imp ID	Seg ID	Type Code	Description	Class	Effective Year Built
404439	2534504	1ST	1st Floor	WM4	1984
				Total Living Area 1,251	
Land Information					
Land ID	Type Code	SPTB Code	Homesite	Size-Acres	Front Depth Size-Sqft
448971	LAND	A4	T	0.027	0 0 1,180
show history					

TaxNetUSA: Travis County Property Information

Property ID Number: 547412 Ref ID2 Number: 02450007330000

Owner's Name **DUKES DIANA J**Mailing Address
8503 CIMA OAK LN
AUSTIN, TX 78759-8261Location
8503 CIMA OAK LN A-32 78759Legal
UNT 32 BLD Q CIMA OAKS CONDOMINIUM PHS III PLUS 2.86% INT IN COMMON
AREA (AKA 8503 A)

Property Details

Deed Date

08/19/1996

Deed Volume

12759

Deed Page

00526

Exemptions

HS

Freeze Exempt

F

ARB Protest

F

Agent Code

0

Land Acres

0.0315

Block

Q

Tract or Lot

32

Docket No.

C00178

Abstract Code

X651L

Neighborhood Code

2010 Preliminary

123,588.00

107,673.00

0.00

0.00

0.00

231,261.00

0.00

231,261.00

231,261.00

Data up to date as of 2011-01-14

Total Value

231,261.00

AGRICULTURAL (T-D-1)

APPOINTMENT OF AGENT FORM

FREEPORT EXEMPTION

HOMESTEAD EXEMPTION FORM

PRINTER FRIENDLY REPORT

PROTEST FORM

RELIGIOUS EXEMPTION FORM

(TIFF) PLAT MAP

(PDF) PLAT MAP

Value By Jurisdiction

Entity Code	Entity Name	2009 Tax Rate	Assessed Value	Taxable Value	Market Value	Appraised Value
0A	TRAVIS CENTRAL APP DIST		231,261.00	231,261.00	231,261.00	231,261.00
01	AUSTIN ISD	1.227000	231,261.00	216,261.00	231,261.00	231,261.00
02	CITY OF AUSTIN	0.457100	231,261.00	231,261.00	231,261.00	231,261.00
03	TRAVIS COUNTY	0.465800	231,261.00	185,009.00	231,261.00	231,261.00
2J	TRAVIS CO HEALTHCARE DIST	0.071900	231,261.00	185,009.00	231,261.00	231,261.00
68	AUSTIN COMM COLL DIST	0.095100	231,261.00	226,261.00	231,261.00	231,261.00

Improvement Information

Improvement ID		State Category		Description			
404440		A4		CONDO (STACKED)			
Segment Information							
Imp ID	Seg ID	Type Code	Description	Class	Effective Year Built	Area	
404440	2534505	1ST	1st Floor	WM4	1984	1,458	
						Total Living Area 1,458	
Land Information							
Land ID	Type Code	SPTB Code	Homesite	Size-Acres	Front	Depth	Size-Sqft
448972	LAND	A4	T	0.032	0	0	1,373
show history							

[show history](#)

TaxNetUSA: Travis County Property Information

Property ID Number: 547413 Ref ID2 Number: 02450007340000

Owner's Name **SIGNOR CATHY**

Property Details

Mailing Address
UNIT B-33
8501 CIMA OAK LN
AUSTIN, TX 78759-8261

11302007

Location
8501 CIMA OAK LN B-33 78759

Legal
UNT 33 BLD R CIMA OAKS CONDOMINIUM PHS III PLUS 2.46% INT IN COMMON
AREA (AKA 8501 B)

Deed Date
Deed Volume
Deed Page
Exemptions
Freeze Exempt
ARB Protest
Agent Code
Land Acres
Block
Tract or Lot
Docket No.
Abstract Code
Neighborhood Code

Value Information

2010 Preliminary

Land Value
Improvement Value
AG Value
AG Productivity Value
Timber Value
Timber Productivity Value
Assessed Value
10% Cap Value
Total Value

2010 Preliminary
105,746.00
95,144.00
0.00
0.00
0.00
0.00
200,890.00
0.00
200,890.00

Deed Date
Deed Volume
Deed Page
Exemptions
Freeze Exempt
ARB Protest
Agent Code
Land Acres
Block
Tract or Lot
Docket No.
Abstract Code
Neighborhood Code

11302007
2007219385TR
C00178
X651L

0.0270
R
33

Data up to date as of 2011-01-14

AGRICULTURAL (1-D-1)

APPOINTMENT OF AGENT FORM

FREEPORT EXEMPTION

HOMESTEAD EXEMPTION FORM

PRINTER FRIENDLY REPORT

PROTEST FORM

RELIGIOUS EXEMPTION FORM

(TIFF)

PLAT MAP

(PDF)

PLAT MAP

Value By Jurisdiction

Entity Code	Entity Name	2009 Tax Rate	Assessed Value	Taxable Value	Market Value	Appraised Value
0A	TRAVIS CENTRAL APP DIST		200,890.00	200,890.00	200,890.00	200,890.00
01	AUSTIN ISD	1.227000	200,890.00	185,890.00	200,890.00	200,890.00
02	CITY OF AUSTIN	0.457100	200,890.00	200,890.00	200,890.00	200,890.00
03	TRAVIS COUNTY	0.465800	200,890.00	160,712.00	200,890.00	200,890.00
2J	TRAVIS CO HEALTHCARE DIST	0.071900	200,890.00	160,712.00	200,890.00	200,890.00
68	AUSTIN COMM COLL DIST	0.095100	200,890.00	195,890.00	200,890.00	200,890.00

Improvement Information

Improvement ID		State Category		Description	
404441		A4		CONDO (STACKED)	
Segment Information					
Imp ID	Seg ID	Type Code	Description	Class	Effective Year Built
404441	2534506	1ST	1st Floor	WMA	1984
Total Living Area					1,248
Land Information					
Land ID	Type Code	SPTB Code	Homesite	Size-Acres	Front
448973	LAND	A4	T	0.027	0
					Depth
					Size-Sqft
					1,175

show history

show history

TaxNetUSA: Travis County Property Information

Property ID Number: 547414 Ref ID2 Number: 02450007350000

Owner's Name **SCHAUERTE C M & ANN F**

Mailing Address
11279 TAYLOR DRAPER LN APT 218
AUSTIN, TX 78759-3954

Location
8501 CIMA OAK LN A-34 78759

Legal
UNT 34 BLD R CIMA OAKS CONDOMINIUM PHS III PLUS 2.96% INT IN COMMON
AREA (AKA 8501 A)

Property Details

02221994

Deed Date

Deed Volume

12136

Deed Page

02926

Exemptions

HS, OA

Freeze Exempt

F

ARB Protest

F

Agent Code

0

Land Acres

0.0326

Block

R

Tract or Lot

34

Docket No.

C00178

Abstract Code

X651L

Neighborhood Code

2010 Preliminary

127,940.00

111,217.00

0.00

0.00

0.00

239,157.00

0.00

239,157.00

239,157.00

Data up to date as of 2011-01-14

AGRICULTURAL (1-B-1)

APPOINTMENT OF AGENT FORM

FREEPORT EXEMPTION

HOMESTEAD EXEMPTION FORM

PRINTER FRIENDLY REPORT

PROTEST FORM

RELIGIOUS EXEMPTION FORM

(TIFF) [PLAY MAP](#)(PDF) [PLAY MAP](#)

Value By Jurisdiction

Entity Code	Entity Name	2009 Tax Rate	Assessed Value	Taxable Value	Market Value	Appraised Value
0A	TRAVIS CENTRAL APP DIST		239,157.00	239,157.00	239,157.00	239,157.00
01	AUSTIN ISD	1.227000	239,157.00	189,157.00	239,157.00	239,157.00
02	CITY OF AUSTIN	0.457100	239,157.00	189,157.00	239,157.00	239,157.00
03	TRAVIS COUNTY	0.465800	239,157.00	126,326.00	239,157.00	239,157.00
2J	TRAVIS CO HEALTHCARE DIST	0.071900	239,157.00	126,326.00	239,157.00	239,157.00
68	AUSTIN COMM COLL DIST	0.095100	239,157.00	119,157.00	239,157.00	239,157.00

Improvement Information

Improvement ID		State Category		Description	
404442		A4		CONDO (STACKED)	
Segment Information					
Imp ID	Seg ID	Type Code	Description	Class	Effective Year Built
404442	2534507	1ST	1st Floor	WM4	1984
					Total Living Area 1,506
Land Information					
Land ID	Type Code	SPTB Code	Homesite	Size-Acres	Front Depth Size-Sqft
448974	LAND	A4	T	0.033	0 0 1,422
Show history					

TaxNetUSA: Travis County Property Information

Property ID Number: 547415 Ref ID2 Number: 02450007360000

Owner's Name **FOX THOMAS JOSEPH**

Mailing Address
8403B CIMA OAK LN
AUSTIN, TX 78759-8264

Location
8403 CIMA OAK LN B-35 78759

Legal
UNT 35 BLD S CIMA OAKS CONDOMINIUM PHS III PLUS 2.46% INT IN COMMON
AREA (AKA 8403 B)

Property Details

09251997

Deed Date

13029

Deed Volume

02777

Deed Page

HS, OA

Exemptions

F

Freeze Exempt

F

ARB Protest

0

Agent Code

0.0282

Land Acres

S

Block

35

Tract or Lot

C00178

Docket No.

X651L

Abstract Code

Neighborhood Code

2010 Preliminary

110,533.00

99,184.00

0.00

0.00

0.00

0.00

209,717.00

0.00

209,717.00

209,717.00

Data up to date as of 2011-01-14

Land Value
Improvement Value
AG Value
AG Productivity Value
Timber Value
Timber Productivity Value
Assessed Value
10% Cap Value
Total Value

AGRICULTURAL (1-B-1)

APPOINTMENT OF AGENT FORM

FREEPORT EXEMPTION

HOMESTEAD EXEMPTION FORM

PRINTER FRIENDLY REPORT

PROTEST FORM

RELIGIOUS EXEMPTION FORM

(TIFF) PLAT MAP

(PDF) PLAT MAP

Value By Jurisdiction

Entity Code	Entity Name	2009 Tax Rate	Assessed Value	Taxable Value	Market Value	Appraised Value
0A	TRAVIS CENTRAL APP DIST		209,717.00	209,717.00	209,717.00	209,717.00
01	AUSTIN ISD	1.227000	209,717.00	159,717.00	209,717.00	209,717.00
02	CITY OF AUSTIN	0.457100	209,717.00	158,717.00	209,717.00	209,717.00
03	TRAVIS COUNTY	0.466800	209,717.00	102,774.00	209,717.00	209,717.00
2J	TRAVIS CO HEALTHCARE DIST	0.071900	209,717.00	102,774.00	209,717.00	209,717.00
68	AUSTIN COMM COLL DIST	0.095100	209,717.00	89,717.00	209,717.00	209,717.00

Improvement Information

Improvement ID		State Category		Description	
404443		A4		CONDO (STACKED)	
Segment Information					
Imp ID	Seg ID	Type Code	Description	Class	Effective Year Built
404443	2534508	1ST	1st Floor	WM4	1984
					Total Living Area 1,301
Land Information					
Land ID	Type Code	SPTB Code	Homesite	Size-Acres	Front
448975	LAND	A4	T	0.028	0
					Depth
					Size-Sqft
					1,228
show history					

TaxNetUSA: Travis County Property Information

Property ID Number: 547416 Ref ID2 Number: 02450007370000

Owner's Name **ROWIN JIM & ANTOINETTE**

Property Details

04162010

Mailing Address
8403 CIMA OAK LN APT A36
AUSTIN, TX 78759-Deed Date
Deed Volume
Deed PageLocation
8403 CIMA OAK LN A-36 78759

Exemptions

HS, OA

Legal
UNT 36 BLD S CIMA OAKS CONDOMINIUM PHS III PLUS 1.87% INT IN COMMON
AREA (AKA 8403 A)Freeze Exempt
ARB Protest
Agent Code

F

Land Acres

0

Block

0.0202

Tract or Lot

S

Docket No.

2010054819TR

Abstract Code

C00178

Neighborhood Code

X651L

Value Information

2010 Preliminary

Land Value

79,201.00

Improvement Value

73,923.00

AG Value

0.00

AG Productivity Value

0.00

Timber Value

0.00

Timber Productivity Value

0.00

Assessed Value

153,124.00

10% Cap Value

0.00

Total Value

153,124.00

Data up to date as of 2011-01-14

AGRICULTURAL (T-D-1)

APPOINTMENT OF AGENT FORM

PREPORT EXEMPTION

HOMESTEAD EXEMPTION FORM

PRINTER FRIENDLY REPORT

PROTEST FORM

RELIGIOUS EXEMPTION FORM

(TIFF) PLAT MAP

(PDF) PLAT MAP

Value By Jurisdiction

Entity Code	Entity Name	2009 Tax Rate	Assessed Value	Taxable Value	Market Value	Appraised Value
0A	TRAVIS CENTRAL APP DIST		153,124.00	153,124.00	153,124.00	153,124.00
01	AUSTIN ISD	1.227000	153,124.00	103,124.00	153,124.00	153,124.00
02	CITY OF AUSTIN	0.457100	153,124.00	102,124.00	153,124.00	153,124.00
03	TRAVIS COUNTY	0.465800	153,124.00	57,499.00	153,124.00	153,124.00
2J	TRAVIS CO HEALTHCARE DIST	0.071900	153,124.00	57,499.00	153,124.00	153,124.00
68	AUSTIN COMM COLL DIST	0.095100	153,124.00	33,124.00	153,124.00	153,124.00

Improvement Information

Improvement ID		State Category		Description	
404444		A4		CONDO (STACKED)	
Segment Information					
Imp ID	Seg ID	Type Code	Description	Class	Effective Year Built
404444	2534509	1ST	1st Floor	WM4	1984
					Total Living Area
					931
Land Information					
Land ID	Type Code	SPTB Code	Homesite	Size-Acres	Front
448976	LAND	A4	T	0.020	0
					Depth
					0
					Size-Sqft
					880

[show history](#)

TaxNetUSA: Travis County Property Information

Property ID Number: 547417 Ref ID2 Number: 02450007380000

Owner's Name **MUND ANNE H**

Mailing Address
8401B CIMA OAK LN
AUSTIN, TX 78759-8264

Location
8401 CIMA OAK LN B-37 78759

Legal
UNT 37 BLD T CIMA OAKS CONDOMINIUM PHS III PLUS 2.46% INT IN COMMON
AREA (AKA 8401 B)

Property Details

Deed Date

Deed Volume

Deed Page

Exemptions

Freeze Exempt

ARB Protest

Agent Code

Land Acres

Block

Tract or Lot

Docket No.

Abstract Code

Neighborhood Code

10121992

11794

00612

HS

F

F

0

0.0271

T

37

C00178

X651L

Value Information

Land Value

Improvement Value

AG Value

AG Productivity Value

Timber Value

Timber Productivity Value

Assessed Value

10% Cap Value

Total Value

2010 Preliminary

106,181.00

95,373.00

0.00

0.00

0.00

201,554.00

0.00

201,554.00

201,554.00

Data up to date as of 2011-01-14

AGRICULTURAL (1-B-1)

APPOINTMENT OF AGENT FORM

FREEPORT EXEMPTION

HOMESTEAD EXEMPTION FORM

PRINTER FRIENDLY REPORT

PROTEST FORM

RELIGIOUS EXEMPTION FORM

HOMESTEAD EXEMPTION FORM

(TIFF) [PLAY MAP](#)

(PDF) [PLAY MAP](#)

Value By Jurisdiction

Entity Code	Entity Name	2009 Tax Rate	Assessed Value	Taxable Value	Market Value	Appraised Value
0A	TRAVIS CENTRAL APP DIST		201,554.00	201,554.00	201,554.00	201,554.00
01	AUSTIN ISD	1.227000	201,554.00	186,554.00	201,554.00	201,554.00
02	CITY OF AUSTIN	0.457100	201,554.00	201,554.00	201,554.00	201,554.00
03	TRAVIS COUNTY	0.465800	201,554.00	161,243.00	201,554.00	201,554.00
2J	TRAVIS CO HEALTHCARE DIST	0.071900	201,554.00	161,243.00	201,554.00	201,554.00
68	AUSTIN COMM COLL DIST	0.096100	201,554.00	196,554.00	201,554.00	201,554.00

Improvement Information

Improvement ID 404445		State Category A4		Description CONDO (STACKED)			
Segment Information							
Imp ID 404445	Seg ID 2534510	Type Code 1ST	Description 1st Floor	Class WM4	Effective Year Built 1984	Area 1,251	
Land Information						Total Living Area 1,251	
Land ID 448977	Type Code LAND	SPTB Code A4	Homesite T	Size-Acres 0.027	Front 0	Depth 0	
						Size-Sqft 1,180	

show history

TaxNetUSA: Travis County Property Information

Property ID Number: 547418 Ref ID2 Number: 02450007390000

Owner's Name **CHESA MARE LLC**Mailing Address
2906 LAUREL LAKE DR
KINGWOOD, TX 77339-2534Location
8401 CIMA OAK LN A-38 78759Legal
UNT 38 BLD T CIMA OAKS CONDOMINIUM PHS III PLUS 2.86% INT IN COMMON
AREA (AKA 8401 A)

Property Details

03072007

Deed Date

Deed Volume

Deed Page

Exemptions

Freeze Exempt

ARB Protest

Agent Code

Land Acres

Block

Tract or Lot

Docket No.

Abstract Code

Neighborhood Code

2010 Preliminary

123,588.00

85,516.00

0.00

0.00

0.00

209,104.00

0.00

209,104.00

209,104.00

Data up to date as of 2011-01-14

Total Value

AGRICULTURAL (1-D-1)

APPOINTMENT OF AGENT FORM

FREEPORT EXEMPTION

HOMESTEAD EXEMPTION FORM

PRINTER FRIENDLY REPORT

PROTEST FORM

RELIGIOUS EXEMPTION FORM

(TIFF) PLAT MAP

(PDF) PLAT MAP

Value By Jurisdiction

Entity Code	Entity Name	2009 Tax Rate	Assessed Value	Taxable Value	Market Value	Appraised Value
0A	TRAVIS CENTRAL APP DIST		209,104.00	209,104.00	209,104.00	209,104.00
01	AUSTIN ISD	1.227000	209,104.00	209,104.00	209,104.00	209,104.00
02	CITY OF AUSTIN	0.457100	209,104.00	209,104.00	209,104.00	209,104.00
03	TRAVIS COUNTY	0.465800	209,104.00	209,104.00	209,104.00	209,104.00
2J	TRAVIS CO HEALTHCARE DIST	0.071900	209,104.00	209,104.00	209,104.00	209,104.00
68	AUSTIN COMM COLL DIST	0.089500	209,104.00	209,104.00	209,104.00	209,104.00

Improvement Information

Improvement ID 404446		State Category A4		Description CONDO (STACKED)	
Segment Information					
Imp ID 404446	Seg ID 2534511	Type Code 1ST	Description 1st Floor	Class WM4	Effective Year Built 1984
				Area 1,458	
				Total Living Area	1,458
Land Information					
Land ID 448978	Type Code LAND	SPTB Code A4	Homesite F	Size-Acres 0.032	Front 0
					Depth 0
					Size-Sqft 1,373
show history					

PDC

8/5/2010

SAVOR SUBDIVISION

• NW AUSTIN / off Mopac S. of 183

• Acres

• 26 lots

6 HERITAGE MAPS

• McMANISSEN — F.A.R.

— under 28%

subdivision

• 1793 - 2985 (2761)

- schedule

- how to submit
applications for
subdivisions

COATS|ROSE

A Professional Corporation

DOWE D. GULLATT
Of Counsel

1717 W. 6th Street, Suite 420 — (SEPT. 2010)
Austin, Texas 78703

Main: 512.469.7987 Mobile: 512.413.5712

Fax: 512.469.9408

dgullatt@coatsrose.com www.coatsrose.com

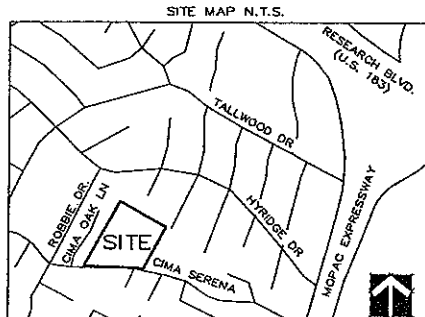
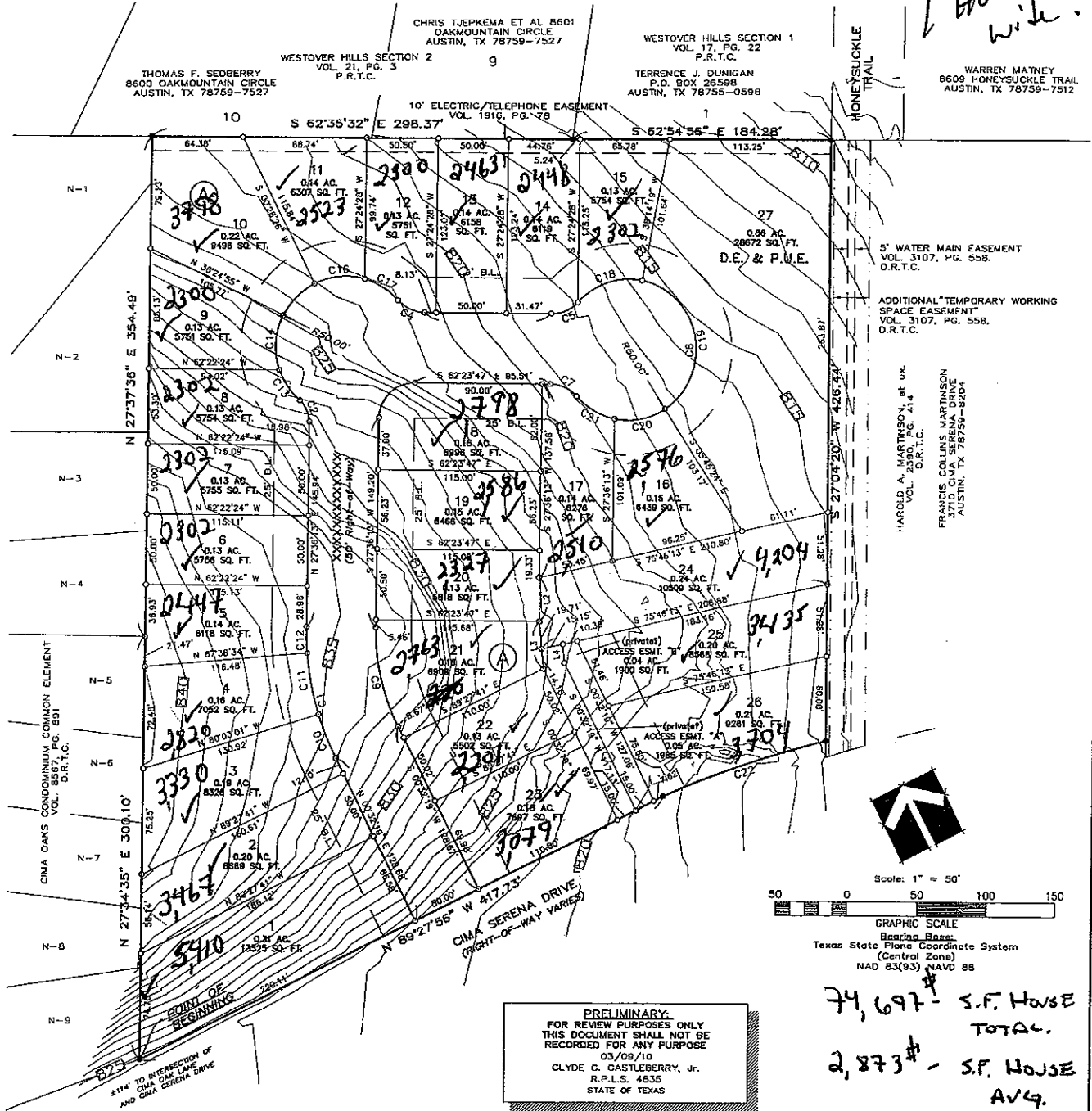


8140 North Mopac Expwy
Building 4, Suite 270
Austin, Texas 78759
Phone: (512)320-8833
Fax: (512)320-8834
E-mail: adamb@brohnhomes.com
www.brohnhomes.com

Adam B. Boenig

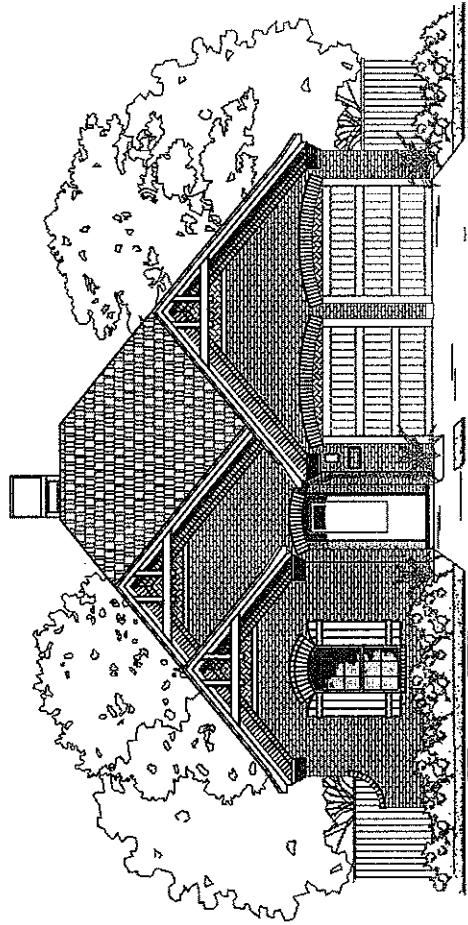
PRELIMINARY PLAT OF
SAVOY SUBDIVISION
5.94 ACRES OUT OF THE JAMES P. WALLACE SURVEY, NO. 18, ABS. NO. 792,
TRAVIS COUNTY, TEXAS

*Sylvia -
Process / had Time
How Subdivision
wide?*

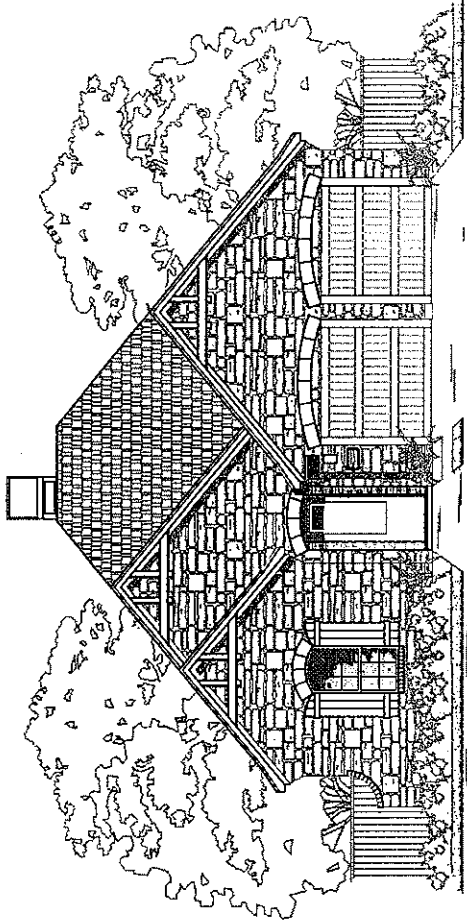


* 186,732[#] - S.F.
LOTS
TOTAL
* 7,182[#] - AV₄ S.F.
PER LOT.

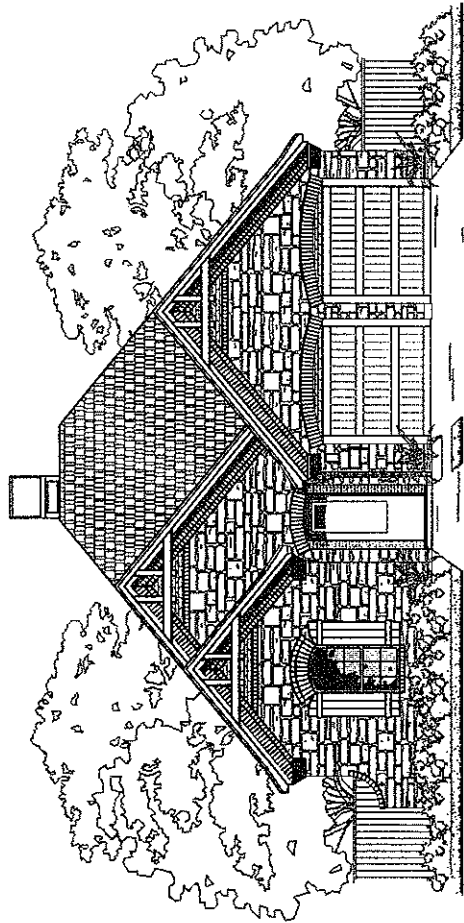
LEGEND	
●	1/2" IRON PIN FOUND (UNLESS OTHERWISE NOTED)
○	1/2" IRON PIN SET
W	YELLOW PLASTIC CAP "CS, LTD"
20	BLOCK DESIGNATION
BL	BUILDING SETBACK LINE
P.R.T.C.	PLAT RECORDS TRAVIS CO.
D.R.T.C.	DEED RECORDS TRAVIS CO.
G.P.R.T.C.	OFFICIAL PUBLIC RECORDS TRAVIS CO.



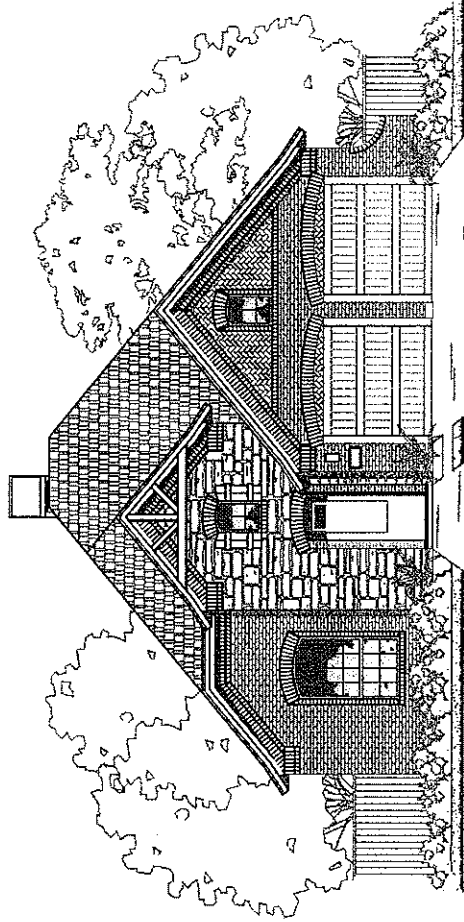
FRONT ELEVATION - A (BRICK)



FRONT ELEVATION - A (STONE)



FRONT ELEVATION - A (BRICK & STONE)



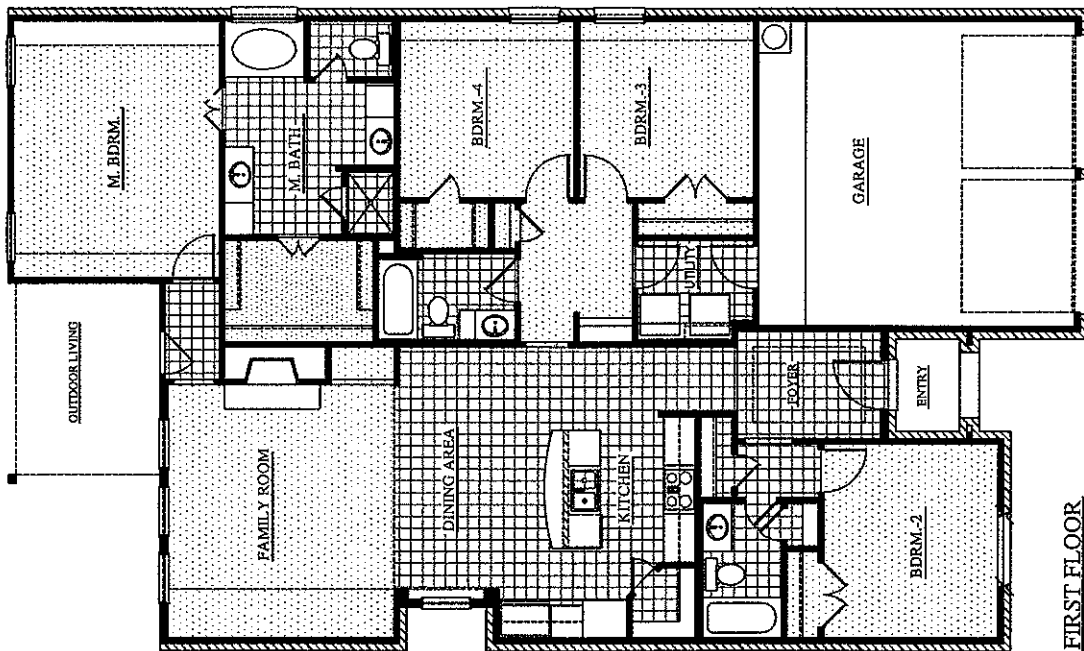
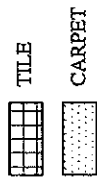
FRONT ELEVATION - B (BRICK & STONE)

**BROHN
HOMES**

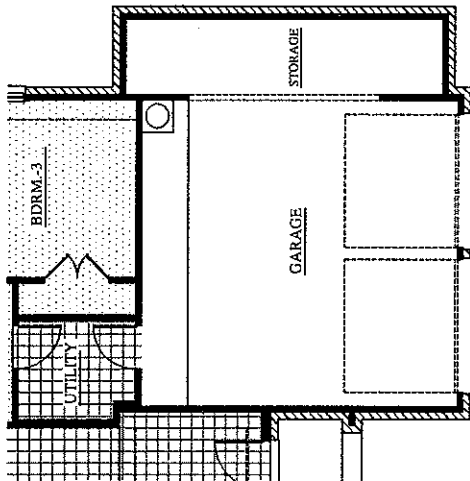
The Dalston
Total Heated - 1,933 S.f.

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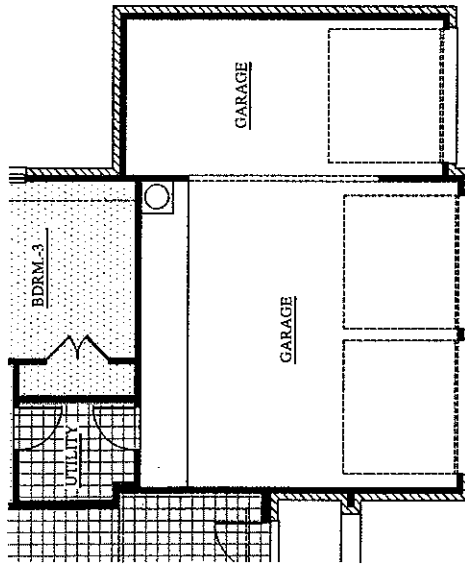




FIRST FLOOR



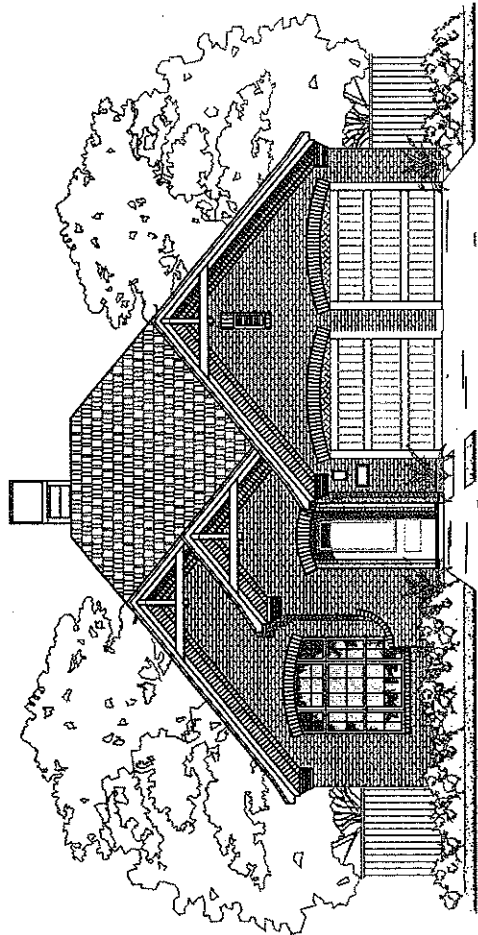
PARTIAL FIRST FLOOR PLAN - 2 1/2 CAR GARAGE OPTION



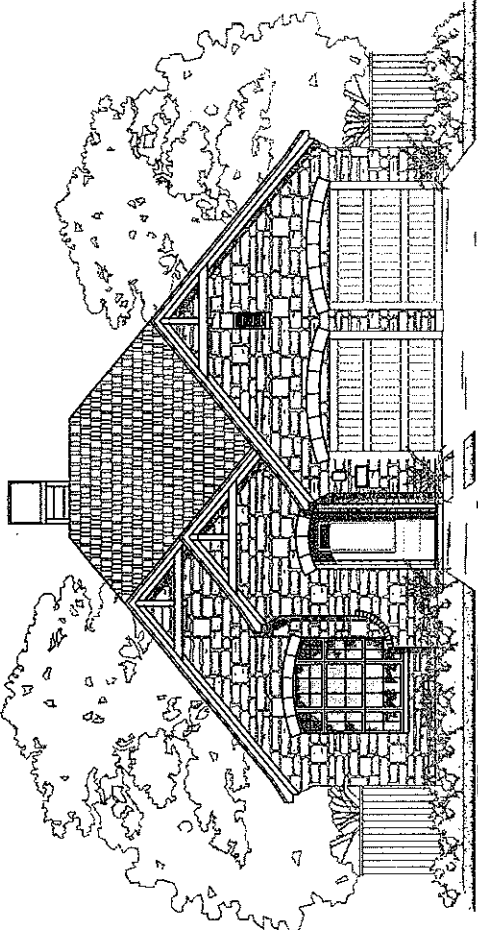
PARTIAL FIRST FLOOR PLAN - 3 CAR GARAGE OPTION



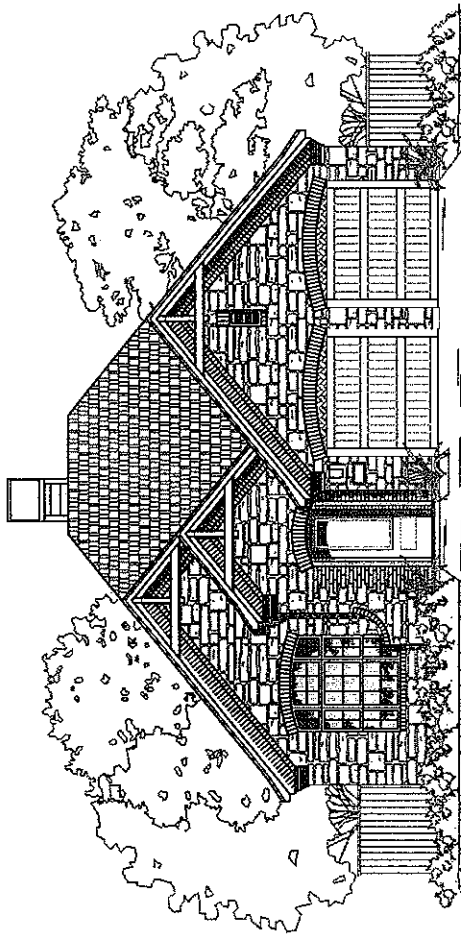
The Dalston
Total Heated - 1,933 S.f.



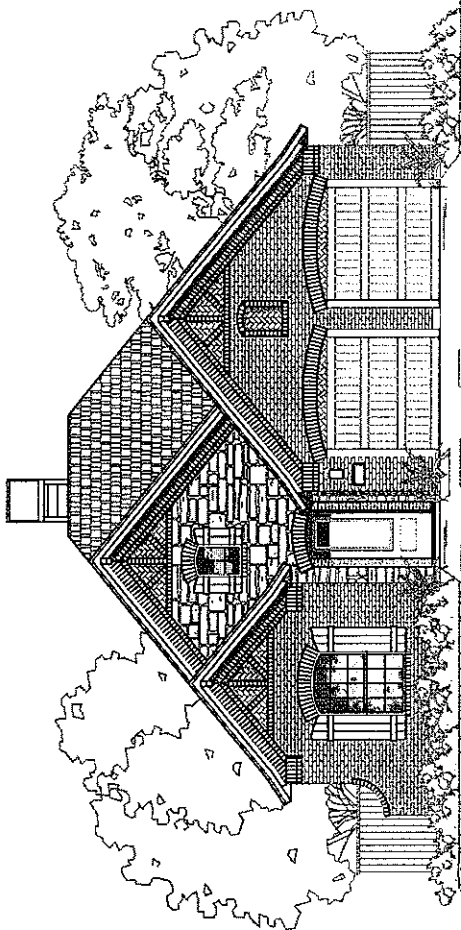
FRONT ELEVATION - A (BRICK)



FRONT ELEVATION - A (STONE)



FRONT ELEVATION - A (BRICK & STONE)



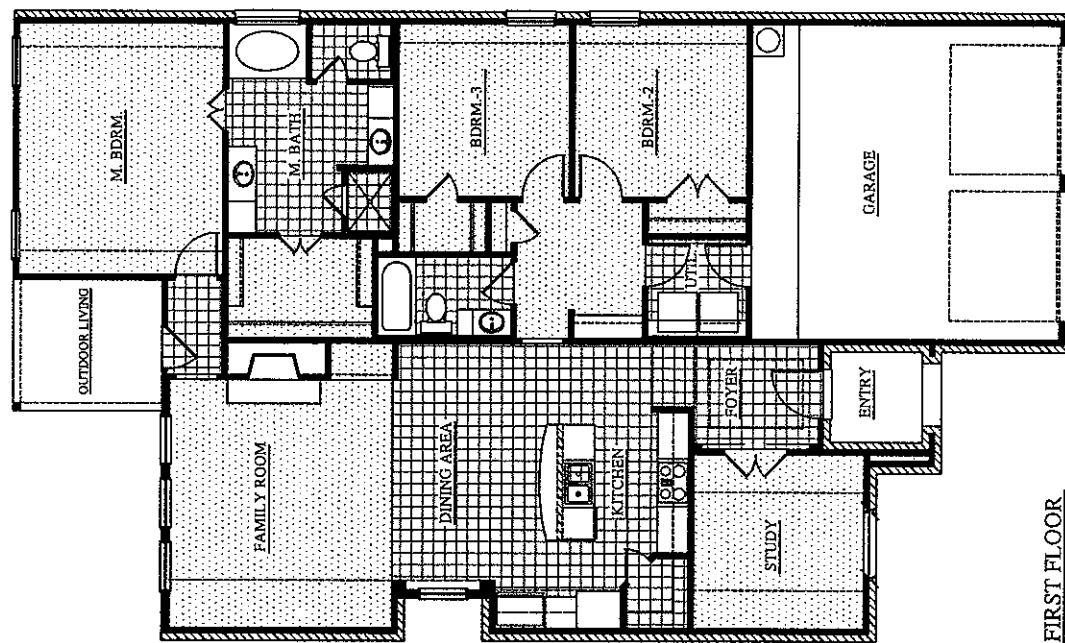
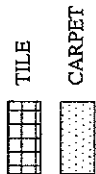
FRONT ELEVATION - B (BRICK & STONE)

**BROHN
HOMES**

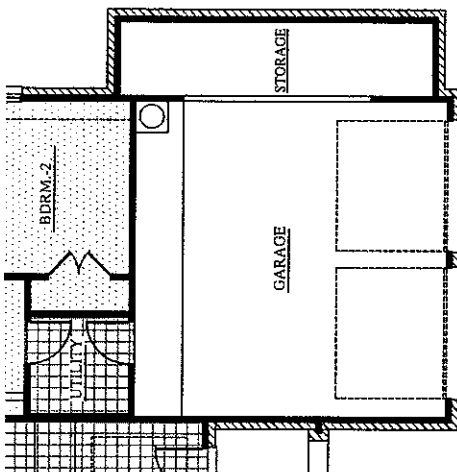
The Camden
Total Heated - 1,793 S.f.

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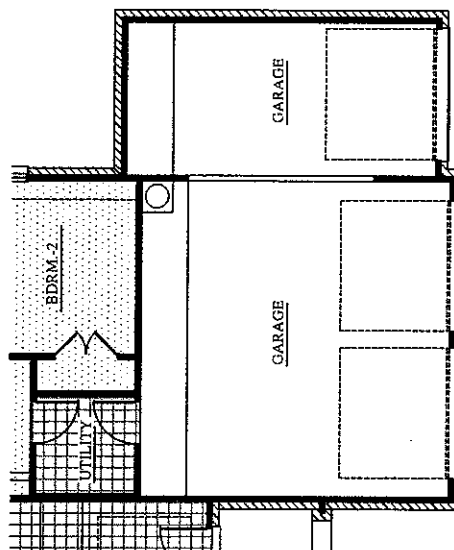




FIRST FLOOR



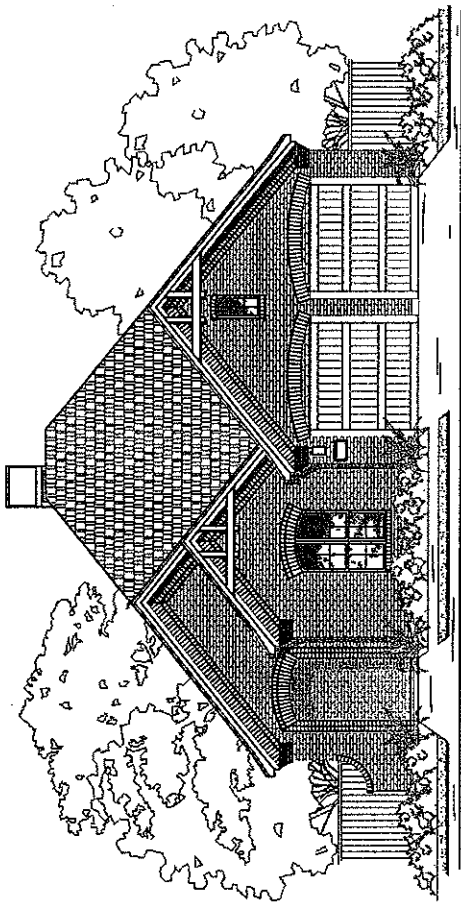
PARTIAL FIRST FLOOR PLAN - 2 1/2 CAR GARAGE OPTION



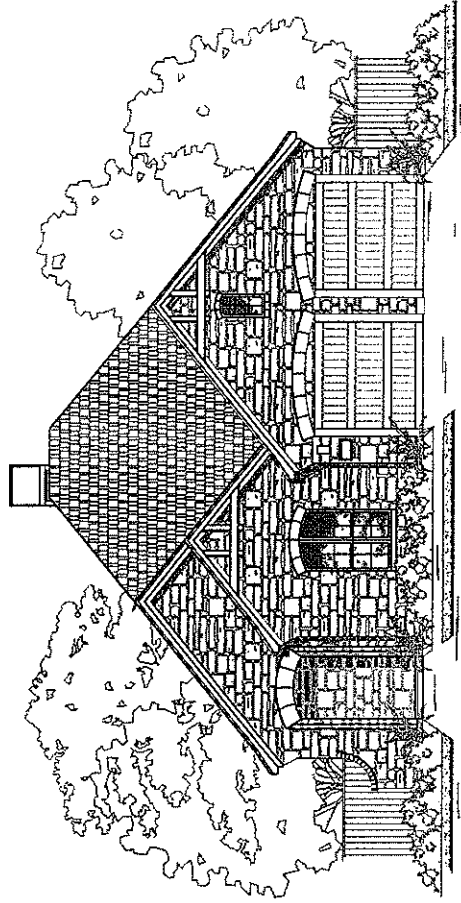
PARTIAL FIRST FLOOR PLAN - 3 CAR GARAGE OPTION



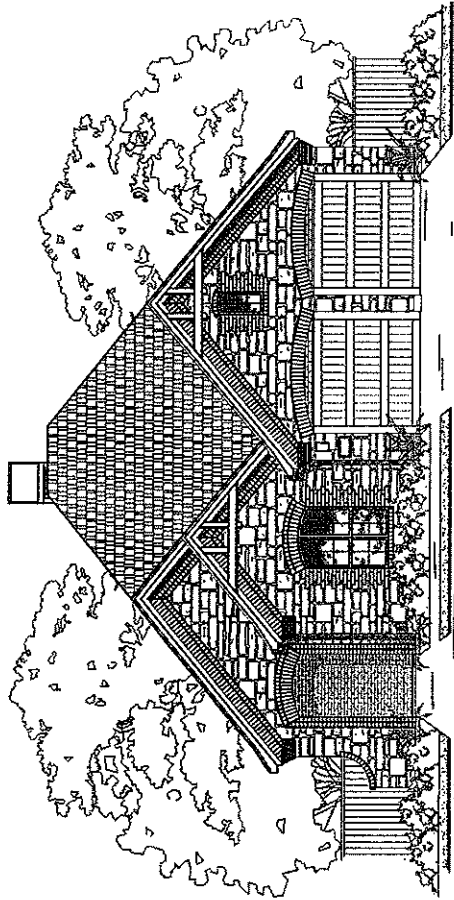
The Camden
Total Heated - 1,793 S.f.



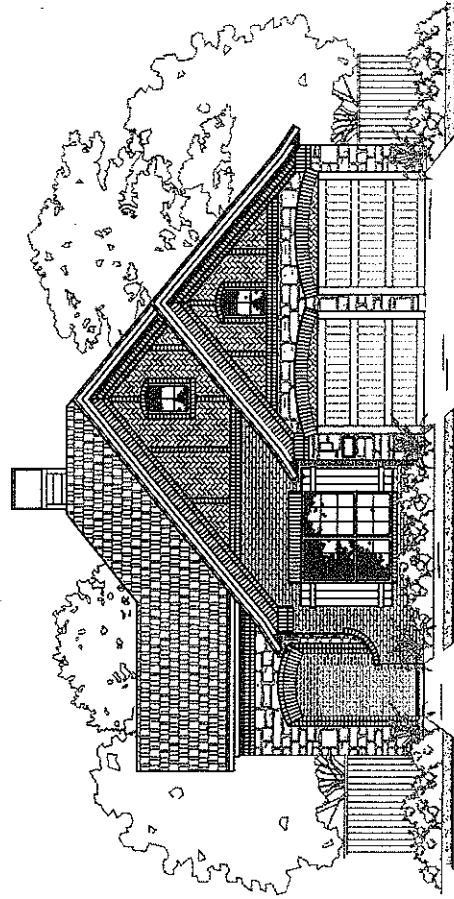
FRONT ELEVATION - A (BRICK)



FRONT ELEVATION - A (STONE)



FRONT ELEVATION - A (BRICK & STONE)



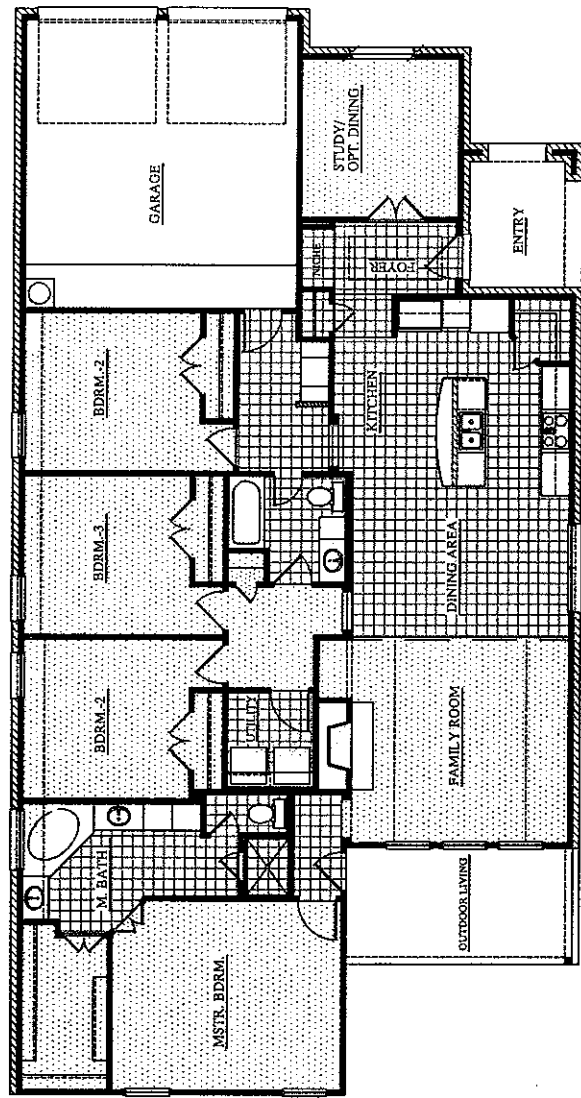
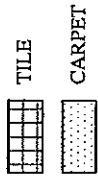
FRONT ELEVATION - B (BRICK & STONE)

**BROHN
HOMES**

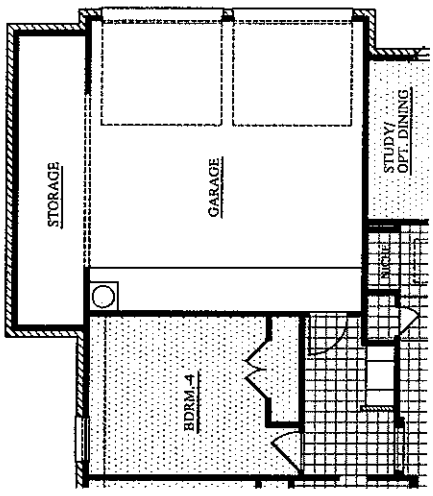
The Chelsea
Total Heated - 2,120 S.f.



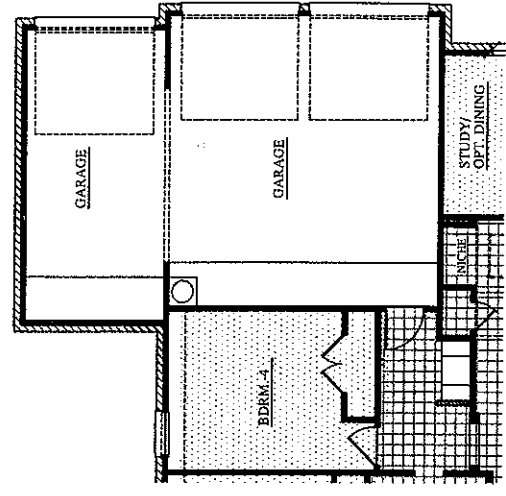
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FIRST FLOOR



PARTIAL FIRST FLOOR PLAN - 2 1/2 CAR GARAGE OPTION



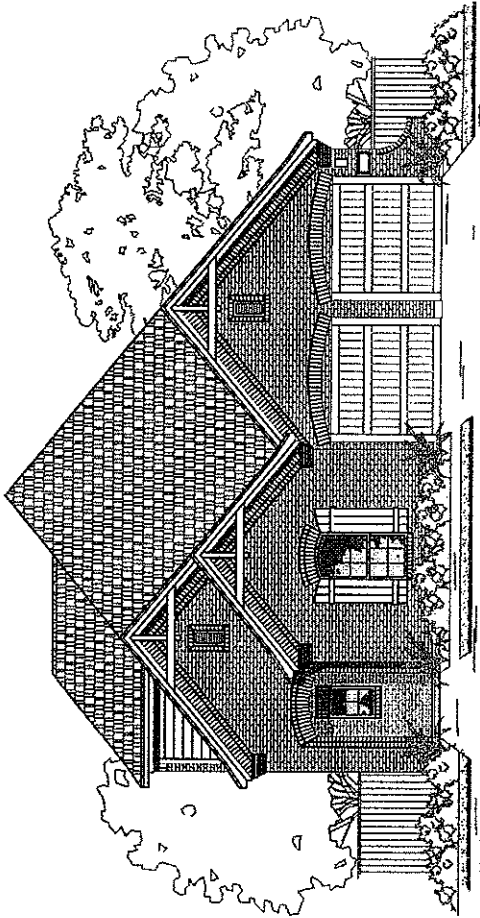
PARTIAL FIRST FLOOR PLAN - 3 CAR GARAGE OPTION



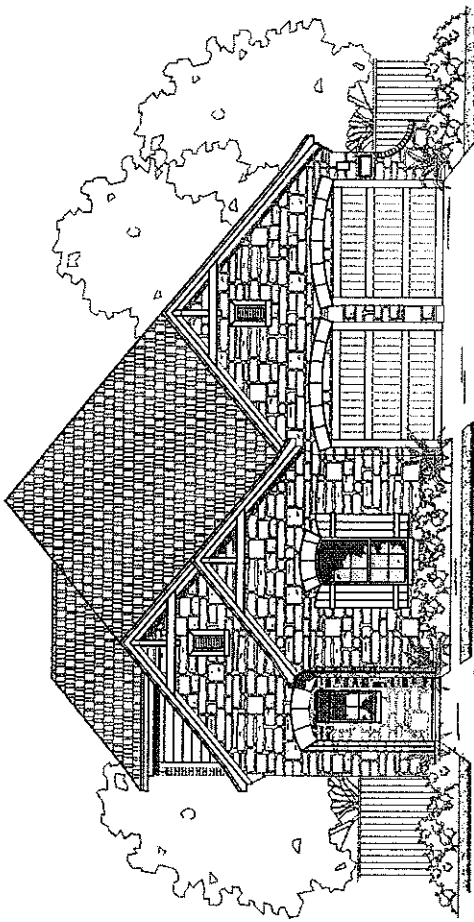
The Chelsea
Total Heated - 2,120 S.f.

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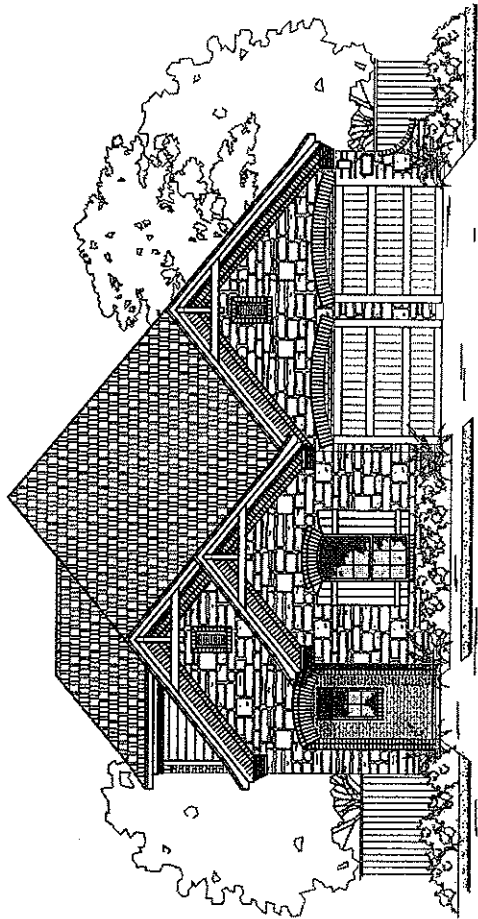




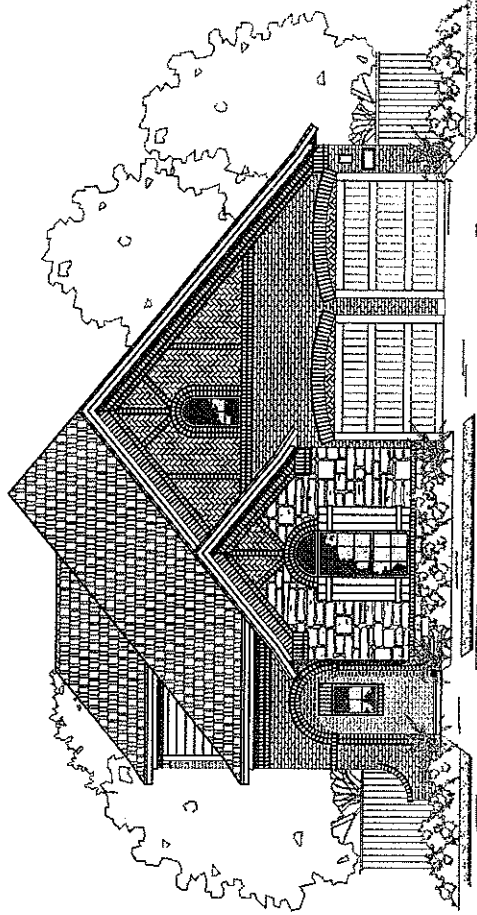
FRONT ELEVATION - A (BRICK)



FRONT ELEVATION - A (STONE)



FRONT ELEVATION - A (BRICK & STONE)



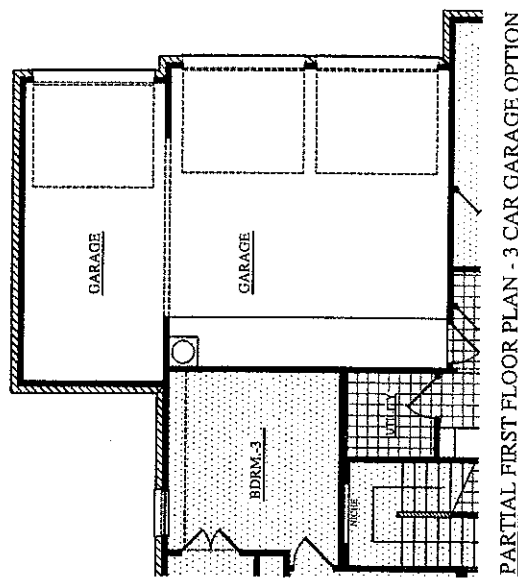
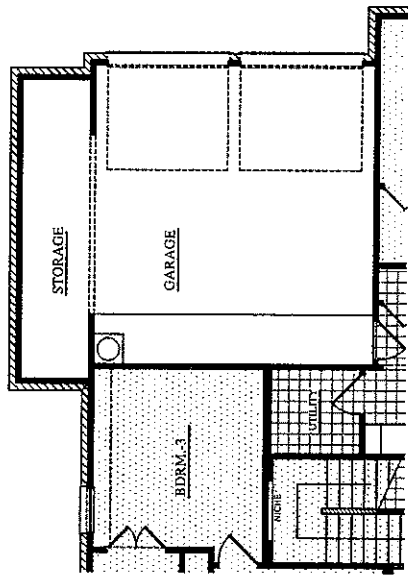
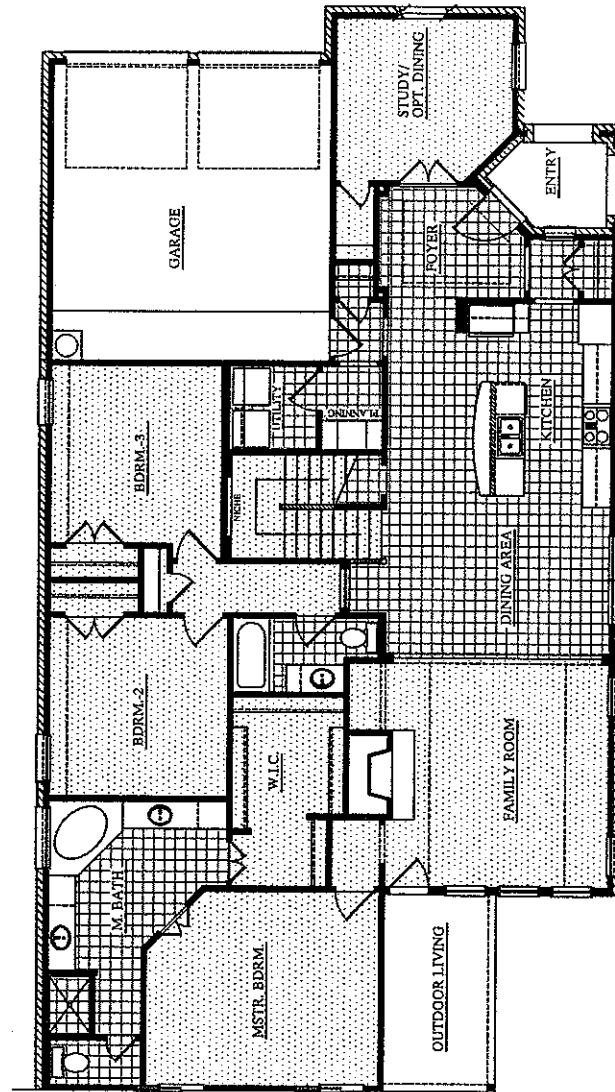
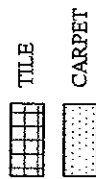
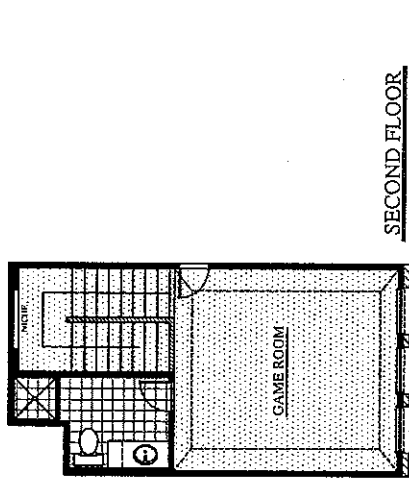
FRONT ELEVATION - B (BRICK & STONE)



The Richmond
Total Heated - 2,417 S.f.

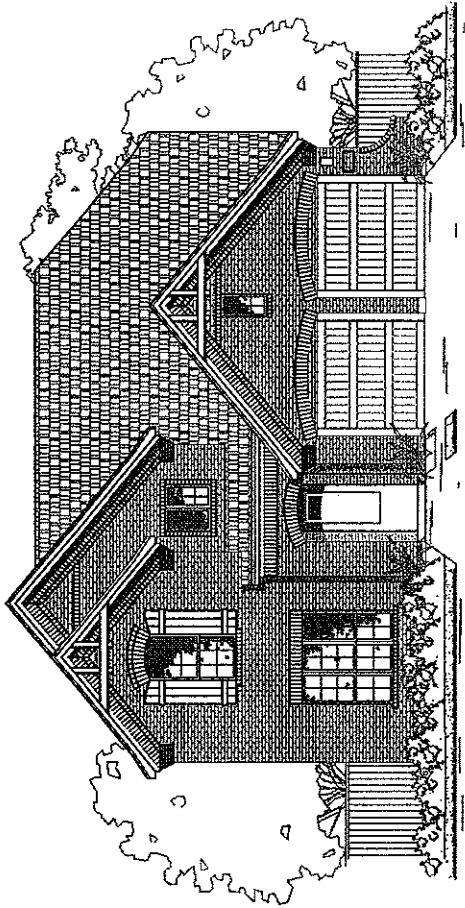


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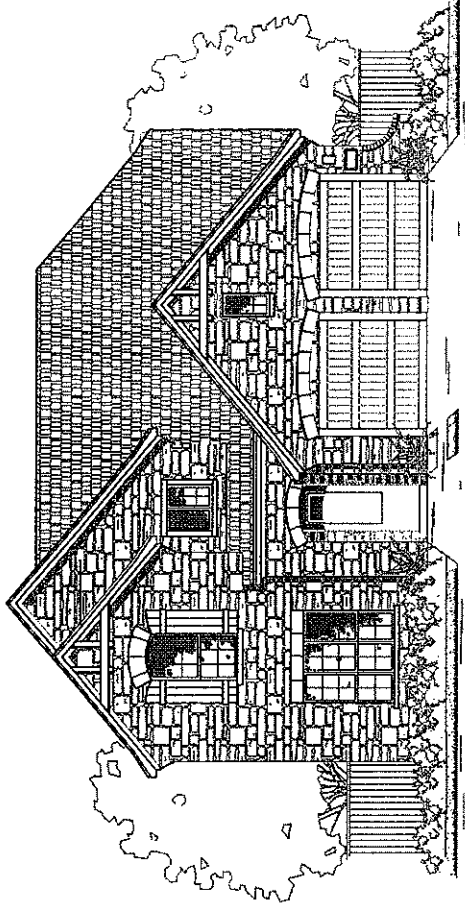


The Richmond
Total Heated - 2,417 S.f.

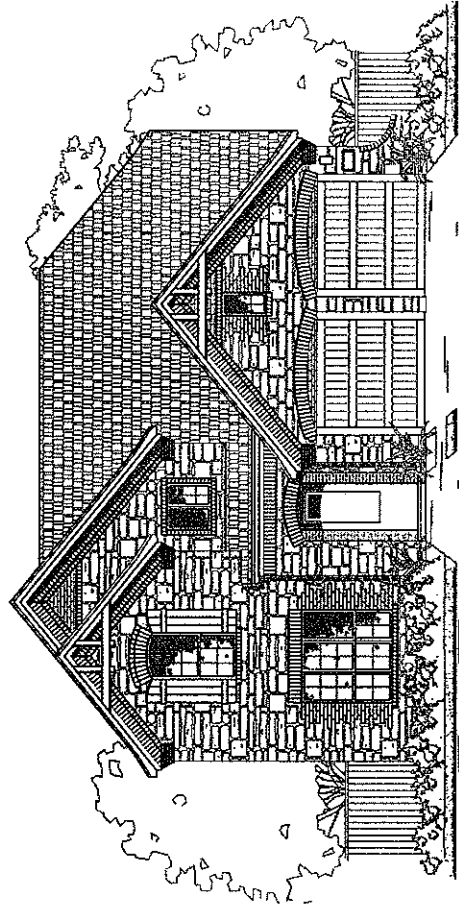
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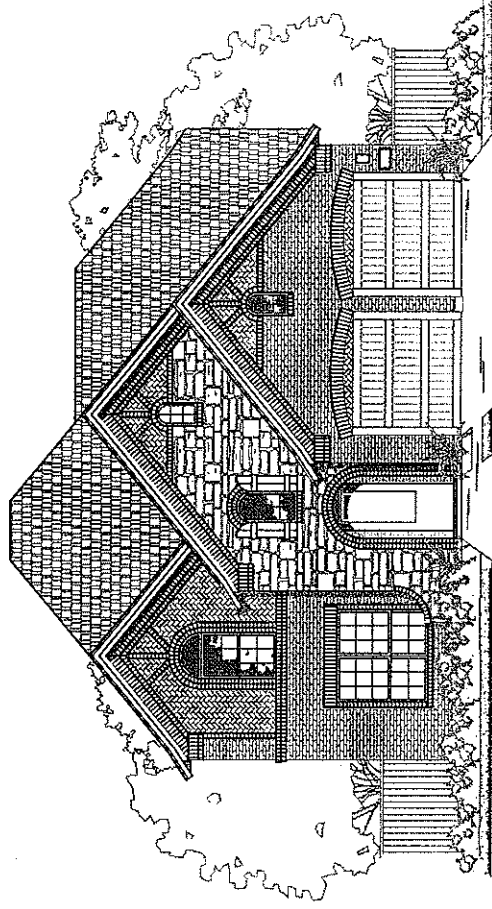
FRONT ELEVATION - A (BRICK)



FRONT ELEVATION - A (STONE)



FRONT ELEVATION - A (BRICK & STONE)

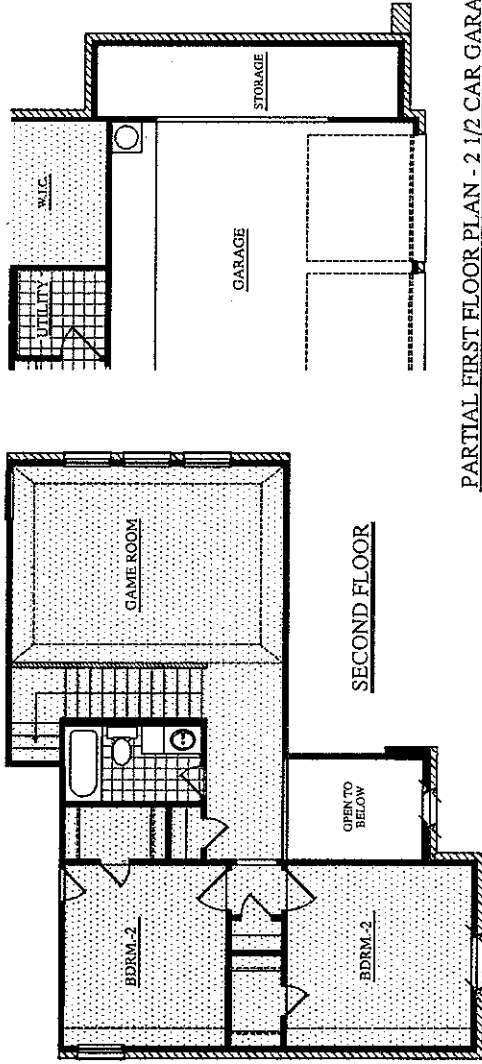


FRONT ELEVATION - B (BRICK & STONE)

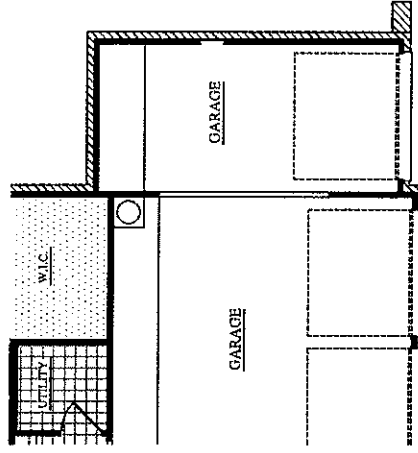


The Greenwich
Total Heated - 2,512 S.f.

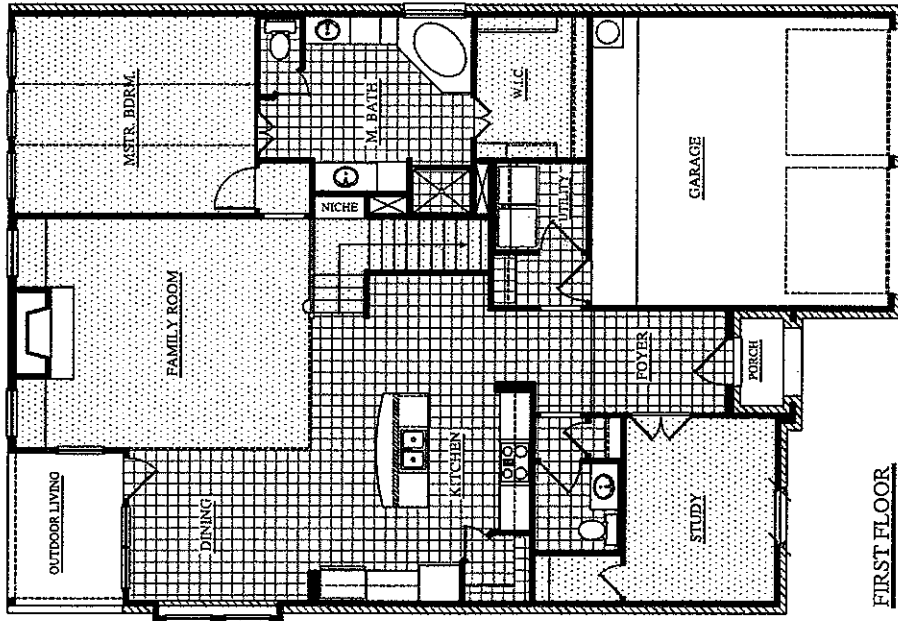
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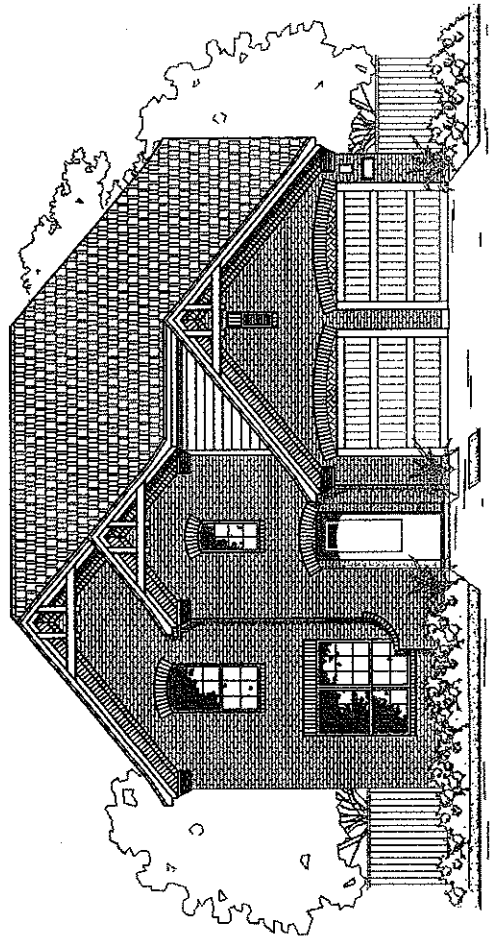
PARTIAL FIRST FLOOR PLAN - 2 1/2 CAR GARAGE OPTION



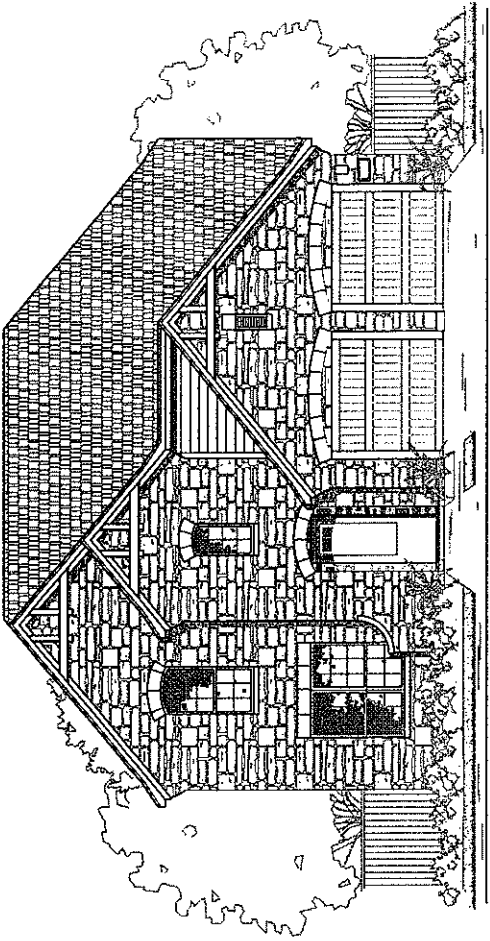
PARTIAL FIRST FLOOR PLAN - 3 CAR GARAGE OPTION



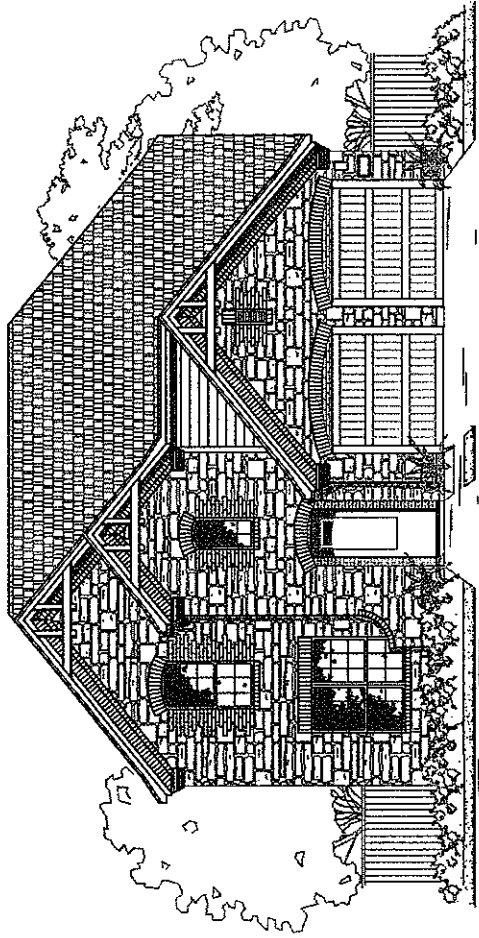
The Greenwich
Total Heated - 2,512 S.f.



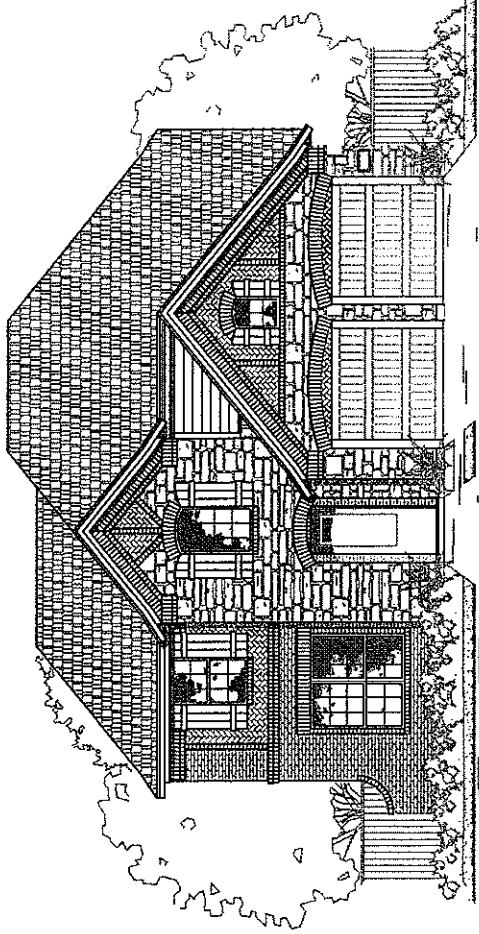
FRONT ELEVATION A (BRICK)



FRONT ELEVATION A (STONE)



FRONT ELEVATION "A"



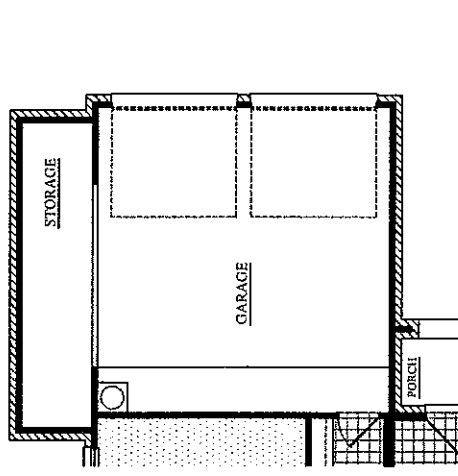
FRONT ELEVATION "B"

**BROHN
HOMES**

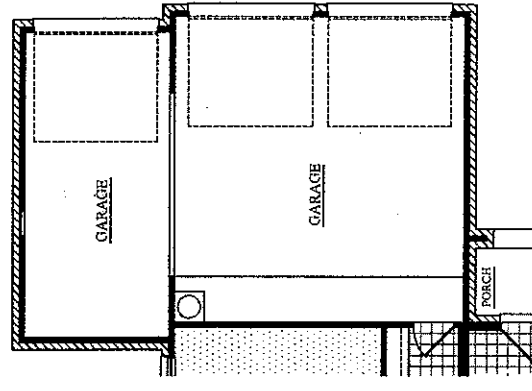
The Stratford
Total Heated - 2,699 S.f.

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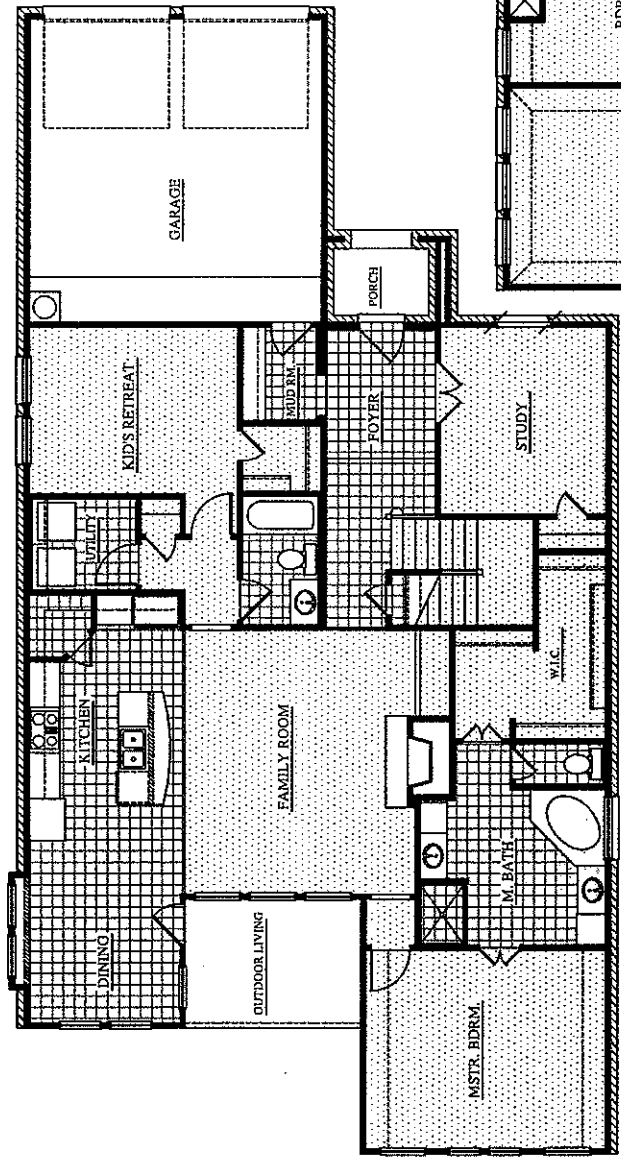




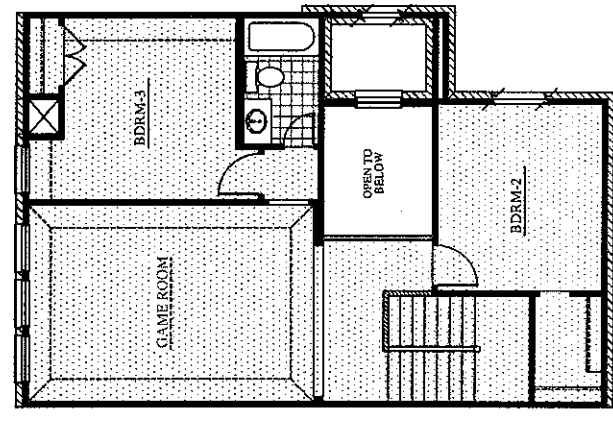
PARTIAL FIRST FLOOR PLAN - 2 1/2 CAR GARAGE OPTION



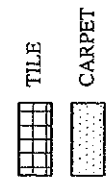
PARTIAL FIRST FLOOR PLAN - 3 CAR GARAGE OPTION



FIRST FLOOR



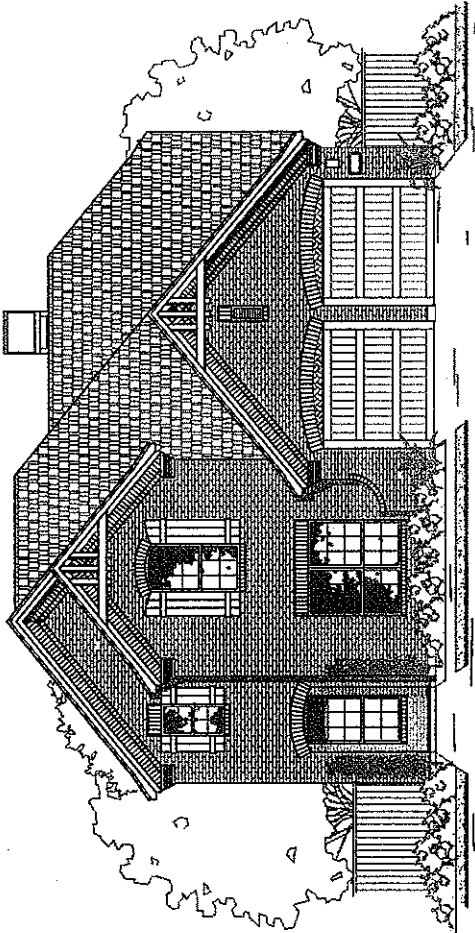
SECOND FLOOR



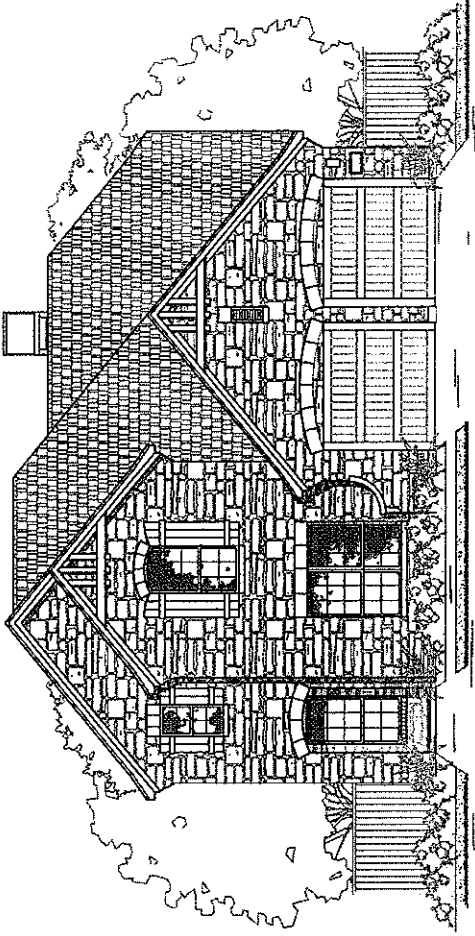
The Stratford
Total Heated - 2,699 S.f.



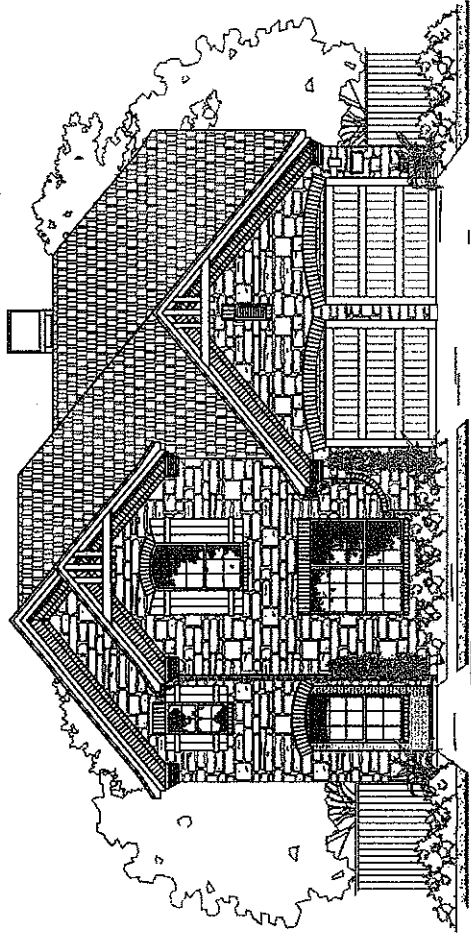
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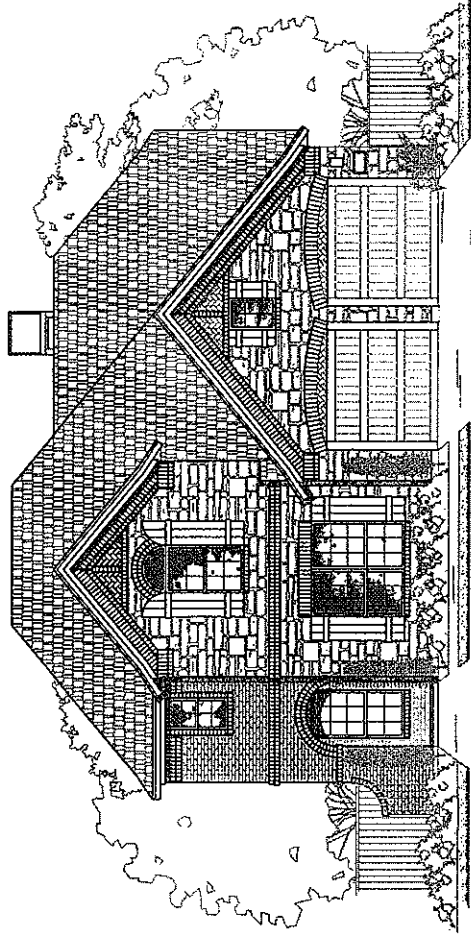
FRONT ELEVATION - A (BRICK)



FRONT ELEVATION - A (STONE)



FRONT ELEVATION - A (BRICK & STONE)



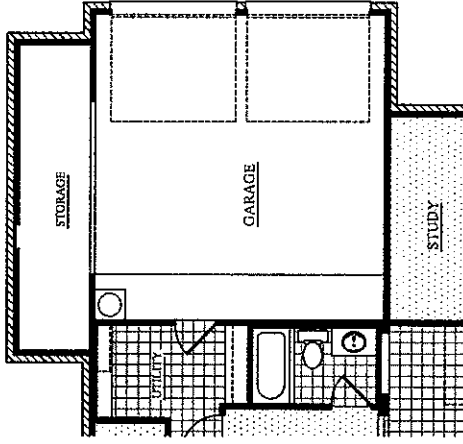
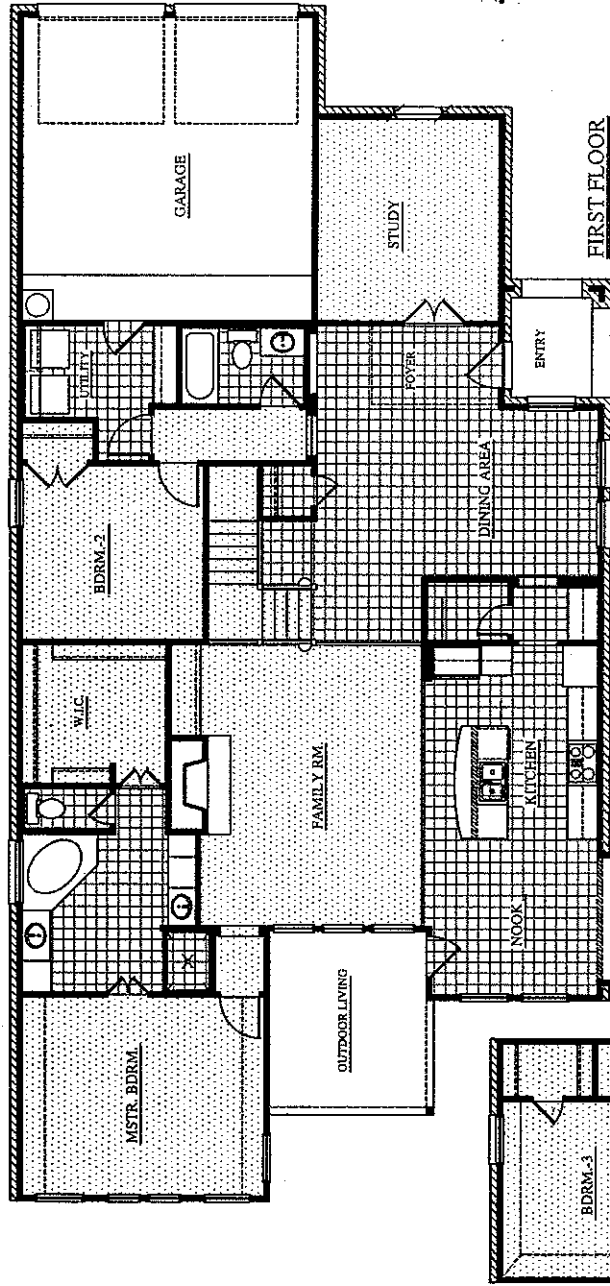
FRONT ELEVATION - B (BRICK & STONE)



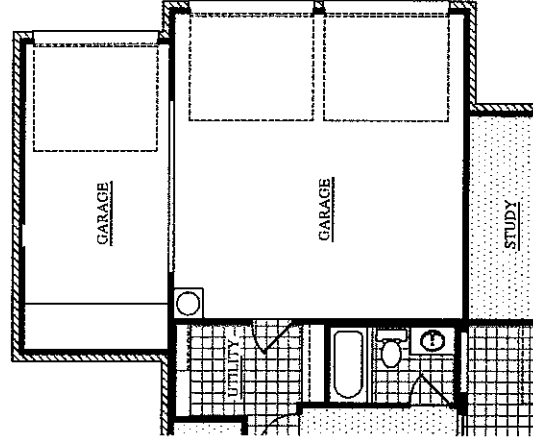
The Kingston
Total Heated - 2,985 S.f.



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PARTIAL FIRST FLOOR PLAN - 2 1/2 CAR GARAGE OPTION



PARTIAL FIRST FLOOR PLAN - 3 CAR GARAGE OPTION



The Kingston
Total Heated - 2,985 S.f.

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This is a detailed architectural floor plan for a single-story house. The layout includes a two-car garage on the left side, which is accessed via a driveway. The main living area is on the right, featuring a large family room with a fireplace and a bay window, a dining area, and a kitchen with a breakfast nook. The kitchen is equipped with a sink, stove, and refrigerator. A study is located near the kitchen, and a central hallway provides access to several bedrooms (BDRM-1, BDRM-2, BDRM-3) and a bathroom. The plan also shows an outdoor living area with a patio and a small structure. Various dimensions and room labels are provided throughout the drawing.

Rooms and Dimensions:

- Garage:** 12' x 24' (12' x 24' CLO)
- Entry:** 12' x 12' (12' x 12' CLO)
- Study:** 10' x 12' (10' x 12' CLO)
- Kitchen:** 10' x 12' (10' x 12' CLO)
- Dining Area:** 10' x 12' (10' x 12' CLO)
- Family Room:** 10' x 12' (10' x 12' CLO)
- Bathroom:** 5' x 7' (5' x 7' CLO)
- Bedrooms:**
 - BDRM-1: 10' x 12' (10' x 12' CLO)
 - BDRM-2: 10' x 12' (10' x 12' CLO)
 - BDRM-3: 10' x 12' (10' x 12' CLO)
- Outdoor Living:** 10' x 12' (10' x 12' CLO)

Structural Details:

- Walls:** 1/2" WALL, 3/4" WALL, 1" WALL
- Doors:** 1/2" DOOR, 3/4" DOOR, 1" DOOR
- Windows:** 1/2" WINDOW, 3/4" WINDOW, 1" WINDOW
- Other:** 1/2" CLO, 3/4" CLO, 1" CLO

1. ALL PLANS ARE TO BE COMPLIANT WITH THE 2009 IRC, IPC, & IMC
2. WIND BRACING REQUIREMENTS ARE TO BE COMPLIANT TO THE 2009 ENERGY CODE.

SQUARE FOOTAGES	
Total Living Area	1793 SQ. FT.
Garage	445 SQ. FT.
Porch & Patio	51/79 SQ. FT.
Total Under Roof	2368 SQ. FT.

- 1.) FRAMER
- 2.) CONCRETE LABOR
- 3.) CORNICE LABOR

REVISIONS

The K.I. Group Inc. assumes no liability for any structure built from these plans. Before construction, the purchaser, builder, or contractor must verify all dimensions, verify compliance with all building codes, and incorporate site conditions. Only a qualified designer, architect, or structural engineer should be permitted to alter these plans, with written release of The K.I. Group Inc.

DESCRIPTION:
WHITESTONE
OAKS



BROHN HOMES



2801 E. 10TH AVE. #10, STE 1000, ANCHORAGE, AK 99503

FAX: (972) 318-0005

ISSUE DATE

DRAFTSPERSON

630	PROJECT NO.
-----	-------------

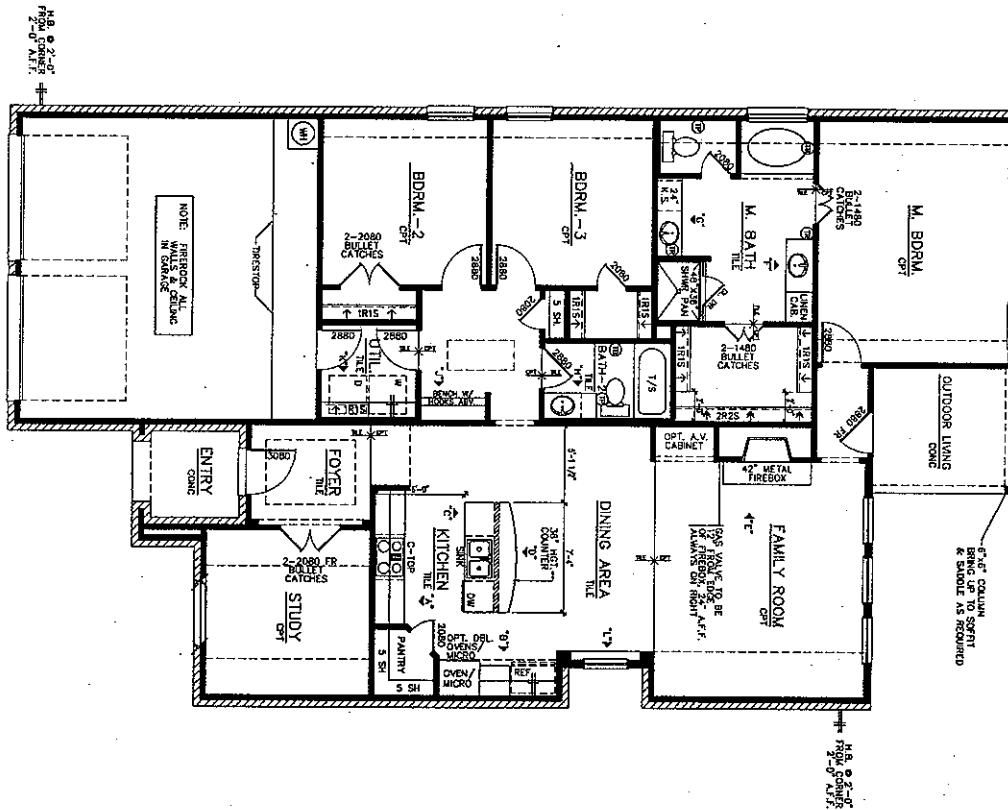
10-033

1793 !

SHEET NUMBER

TRAINING/
CONDUCT

SHEET 1-1

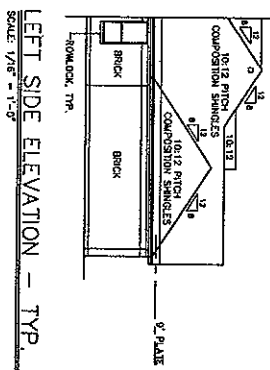


FLOOR PLAN
SCALE 1/8" = 1'-0"

SUPPLIED TO:

- | | | |
|-------------------|------------------|-------------------|
| 1.) FRAMER | 4.) STAIR LABOR | 7.) C-TILE LABOR |
| 2.) CORNICE LABOR | 5.) TRIM LABOR | 8.) CABINET LABOR |
| 3.) SHEETROCKER | 6.) CARPET LABOR | 9.) PLUMBER |

		BROHN HOMES		DESCRIPTION: WHITSTONE OAKS		The M.L. Group Inc. assumes no liability for any structure built from these plans. Before construction, the purchaser, builder, or contractor must verify all dimensions, verify compliance with all building codes, and incorporate site conditions. Only a qualified designer, architect, or structural engineer should be permitted to alter these plans. In the event of any changes, the M.L. Group Inc. will be notified in writing.	
PROJECT NO. 10-033		PLAN NUMBER 1793 L		SHEET NUMBER TRIM / FINISH-OUT		REVISIONS	
DRAFTSPERSON CSC		ISSUE DATE 05-10-10		TRADEMARKED FAX: (970) 314-6866		SHEET 1-2	



SHEET NUMBER
3RD CAR
OPTION
SHEET 1-4

GENERAL NOTES

- 1) REF. PARTIAL FLOOR PLAN & FRONT ELEVATION FOR WINDOW SIZES & LOCATIONS, PROJECTIONS, & FINISHES.
- 2) ALL BRICK LENSES TO BE 1 1/2" O.N.W.
- 3) ALL ARCHES TO BE 4" O. UNLESS NOTED OTHERWISE.
- 4) ALL SHOWER HEADS TO BE 8" O. A.F.F.
- 5) WATER HEATING TO BE LOCATED IN GARAGE ON WALL UNLESS OTHERWISE NOTED.
- 6) ALL DOOR OPENINGS TO BE 2' O. UNLESS OTHERWISE NOTED.
- 7) STANDARD DOOR JAMB TO BE 4" O.

NOTES TO FRAMER:

- 1) ALL DIMENSIONS ARE TO FACE OF STUDS UNLESS NOTED OTHERWISE.
- 2) CABINET BLOCKING ON KITCHEN WALLS @ 3" LOCATIONS: 37-1/2" A.F.F., 51-1/2" A.F.F., & 98" A.F.F.
- 3) ALL NON-LOAD BEARING INTERIOR WALL STUDS TO BE 24" O.C.
- 4) MANTLE BLOCKING AT EACH SIDE OF FIREPLACE EVERY 24" O.C. A.F.F.
- 5) ALL BEAMS WHICH ARE BRACED OFF OF MUST BE RAISED 1 1/2" FROM TOP PLATE.
- 6) PLAYGROUND FOR WATER HEATER TO BE BUILT BY WATER HEATER SHOWN ON TRAILING PLAN.
- 7) ALL FINISHED CEILING TO BE 10'-0" PLAT UNLESS NOTED OTHERWISE.
- 8) ALL WINDOW ROUGH OPENING SIZES TO BE FRAMED SAME AS WINDOW CALL-OUT SIZE.
- 9) WALL TOP BLOCKING 26"-32" FROM WALL BOTTOM PLATE TO TOP PLATE.
- 10) WALLY LIGHT FINISH 24" BLOCKING TO BE IN ALL BATHS @ 8" A.F.F. (TO BOTTOM OF BLOCKS).
- 11) CABINET BLOCKING FOR RAINING CENTER TO BE @ 37" A.F.F. (TO TOP OF BLOCKS).
- 12) BLOCK BETWEEN STUDS @ ALL RAKES W/ 24" MATERIAL AT ROOF LINE.

TRIM SCHEDULE

ITEM	QTY	DESCRIPTION
1	22'-1/2"	2" X 4" MANTLE
2	SEE SPECS	SEE SPECS
3	SEE SPECS	SEE SPECS
4	SEE SPECS	SEE SPECS
5	SEE SPECS	SEE SPECS
6	SEE SPECS	SEE SPECS
7	SEE SPECS	SEE SPECS
8	SEE SPECS	SEE SPECS
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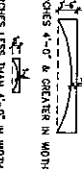


ARCHES 4'-0" & GREATER IN WIDTH

- 1) INSTALL BOTH DIRECTLY UNDER HEADERS.
- 2) INSTALL SOLID 2x4 BLOCKING AT ARCH.

TYPICAL ARCHWAY DIMENSIONS FOR 8'-1 1/8" PLATE HEIGHT

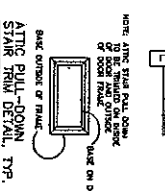
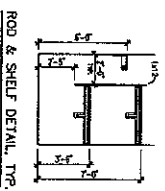
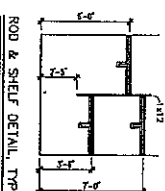
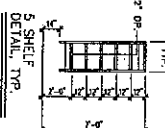
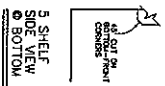
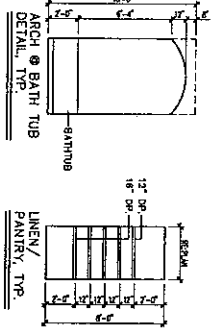
REFER TO PLANS FOR OPENING WIDTH



- 1) ARCHES LESS THAN 4'-0" IN WIDTH
- 2) INSTALL BOTH DIRECTLY UNDER HEADERS.
- 3) INSTALL SOLID 2x4 BLOCKING AT ARCH.

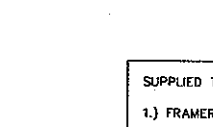
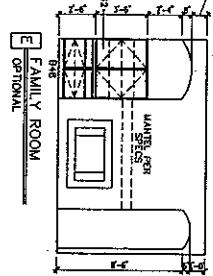
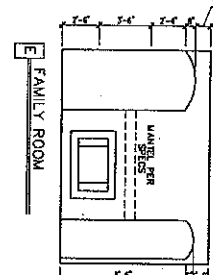
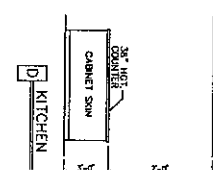
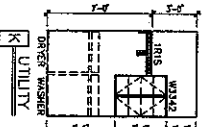
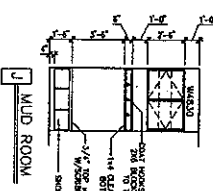
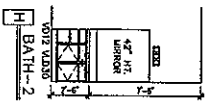
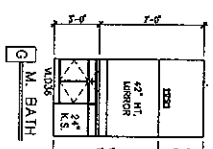
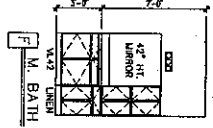
TYPICAL ARCHWAY DIMENSIONS FOR 8'-1 1/8" PLATE HEIGHT

REFER TO PLANS FOR OPENING WIDTH



INTERIOR ELEVATIONS

SCALE 1/8" = 1'-0"



SUPPLIED TO:

- 1.) FRAMER
- 2.) SHEETROCKER
- 3.) STAIR LABOR
- 4.) TRIM LABOR
- 5.) CARPET LABOR
- 6.) C-TILE LABOR
- 7.) CABINET LABOR
- 8.) PLUMBER

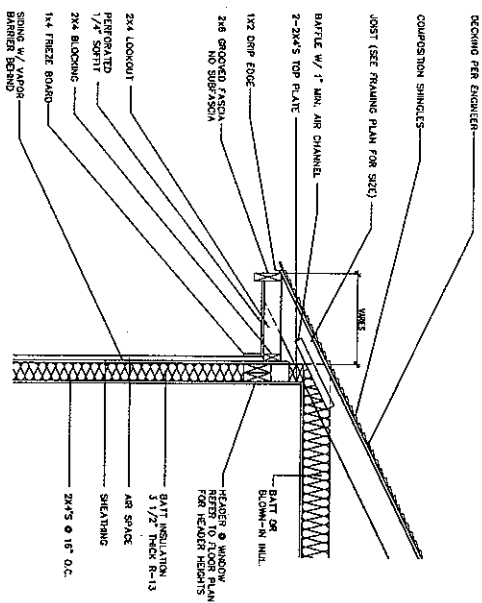
DESCRIPTION:
WHITESTONE
OAKS

The U.I. Group Inc. reserves the right to alter these plans for any structure built from these plans. Before construction, the purchaser, builder, or contractor must verify all dimensions, verify compliance with all building codes, and incorporate site conditions. Only a qualified designer, architect, or structural engineer should be permitted to alter these plans, with written release of the U.I. Group Inc.

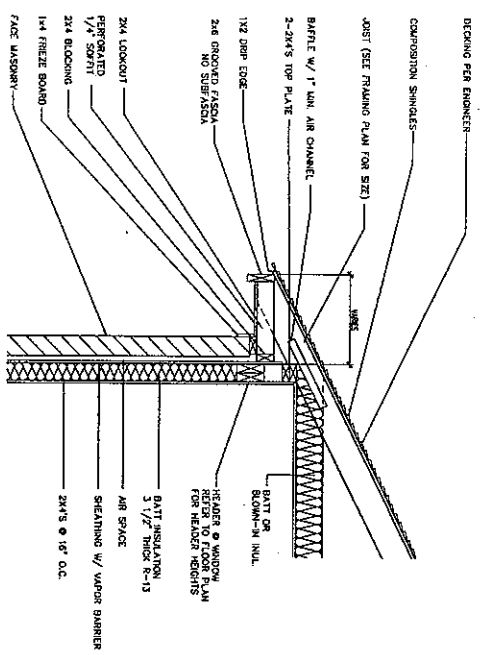
REVISIONS



PROJECT NO.	10-033
PLAN NUMBER	1793 L
SHEET NUMBER	1
DATE	05-10-10
DRAWN BY	CSG
CHECKED BY	CSG
APPROVED BY	CSG
DATE	05-10-10
PROJECT NO.	10-033
PLAN NUMBER	1793 L
SHEET NUMBER	1
DATE	05-10-10
DRAWN BY	CSG
CHECKED BY	CSG
APPROVED BY	CSG
DATE	05-10-10



***PROJECTIONS OF EAVES INTO THE BUILDING LINE SETBACK WILL REQUIRE THE SOFFIT TO BE 1\"/>



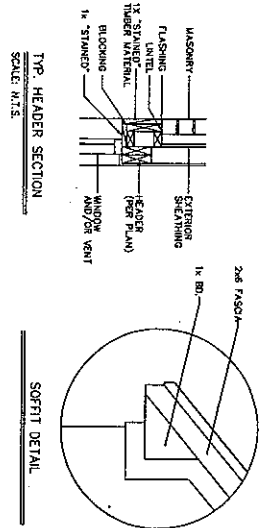
***PROJECTIONS OF EAVES INTO THE BUILDING LINE SETBACK WILL REQUIRE THE SOFFIT TO BE 1\"/>

TYPICAL SOFFIT DETAIL AT SIDING

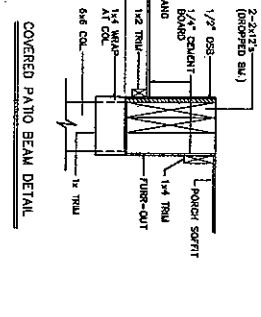
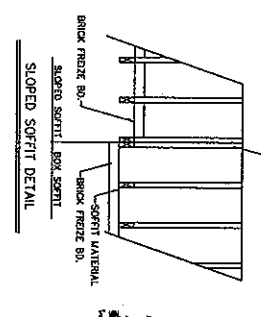
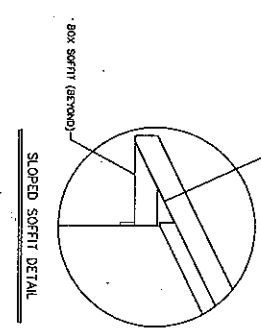
SCALE: N.T.S.
REF. PLANS & ELEV'S FOR FRAMING & PITCH

TYPICAL SOFFIT DETAIL AT MASONRY

SCALE: N.T.S.
REF. PLANS & ELEV'S FOR FRAMING & PITCH



TYP. HEADER SECTION
SCALE: N.T.S.



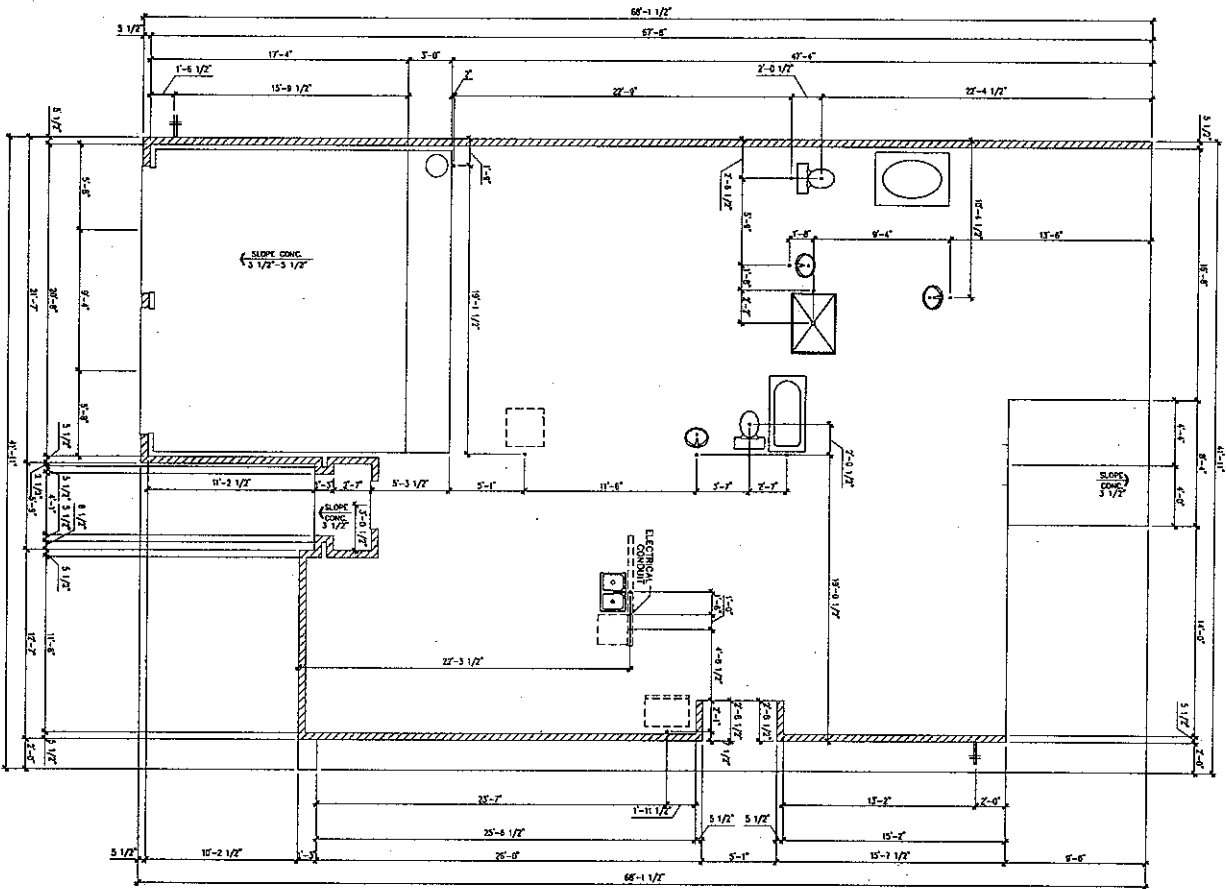
COVERED PATIO BEAM DETAIL

REVISIONS	DESCRIPTION: WHITESTONE OAKS	BUILDER: BROHN HOMES	DATE: 05-10-10
	PROJECT NO. 10-033	SHEET NUMBER 1793 L	DATE: 05-10-10

1

SHEET 1-D-2

				DESCRIPTION: WHITESTONE OAKS		The M. Group Inc. assumes no liability for any structure built from these plans. Before construction, the purchaser, builder, or contractor must verify all dimensions, verify compliance with all building codes, and interpret all conditions. Only a qualified engineer, architect, or structural engineer should be permitted to alter these plans, with written release of The M. Group Inc.	
PROJECT NO. 10-033		PLAN NUMBER 1793 L		SHEET NUMBER FOUNDATION ENGINEERING SHEET 20		REVISIONS	



FOUNDATION SILHOUETTE - B

SCALE: 1/8" = 1'-0"

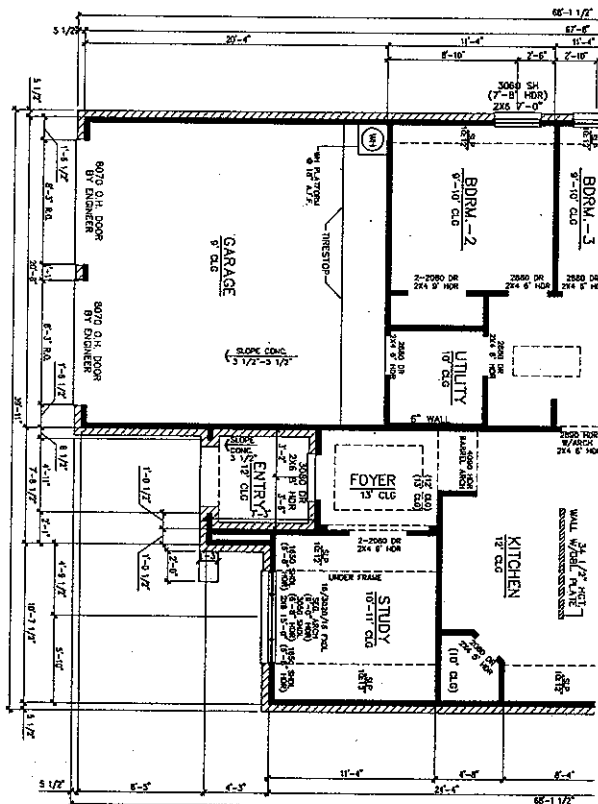
PLUMBING NOTES:

- 1) MINIMUM OF 2 METAL STICKS PER PVC PIPE THROUGH SLAB
- 2) ALL PIPES MUST BE SEALED WITH METAL STICKS (USE TAPE TO PREVENT CONTACT IF APPLICABLE)
- 3) ALL PIPES MUST BE SEALED AT TOP
- 4) TEMPORARY HOSE BAG TO BE ON EXTERIOR OF SLAB
- 5) ALL PLUMBING MUST BE MINIMUM 1 1/2" AWAY FROM FORMS
- 6) PLACE ALL TRASH IN DESIGNATED AREA
- 7) NOTIFY CONSTRUCTION MANAGER OF ANY PROBLEMS
- 8) VERIFY ALL MEASUREMENTS BEFORE SLAB IS POURED
- 9) PROVIDE ON/OFF VALVE AT EXTERIOR CORN. GAS STUD IF OPTION IS SELECTED
- 10) ALL ROOF PENETRATIONS SHALL NOT BE VISIBLE FROM THE STREET OR ON THE FRONT PORTION OF THE ROOF (FRONT OF HOUSE OR STREET SIDE)
- 11)

SUPPLIED TO:

- 1.) CONCRETE LABOR
- 2.) PLUMBER
- 3.) ELECTRICIAN

SHEET NUMBER FOUNDATION ENGINEERING B SHEET 2b	PLAN NUMBER 1793 L	PROJECT NO. 10-033	DRAFTSPERSON MRB	ISSUE DATE 05-10-10	DRAWN BY MRB	CHECKED BY MRB	APPROVED BY MRB	THE M.L. GROUP 	BUILDER: BROHN HOMES	DESCRIPTION: WHITESTONE OAKS	The M.L. Group Inc. assumes no liability for any structure built from these plans. Before construction, the purchaser, builder, or contractor must verify all dimensions, verify compliance with all building codes, and incorporate site conditions. Only a qualified engineer, architect, or structural engineer should be permitted to alter these plans, with written release of The M.L. Group Inc.	REVISIONS
												REVISIONS



SUPPLIED TO:

- 1.) FRAMER 4.) TRIM LABOR
2.) CONCRETE LABOR
3.) CORNICE LABOR

[illegible]

DESCRIPTION:
WHITESTONE
OAKS

The M.I. Group Inc. assumes no liability for any structure built from these plans. Before construction, the purchaser, builder, or contractor must verify all dimensions, verify compliance with all building codes, and incorporate site conditions. Only a qualified designer, architect, or structural engineer should be permitted to alter these plans. For a written release of The M.I. Group Inc.,

BUILDER: **BROHN HOMES**



SQUARE FOOTAGES	
Total Living Area	1793 SQ. FT.
Garage	445 SQ. FT.
Porch & Patio	51/79 SQ. FT.
Total Under Roof	2368 SQ. FT.

220 MILLER VALLEY RD. N.E. 750
HOBASVILLE, ILL. 62520
OFFICE: (817) 413-424
FAX: (972) 318-8866
TRADEMARKED
ISSUE DATE
05-10-10
DRAFTSMAN
CSG
PROJECT NO.
10-033
PLAN NUMBER
1793 L
SHEET NUMBER
ELEVATION
FOOTPRINT
"A"
SHEET 30

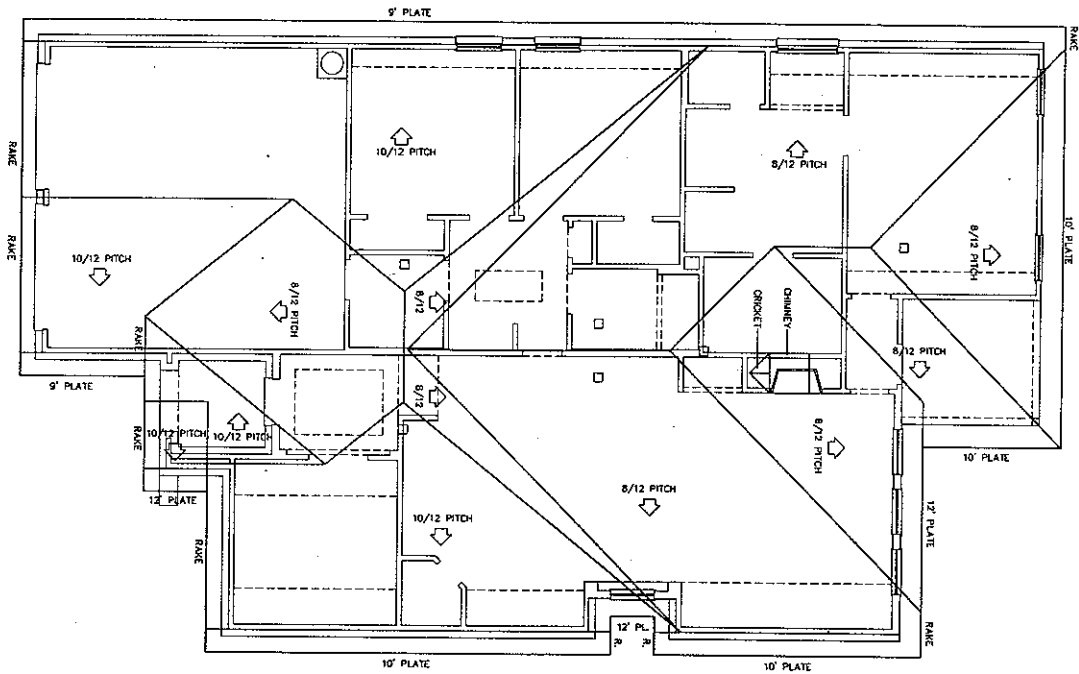


SQUARE FOOTAGES		
Total Living Area	1821	SQ. FT.
Garage	445	SQ. FT.
Porch & Patio	2279	SQ. FT.
Total Under Roof	2367	SQ. FT.

SUPPLIED TO:

1.) FRAMER	4.) TRIM LABOR
2.) CONCRETE LABOR	
3.) CORNICE LABOR	

2200 BROADWAY, SUITE 200 BROOKLYN, NEW YORK 11218 TEL: (718) 339-1100 FAX: (718) 339-1101 WWW.BROHNHOMES.COM TRADEMARKED ISSUE DATE 05-10-10 DATE PREPARED CSD	 	BUYER:  BROHN HOMES	DESCRIPTION: WHITESTONE OAKS	The M.I. Group Inc. assumes no liability for any structure built from these plans. Before construction, the purchaser, builder, or contractor must verify all dimensions, verify compliance with all building codes, and incorporate all conditions. Only a qualified designer, architect, or structural engineer should be permitted to alter these plans. In written release of The M.I. Group Inc.	REVISIONS
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ROOF PLAN - A
SCALE: 1/8" = 1'-0"

LINEAR FEET OF PERFORATED SCAFF VENTS (F.B.A.)
☐ DENOTES ROOF LOWERS
 (1" x 1" HOLE TO BE CUT BY ROOFING CONTRACTOR)

VENTILATION NOTES

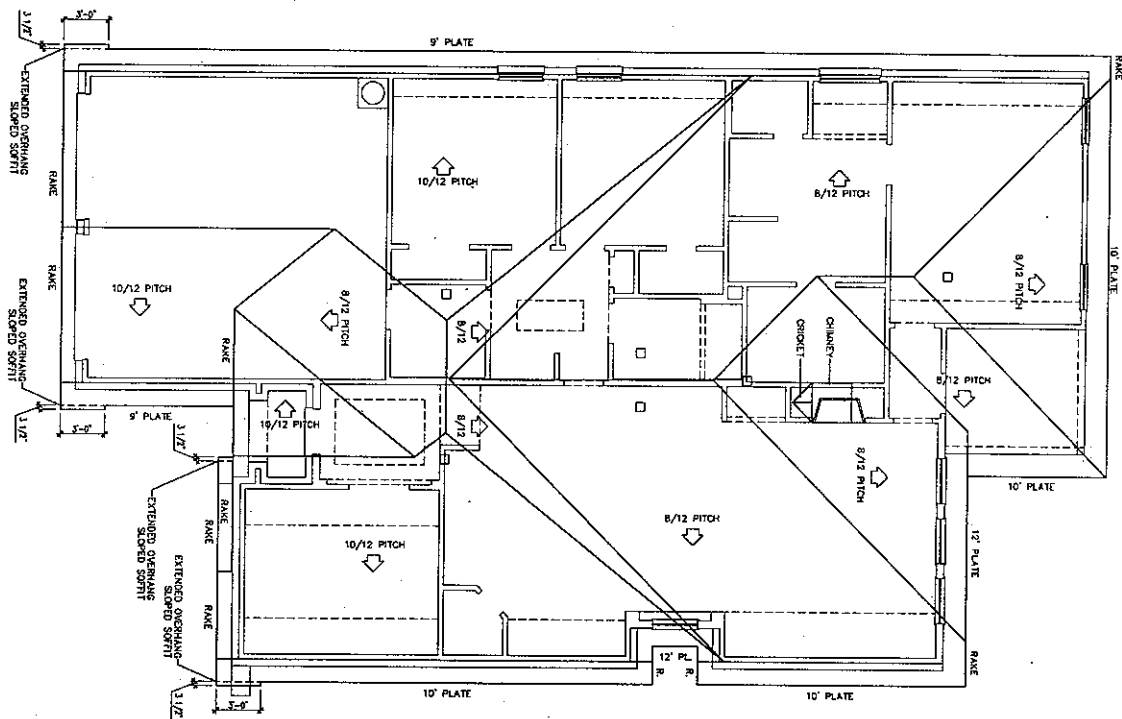
- 1.) ALL ROOF SLOPES TO BE 8/12 & 10/12 UNLESS NOTED OTHERWISE.
- 2.) OVERHANG TO BE 1'-4" FROM EAVES & 1'-2" FROM SIDES & 10/12 & 8/12 & 12/12.
- 3.) ALL SPANS TO BE 8/12.
- 4.) ARROWS INDICATE DRAINAGE.

ROOF NOTES

SUPPLIED TO:

- 1.) FRAMER
- 2.) CORNICE LABOR
- 3.) DECKER
- 4.) SHINGLE LABOR

		BROHN HOMES		DESCRIPTION: WHITESTONE OAKS		The ML Group Inc. assumes no liability for any structure built from these plans. Before construction, the purchaser, builder, or contractor must verify all dimensions, verify compliance with all building codes, and incorporate site conditions. Only a qualified designer, architect, or structural engineer should be permitted to alter these plans, and within release of The ML Group Inc.	
PROJECT NO. 10-033		SHEET NUMBER 1793 L		SHEET NUMBER FRAME ENGINEERING A		REVISIONS	
DRAFTSPERSON CSC		ISSUE DATE 05-10-10		SCALE 1/8" = 1'-0"		SUPPLIED TO:	
ADDRESS 1000 W. 10th St. Suite 100 Oklahoma City, OK 73106		PHONE (405) 973-1400		FAX (405) 973-1400		E-MAIL info@mlgroup.com	



ROOF PLAN - B
SCALE 1/8" = 1'-0"

VENTILATION NOTES

- LINEAR FEET OF PERFORATED SOFTI VENTS T.B.O.
- DENOTES ROOF LOADERS
- DENOTES ROOF TO BE CUT BY ROOFING CONTRACTOR

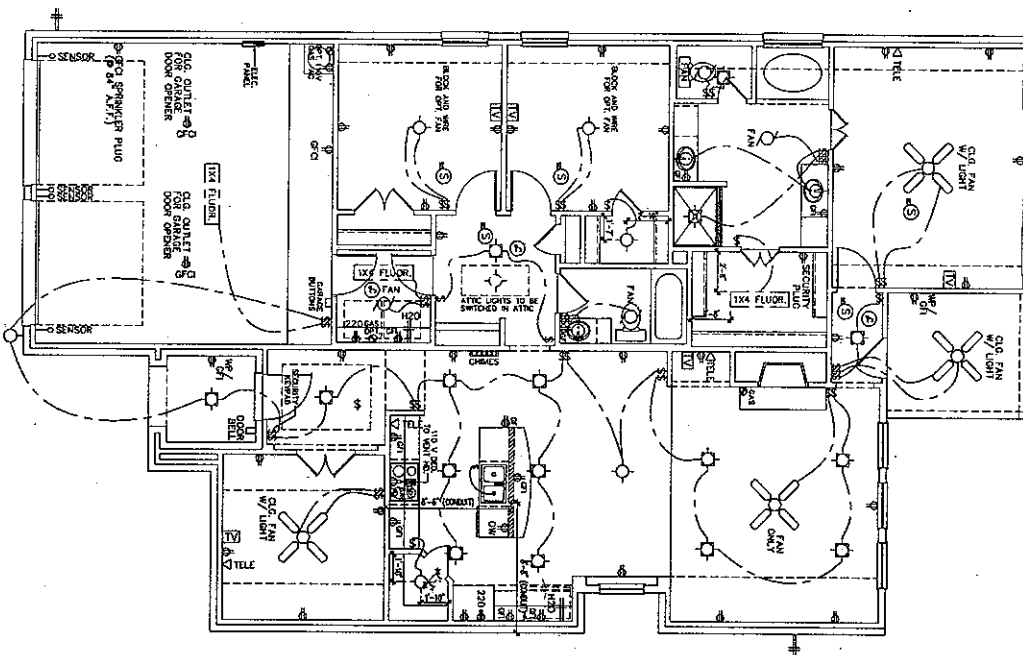
ROOF NOTES

- 1.) ALL ROOF SLOPES TO BE 8/12 & 10/12 UNLESS NOTED OTHERWISE
- 2.) OVERHANG TO BE 1'-4" FROM FINISH GRADE UNLESS NOTED OTHERWISE
- 3.) ALL SKYWAYS TO BE 8/12
- 4.) ARROWS INDICATE DRAINAGE

SUPPLIED TO:

- 1.) FRAMER
- 2.) CORNICE LABOR
- 3.) DECKER
- 4.) SHINGLE LABOR

	BROHN HOMES	WHITESTONE OAKS	DESCRIPTION: The M.L. Group Inc. assumes no liability for any structure built from these plans. Before construction, the purchaser, builder, or contractor must verify all dimensions, verify compliance with all building codes, and incorporate site conditions. Only a qualified designer, architect, or structural engineer should be permitted to alter these plans, with written release of The M.L. Group Inc.	REVISIONS
				PROJECT NO. 10-033
PROJECT NO. 10-033	PLAN NUMBER 1793 L	SHEET NUMBER FRAME	ENGINEERING B	SHEET 5B

[illegible]

ELECTRICAL PLAN
SCALE: 1/8" = 1'-0"

REVISIONS

The M.I. Group Inc. assumes no liability for any structure built from these plans. Before construction, the purchaser, builder, or contractor must verify all dimensions, verify compliance with all building codes, and incorporate site conditions. Only a qualified designer, architect, or structural engineer should be permitted to alter these plans, with written release of The M.I. Group Inc.

DESCRIPTION:
WHITESTONE
OAKS

BUILDER:



BROHN HOMES



2100 HIGHLAND VILLAGE RD, STE 500

OFFICE: (978) 410-7476

FAX: (972) 318-0006

TRADEMARKED

ISSUE DATE
OF 10 10

[illegible]

PHOTO: JEFF ELLISON
WALIC

PROJECT NO.

10-033

PLAN N°114829

47071

7521

SHEET NUMBER

ELECTRICAL

—

SHEET 6-1

1

HVAC NOTES:

- ALL SUPPLIES, RETURN, EXHAUST, DUCTS, ETC. MUST BE LOCATED AND PLACED IN ACCORDANCE WITH THE CONSTRUCTION MANUAL OF ANY APPLIANCE OR EQUIPMENT.
- DO NOT BREAK OUT PRE-EXISTING WALLS OR CHASES, IF MUST BE CUT TO PROPER SIZE.
- DO NOT CUT STRONG FLOORS FOR THE PURPOSE OF CONTAINING DUCTS.
- DUCTS MUST NOT BE CONNECTED OR PINCHED-OFF AT CHASES, ROOFTOPS, ETC.
- SWEET-OUT HOLES AND CLOSE ALL WINDOWS AT THE END OF EACH RUN.
- A/C UNITS ARE LOCATED OVER KITCHEN AREA.
- DRAINAGE VENT BOX TO BE ON BOTTOM PLATE, MOUNT ON CENTER 4'-0" FROM FACE OF STUD WALL OF ENTRY.
- THE PRIMARY A/C DRAIN LINE SHOULD RUN TO VANITY OF BATH 2 OR WASHER BOX.
- LOCATE THE SECONDARY A/C DRAIN LINE CENTERED OVER WINDOW IN THE CENTER OF THE ENTRY ON THE SIDE OF BEDROOM 2.
- ALL ROOF DRAINAGE MUST BE FROM INSIDE OF ROOF AND STREET OR ON THE FRONT PORCH OF THE HOUSE (FRONT OF HOUSE ON STREET SIDE).

THE FOLLOWING ARE GENERAL PLACEMENT GUIDELINES. CERTAIN PLANS MAY VARY IN PLACEMENT LOCATIONS FROM THESE BASIC GUIDELINES.

SUPPLY OUTLETS

- 1) DINING ROOM --- 1-SUPPLY, OPPOSITE THE WINDOW
- 2) LIVING ROOM --- 1 OR 2-SUPPLIES, OPPOSITE THE WINDOW W/ LESS THAN 12' CEILING, NEXT TO WINDOW W/ 12' OR GREATER CEILING
- 3) FAMILY ROOM --- 2 OR 3-SUPPLIES, OPPOSITE THE WINDOW W/ LESS THAN 12' CEILING, NEXT TO WINDOW W/ 12' OR GREATER CEILING
- 4) MASTER BEDROOM --- 2 OR 3-SUPPLIES, OPPOSITE THE WINDOW (IN SECOND LEVEL OR TIEED CEILING)
- 5) MASTER BATH --- 1-SUPPLY, CENTERED 7' TO 3' FROM ENTRANCE DOOR
- 6) MASTER CLOSET --- 1-SUPPLY, CENTERED 7' TO 3' FROM ENTRANCE DOOR
- 7) MASTER CLOSET (ONLY IF ON EXTERIOR WALL) --- 1-SUPPLY, OPPOSITE EXT. WALL
- 8) KITCHEN & HOOK --- 2 OR 3-SUPPLIES, 2' MIN. AWAY FROM LIGHTS & STOVE/CUPB.
- 9) UTILITY --- 1-SUPPLY, 8' OFF INTERIOR DOOR
- 10) SECONDARY BEDROOMS --- 1-SUPPLY, OPPOSITE THE WINDOW (3' MIN. AWAY FROM P.V./A.D.P.T.)
- 11) SECONDARY BATH --- 1-SUPPLY, CENTERED ON EDGE OF TUB, BLOWING AWAY FROM TUB
- 12) POWER BATH --- 1-SUPPLY, CENTERED 7' FROM DOOR
- 13) GARAGE --- 2-SUPPLIES (PER PLAN)

RETURN OUTLETS

- 1) 2 RETURNS PER ZONE
- 2) CEILING RETURNS LOCATED 8' OFF CORNER OF ROOM
- 3) LOW WALL RETURNS IN 2nd WALL OR CHASES
- 4) NOT VISIBLE FROM ENTRY

EXHAUST FANS

- 1) CENTERED OVER COMMODE OR OTHER
- 2) 22" MIN. OFF WALL

THERMOSTATS

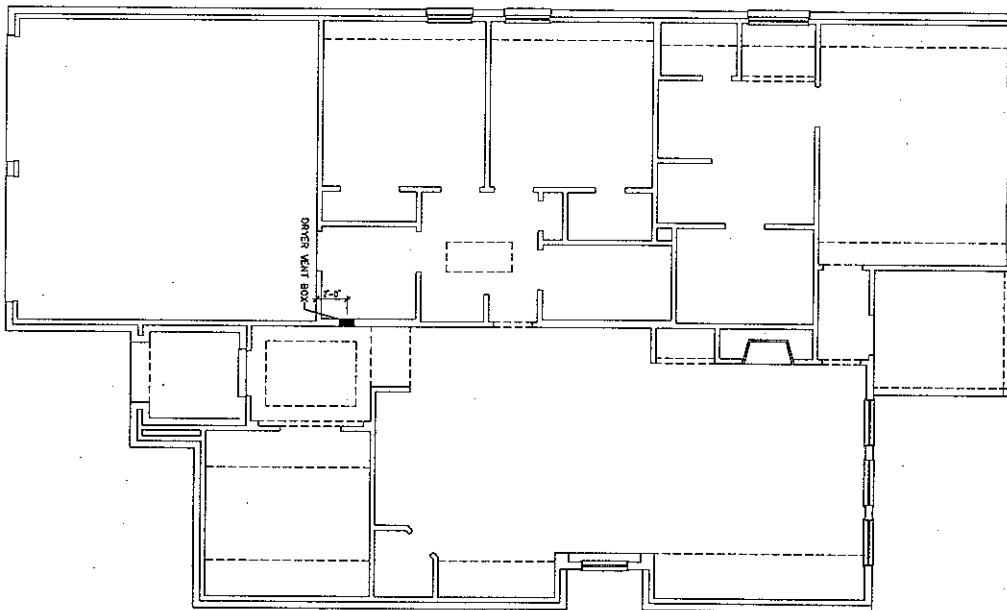
- 1) NEAR RETURN
- 2) PER PLAN
- 3) 5'-0" A.F.F.

CONDENSER LOCATION

- 1) LOCATED PER PLAN --- NO EXCEPTIONS

PLUMBING LOCATION

- 1) LOCATED PER PLAN --- NO EXCEPTIONS
- 2) DO NOT PLACE OVER PLATFORM, PLATFORM MUST BE IN FRONT W/ 30" MIN. EXPOSURE
- 3) CATCHWATER TO BE HIGHLIGHTED W/ ORANGE FLOOR PAINT ON ALL EDGES @ TIME OF ROUGH-IN.



SUPPLIED TO:
1.) HVAC INSTALLER

HVAC PLAN
SCALE: 1/8" = 1'-0"

REVISIONS

NO.	DATE	DESCRIPTION

The XL Group has agreed to hold the XL Group responsible for any structural fault from their plans. Before construction, the purchaser, builder, or contractor must verify all dimensions, verify compliance with all building codes, and incorporate site conditions. Only a qualified designer, architect, or structural engineer shall be permitted to alter these plans, with written release of the XL Group Inc.

DESCRIPTION:
WHITSTONE
OAKS

BUILDER:



BROHN
HOMES



DESIGNER/PLANNER FOR THE
BROHN HOMES
11111
P.O. BOX 11111
TROY, MI 48063
ISSUE DATE
05-10-10
DRAFTSPERSON
CSG

PROJECT NO.
10-033
PLAN NUMBER
1793 L
SHEET NUMBER
1
HVAC
SHEET 7-1

[illegible]

SCALE: 1/8" = 1'-0"

SQUARE FOOTAGES	
Total Living Area	1933 SQ. FT.
Garage	421 SQ. FT.
Porch & Patio	30/118 SQ. FT.
Total Under Roof	2502 SQ. FT.

- 1.) FRAMER
- 2.) CONCRETE LABOR
- 3.) CORNICE LABOR

REVISIONS

The M.I. Group Inc. assumes no liability for any structure built from these plans. Before construction, the purchaser, builder, or contractor must verify all dimensions, verify compliance with all building codes, and incorporate site conditions. Only a qualified designer, architect, or structural engineer should be permitted to alter these plans, with written release of The M.I. Group Inc.

DESCRIPTION:
WHITESTONE
OAKS

BROHN HOMES



**2300 INGHAM AND VILLAGE RD., STE 400
MIDLAND, TEXAS 79701-2422**

OFFICE: (972) 410-74

ISSUE DATE	11/01/2010
------------	------------

00-20-10
DRAFTSPECS

CSG

10-044

1933 1

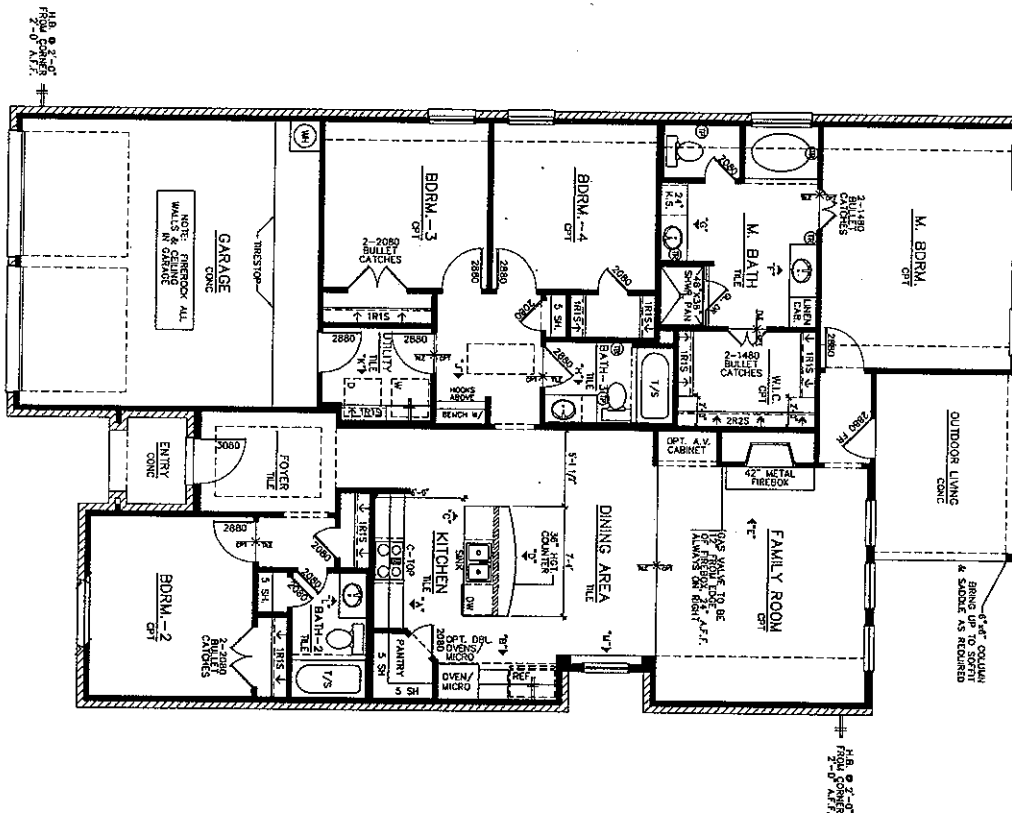
SHEET NUMBER

FRAMING/

SHEET 1-1

FLOOR PLAN

SCALE: 1/8" = 1'-0"



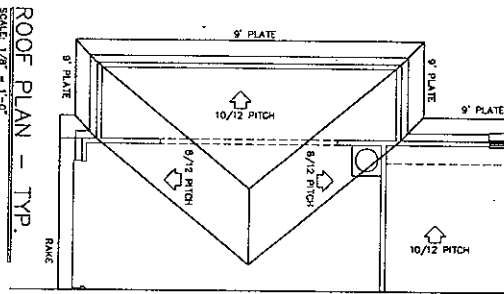
SUPPLIED TO:

- | | | |
|-------------------|------------------|-------------------|
| 1.) FRAMER | 4.) STAIR LABOR | 7.) C-TILE LABOR |
| 2.) CORNICE LABOR | 5.) TRIM LABOR | 8.) CABINET LABOR |
| 3.) SHEETROCKER | 6.) CARPET LABOR | 9.) PLUMBER |

	BROHN HOMES	DESCRIPTION: WHITESTONE OAKS	The M.L. Group Inc. assumes no liability for any omissions, both from these plans. Before construction, the purchaser, builder, or contractor must verify all dimensions, verify compliance with all building codes, and incorporate site conditions. Only a qualified designer, architect or structural engineer should be permitted to alter these plans, with written release of The M.L. Group Inc.	REVISIONS	
				PROJECT NO. 10-044	SHEET NUMBER 1933 L

ROOF PLAN - TYP.

SCALE 1/8" = 1'-0"



ROOF NOTES

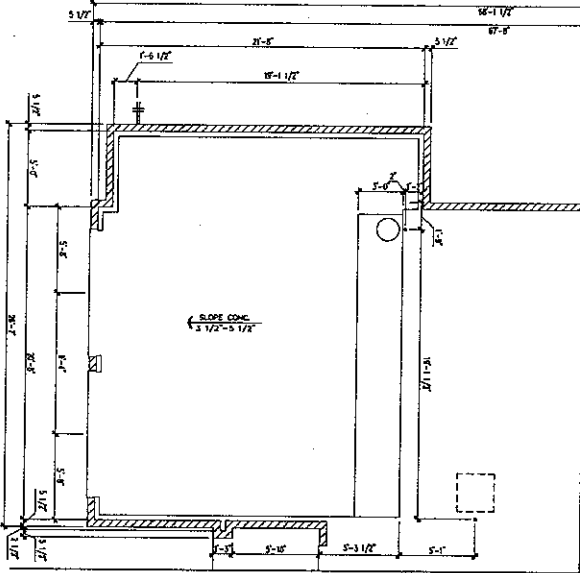
- 1) ALL ROOF SLOPES TO BE 8/12
- 2) OVERHANG TO BE 1'-4" FROM EXTERIOR WALLS UNLESS NOTED OTHERWISE
- 3) ALL PLANS TO BE 8/12
- 4) ARROWS INDICATE DRAINAGE

VENTILATION NOTES

- UNLESS FEET OF PENETRATED ROOF VENTS 18.0.
- SHOWS ROOF LOADERS
 - (1" x 1" HOLE TO BE CUT BY ROOFING CONTRACTOR)

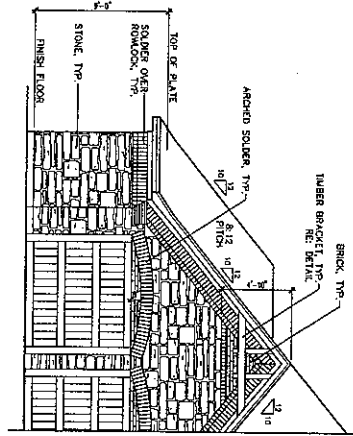
FOUNDATION SILHOUETTE - TYP.

SCALE 1/8" = 1'-0"



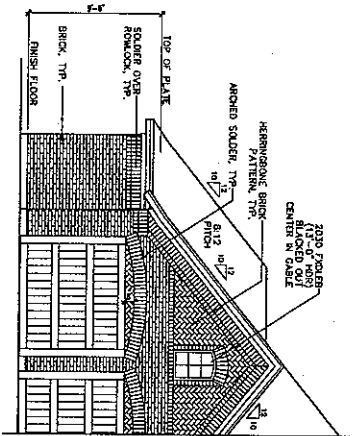
FRONT ELEVATION - A

SCALE 1/8" = 1'-0"



FRONT ELEVATION - B

SCALE 1/8" = 1'-0"

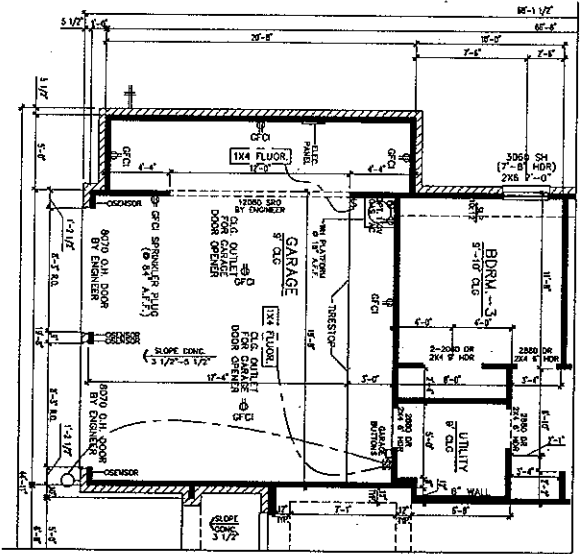


SUPPLIED TO:

- 1.) FRAMER
- 2.) CONCRETE LABOR
- 3.) CORNICE LABOR

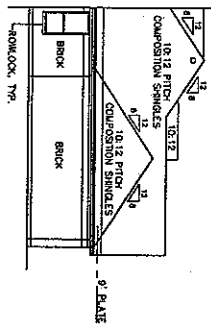
FLOOR PLAN - TYP.

SCALE 1/8" = 1'-0"



LEFT SIDE ELEVATION - TYP.

SCALE 1/8" = 1'-0"



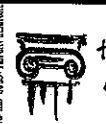
- NOTES:
1. ALL PLANS ARE TO BE COMPLIANT WITH THE 2009 IRC, IPC, & IMC
 2. WHO BRACING REQUIREMENTS ARE TO BE COMPLIANT TO THE 2009 ENERGY CODE.

SQUARE FOOTAGES	
Total Living Area	1893 SQ. FT.
Garage & Patio	380/118 SQ. FT.
Total Under Roof	2273 SQ. FT.

SHEET NUMBER	2 1/2 CAR
OPTION	OPTION
SHEET 1-3	

PROJECT NO.	10-044
PLAN NUMBER	1933 L
DATE	05-26-10
DRAWN BY	CSG

DESIGNED BY	THE BROHN GROUP
DATE	05-26-10
PROJECT NO.	10-044



BUILDER:



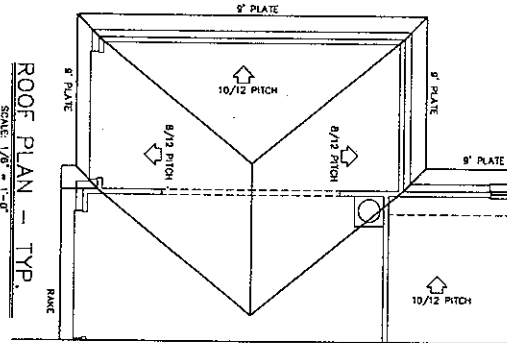
DESCRIPTION:

WHITSTONE OAKS

The M.L. Group Inc. assumes no liability for any structure built from these plans before construction. The purchaser, builder, or contractor must verify all dimensions, verify compliance with all building codes, and incorporate site conditions. Only a qualified designer, architect, or structural engineer shall be permitted to alter these plans, with written release of the M.L. Group Inc.

REVISIONS

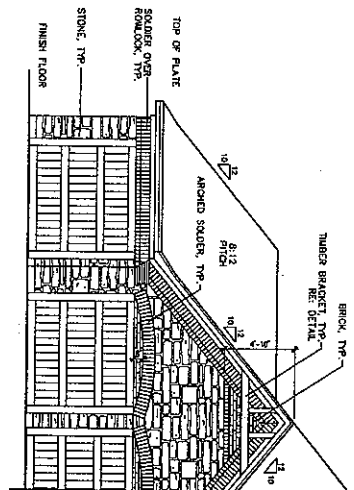
NO.	DESCRIPTION
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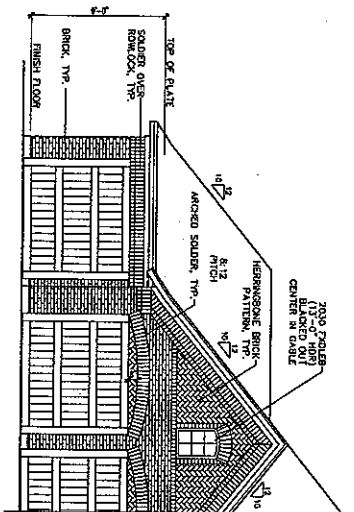
ROOF PLAN - TYP.
SCALE 1/8" = 1'-0"

- ROOF NOTES**
- 1) ALL ROOF SLOPES TO BE 8/12 & 10/12 UNLESS NOTED OTHERWISE.
 - 2) OVERHANG TO BE 1'-6" FROM FINISH FLOOR LINE.
 - 3) ALL RAFTERS TO BE 8/12.
 - 4) ARROWS INDICATE DRAINAGE.

- VENTILATION NOTES**
- UNLESS NOTED OTHERWISE, ROOF VENTS 180.
 - 14" x 14" HOLE TO BE CUT BY ROOFING CONTRACTOR.

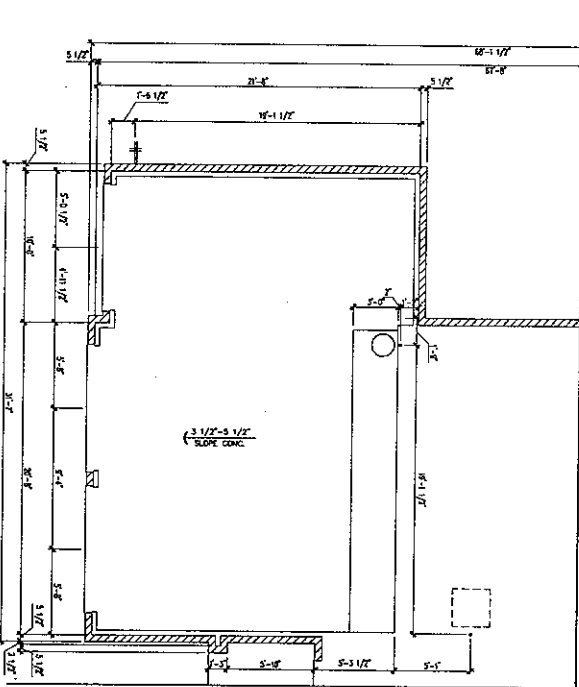


FRONT ELEVATION - A
SCALE 1/8" = 1'-0"

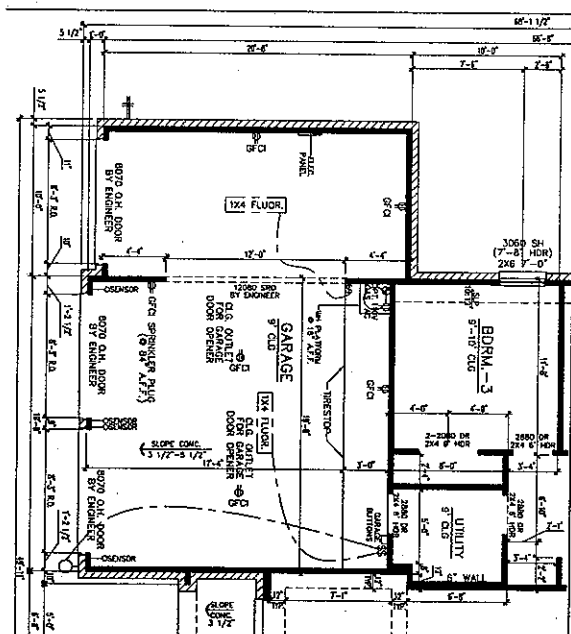


FRONT ELEVATION - B
SCALE 1/8" = 1'-0"

- SUPPLIED TO:**
- 1.) FRAMER
 - 2.) CONCRETE LABOR
 - 3.) CORNICE LABOR

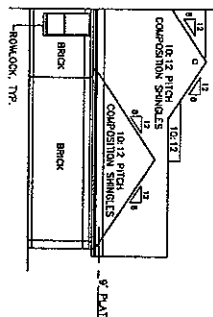


FOUNDATION SILHOUTTE - TYP.
SCALE 1/8" = 1'-0"



FLOOR PLAN - TYP.
SCALE 1/8" = 1'-0"

LEFT SIDE ELEVATION - TYP.
SCALE 1/8" = 1'-0"



- NOTES:**
1. ALL PLANS ARE TO BE COMPLIANT WITH THE 2009 IRC, IBC, & IMC.
 2. WIND BRACING REQUIREMENTS ARE TO BE COMPLIANT TO THE 2009 ENERGY CODE.

THE ml group BROHN HOMES		DESCRIPTION: WHITESTONE OAKS	REVISIONS <table border="1"> <tr> <th>NO.</th> <th>DESCRIPTION</th> </tr> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> </table>	NO.	DESCRIPTION						
NO.	DESCRIPTION										
PROJECT NO. 10-044 PLAN NUMBER 1933 L SHEET NUMBER 3RD CAR OPTION SHEET 1-4		DATE 05-26-10 DESIGNER CSB PROJECT NO. 10-044 PLAN NUMBER 1933 L SHEET NUMBER 3RD CAR OPTION SHEET 1-4									

GENERAL NOTES

- 1) SEE GENERAL NOTES FOR FRONT ELEVATION FOR WINDOW SIZES, LOCATIONS, PROJECTIONS, RAISED PLATES, ETC.
- 2) ALL BRICK LEDGES TO BE 5 1/2"
- 3) ALL ANGLES TO BE 45° UNLESS NOTED OTHERWISE
- 4) ALL SHOWER HEADS TO BE 6'-0" A.F.F.
- 5) WATER HEATERS TO BE LOCATED IN GARAGE
- 6) ALL DOOR OPENINGS TO BE CENTERED ON WALL UNLESS OTHERWISE NOTED
- 7) STANDARD DOOR JAMB TO BE 4"

NOTES TO FRAMER:

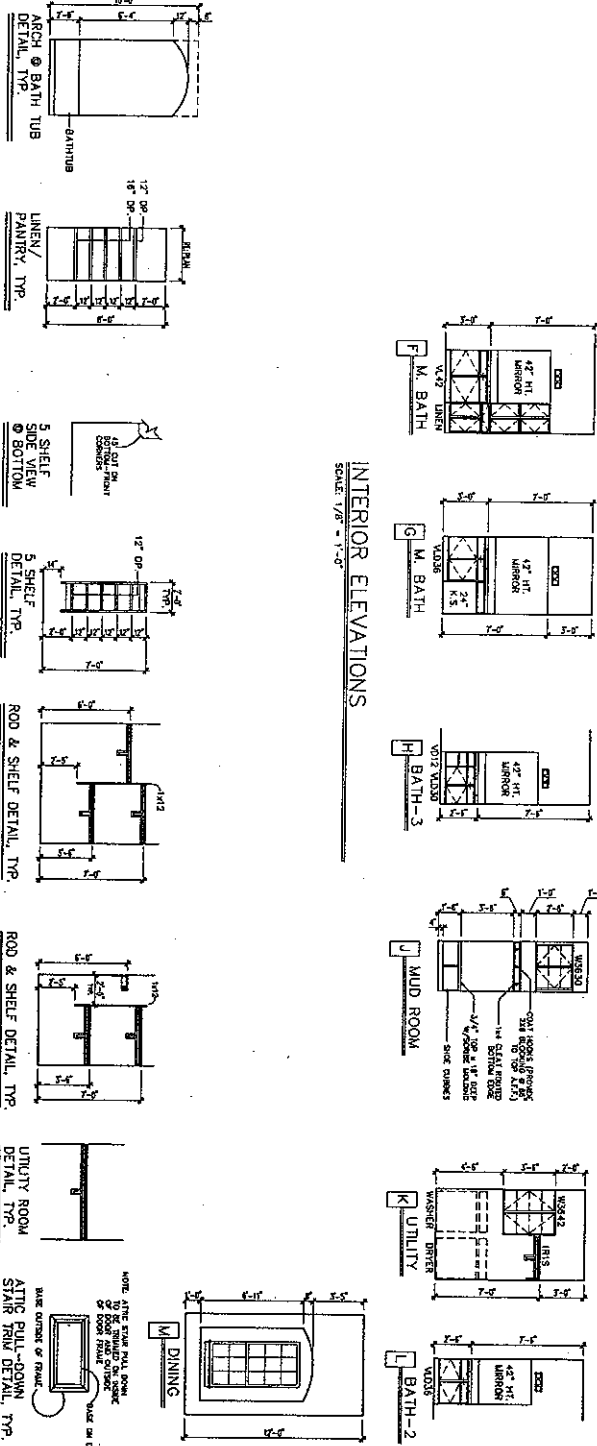
- 1) ALL DOORS ARE TO FACE OF STUDS UNLESS NOTED OTHERWISE
- 2) CABINET BLOCKING ON KITCHEN WALLS 0.3 LOCATIONS: 31'-1/2" A.F.F., 35'-1/2" A.F.F., & 36" A.F.F.
- 3) ALL NON-LOAD BEARING INTERIOR WALL STUDS TO BE 24" O.C.
- 4) LANTILE BLOCKING AT EACH SIDE OF FIREPLACE EVERY 24" O.C. A.F.F.
- 5) ALL BRACKS WHICH ARE BRACKED OFF OF MUST BE FINISHED 1/2" FROM TOP PLATE
- 6) PLASTERING FOR WATER HEATER TO BE BUILT BY WATER HEATER SHOW ON FRAMING PLAN
- 7) ALL FINISHED CEILINGS TO BE 10'-0" PLAT UNLESS NOTED OTHERWISE
- 8) ALL WINDOW ROUGH OPENING SIZES TO BE FRAMED SAME AS WINDOW CALL-OUT SIZE
- 9) MASTER SHOWER BLOCKING 48"-48" FROM WALL BOTTOM PLATE TO TOP PLATE
- 10) WASHY LIGHT FINISH 24" BLOCKING TO BE IN ALL BATHS 0.8" A.F.F. (TO BOTTOM OF BLOCKS)
- 11) CABINET BLOCKING FOR PLANNING CENTER TO BE 0.30" A.F.F. (TO TOP OF BLOCKS)
- 12) BLOCK BETWEEN STUDS 0. ALL RAKES W/ 2x MATERIAL AT ROOF LINE

TRIM SCHEDULE

ITEM	DESCRIPTION	QTY	UNIT
1	DINING	SEE SPECS	
2	BRICK	SEE SPECS	
3	BRICK	SEE SPECS	
4	BRICK	SEE SPECS	
5	BRICK	SEE SPECS	
6	BRICK	SEE SPECS	
7	BRICK	SEE SPECS	
8	BRICK	SEE SPECS	
9	BRICK	SEE SPECS	
10	BRICK	SEE SPECS	
11	BRICK	SEE SPECS	
12	BRICK	SEE SPECS	
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95	BRICK	SEE SPECS	
96	BRICK	SEE SPECS	
97	BRICK	SEE SPECS	
98	BRICK	SEE SPECS	
99	BRICK	SEE SPECS	
100	BRICK	SEE SPECS	

INTERIOR ELEVATIONS

SCALE: 1/8" = 1'-0"



SUPPLIED TO:

- 1) FRAMER
- 2) SHEETROCKER
- 3) STAIR LABOR
- 4) TRIM LABOR
- 5) CARPET LABOR
- 6) C-TILE LABOR
- 7) CABINET LABOR
- 8) PLUMBER

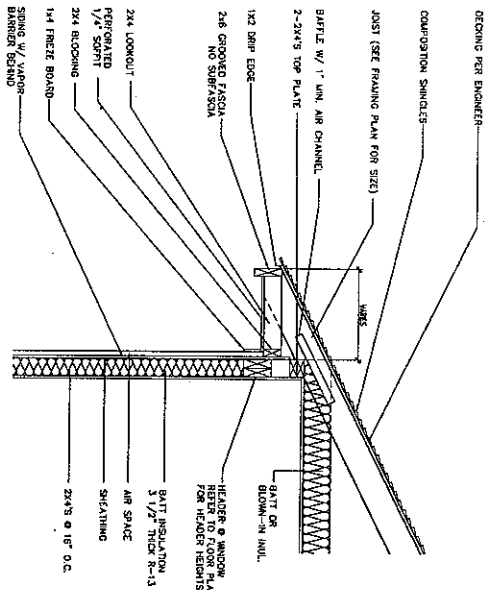
DESCRIPTION:
WHITESTONE
OAKS

The M. Group Inc. assumes no liability for any structural fault from these plans. Before construction, the engineer, architect, or contractor must verify all dimensions, verify compliance with all building codes, and incorporate site conditions. Only a qualified designer, engineer, or structural engineer should be permitted to alter these plans, with written release of The M. Group Inc.

BUILDER:
BROHN HOMES

the m group

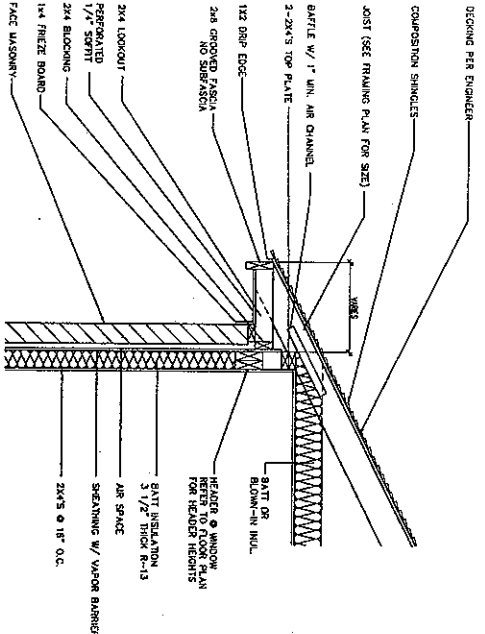
PROJECT NO.
10-044
PLAN NUMBER
1933 L
SHEET NUMBER
1
SHEET 1-D-1



***PROJECTIONS OF FASCS INTO THE BUILDING LINE SETBACK WILL REQUIRE THE SOFFIT TO BE 1\"/>

TYPICAL SOFFIT DETAIL AT SIDING

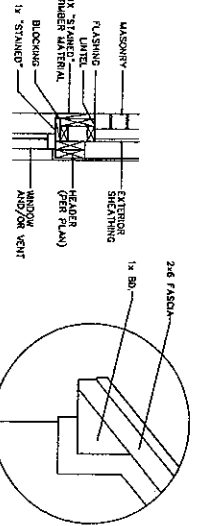
SCALE: N.T.S.
RE: PLANS & ELEV'S FOR FRAMING & PITCH



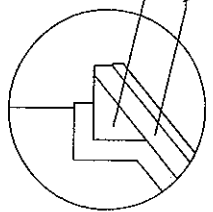
***PROJECTIONS OF FASCS INTO THE BUILDING LINE SETBACK WILL REQUIRE THE SOFFIT TO BE 1\"/>

TYPICAL SOFFIT DETAIL AT MASONRY

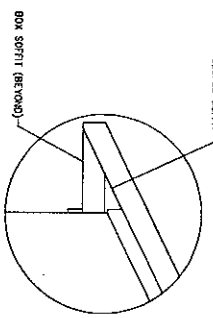
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RE: PLANS & ELEV'S FOR FRAMING & PITCH



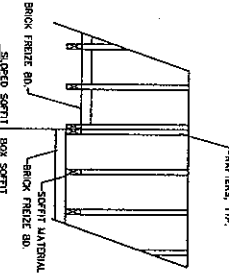
TYP. HEADER SECTION
SCALE: N.T.S.



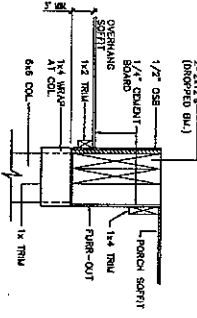
SOFFIT DETAIL



SLOPED SOFFIT DETAIL



SLOPED SOFFIT DETAIL



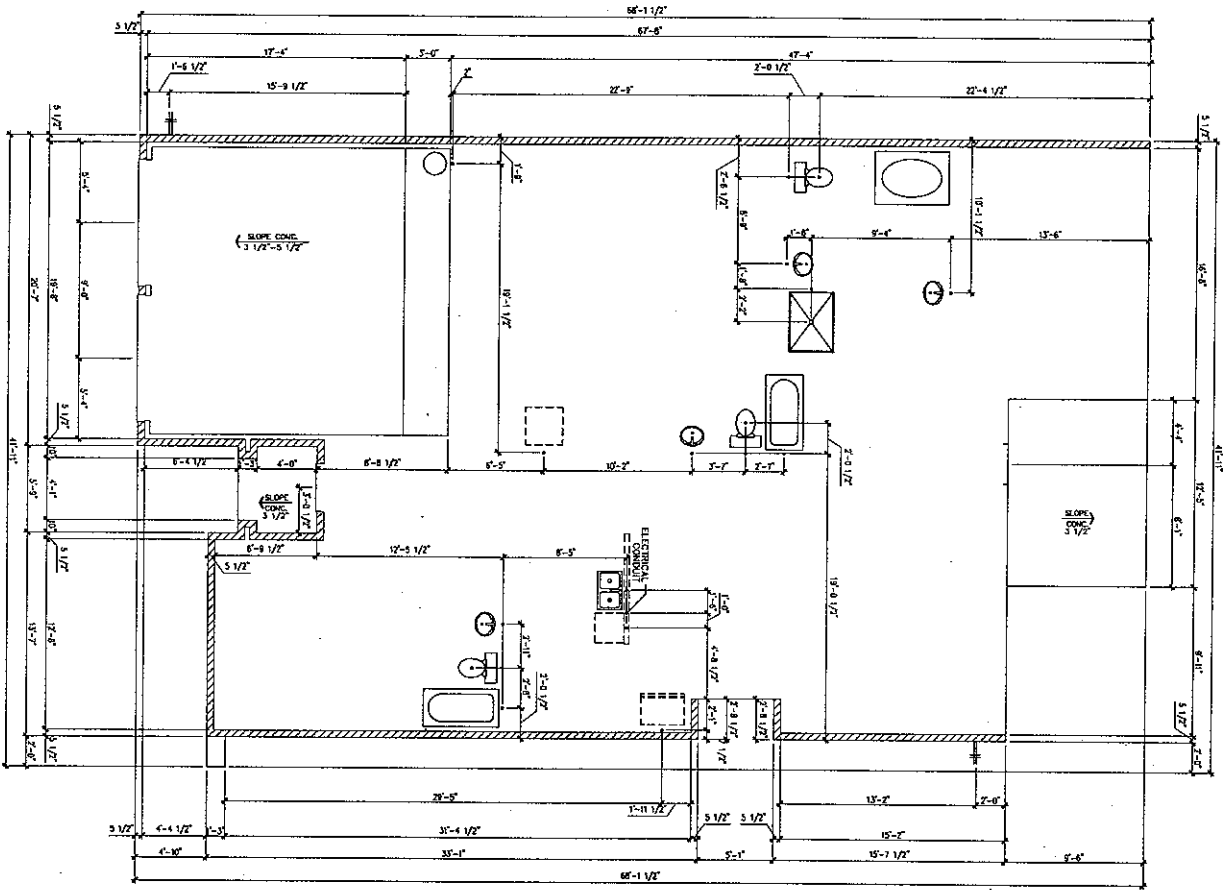
COVERED PATIO BEAM DETAIL

REVISIONS

DESCRIPTION:
WHITESTONE
OAKS



BROHN HOMES, INC.
10000 BROHN DRIVE
OFFICE: (972) 410-1414
FAX: (972) 318-0806
THA/BAL/BAK
ISSUE DATE: 05-26-10
GARY/TERESA
CSG
PROJECT NO.: 10-044
PLAN NUMBER: 1933 L
SHEET NUMBER: 1
SHEET 1-0-2



FOUNDATION SILHOUETTE - A

SCALE: 1/8" = 1'-0"

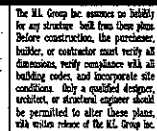
PLUMBING NOTES:

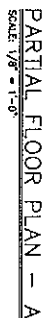
- 1) MINIMUM OF 2 METAL STAKES PER PIPING THROUGH SLAB
- 2) ALL PIPES SECURED WITH METAL STAKES (USE TAPE TO PREVENT CONTACT IF APPLICABLE)
- 3) ALL PIPES MUST BE SEALED AT TOP
- 4) TEMPORARY HOSE BIB TO BE ON EXTERIOR OF SLAB
- 5) ALL PLUMBING MUST BE MINIMUM 1 1/2" AWAY FROM FORMS
- 6) PLUMBING MUST BE PER PLAN
- 7) PLACE ALL TRASH IN DESIGNATED AREA
- 8) NOTIFY CONSTRUCTION MANAGER OF ANY PROBLEMS
- 9) VERIFY ALL MEASUREMENTS BEFORE SLAB IS POURED
- 10) PROVIDE ON/OFF VALVE AT EXTERIOR GEAR GAS STOP IF OPTION IS SELECTED
- 11) ALL ROOF PENETRATIONS SHALL NOT BE VISIBLE FROM THE STREET OR ON THE FRONT PORTION OF THE ROOF (FRONT OF HOUSE OR STREET SIDE)

SUPPLIED TO:

- 1.) CONCRETE LABOR
- 2.) PLUMBER
- 3.) ELECTRICIAN

SHEET NUMBER 1933 L FOUNDATION ENGINEERING A SHEET 20	PROJECT NO. 10-044 PLAN NUMBER 1933 L	ISSUE DATE 05-26-10 DRAFTSPERSON MRE	THE <i>ml</i> group 1000 AVENUE BENTLEY OFFICE: 972.110.1111 FAX: 972.110.1111 TADDELANO	BUILDER: BROHN HOMES	DESCRIPTION: WHITESTONE OAKS	The KL Group Inc. assumes no liability for any structure built from these plans. Before construction, the purchaser, builder, or contractor must verify all dimensions, verify compliance with all building codes, and incorporate the conditions. Only a qualified designer, architect, or structural engineer should be permitted to alter these plans. All written release of the KL Group Inc.					
				REVISIONS <table border="1"> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> </table>							



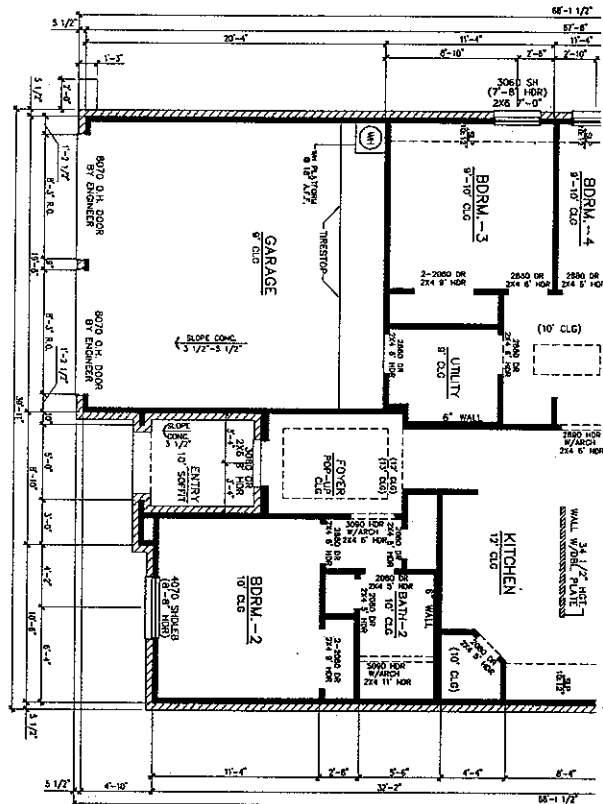


SQUARE FOOTAGES		
Total Living Area	1933	SQ. FT.
Garage	421	SQ. FT.
Porch & Patio	30/116	SQ. FT.
Total Under Roof	2502	SQ. FT.

SUPPLIED TO:

1.) FRAMER	4.) TRIM LABOR
2.) CONCRETE LABOR	
3.) CORNICE LABOR	

SHEET 30	SHEET NUMBER ELEVATION FOOTPRINT PLAN	1933 L	PLAN NUMBER	10-044	PROJECT NO.	C56	CONSTRUCTION	05-26-10	ISSUE DATE	TRADEMARKED	FAX: 902.118.4414 OFFICE: 307.444.4141 BROHN HOMES, INC. 1000 W. 10TH AVE. SUITE 100 DENVER, CO 80202		BUILDER:  BROHN HOMES	DESCRIPTION: WHITESTONE OAKS	The M.I. Group has assumed no liability for any structure built from these plans. Before construction, the purchaser, builder, or contractor must verify all dimensions, verify compliance with all building codes, and incorporate site conditions. Only a qualified designer, architect, or structural engineer should be permitted to alter these plans, via written review at the M.I. Group, Inc.	REVISIONS



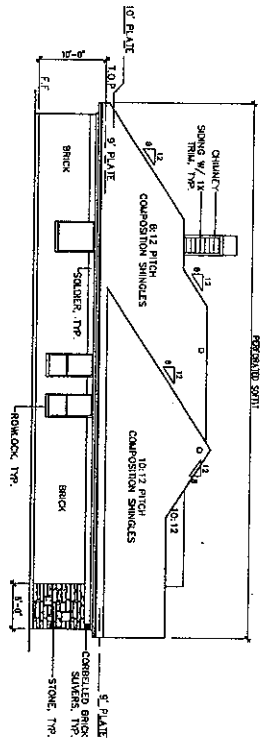
PARTIAL FLOOR PLAN - B
SCALE 1/8" = 1'-0"

SUPPLIED TO:

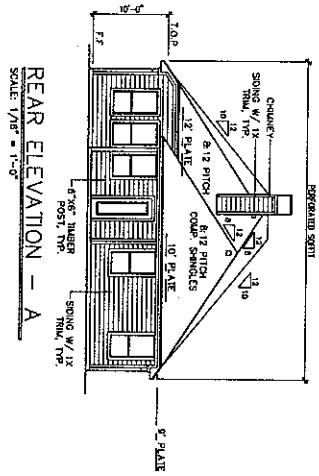
- 1.) FRAMER
- 2.) CONCRETE LABOR
- 3.) CORNICE LABOR
- 4.) TRIM LABOR

SQUARE FOOTAGES	
Total Living Area	1933 SQ. FT.
Garage	421 SQ. FT.
Porch & Patio	51/116 SQ. FT.
Total Under Roof	2333 SQ. FT.

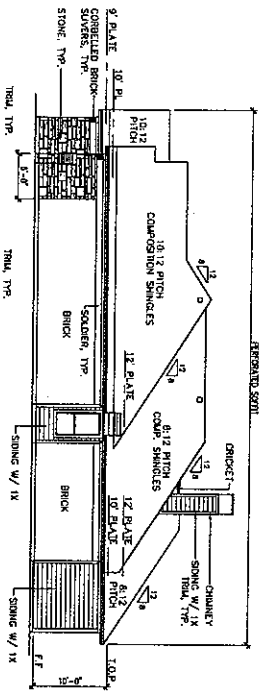
	BROHN HOMES	DESCRIPTION: WHITESTONE OAKS	The M Group Inc. assumes no liability for any structure built from these plans. Before construction, the purchaser, builder, or contractor must verify all dimensions, verify compliance with all building codes, and incorporate site conditions. Only a qualified designer, architect, or structural engineer should be permitted to alter these plans, with written release of The M Group Inc.	REVISIONS
				PROJECT NO. 10-044 PLAN NUMBER 1933 L SHEET NUMBER 1933 L ELEVATION FOOTPRINT SHEET 3b



LEFT SIDE ELEVATION - A
SCALE: 1/8" = 1'-0"

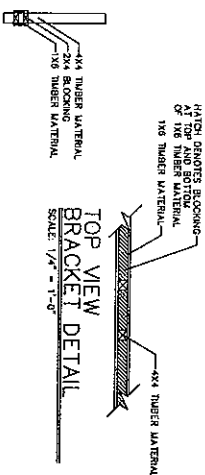


REAR ELEVATION - A
SCALE: 1/8" = 1'-0"



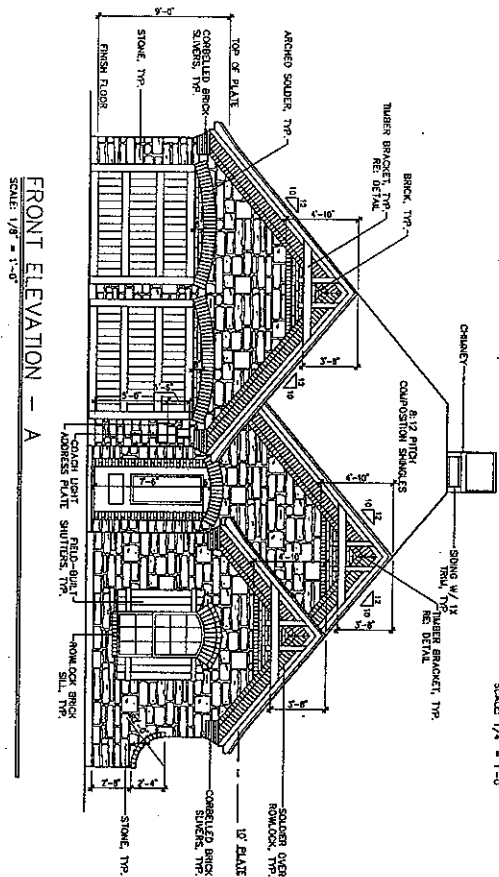
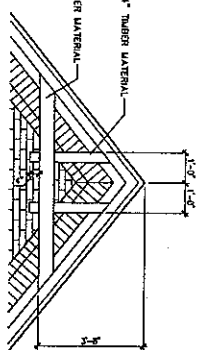
RIGHT SIDE ELEVATION - A
SCALE: 1/8" = 1'-0"

SIDE VIEW
BRACKET DETAIL
SCALE: 1/4" = 1'-0"



TOP VIEW
BRACKET DETAIL
SCALE: 1/4" = 1'-0"

TYP. BRACKET DETAIL
SCALE: 1/4" = 1'-0"



FRONT ELEVATION - A
SCALE: 1/8" = 1'-0"

SUPPLIED TO: (2000-2499 USD)

ITEM	QUANTITY	UNIT PRICE	TOTAL
1. WEAP-HOLES EVERY HEAD JOINT @ 1ST COURSE	1	0.15	0.15
2. WINDOW ROWLOCKS TO HAVE 1/2" SLOPE, MINIMUM	1	0.15	0.15
3. NO CORN HOLES TO BE VISIBLE AT ROWLOCKS	1	0.15	0.15
4. PROJECT SOLID COURSE ABOVE WINDOWS 3/4"	1	0.15	0.15
5. PROJECT SOLID COURSE ABOVE TWO CORNERS 3/4"	1	0.15	0.15

- MASTERY NOTES:
- 1) WEAP-HOLES EVERY HEAD JOINT @ 1ST COURSE
 - 2) WINDOW ROWLOCKS TO HAVE 1/2" SLOPE, MINIMUM
 - 3) NO CORN HOLES TO BE VISIBLE AT ROWLOCKS
 - 4) PROJECT SOLID COURSE ABOVE WINDOWS 3/4"
 - 5) PROJECT SOLID COURSE ABOVE TWO CORNERS 3/4"

- CHIMNEY CHASE NOTES:
- 1) CHIMNEY FLASHING TO BE 3/4" X 3/4"
 - 2) HATCH OF CHIMNEY TO BE 2'-0" HIGHER THAN
 - 3) FINISH TO BE 3/4" HIGHER THAN CHIMNEY
 - 4) FLASHING TO BE 3/4" HIGHER THAN CHIMNEY

- ELECTRICAL NOTE:
- 1) HALL WINDOWS AT FRONT ENTRY DIRECTLY TO 2nd
 - 2) HALL WINDOWS AT FRONT ENTRY DIRECTLY TO 2nd
 - 3) HALL WINDOWS AT FRONT ENTRY DIRECTLY TO 2nd
 - 4) HALL WINDOWS AT FRONT ENTRY DIRECTLY TO 2nd

- VENTILATION NOTES:
- 1) LINEAR FEET OF PERFORATED SLOTTED VENTS T.B.D.
 - 2) DON'TS ROOF LOUVERS
 - 3) (1/4" X 1/4" HOLE TO BE CUT BY ROOFING CONTRACTOR)

- SUPPLIED TO:
- 1.) FRAMER
 - 2.) CORNICE LABOR
 - 3.) DECKER
 - 4.) SHINGLE LABOR
 - 5.) BRICK LABOR
 - 6.) ELECTRICIAN

BRICK CALCULATIONS

ITEM	QUANTITY	UNIT PRICE	TOTAL
1. WEAP-HOLES EVERY HEAD JOINT @ 1ST COURSE	1	0.15	0.15
2. WINDOW ROWLOCKS TO HAVE 1/2" SLOPE, MINIMUM	1	0.15	0.15
3. NO CORN HOLES TO BE VISIBLE AT ROWLOCKS	1	0.15	0.15
4. PROJECT SOLID COURSE ABOVE WINDOWS 3/4"	1	0.15	0.15
5. PROJECT SOLID COURSE ABOVE TWO CORNERS 3/4"	1	0.15	0.15

1933 L

BROHN HOMES

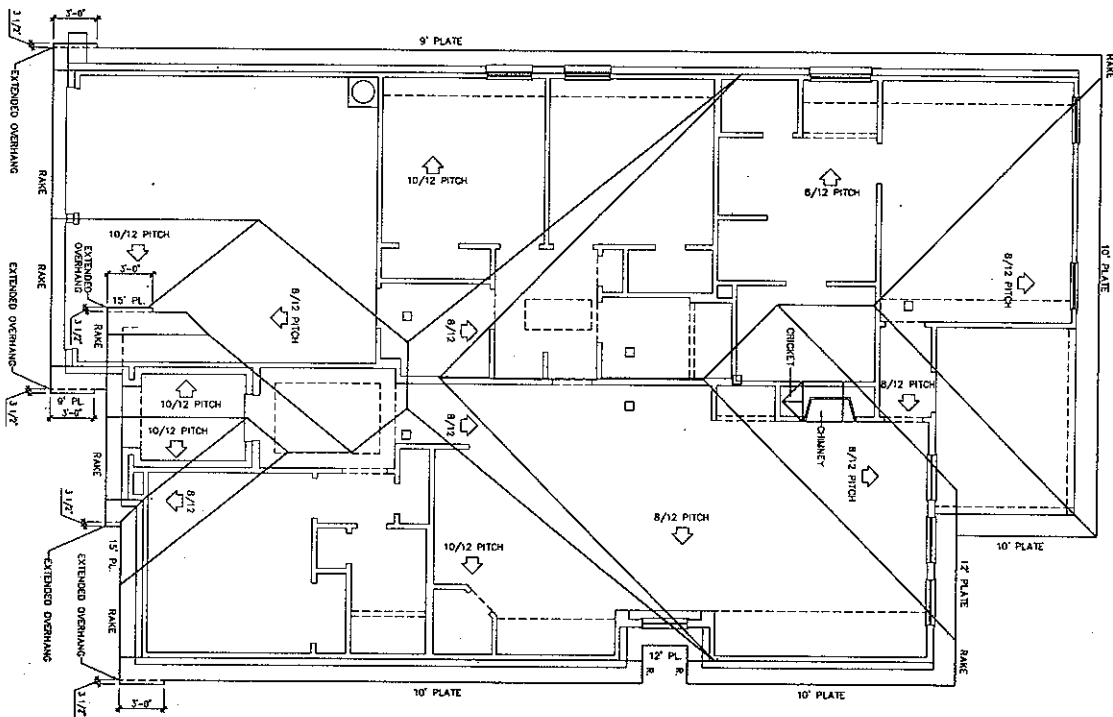
DESCRIPTION:

WHITESTONE OAKS

REVISIONS

NO.	DESCRIPTION
1	
2	
3	
4	
5	
6	

SHEET NO. PROJECT NO. 10-044 PLAN NUMBER 1933 L SHEET 50		THE M.L. GROUP INC. 10000 WILSON BLVD. SUITE 100 WILSON, CA 94094 TEL: (415) 351-1000 FAX: (415) 351-1001 WWW.MLGROUP.COM TRADEMARKED ISSUED DATE 09-26-10 DRAWN BY CSD	BUILDER: 	DESCRIPTION: WHITESTONE OAKS	The M.L. Group Inc. assumes no liability for any structural fault from these plans. Before construction, the purchaser, builder, or contractor must verify all dimensions, verify compliance with all building codes, and incorporate site conditions. Only a qualified designer, architect, or structural engineer should be permitted to alter these plans, with written release of the M.L. Group Inc.
			PROJECT NO. 10-044 PLAN NUMBER 1933 L	DESCRIPTION: WHITESTONE OAKS	The M.L. Group Inc. assumes no liability for any structural fault from these plans. Before construction, the purchaser, builder, or contractor must verify all dimensions, verify compliance with all building codes, and incorporate site conditions. Only a qualified designer, architect, or structural engineer should be permitted to alter these plans, with written release of the M.L. Group Inc.



ROOF PLAN - B
SCALE: 1/8" = 1'-0"

- UNLESS NOTED OTHERWISE, ALL ROOF SLOPES TO BE 8/12 & 10/12 UNLESS NOTED OTHERWISE.
- 1) ALL ROOF SLOPES TO BE 8/12 & 10/12 UNLESS NOTED OTHERWISE.
- 2) OVERHANG TO BE 1'-0" FROM EXTERIOR FACE OF STUD @ 8/12 & 10/12.
- 3) ALL SLOPES TO BE 8/12.
- 4) ARROWS INDICATE DRAINAGE.

VENTILATION NOTES

- UNLESS NOTED OTHERWISE, ALL ROOF SLOPES TO BE 8/12 & 10/12 UNLESS NOTED OTHERWISE.
- 1) ALL ROOF SLOPES TO BE 8/12 & 10/12 UNLESS NOTED OTHERWISE.
- 2) OVERHANG TO BE 1'-0" FROM EXTERIOR FACE OF STUD @ 8/12 & 10/12.
- 3) ALL SLOPES TO BE 8/12.
- 4) ARROWS INDICATE DRAINAGE.

ROOF NOTES

- UNLESS NOTED OTHERWISE, ALL ROOF SLOPES TO BE 8/12 & 10/12 UNLESS NOTED OTHERWISE.
- 1) ALL ROOF SLOPES TO BE 8/12 & 10/12 UNLESS NOTED OTHERWISE.
- 2) OVERHANG TO BE 1'-0" FROM EXTERIOR FACE OF STUD @ 8/12 & 10/12.
- 3) ALL SLOPES TO BE 8/12.
- 4) ARROWS INDICATE DRAINAGE.

SUPPLIED TO:

- 1.) FRAMER 4.) SHINGLE LABOR
2.) CORNICE LABOR
3.) DECKER

2000 W. LUTHER AVE. STE. 200 MILWAUKEE, WI 53214 OFFICE: (414) 481-1111 FAX: (414) 481-1111 TRADEMARKED ISSUE DATE: 05-26-10 DRAFTSMAN: CSO PROJECT NO: 10-044 PLAN NUMBER: 1933 L SHEET NUMBER: 1933 L FRAME ENGINEERING SHEET 5B	the ml group	BUILDER: BROHN HOMES	DESCRIPTION: WHITESTONE OAKS	The M.L. Group Inc. assumes no liability for any structure built from these plans before construction. The purchaser, builder, or contractor must verify all dimensions, verify compliance with all building codes, and incorporate site conditions. Only a qualified designer, architect, or structural engineer shall be permitted to alter these plans, with written release of the M.L. Group Inc.
				REVISIONS

HVAC NOTES:

- ALL SUPPLIES, RETURN T-SHAPE UNITS, ETC. MUST BE LOCATED PER PLAN. NOTIFY THE CONSTRUCTION MANAGER OF ANY PROBLEMS OR DISCREPANCIES.
- DO NOT BREAKOUT FIREBLOCKING IN CHASES. IT MUST BE CUT TO PROPER SIZE.
- DO NOT CUT STRONG BACKS FOR THE PURPOSE OF CHANGING DUCTS.
- DUCTS MUST NOT BE CURVED OR PINCHED-OFF AT CHASES, ROD RUNS, ETC.
- SLEEP-OUT HOLES AND CLOSE ALL WINDOWS AT THE END OF EACH DAY.
- A/C UNITS ARE LOCATED OVER KITCHEN AREA.
- EXTERIOR VENT BOX TO ST ON BOTTOM PLATE. MOUNT ON CENTER 4'-0" FROM FACE OF STUD WALL OF ENTRY.
- THE PRIMARY A/C DRAIN LINE SHOULD RUN TO VANITY OF BATH 2 OR WASHER BOX.
- LOCATE THE SECONDARY A/C DRAIN LINE, CENTERED OVER WINDOW IN THE CENTER OF THE ENTRY OR THE SIDE OF BEDROOM 2.
- DISCHARGE FROM THE ENTRY FROM THE STREET OR ON THE FRONT PORCH OF THE HOUSE (FRONT OF HOUSE OR STREET SIDE).

THE FOLLOWING ARE GENERAL PLACEMENT GUIDELINES. CERTAIN PLANS MAY VARY IN PLACEMENT LOCATIONS FROM THESE BASIC GUIDELINES.

SUPPLY OUTLETS

- 1) DINING ROOM --- 1-SUPPLY, OPPOSITE THE WINDOW
- 2) LIVING ROOM --- 1 OR 2-SUPPLIES, OPPOSITE THE WINDOW W/ LESS THAN 12' CEILING. NEXT TO WINDOW W/ 12' OR GREATER CEILING
- 3) FAMILY ROOM --- 2 OR 3-SUPPLIES, OPPOSITE THE WINDOW W/ LESS THAN 12' CEILING. NEXT TO WINDOW W/ 12' OR GREATER CEILING
- 4) MASTER BEDROOM --- 2 OR 3-SUPPLIES, OPPOSITE THE WINDOW (IN SECOND LEVEL OR TYPED CEILING)
- 5) MASTER BATH --- 1-SUPPLY, CENTERED 2' TO 3' FROM ENTRANCE DOOR
- 6) MASTER CLOSET --- 1-SUPPLY, CENTERED 2' TO 3' FROM ENTRANCE DOOR
- 7) MASTER CLOSET (ONLY IF ON EXTERIOR WALL) --- 1-SUPPLY, OPPOSITE EXT. WALL
- 8) KITCHEN & HOOK --- 2 OR 3-SUPPLIES, 2' MIN. AWAY FROM LIGHTS & STRUCTURAL
- 9) UTILITY --- 1-SUPPLY, 8' OFF INTERIOR DOOR
- 10) SECONDARY BEDROOMS --- 1-SUPPLY, OPPOSITE THE WINDOW (3' MIN. AWAY FROM TV/DOOR)
- 11) SECONDARY BATH --- 1-SUPPLY, CENTERED ON EDGE OF TUB, BLOWING AWAY FROM TUB
- 12) POWER BATH --- 1-SUPPLY, CENTERED 2' FROM DOOR
- 13) GARAGE --- 2-SUPPLIES (PER PLAN)

RETURN OUTLETS

- 1) 2 RETURNING PER ZONE
- 2) CEILING RETURNS LOCATED 8' OFF CORNER OF ROOM
- 3) LOW WALL RETURNS IN 2ND WALL OR CHASES
- 4) NOT NEAR FRESH AIR INTAKE

EXHAUST FANS

- 1) CENTERED OVER COMMODE OR DRYER
- 2) 2" MIN. OFF WALL

MECHANISMS

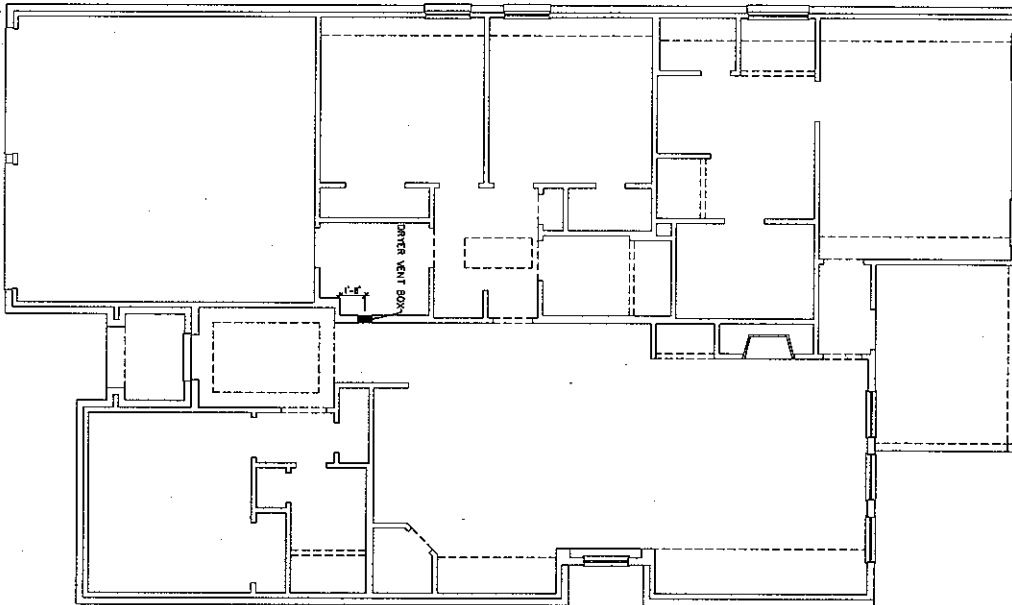
- 1) NEAR RETURN
- 2) PER PLAN
- 3) 5'-0" A.F.F.

CONDENSER LOCATION

- 1) LOCATED PER PLAN --- NO EXCEPTIONS

FURNACE LOCATION

- 1) LOCATED PER PLAN --- NO EXCEPTIONS
- 2) DO NOT PLACE OVER PLUMBING, PLUMBING MUST BE IN FRONT W/ 30" MIN. EXPOSURE
- 3) CHIMNEY TO BE INSULATED W/ ORANGE FLOOR PAINT ON ALL EDGES & THE 4" RADIUS-IN.



HVAC PLAN
SCALE 1/8" = 1'-0"

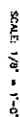
SUPPLIED TO:
1.) HVAC INSTALLER

REVISIONS		DESCRIPTION		BROHN HOMES	
1		1		1	
2		2		2	
3		3		3	
4		4		4	
5		5		5	
6		6		6	
7		7		7	
8		8		8	
9		9		9	
10		10		10	

PROJECT NO.	10-044	PROJECT NO.	10-044
PLAN NUMBER	1933 L	PLAN NUMBER	1933 L
SHEET NUMBER	1	SHEET NUMBER	1
DATE	05-26-10	DATE	05-26-10
DRAWN BY	CSG	DRAWN BY	CSG
CHECKED BY		CHECKED BY	
ISSUE DATE	05-26-10	ISSUE DATE	05-26-10
TRADIMARKED		TRADIMARKED	
OFFICE (973) 314-4885		OFFICE (973) 314-4885	
FAX (973) 314-4885		FAX (973) 314-4885	
ADDRESS 1250 S. 10TH AVE.		ADDRESS 1250 S. 10TH AVE.	
INDIANAPOLIS, IN 46203		INDIANAPOLIS, IN 46203	

NOTES:

1. ALL PLANS ARE TO BE COMPLIANT WITH THE 2009 IRC, IPC, & IBC
2. WIND BRACING REQUIREMENTS ARE TO BE COMPLIANT TO THE 2009 ENERGY CODE.



ROOF NOTES

- 1.) ALL ROOF SLOPES TO BE 8:12 & 10:12 UNLESS NOTED OTHERWISE.
- 2.) OVERHANG TO BE 1'-6" FROM EXTERIOR FACE OF STUD • 0:12 & 1'-2 3/8" • 10:12.
- 3.) ALL SPLAYS TO BE 8:12.
- 4.) ARROWS INDICATE DRAINAGE.

VENTILATION NOTES

□ DENOTES ROOF LOUVERS
(14" x 14" HOLE TO BE CUT BY ROOFING CONTRACTOR)

SCALE: 1/8" = 1'-0"

SCALE: 1/8" = 1'-0"



SCALE: 1/8" = 1'-0"

SCALE: 1/16" = 1'-0"



SCALE: 1/8" = 1'-0"



NOTES:

1. ALL PLANS ARE TO BE COMPLIANT WITH THE 2009 IRC, IPC, & IMC
2. WIND BRACING REQUIREMENTS ARE TO BE COMPLIANT TO THE 2009 ENERGY CODE.

SUPPLIED TO:

- 1.) FRAMER
- 2.) CONCRETE LABOR
- 3.) CORNICE LABOR

REVISIONS

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DESCRIPTION:
WHITESTONE
OAKS

BUILDER:



BROHN HOMES



3300 Gable Circle, NE

OFFICE: (972) 410-7474

1.55M (17.6) 216-0000
TRADEMARKED

ISSUE DATE

DATE

WMG

PROJECT NO.

01 01 01 01 01

1022

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
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21/7/2008

OPTION:

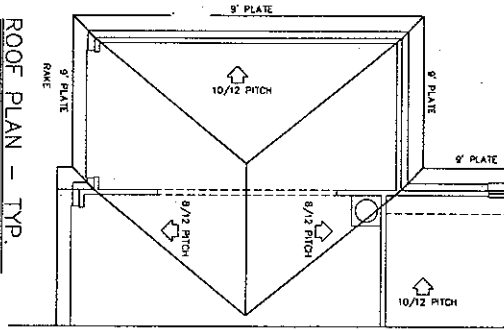
SHEET 1-3

SHEET 1-3

SECRET

SQUARE FOOTAGES	
Total Living Area	2120 SQ. FT.
Garage	523 SQ. FT.
Porch & Patio	80/132 SQ. FT.
Total Under Roof	2655 SQ. FT.

SHEET NUMBER
2 1/2 CAR
OPTION
SHEET 1-3

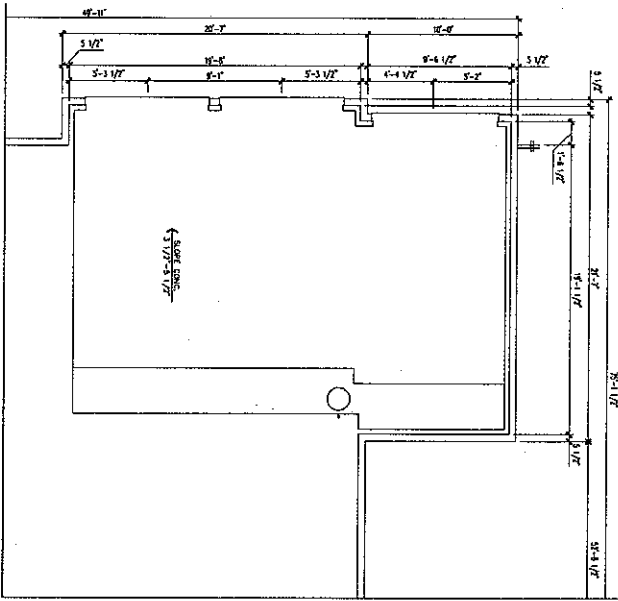


ROOF PLAN - TYP.
SCALE 1/8" = 1'-0"

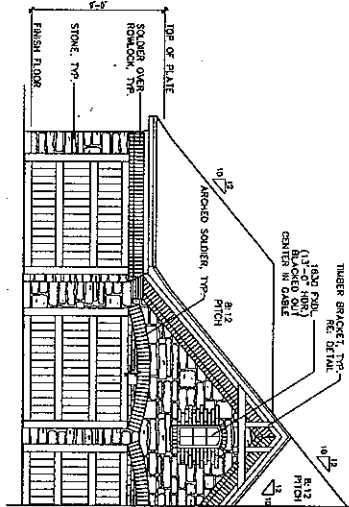
- ROOF NOTES**
- 1) ALL ROOF SLOPES TO BE 8:12 & 10:12 UNLESS NOTED OTHERWISE.
 - 2) OVERHANG TO BE 1'-6" FROM EXTERIOR WALLS.
 - 3) ALL FLASHINGS TO BE 8:12 & 10:12.
 - 4) ARROWS INDICATE DRAINAGE.

VENTILATION NOTES

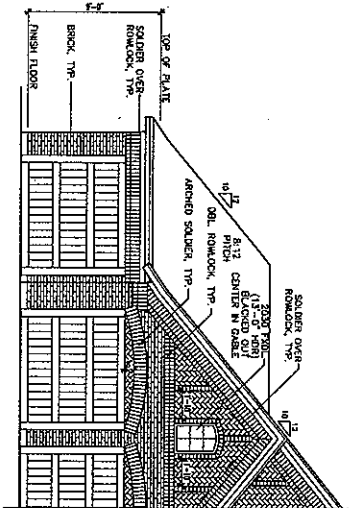
- UNLESS FEET OF PERFORATED SOFFIT VENTS T.B.O.
- PROVIDE ROOF VENTS
 - 1) 1" x 14" HOLE TO BE CUT BY ROOFING CONTRACTOR



FOUNDATION SILHOUETTE - TYP.
SCALE 1/8" = 1'-0"



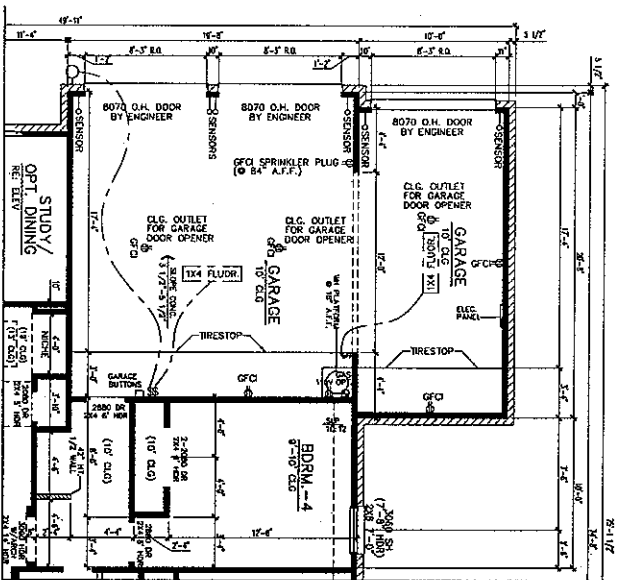
FRONT ELEVATION - A
SCALE 1/8" = 1'-0"



FRONT ELEVATION - B
SCALE 1/8" = 1'-0"

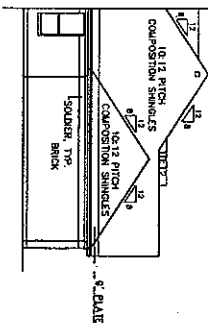
SUPPLIED TO:

- 1.) FRAMER
- 2.) CONCRETE LABOR
- 3.) CORNICE LABOR



FLOOR PLAN - TYP.
SCALE 1/8" = 1'-0"

LEFT SIDE ELEVATION - TYP.
SCALE 1/8" = 1'-0"



- NOTES:**
- 1) ALL PLANS ARE TO BE COMPLIANT WITH THE 2009 IRC, IBC, AND ALL OTHER APPLICABLE CODES.
 - 2) WIND BRACING REQUIREMENTS ARE TO BE COMPLIANT TO THE 2009 ENERGY CODE.

SQUARE FOOTAGES	
Total Living Area	2120 SQ. FT.
Garage	630 SQ. FT.
Porch & Patio	80/132 SQ. FT.
Total Under Roof	2822 SQ. FT.

SHEET NUMBER	3RD CAR OPTION
SHEET 1-4	

PROJECT NO.	10-034
PLAN NUMBER	2120 L
DATE	04-22-10
DRAWN BY	CSG

THE BROHN GROUP	
1000 W. 10TH AVE. SUITE 100	
MINNEAPOLIS, MN 55405	
PHONE: (612) 338-8888	
FAX: (612) 338-8888	
EMAIL: INFO@BROHN.COM	



BUILDER:



DESCRIPTION:

WHITESTONE OAKS

REVISIONS

***PROJECTIONS OF EAVES INTO THE BUILDING LINE SETBACK WILL REQUIRE THE SOFFIT TO BE 1 HR. RATED.
GEORGIA PACIFIC "TOUGH ROOF" 5/8" SOFFIT BOARD OR EQUAL.

TYPICAL SOFFIT DETAIL AT SIDING

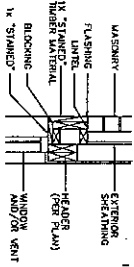
SCALE: N.T.S.
RE: PLANS & ELEV.'S FOR FRAMING & PITCH

***PROJECTIONS OF EAVES INTO THE BUILDING LINE SETBACK WILL REQUIRE THE SOFFIT TO BE 1 HR. RATED. GEORGIA PACIFIC "TOUGH ROCK" 5/8" SOFFIT BOARD OR EQUAL.

TYPICAL SOFFIT DETAIL AT MASONRY

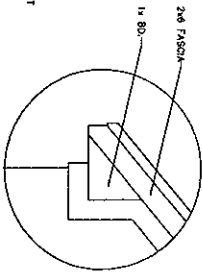
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RE: PLANS & ELEV.'S FOR FRAMING & PITCH



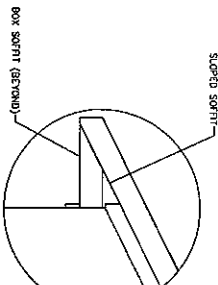
TYP. HEADER SECTION

SCALE: N.Y.S.



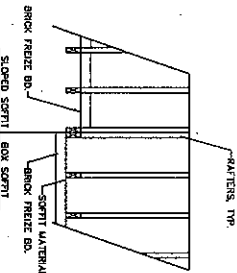
SOFFIT DETAIL

1. *Introduction*



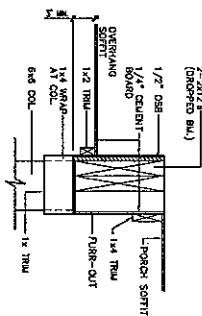
SLOPED SOFFIT DETAIL

•



SLOPED SOFFIT DETAIL

Figure 1



COVERED PATIO BEAM DETAIL

REVISIONS

The W.L. Group Inc. assumes no liability for any structure built from these plans. Before construction, the purchaser, builder, or contractor must verify all dimensions, verify compliance with all building codes, and incorporate site conditions. Only a qualified designer, architect, or structural engineer should be permitted to alter these plans, with written release of the W.L. Group Inc.

DESCRIPTION:
WHITESTOCK
OAKS

The M.I. Group Inc. assumes no liability for any structure built from these plans. Before construction, the purchaser, builder, or contractor must verify all dimensions, verify compliance with all building codes, and incorporate site conditions. Only a qualified designer, architect, or structural engineer should be permitted to alter these plans, with written release of The M.I. Group Inc.

BUILDER:



BROHN HOMES



2300 HOGANLAND WILLCROD, STE 2014

HOTEL AND VILLAGE, TEXAS 2017

OFFICE: (972) 410-7474

FAX: (912) 318-0806
TRADENAMED

ISSUE DATE	1/1/2000
------------	----------

04-03-15

01-77-40

DRAFTSPERSON

WAG

PROJECT NO.

10-034

PLAN NUMBER

04001

2120 L

SWEET NUMBER

SECRET

DETAILS

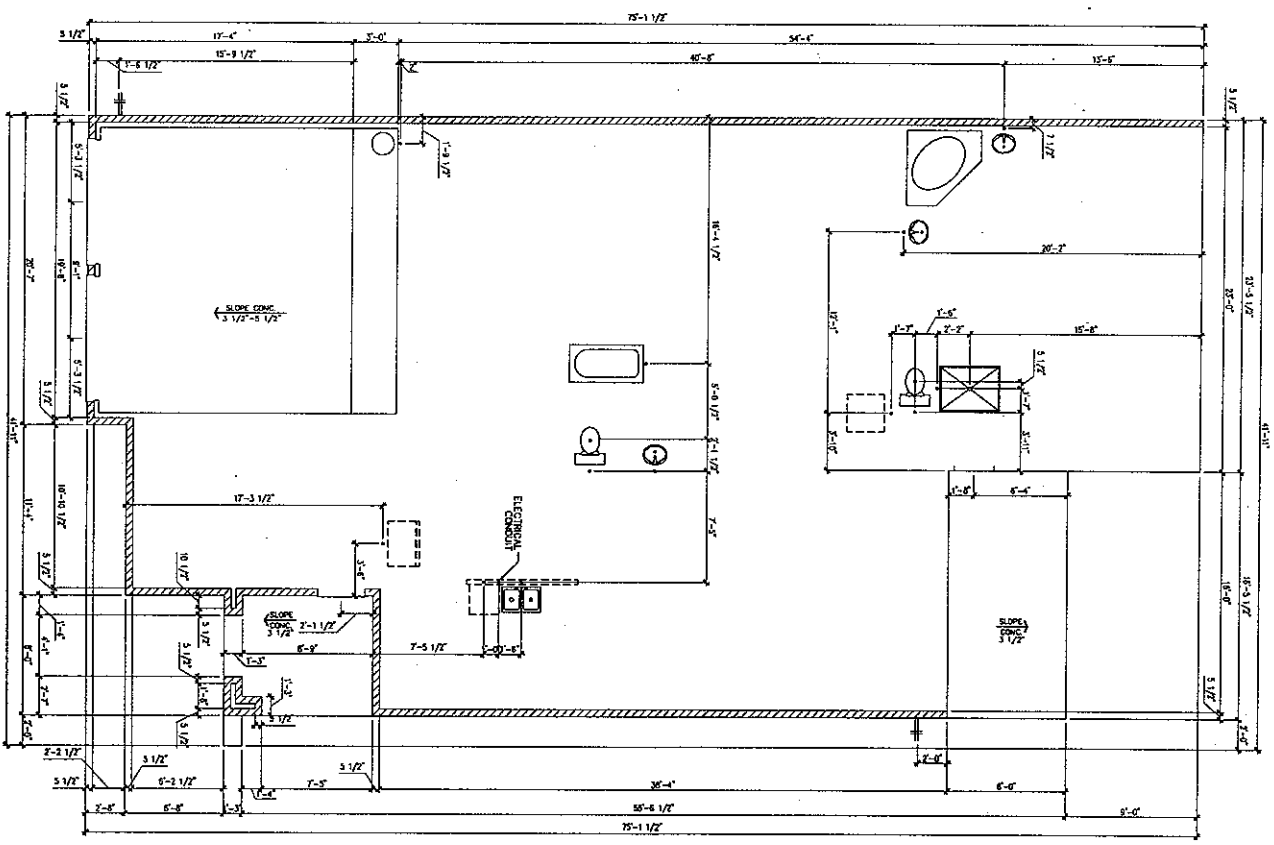
—

EXHIBIT 1-D-3

- PLUMBING NOTES:**
- 1.) MINIMUM OF 2 ACTUAL STAKES PER PVC PIPE THROUGH SLAB
 - 2.) ALL NOTES SCORED WITH METAL STAKES (USE TAPE TO PREVENT CONTACT IF APPLICABLE)
 - 3.) ALL PIPES MUST BE SEALED AT TOP
 - 4.) TEMPORARY HOSE BBS TO BE ON EXTERIOR OF SLAB
 - 5.) ALL PLUMBING MUST BE MINIMUM 1 1/2" AWAY FROM FORMS
 - 6.) PLUMBING MUST BE PER PLAN
 - 7.) PLACE ALL TRASH IN DESIGNATED AREA
 - 8.) NOTIFY CONSTRUCTION MANAGER OF ANY PROBLEMS
 - 9.) VERIFY ALL MEASUREMENTS BEFORE SLAB IS POURED
 - 10.) PROVIDE ON/OFF VALVE AT EXTERIOR GNL GAS STUB IF OPTION IS SELECTED
 - 11.) ALL ROOF PENETRATIONS SHALL NOT BE VISIBLE FROM THE STREET OR ON THE FRONT PORTION OF THE ROOF (FRONT OF HOUSE OR STREET SIDE)

FOUNDATION SILHOUETTE - A

SCALE 1/8" = 1'-0"

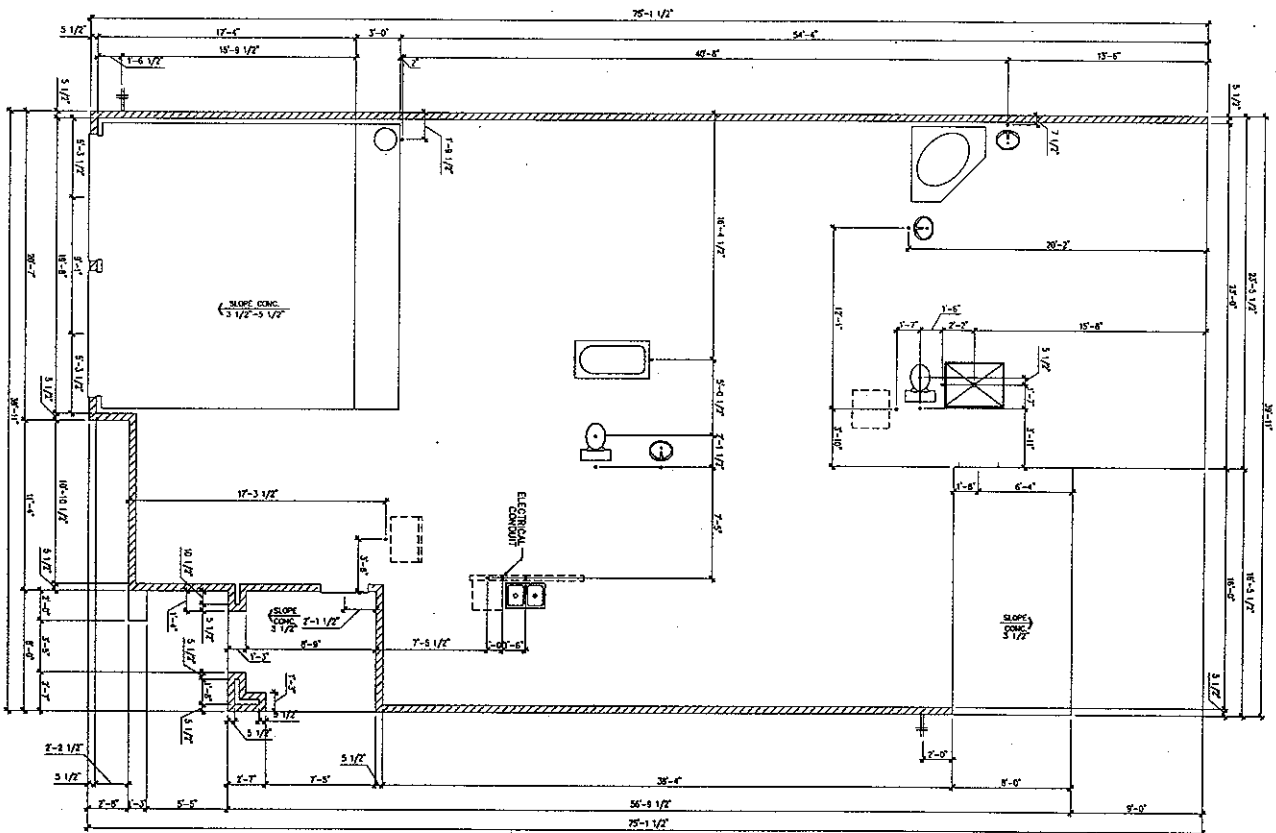


		BROHN HOMES	DESCRIPTION: WHITESTONE OAKS	The M.I. Group Inc. assumes no liability for any structure built from these plans. Before construction, the purchaser, builder, or contractor must verify all dimensions, verify compliance with all building codes, and incorporate site conditions. Only a qualified designer, architect, or structural engineer should be permitted to alter these plans, with written release of The M.I. Group Inc.
PROJECT NO. 10-034	SHEET NO. 2120 L	SHEET NUMBER FOUNDATION ENGINEERING A	REVISIONS	

- PLUMBING NOTES:**
- 1.) MINIMUM OF 2 METAL STAKES PER PVC PIPE THROUGH SLAB
 - 2.) ALL PIPES SECURED WITH METAL STAKES (USE TAPE TO PREVENT CONTACT IF APPLICABLE)
 - 3.) ALL PIPES MUST BE SEALED AT TOP
 - 4.) TEMPORARY HOSE BAR TO BE ON EXTERIOR OF SLAB
 - 5.) ALL PLUMBING MUST BE MINIMUM 1 1/2" AWAY FROM FORMS
 - 6.) PLUMBING MUST BE PER PLAN
 - 7.) PLACE ALL TRASH IN DESIGNATED AREA
 - 8.) NOTIFY CONSTRUCTION MANAGER OF ANY PROBLEMS
 - 9.) VERIFY ALL MEASUREMENTS BEFORE SLAB IS POURED
 - 10.) PROVIDE DRAIN VALVE AT EXTERIOR GULL GAS STUB IF OPTION IS SELECTED
 - 11.) ALL WORK INFORMATION SHALL NOT BE VISIBLE FROM THE STREET OR ON THE FRONT PORTION OF THE HOOD (FRONT OF HOUSE OR STREET SIDE)

FOUNDATION SILHOUETTE - B

SCALE: 1/8" = 1'-0"



		BUILDER:  BROHN HOMES		DESCRIPTION: WHITESTONE OAKS		REVISIONS <table border="1"> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> </table>																					
THE M.L. GROUP 1000 BROADWAY, SUITE 200 BOSTON, MA 02108 OFFICE: (617) 410-1111 FAX: (617) 318-4866 TRADEMARKED ISSUE DATE: 04-22-10 DRAFTSPERSON: WAG		PROJECT NO.: 10-034		SHEET NUMBER: 2120 L		FOUNDATION ENGINEERING B																					
SHEET 2B		The M.L. Group Inc. assumes no liability for any structure built from these plans. Before construction, the purchaser, builder, or contractor must verify all dimensions, verify compliance with all building codes, and incorporate site conditions. Only a qualified designer, architect, or structural engineer should be permitted to alter these plans, with written release of the M.L. Group Inc.																									