

CITY OF AUSTIN

CASE # 2011-031138R

PLAN REVIEW # ~~10574558~~

TPH 01-2507-0317

APPLICATION TO THE RESIDENTIAL DESIGN
AND COMPATIBILITY COMMISSION (RDCC)

GENERAL MODIFICATION WAIVER

STREET ADDRESS: 3704 BONNELL DRIVE AUSTIN TX 78731

LEGAL DESCRIPTION: Subdivision - MT. BONNELL TERRACE

Lot(s) 1 Block E Outlot - Division SECTION 3

LAND STATUS DETERMINATION CASE NUMBER (if applicable) _____

I/We JIM ENHAUS on behalf of myself/ourselves as authorized agent for

DAVID WEEKLEY HOMES affirm that on 4/13, 2011,

hereby apply for a hearing before the Residential Design and Compatibility Commission for modification Section 2.8.1. of up to 25% increase in one or more of the following:

- ☒ Maximum Floor to area ratio .4 or Gross floor area 2300 sq ft.
☐ Maximum Linear feet of Gables protruding from setback plane
☐ Maximum Linear feet of Dormers protruding from the setback plane

Waive or modify the side wall articulation requirement of Section 2.7.

Side Wall Length Articulation
(Please describe request. Please be brief but thorough).

THE PRELIMINARY PLAN (NOT INCLUDED) HAD A FLAT 15' CEILING IN THE LIVING ROOM AND HAD BEDROOM 5 TUCKED IN UNDER THE ROOF. HOWEVER, THE HOMEOWNER HAS ASKED US TO VAULT THE CEILING IN THE FAMILY ROOM, AND ADD A WINDOW TO THE FRONT OF BR 5, SO THEY CAN SEE THE DOWNTOWN SKYLINE. DOING THIS ADDS TO THE FAR. FROM THE ALLOWABLE 4673.2 (40%) TO 5442 (46.6%) FOR NEW CONSTRUCTION
in a SF3 zoning district.

Note: Certificate of Appropriateness: H (Historic) or HD (Historic Designation) -
case goes to RDCC first. National Register Historical District (NRHD) Overlay:
without H or HD - case goes to Historic Landmark Commission first.

C3/2

CITY OF AUSTIN
APPLICATION TO THE RESIDENTIAL DESIGN
AND COMPATIBILITY COMMISSION
GENERAL MODIFICATION WAIVER

REASONABLE USE:

1. The Residential Design and Compatibility Standards Ordinance applicable to the property does not allow for a reasonable use because:

ANY VAULTED CEILING ADDS TO THE FAR, AND CONVERTING A HABITABLE ATTIC AREA TO A REGULAR FLOOR AREA ALSO ADDS TO THE FAR, EVEN THOUGH IT DOES NOT ADD TO THE LIVING SPACE, IMPERVIOUS COVERAGE, OR BUILDING COVERAGE.

REQUEST:

2. The request for the modification is unique to the property in that:

THERE ARE INCREDIBLE VIEWS FROM THE FRONT OF THIS HOME TO DOWNTOWN AUSTIN. ADDING A WINDOW ON THE FRONT OF THE HOME, WILL ALLOW THE HOMEOWNER TO ENJOY THESE VIEWS.

AREA CHARACTER:

3. The modification will not alter the character of the area adjacent to the property, will not impair the use of adjacent conforming property, and will not impair the purpose of the regulations of the zoning district in which the property is located because:

ALLOWING THE VAULTED CEILING IN THE FAMILY ROOM WILL NOT BE EVIDENT WHATSOEVER ON THE OUTSIDE, SINCE IT IS SIMPLY ADDING NON-HABITABLE ATTIC SPACE TO THE FAMILY ROOM. ALLOWING ANOTHER WINDOW TO BE ADDED TO THE FRONT OF THE HOUSE WILL NOT AFFECT ANY NEIGHBORS. THE UPPER ROOF LINES (RIDGES) ARE STILL THE SAME. ALL THIS WOULD DO IS CONVERT A 5:12 PITCHED ROOF INTO A WALL WITH A WINDOW.

C3/3

**CITY OF AUSTIN
APPLICATION TO THE RESIDENTIAL DESIGN
AND COMPATIBILITY COMMISSION**

GENERAL MODIFICATION WAIVER

APPLICANT CERTIFICATE – I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Mailing Address 9000 WATERFORD CENTRE

City, State AUSTIN TEXAS Zip 78758

Phone 512-784-7277 Printed Name JIM EINHANS

Signature [Signature] Date 4/13/11

OWNER'S CERTIFICATE – I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Mailing Address _____

City, State _____ Zip _____

Phone _____ Printed Name _____

Signature _____ Date _____

CITY OF AUSTIN
RESIDENTIAL PERMIT APPLICATION "A"

BP Number 2011-031138K **C3/4**
Building Permit No. _____
Plat No. _____ Date 4-13-2011
Reviewer Elaine Ramirez

PRIMARY PROJECT DATA

Service Address 3704 Bonnell Drive Tax Parcel No. 01-25070317
Legal Description
Lot 1 Block E Subdivision Mount Bonnell Terrace Section 3 Phase _____
If in a Planned Unit Development, provide Name and Case No. _____
(attach final approved copies of subdivision and site plan)
If this site is not a legally subdivided lot, you must contact the Development Assistance Center for a Land Status Determination.
Description of Work _____ Remodel (specify) _____
☒ New Residence _____
_____ Duplex _____ Addition (specify) _____
☒ Garage _____ attached ☒ detached _____
_____ Carport _____ attached _____ detached _____
_____ Pool _____ Other (specify) _____
Zoning (e.g. SF-1, SF-2...) SF3
- Height of Principal building 30 ft. # of floors 2 Height of Other structure(s) _____ ft. # of floors _____
- Does this site currently have water and wastewater availability? _____ Yes _____ No. If no, please contact the
Austin Water Utility at 512-972-0000 to apply for water and/or wastewater tap application, or a service extension request.
- Does this site have a septic system? _____ Yes ☒ No. If yes, for all sites requiring a septic field you must obtain an approved septic
permit prior to a zoning review.
Does this site have a Board of Adjustment ruling? _____ Yes ☒ No If yes, attach the B.O.A. documentation
Will this development require a cut and fill in excess of 4 feet? ☒ Yes _____ No
Does this site front a paved street? ☒ Yes _____ No A paved alley? _____ Yes ☒ No
Is this property within the Residential Design and Compatibility Standards Ordinance Boundary Area? ☒ Yes _____ No

**VALUATIONS FOR
REMODELS ONLY**

**VALUATIONS FOR NEW CONSTRUCTION
OR ADDITIONS ONLY**

**PERMIT FEES
(For office use only)**

Building \$ _____
Electrical \$ _____
Mechanical \$ _____
Plumbing \$ _____
Driveway/
Sidewalk \$ _____
TOTAL \$ _____
(labor and materials)

Lot Size 11683 sq. ft.
Job Valuation - Principal Building \$575,000
(Labor and materials)
Job Valuation - Other Structure(s) \$ _____
(Labor and materials)
TOTAL JOB VALUATION
(sum of remodels and additions)
\$ 575,000 -
(Labor and materials)

	NEW/ADDITIONS	REMODELS
Building	\$ _____	\$ _____
Electrical	\$ _____	\$ _____
Mechanical	\$ _____	\$ _____
Plumbing	\$ _____	\$ _____
Driveway & Sidewalk	\$ _____	\$ _____
TOTAL	\$ _____	\$ _____

OWNER / BUILDER INFORMATION

OWNER	Name _____	Telephone (h) _____ (w) _____
BUILDER	Company Name <u>Weekley Homes, L.P.</u>	Telephone <u>821-8854</u>
	Contact/Applicant's Name <u>Annette Adair</u>	Pager _____ FAX <u>372-8725</u>
DRIVEWAY/ SIDEWALK	Contractor _____	Telephone _____
CERTIFICATE OF OCCUPANCY	Name <u>Bill & Claudia Clark</u>	Telephone _____
	Address <u>3704 Bonnell Drive</u>	City <u>Austin</u> ST <u>TX</u> ZIP <u>78731</u>

If you would like to be notified when your application is approved, please select the method:

_____ telephone ☒ e-mail: aadair@dwshomes.com

You may check the status of this application at www.ci.austin.tx.us/development/picirvr.htm

CITY OF AUSTIN
RESIDENTIAL PERMIT APPLICATION "C"

13/6

BUILDING COVERAGE

The area of a lot covered by buildings or roofed areas, but not including (i) incidental projecting eaves and similar features, or (ii) ground level paving, landscaping, or open recreational facilities.

	Existing	New / Addition
a. 1 st floor conditioned area	sq.ft.	2667 sq.ft.
b. 2 nd floor conditioned area	sq.ft. 2408	sq.ft.
c. 3 rd floor conditioned area	sq.ft.	sq.ft.
d. Basement	sq.ft.	sq.ft.
e. Garage / Carport	sq.ft.	sq.ft.
Attached	sq.ft.	567 sq.ft.
detached	sq.ft.	sq.ft.
f. Wood decks [must be counted at 100%]	sq.ft.	sq.ft.
g. Breezeways	sq.ft.	sq.ft.
h. Covered patios	sq.ft.	363 sq.ft.
i. Covered porches	sq.ft.	107 sq.ft.
j. Balconies	sq.ft.	sq.ft.
k. Swimming pool(s) [pool surface area(s)]	sq.ft.	sq.ft.
l. Other building or covered area(s)	sq.ft.	159 sq.ft.
Specify <u>masonry ledge</u>		
TOTAL BUILDING AREA (add a. through l.)	sq.ft.	6271 sq.ft.

TOTAL BUILDING COVERAGE ON LOT (subtract, if applicable, b., c., d., k. and f. if uncovered)

3863 sq.ft. ✓
33.06 % of lot

IMPERVIOUS COVERAGE

Include building cover and sidewalks, driveways, uncovered patios, decks, air conditioning equipment pad, and other improvements in calculating impervious cover. Roof overhangs which do not exceed two feet or which are used for solar screening are not included in building coverage or impervious coverage. All water must drain away from buildings on this site and buildings on adjacent lots.

a. Total building coverage on lot (see above)	3863 sq.ft.
b. Driveway area on private property	1107 sq.ft.
c. Sidewalk / walkways on private property	107 sq.ft.
d. Uncovered patios	sq.ft.
e. Uncovered wood decks [may be counted at 50%]	sq.ft.
f. Air conditioner pads	32 sq.ft.
g. Concrete decks	sq.ft.
h. Other (specify) <u>door landing</u>	25 sq.ft.

TOTAL IMPERVIOUS COVERAGE (add a. through h.)

5134 sq.ft.
43.94 % of lot

C3/6

CITY OF AUSTIN
RESIDENTIAL PERMIT APPLICATION "D"
FLOOR AREA RATIO INFORMATION

TO BE COMPLETED FOR ALL PROPERTIES LOCATED WITHIN THE RESIDENTIAL DESIGN AND COMPATIBILITY
STANDARDS ORDINANCE BOUNDARY AREA.

Service Address 3704 Bonnell Drive
Applicant's Signature [Signature] Date 4/13/11

GROSS FLOOR AREA AND FLOOR AREA RATIO as defined in the Austin Zoning Code.

	Existing	New / Addition
I. 1 st Floor Gross Area		
a. 1 st floor area (excluding covered or uncovered finished ground-floor porches)	sq.ft.	<u>21607</u> sq.ft.
b. 1 st floor area with ceiling height over 15 feet.	sq.ft.	<u>0</u> sq.ft.
c. TOTAL (add a and b above)	sq.ft.	<u>21607</u> sq.ft.
II. 2 nd Floor Gross Area See note ¹ below		
d. 2 nd floor area (including all areas covered by a roof i.e. porches, breezeways, mezzanine or loft)	sq.ft.	<u>2408</u> sq.ft.
e. 2 nd floor area with ceiling height > 15 feet.	sq.ft.	<u>0</u> sq.ft.
f. TOTAL (add d and e above)	sq.ft.	<u>2408</u> sq.ft.
III. 3 rd Floor Gross Area See note ¹ below		
g. 3 rd floor area (including all areas covered by a roof i.e. porches, breezeways, mezzanine or loft).	sq.ft.	<u>n/a</u> sq.ft.
h. 3 rd floor area with ceiling height > 15 feet	sq.ft.	<u>n/a</u> sq.ft.
i. TOTAL (add g and h above)	sq.ft.	<u>n/a</u> sq.ft.
IV. Basement Gross Area		
j. Floor area outside footprint of first floor or greater than 3 feet above grade at the average elevation at the intersections of the minimum front yard setback line and side property lines.	sq.ft.	<u>n/a</u> sq.ft.
V. Garage		
k. ☒ attached (subtract 200 square feet if used to meet the minimum parking requirement) <u>567-200=367</u>	sq.ft.	<u>367</u> sq.ft.
l. ☐ detached (subtract 450 square feet if more than 10 feet from principal structure)	sq.ft.	<u>n/a</u> sq.ft.
VI. Carport (open on two or more sides without habitable space above it subtract 450 square feet)	sq.ft.	<u>n/a</u> sq.ft.
VII. TOTAL	sq.ft.	<u>5442</u> sq.ft.

max - 4673.8	TOTAL GROSS FLOOR AREA (add existing and new from VII above)	<u>5442</u> sq. ft.
	GROSS AREA OF LOT	<u>11683</u> sq. ft.
over - 768.8 ft	FLOOR AREA RATIO (gross floor area / gross area of lot)	<u>.468</u> sq. ft.

¹ If a second or third floor meets all of the following criteria it is considered to be attic space and is not calculated as part of the overall Gross Floor Area of the structure.

- a. It is fully contained within the roof structure and the roof has a slope of 3 to 12 or greater
- b. It only has one floor within the roof structure
- c. It does not extend beyond the foot print of the floors below
- d. It is the highest habitable portion of the building; and
- e. Fifty percent or more of the area has a ceiling height of seven feet or less.

C3/1

CITY OF AUSTIN
RESIDENTIAL PERMIT APPLICATION "B"

CITY OF AUSTIN
RESIDENTIAL PERMIT APPLICATION

I understand that in accordance with Sections 25-1-411 and 25-11-66 of the Land Development Code (LDC), non-compliance with the LDC may be cause for the Building Official to suspend or revoke a permit and/or license. I understand that I am responsible for complying with any subdivision notes, deed restrictions, restrictive covenants and/or zoning conditional overlays prohibiting certain uses and/or requiring certain development restrictions (i.e., height, access, screening, etc.) on this property. If a conflict should result with any of these restrictions, it will be my responsibility to resolve it. I understand that, if requested, I must provide copies of all subdivision plat notes, deed restrictions, restrictive covenants, and/or zoning conditional overlay information that may apply to this property.

I acknowledge that this project qualifies for the Site Plan Exemption as listed in Section 25-5-2 of the LDC.

I understand that nothing may be built upon or over an easement. I further understand that no portion of any roof structure may overhang in any public utility or drainage easement.

I acknowledge that customer will bear the expense of any necessary relocation of existing utilities to clear this driveway location and/or the cost to repair any damage to existing utilities caused during construction.

I also understand that if there are any trees greater than 19 inches in diameter located on the property and immediately adjacent to the proposed construction, I am to schedule a Tree Ordinance review by contacting (512) 974-1876 and receive approval to proceed.

I agree that this application will expire on the 181st day after the date that the application is filed if the application is not approved and an extension is not granted. If the application expires, a new submittal will be required.

APPLICANT'S SIGNATURE [Signature] DATE 4/13/11

HOME BUILDER'S STATE REGISTRATION NUMBER (required for all new construction) 1021

Rejection Notes/Additional Comments (for office use only):
Tree Review

Service Address 3704 Bonnell Drive

Applicant's Signature [Signature] Date 4/13/11

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ONE-STOP SHOP
505 Barton Springs
Austin, Texas 78701
(512) 974-2822 phone
(512) 974-5112 phone
(512) 974-5773 fax
(512) 974-5109 fax



Austin Energy
Electric Service Diamond Application (ESPA)
For Residential and Commercial SERVICE ONLY
Under 350 amps 34 or 275 amps 34

Check this box if
this is for a
building permit
only.

(Please print or type. Fields left blank will be considered Not Applicable.)

Responsible Person for Service Request Annette Adams Phone 841-9854
Email adams@dw.com Fax _____
Project Name _____ ☐ New Construction ☐ Remodeling
Project Address 3704 Bonnell Drive OR _____
Legal Description Moore Bonnell Terrace Sec 3 Lot 1 Block E
Requested Service Duration: ☐ Permanent Service ☐ Construction Power/Temp Service
(Usually less than 24 months)
Who is your electrical service provider? ☒ AE ☐ Other _____

☐ Overhead or ☒ Underground Voltage BF ☐ Single-phase (1φ) or ☐ Three-phase (3φ)
Service Main Size(s) 200 (amps) Number of Meters? 1
AE Service Length _____ (ft.) Conductor 20/CM (type & size)
SCEF Per Unit 50 #Units 25 ☐ All Electric ☐ Gas & Electric ☐ Other _____
Total AC Load _____ (Tons) Largest AC unit _____ (Tons)
LRA (Locked Rotor Amps) of Largest AC Unit _____ (Amps)
Electric Heating _____ (kW) Other _____ (kW)

Comments: New Residence

Annette Adams 413/111 512-841-9854
ESPA Completed by (Signature & Print name) Project Coordinator Social Worker Homes Phone

AE Representative _____ Approved: ☒ Yes ☐ No (Remarks on back) _____ Date _____ Phone _____
Application expires 180 days after date of Approval
(Any change to the above information requires a new ESPA)

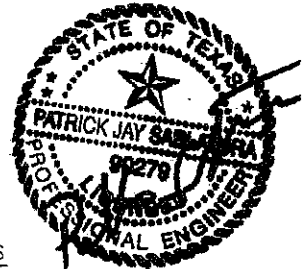
Version 1.1.0.0

AE APPROVED
APR 14 2011
RLS 104-1

All structures etc. must maintain 7' clearance from AE energized power lines. Enforced by AE & NESC codes.

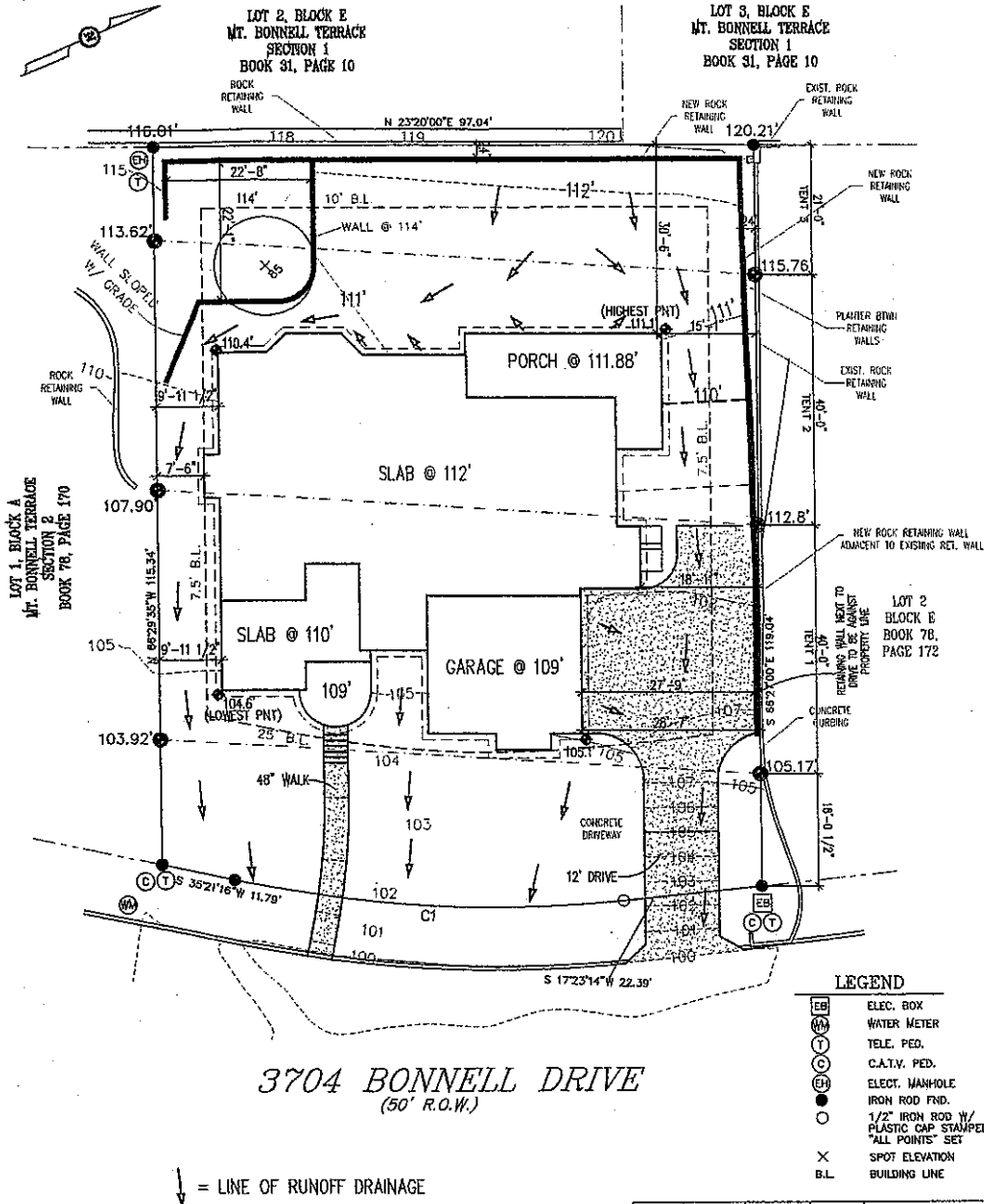
C 3/a

THE SEAL ON THIS PAGE PERTAINS ONLY TO THE AFFIRMATION OF THE COMPLIANCE OF THESE PLANS TO THE RESIDENTIAL DESIGN AND COMPATIBILITY STANDARDS FOR THE CITY OF AUSTIN



04-18-11

SCALE: 1"=30'



AVERAGE OF 4 CORNERS

110.4'
111.1'
104.6'
105.1'
431.2' / 4 = 107.8'

LEGEND

- WOOD FENCE
- WIRE FENCE
- CHAIN LINK FENCE
- UTILITY LINE
- WROUGHT IRON FENCE
- A/C UNIT
- ELEC. TRANS.
- ELEC. BOX
- ELEC. METER
- WATER METER
- SBC BOX
- SEWER
- GAS METER
- WATER METER
- TELE. PED.
- C.A.T.V. PED.
- ELECT. MANHOLE
- TELE. COM.
- IRON ROD FND.
- 1/2" IRON ROD W/ PLASTIC CAP STAMPED "ALL POINTS" SET
- SPINDLE FND.
- SPINDLE SET
- NAIL FND.
- NAIL SET
- PIPE FND.
- PIPE SET
- UTILITY POLE
- FIRE HYDRANT
- LIGHT STANDARD
- SPOT ELEVATION
- B.L. BUILDING LINE
- D.E. DRAINAGE EASEMENT
- P.U.E. PUBLIC UTILITY EASEMENT

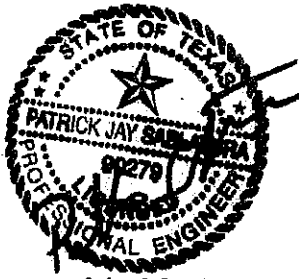
LEGEND

- ELEC. BOX
- WATER METER
- TELE. PED.
- C.A.T.V. PED.
- ELECT. MANHOLE
- IRON ROD FND.
- 1/2" IRON ROD W/ PLASTIC CAP STAMPED "ALL POINTS" SET
- SPOT ELEVATION
- B.L. BUILDING LINE

Curve	Radius	Length	Chord	Chord Bearing
C1	199.73'	63.50'	63.23'	S 26°33'38" W
(C1)	199.73'	(63.44')	(63.18')	(S 26°20' W)

SITE PLAN - FINAL GRADE

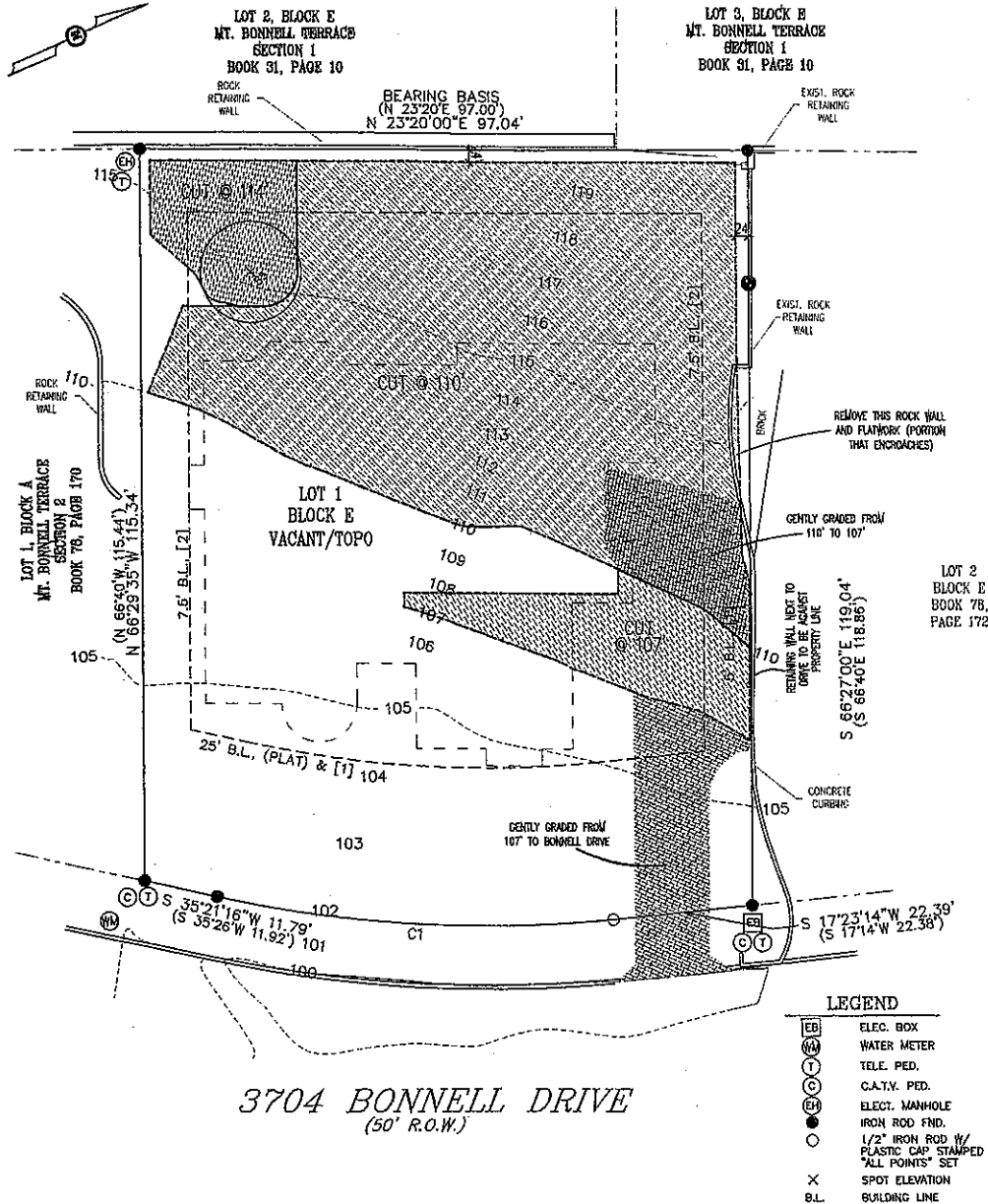
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CL3/10

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SCALE: 1"=30'



TREE#	SIZE/TYPE
46	9" MHN LAUREL
48	10" LIVE OAK
50	13" LIVE OAK
51	16" LIVE OAK
57	7" LIVE OAK
58	15" LIVE OAK
65	8" LIVE OAK
66	8" LIVE OAK
67	10" LIVE OAK
77	8" LIVE OAK
78	8" LIVE OAK
79	9" LIVE OAK
80	7" LIVE OAK
81	7" LIVE OAK
82	6" LIVE OAK
83	7" LIVE OAK
84	7" LIVE OAK
85	16" LIVE OAK
86	7" LIVE OAK

LEGEND

W	WOOD FENCE
X	WIRE FENCE
CL	CHAIN LINK FENCE
U	UTILITY LINE
I	WROUGHT IRON FENCE
AC	A/C UNIT
ET	ELEC. TRANS.
EB	ELEC. BOX
EM	ELEC. METER
WM	WATER METER
SB	SEC. BOX
S	SEWER
G	GAS METER
WM	WATER METER
T	TELE. PED.
C	C.A.T.V. PED.
EH	ELECT. MANHOLE
TC	TELE. COM.
IR	IRON ROD FND.
IR	1/2" IRON ROD W/ PLASTIC CAP STAMPED "ALL POINTS" SET
SP	SPINDLE FND.
NA	NAIL FND.
NS	NAIL SET
PF	PIPE FND.
PS	PIPE SET
UP	UTILITY POLE
FH	FIRE HYDRANT
LS	LIGHT STANDARD
SE	SPOT ELEVATION
B.L.	BUILDING LINE
D.E.	DRAINAGE EASEMENT
P.U.E.	PUBLIC UTILITY EASEMENT

LEGEND

EB	ELEC. BOX
WM	WATER METER
T	TELE. PED.
C	C.A.T.V. PED.
EH	ELECT. MANHOLE
IR	IRON ROD FND.
IR	1/2" IRON ROD W/ PLASTIC CAP STAMPED "ALL POINTS" SET
X	SPOT ELEVATION
B.L.	BUILDING LINE

Curve	Radius	Length	Chord	Chord Bearing
C1	199.73'	63.50'	63.23'	S 26°33'39" W
(C1)	(199.73')	(63.44')	(63.18')	(S 26°20' W)

SITE PLAN - CUT PLAN

scale: 1"=30'

MOUNT BONNELL TERRACE
3704 Bonnell Drive
Austin, TX 78731

Proj No.:
2023
Job No.:
4422

Lot: 1
Blk: E
Ct: 2

David Weekley Homes

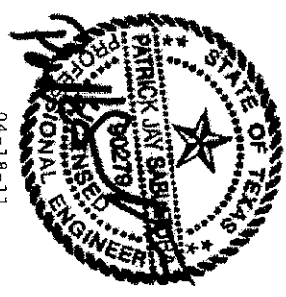
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Scale: 1"=30'

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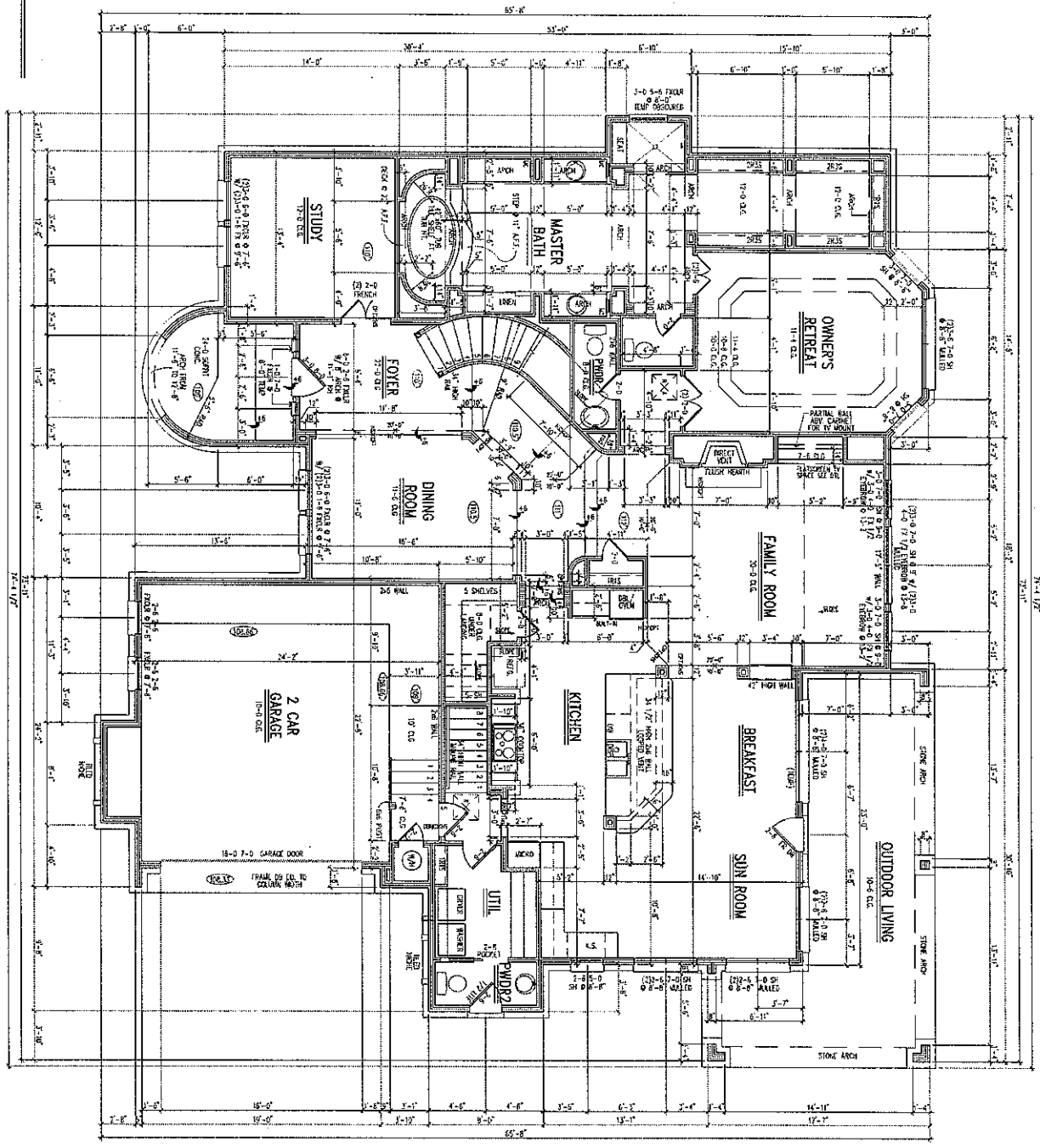
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04-18-11



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FLOOR PLAN



NORTH
3688-B
PLN-1
LUNDY
BOYE AUSTIN

MOUNT BONNELL TERRACE
3704 Bonnell Drive
Austin, TX 78731

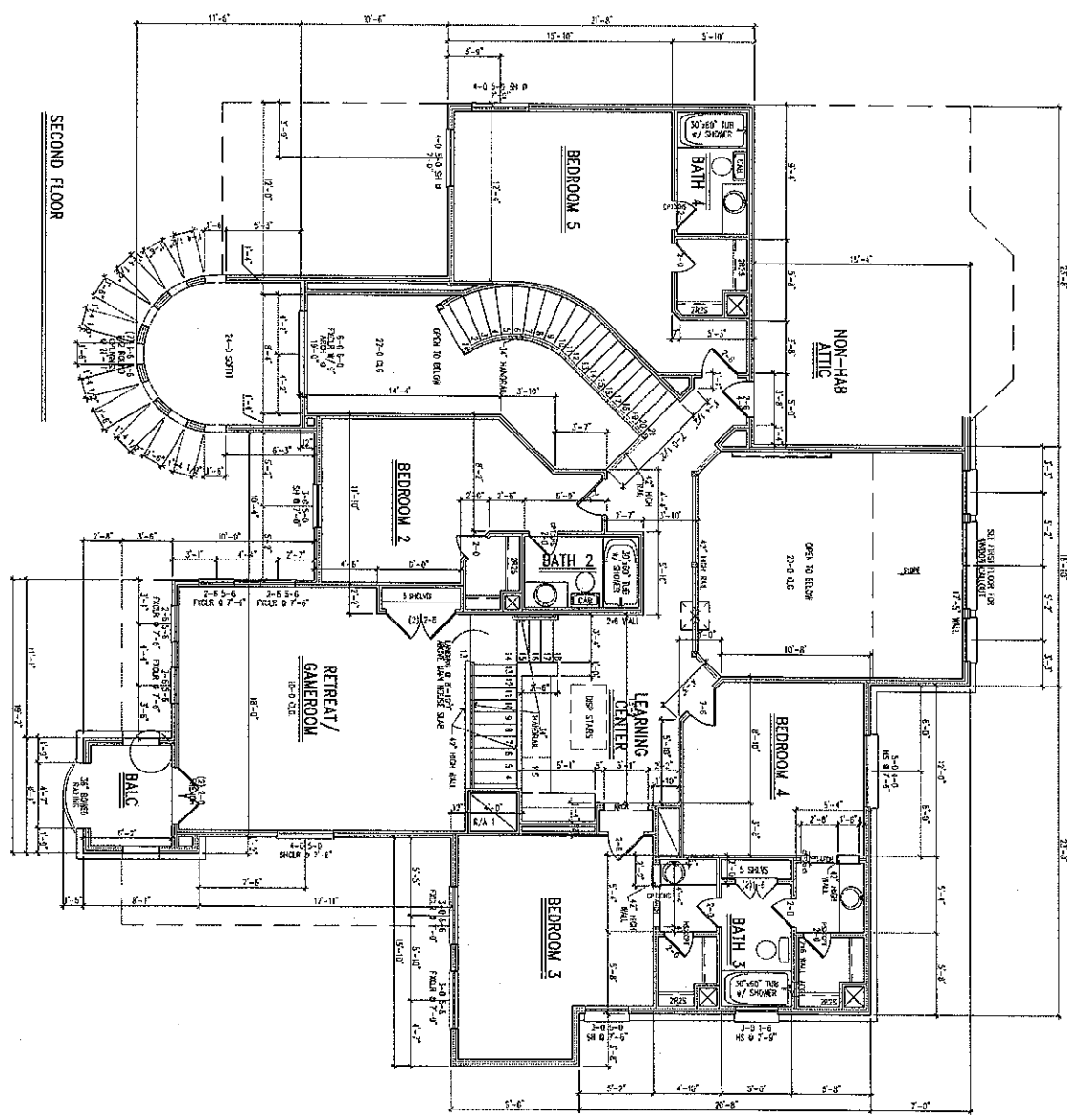
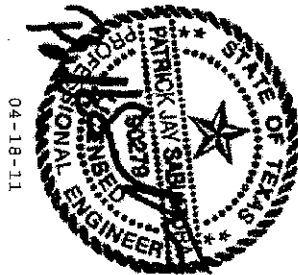
Proj. No: 2023
Job No: 1122
Lot: 1
Blk: E
Sect: 3

David Weekley Homes
MM/CL3/AJ
Date: 02/26/08
Scale: 1/8" = 1'-0"
Rev: 11/03/10 GS

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The measurements, dimensions, and other specifications shown on this document are guidelines for construction use only. The actual specifications of the finished structure may vary. This document may not be relied on as a representation of what the completed structure will look like.

CB
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THE SEAL ON THIS PAGE PERTAINS
ONLY TO THE AFFIRMATION OF THE
COMPLIANCE OF THESE PLANS TO THE
RESIDENTIAL DESIGN AND COMPATIBILITY
STANDARDS FOR THE CITY OF AUSTIN



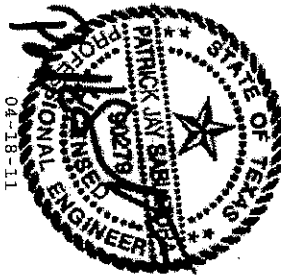
NOTE: ALL 2ND FLR. CEILING HEIGHTS
9'-0" UNLESS NOTED OTHERWISE

ADVANCED FRAMING: 2X6 EXTERIOR PERIMETER
WALL UNLESS NOTED OTHERWISE

NORTH 3688-B PLN-2 LUNDY BOB AUSTIN	MOUNT BONNELL TERRACE 3704 Bonnell Drive Austin, TX 78731	Proj. No.: 2023	Lot: 1 Blk: E Sect: 3	David Weekley Homes MM/CL3/AJ Date: 02/26/08 Scale: 1/8" = 1'-0" Rev: 11/03/10 GS	© Weekley Homes LP, 2008 The measurements, dimensions, and other specifications shown on this document are guidelines for construction use only. The actual specifications of the finished structure may vary. This document may not be relied on as a representation of what the completed structure will look like.
		Job No.: 1122			

C3/13

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CITY OF AUSTIN CALCULATIONS				
	F.A.R.	IMP. COVERAGE	BLDG COVERAGE	BUILDER CALCS
CITY OF AUSTIN MAX ALLOWED	.40	45.0%	40.0%	
FLOOR 1 LIVING	2667 SF	2667 SF	2667 SF	2667 SF
FLOOR 2 LIVING	2408 SF			1799 SF
TOTAL	5075 SF			4466 SF
F. PORCH	107 SF	107 SF	107 SF	107 SF
R. PORCH	363 SF	363 SF	363 SF	363 SF
GARAGE	567 SF	567 SF	567 SF	567 SF
SIDEWALKS	107 SF	107 SF		192 SF
DRIVEWAY	1107 SF			1235 SF
A/C PADS	32 SF	32 SF		32 SF
DOOR LANDINGS	25 SF			25 SF
Masonry LEDGE	159 SF	159 SF	159 SF	159 SF
TOTAL AREA	5442 SF	5134 SF	3663 SF	
LOT AREA	11,683 SF	11,683 SF		
FINAL CALCULATION	.4658	43.28%	33.13%	

> F.A.R. IS 16.5% OVER THE MAX. ALLOWED

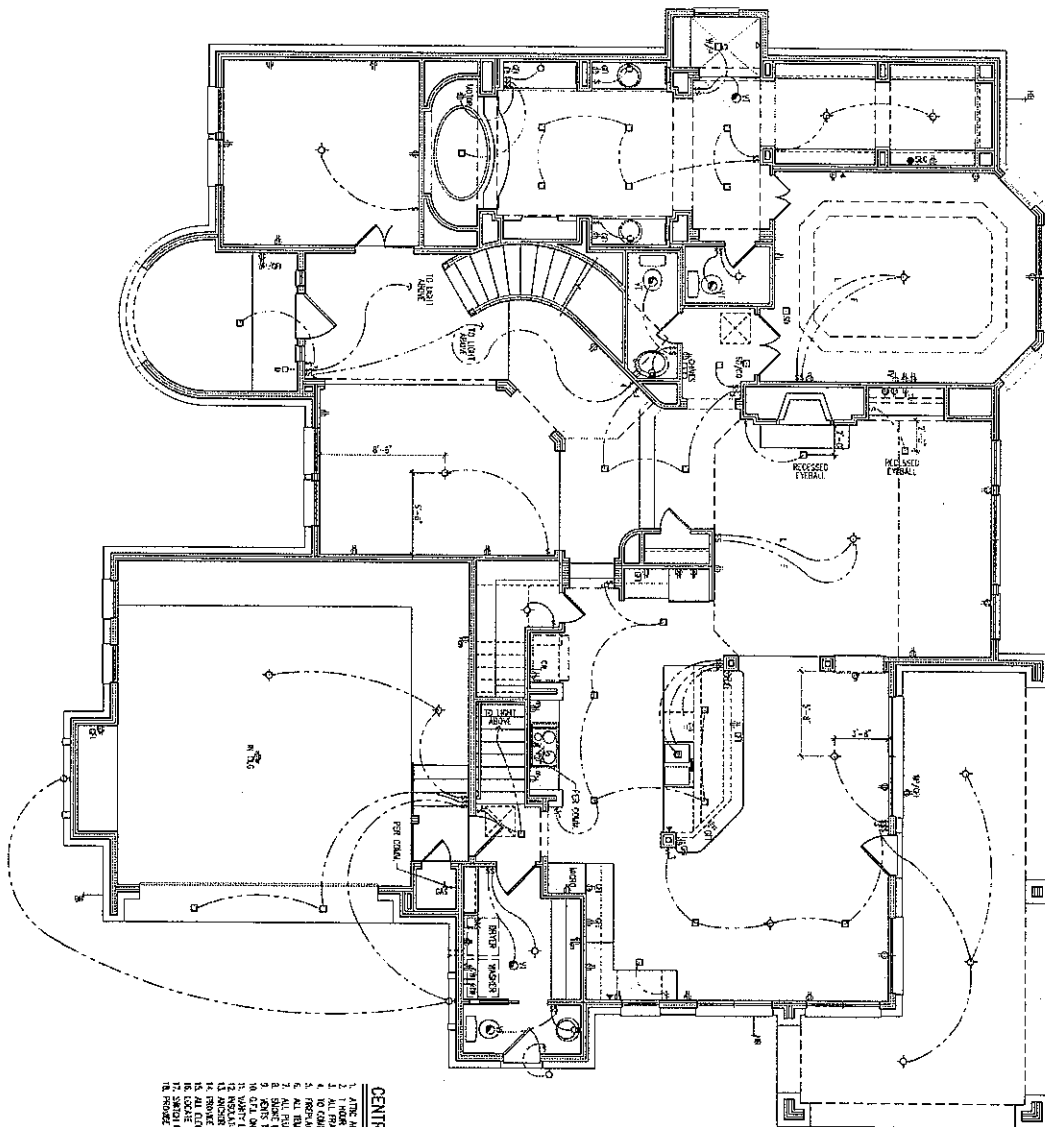
NORTH
3688-B
PLN-3
LUNDY
BOYL AUSTIN

MOUNT BONNELL TERRACE
3704 Bonnell Drive
Austin, TX 78731

Proj. No.: 2023
Job No.: 1122
Lot: 1
Blk: E
Sect: 3

David Weekley Homes
MM/CL3/AJ
Date: 02/26/08
Scale: 1/8" = 1'-0"
Rev.: 11/03/10 GS

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The measurements, dimensions, and other specifications shown on this document are guidelines for construction use only. The actual specifications of the finished structure may vary. This document may not be relied on as a representation of what the completed structure will look like.



CENTRAL TEXAS General Notes

1. A large, hollow, rounded, 22.5" x 9" x 11" and 10" deep, with a 10" diameter hole in the top, and a 10" diameter hole in the bottom.
2. A large, hollow, rounded, 22.5" x 9" x 11" and 10" deep, with a 10" diameter hole in the top, and a 10" diameter hole in the bottom.
3. A large, hollow, rounded, 22.5" x 9" x 11" and 10" deep, with a 10" diameter hole in the top, and a 10" diameter hole in the bottom.
4. A large, hollow, rounded, 22.5" x 9" x 11" and 10" deep, with a 10" diameter hole in the top, and a 10" diameter hole in the bottom.
5. A large, hollow, rounded, 22.5" x 9" x 11" and 10" deep, with a 10" diameter hole in the top, and a 10" diameter hole in the bottom.
6. A large, hollow, rounded, 22.5" x 9" x 11" and 10" deep, with a 10" diameter hole in the top, and a 10" diameter hole in the bottom.
7. A large, hollow, rounded, 22.5" x 9" x 11" and 10" deep, with a 10" diameter hole in the top, and a 10" diameter hole in the bottom.
8. A large, hollow, rounded, 22.5" x 9" x 11" and 10" deep, with a 10" diameter hole in the top, and a 10" diameter hole in the bottom.
9. A large, hollow, rounded, 22.5" x 9" x 11" and 10" deep, with a 10" diameter hole in the top, and a 10" diameter hole in the bottom.
10. A large, hollow, rounded, 22.5" x 9" x 11" and 10" deep, with a 10" diameter hole in the top, and a 10" diameter hole in the bottom.

UTILITY LEGEND

1	TYPE OF DATA	STANDARD SCORE	♂	SCORE SET
2	NUMBER OF PERSONS	1 (or 0 when missing)		
3	WEIGHTING FACTOR (IF ANY)	1	✓	SCORE SET WEIGHT
4	NAME AND DATE	✓	✓	DATE OF TEST
5	NAME AND DATE	✓	✓	DATE OF TEST
6	TEST (OR 0 IF NONE)	✓	✓	TEST NAME
7	SCORE	✓	✓	SCORE
8	SCORE SET	✓	✓	SCORE SET
9	SCORE SET	✓	✓	SCORE SET
10	SCORE SET	✓	✓	SCORE SET
11	SCORE SET	✓	✓	SCORE SET
12	SCORE SET	✓	✓	SCORE SET
13	SCORE SET	✓	✓	SCORE SET
14	SCORE SET	✓	✓	SCORE SET
15	SCORE SET	✓	✓	SCORE SET
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18	SCORE SET	✓	✓	SCORE SET
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99	SCORE SET	✓	✓	SCORE SET
100	SCORE SET	✓	✓	SCORE SET

NORTH
3688-B
ELE-1
LUNDY
BOYL AUSTIN

MOUNT BONNELL TERRACE
3704 Bonnell Drive
Austin, TX 78731

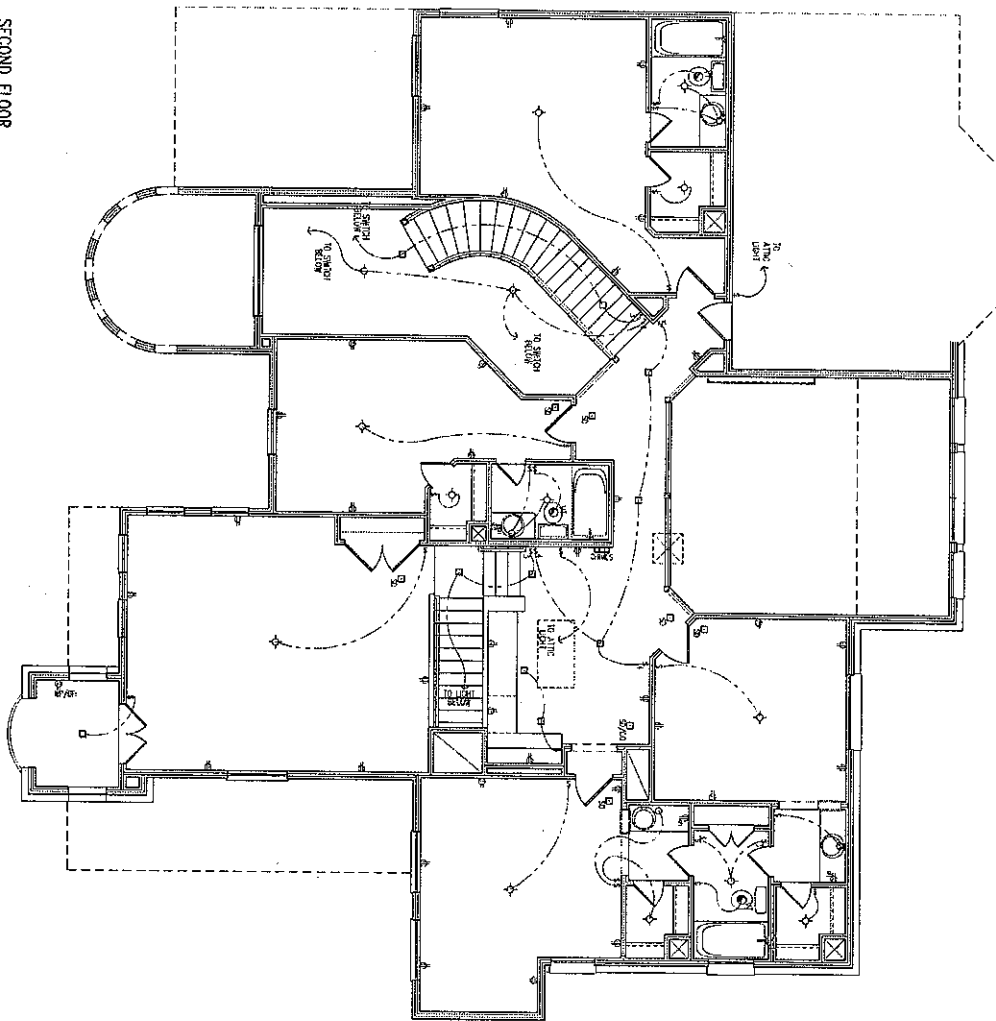
Proj. No:	2023	Lot:	1
Job No:	1122	Blk:	E
		Sect:	3

David Weekley Homes	
MM/CL3/AJ	Scale: 1/8" = 1'-0"
Date: 02/26/08	Rev: 11/03/10 GS

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C3
15

SECOND FLOOR



NORTH
3688-B
ELE-2
LUNDY
BOYL AUSTIN

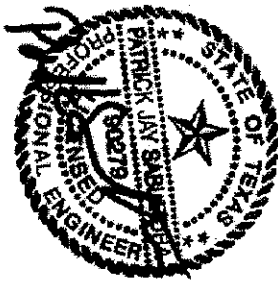
MOUNT BONNELL TERRACE
3704 Bonnell Drive
Austin, TX 78731

Proj. No.: 2023
Job No.: 1122
Lot: 1
Blk: E
Sect: 3

David Weekley Homes
MM/CL3/AJ
Date: 02/26/08
Scale: 1/8" = 1'-0"
Rev: 11/03/10 GS

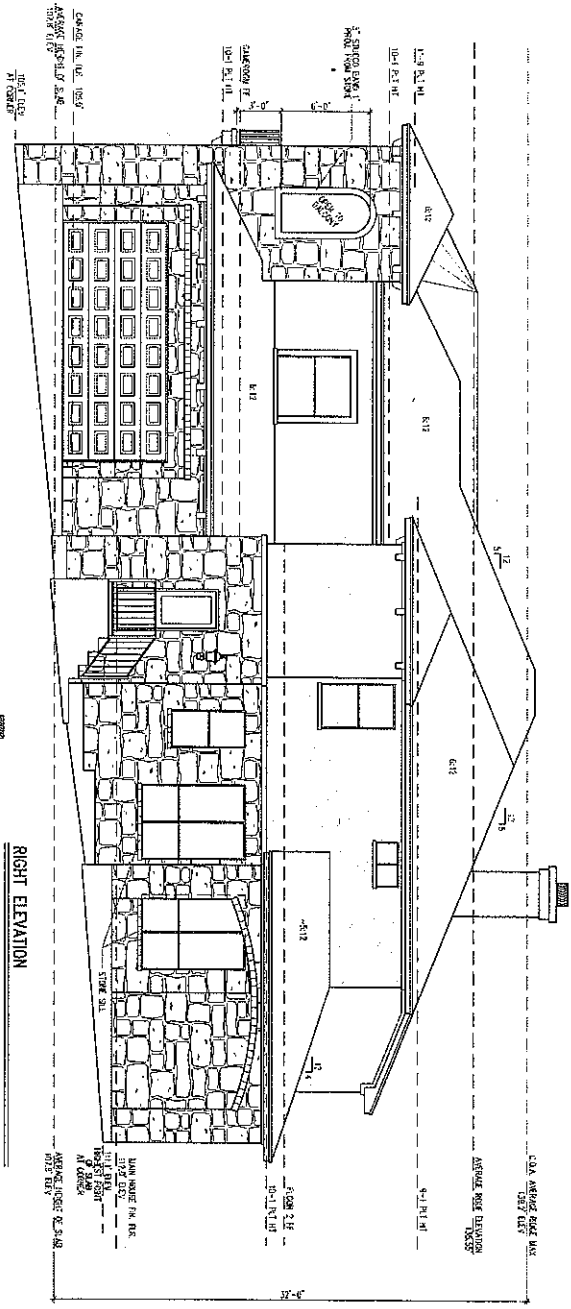
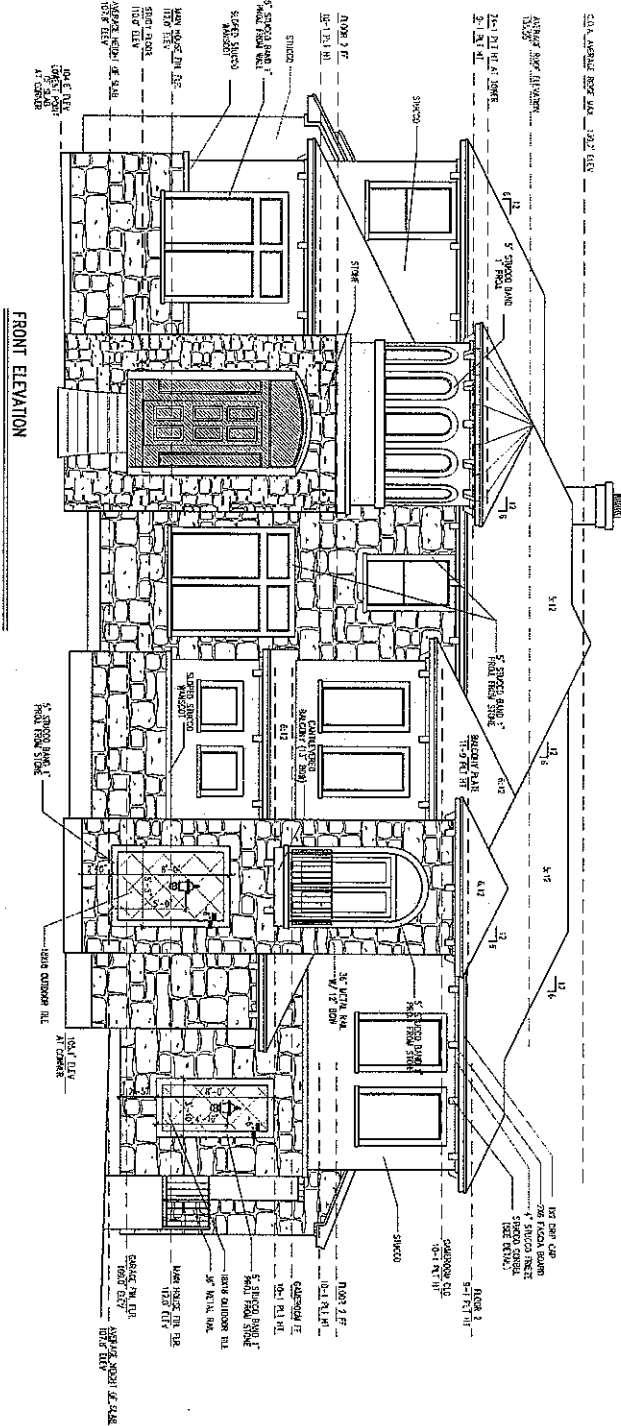
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C3/16

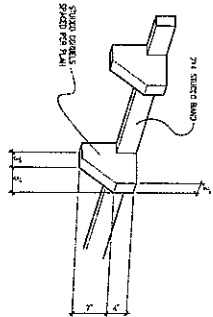


04-18-11

THE SEAL ON THIS PAGE PERTAINS ONLY TO THE AFFIRMATION OF THE COMPLIANCE OF THESE PLANS TO THE RESIDENTIAL DESIGN AND COMPATIBILITY STANDARDS FOR THE CITY OF AUSTIN.



CORBEL DETAIL



NORTH
3688-B
ELV-1
LUNDY
BDA, AUSTIN

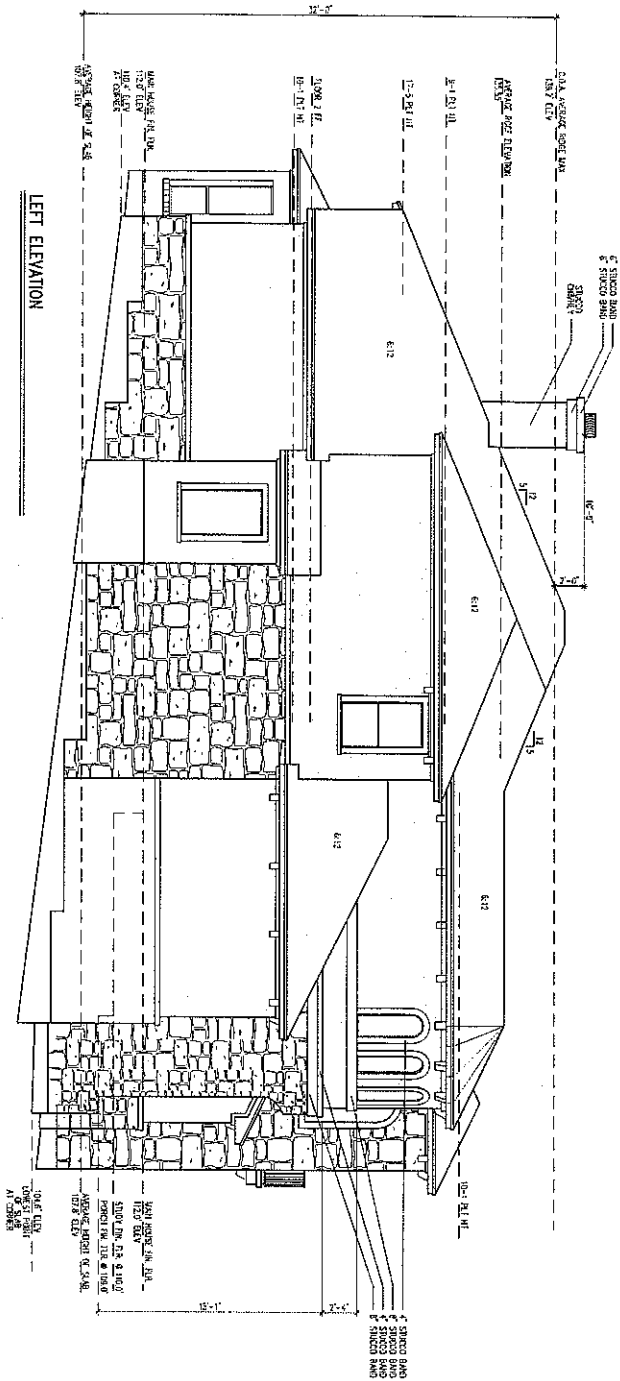
MOUNT BONNELL TERRACE
3704 Bonnell Drive
Austin, TX 78731

Proj. No.: 2023
Job No.: 1122
Lot: 1
Blk: E
Sect: 3

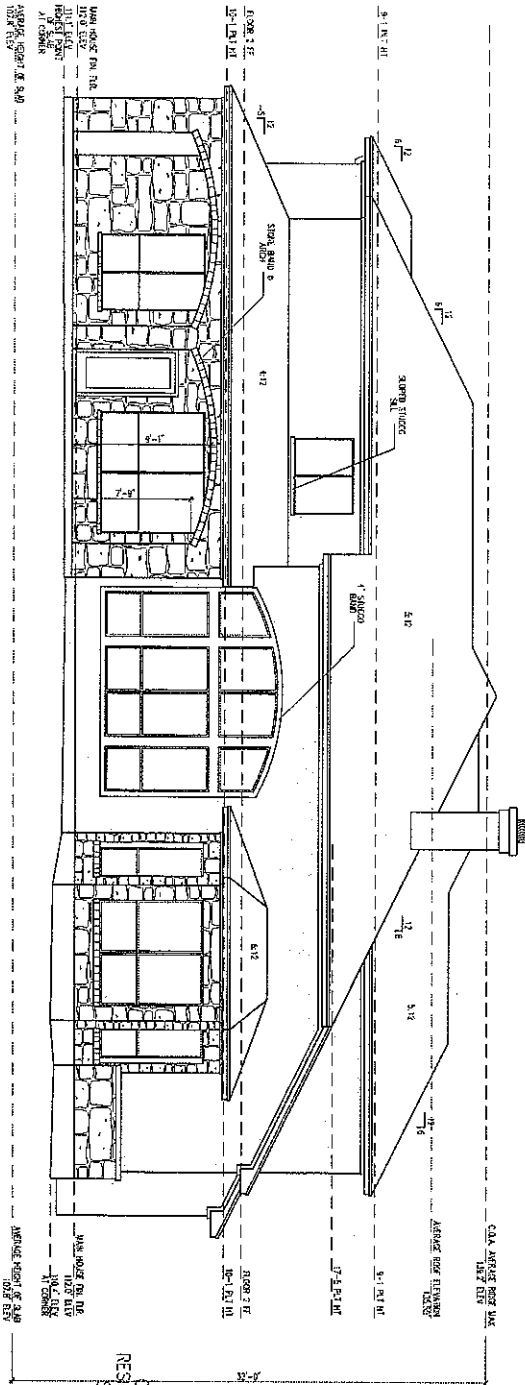
David Weekley Homes
MM/CL3/AJ
Date: 02/26/08
Scale: 1/8" = 1'-0"
Rev: 11/03/10 GS

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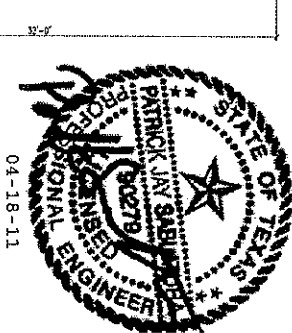
43
17



LEFT ELEVATION



REAR ELEVATION



04-18-11

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NORTH
3688-B
ELV-2
LUNDY
BOL AUSTRIN

MOUNT BONNELL TERRACE
3704 Bonnell Terrace
Austin, TX 78731

Proj. No.: 2023
Job No.: 1122

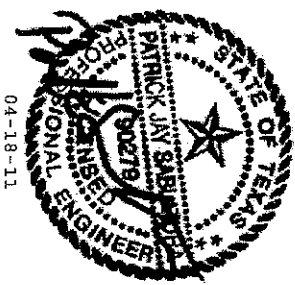
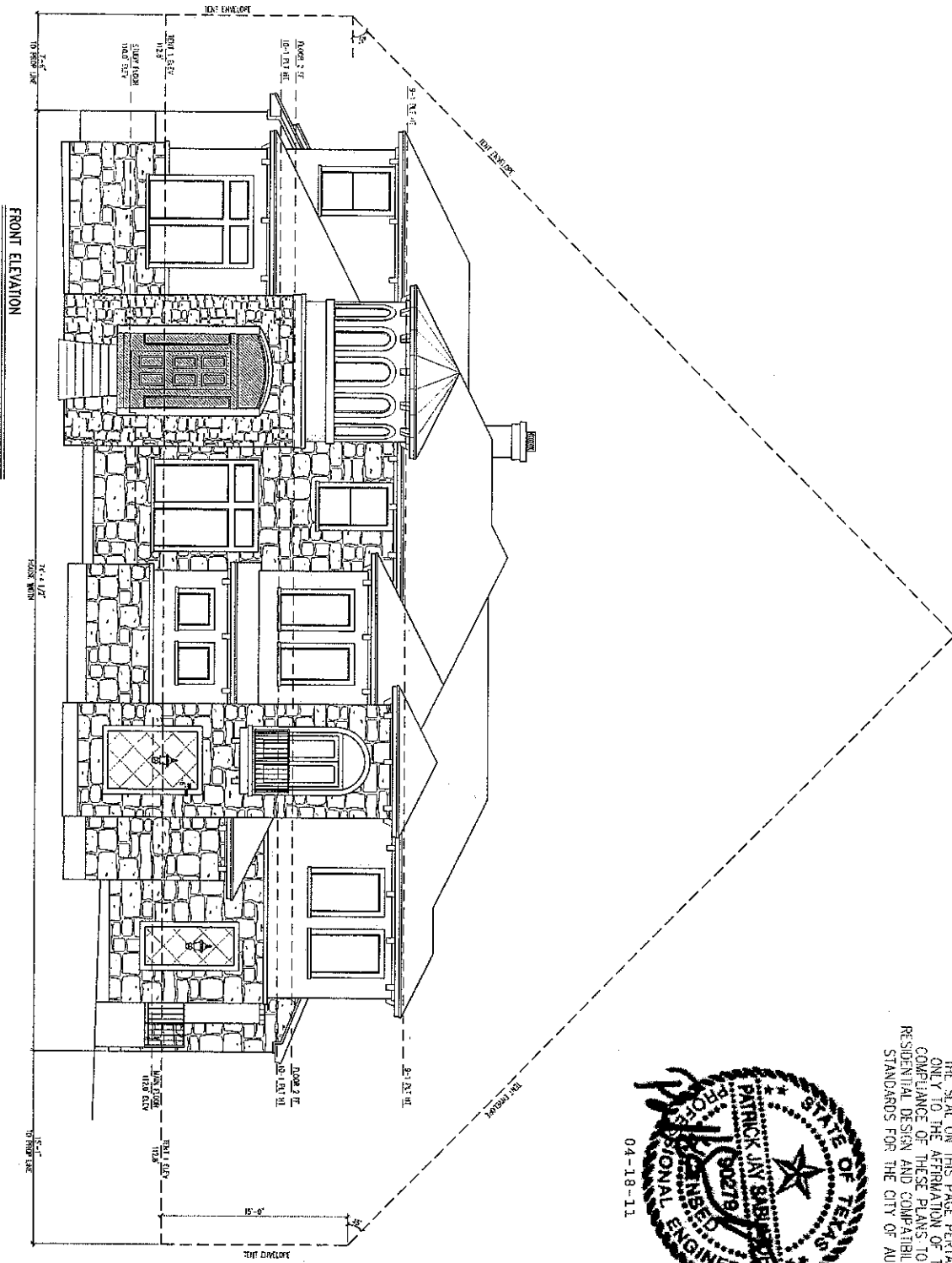
Lot: 1
Blk: E
Sect: 3

David Weekley Homes

MM/CL3/AJ Scale: 1/8" = 1'-0"
Date: 02/26/08 Rev: 11/03/10 GS

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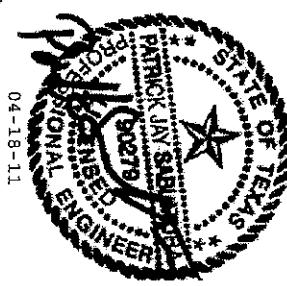
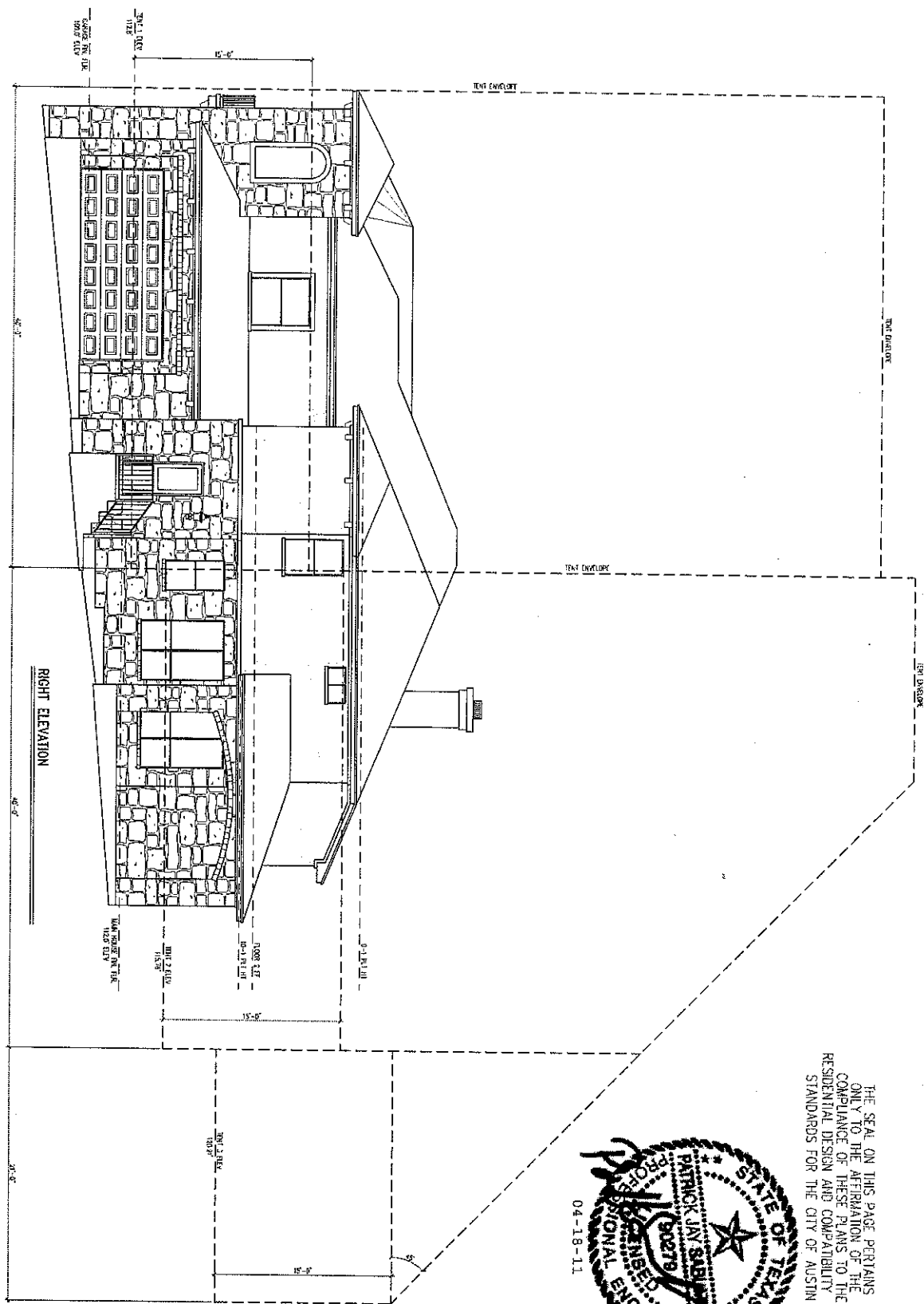
C3
18



THE SEAL ON THIS PAGE PERTAINS ONLY TO THE AFFIRMATION OF THE COMPLIANCE OF THESE PLANS TO THE RESIDENTIAL DESIGN AND COMPATIBILITY STANDARDS FOR THE CITY OF AUSTIN

NORTH 3688-B MCM-1 BOLL AUSTIN	MOUNT BONNELL DRIVE 3704 Bonnell Drive Austin, TX 78731	Proj. No.: 2023	Lot: 1
		Job No.: 1122	Blk: E
			Sect: 3
		David Weekley Homes	
		MM/CL3/AJ	Scale: 1/8" = 1'-0"
		Date: 02/26/08	Rev: 11/03/10 GS
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CL3/19



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NORTH
3688-B
MCM-2
BOYL AUSTIN

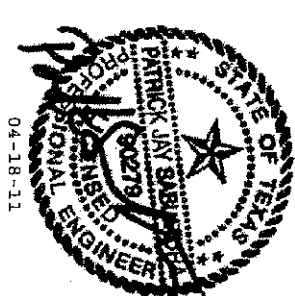
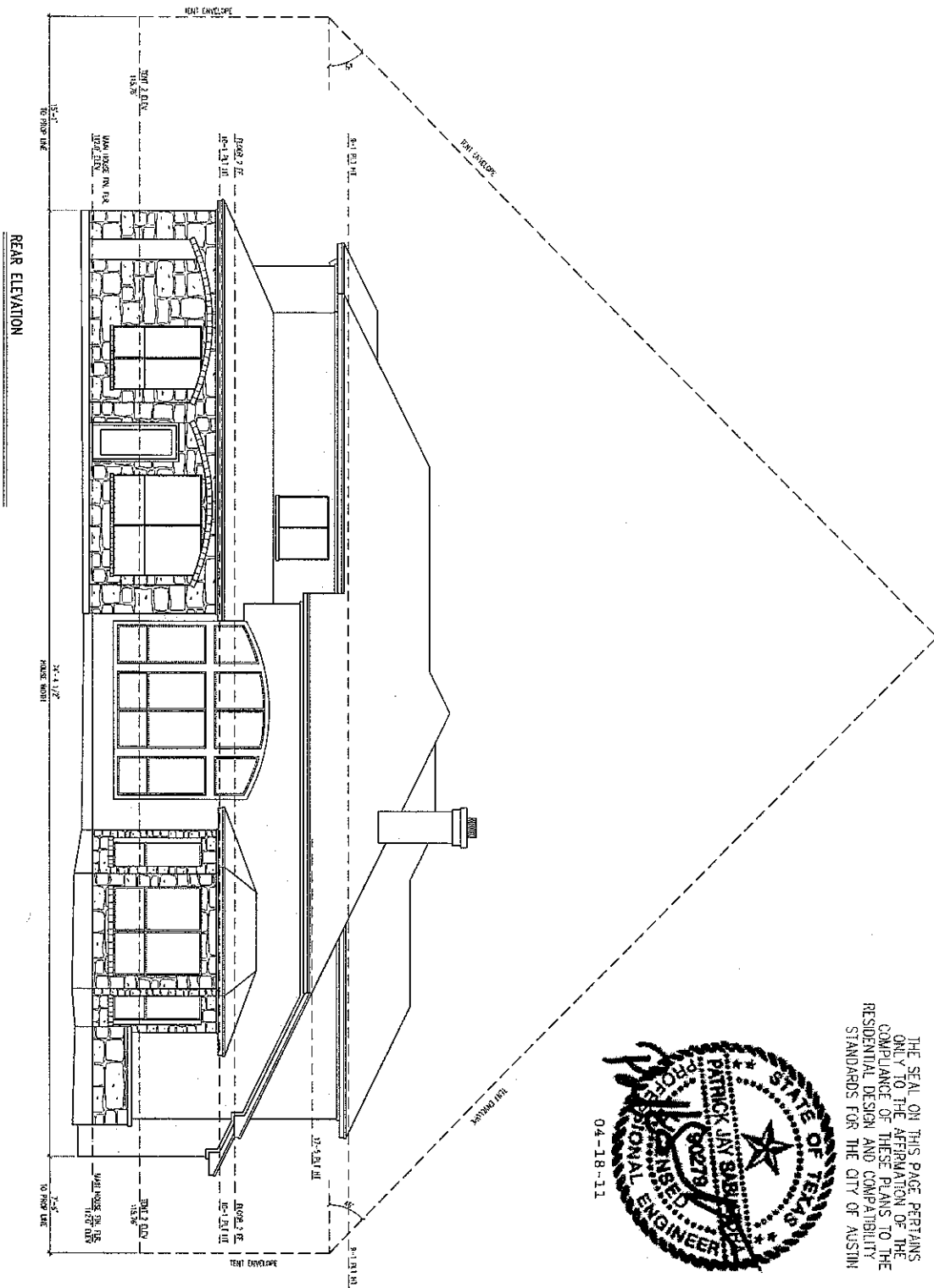
MOUNT BONNELL DRIVE
3704 Bonnell Drive
Austin, TX 78731

Proj No: 2023
Job No: 1122
Lot: 1
Blk: E
Sect: 3

David Weekley Homes
MM/CL3/AJ
Date: 02/26/08
Scale: 1/8" = 1'-0"
Rev: 11/03/10 GS

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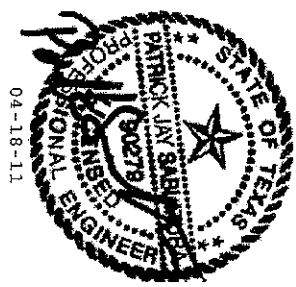
3/20



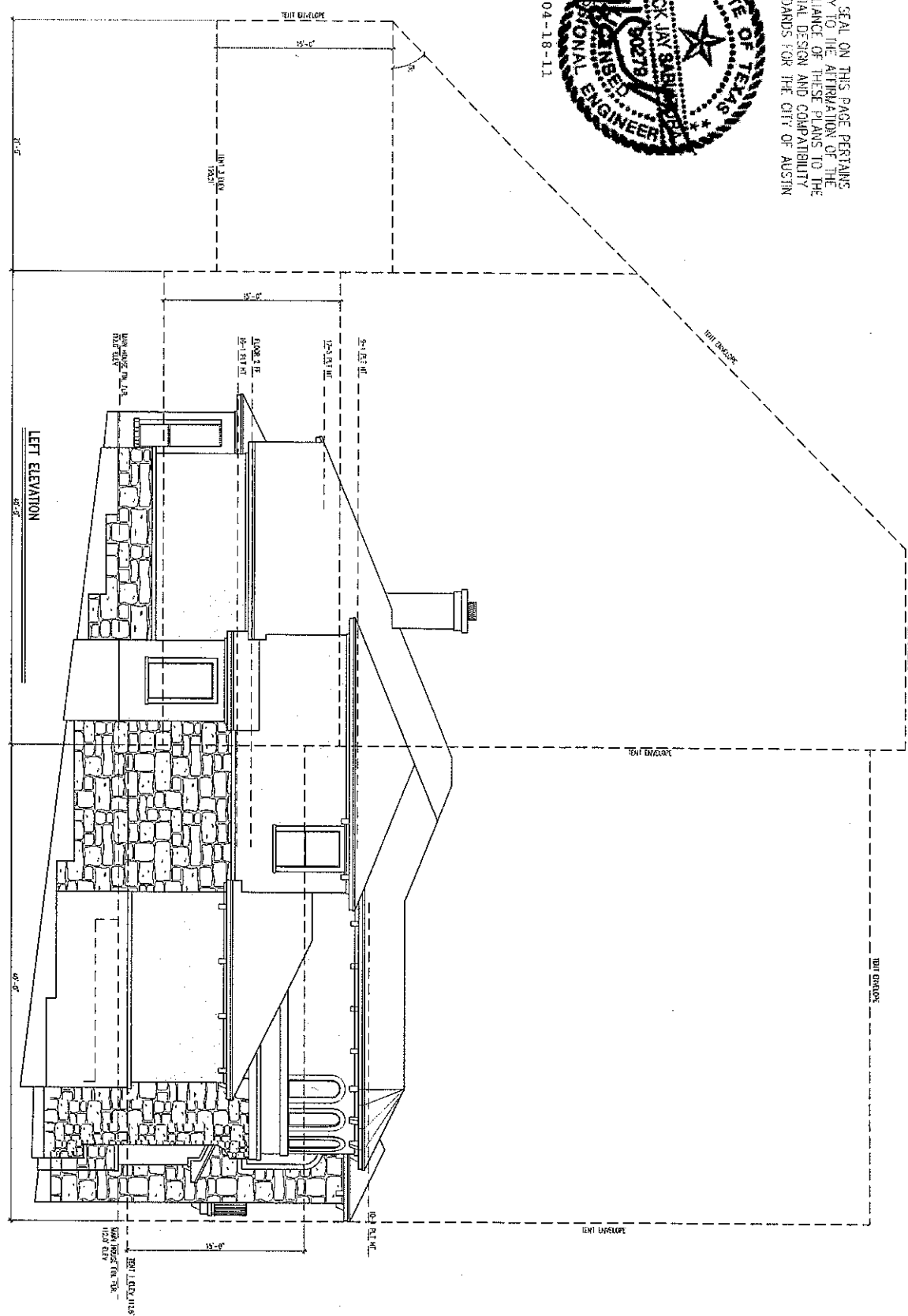
THE SEAL ON THIS PAGE PERTAINS ONLY TO THE AFFIRMATION OF THE COMPLIANCE OF THESE PLANS TO THE RESIDENTIAL DESIGN AND COMPATIBILITY STANDARDS FOR THE CITY OF AUSTIN

NORTH 3688-B MCM-3 BOUL. AUSTIN	MOUNT BONNELL DRIVE 3704 Bonnell Drive Austin, TX 78731	Proj. No.: 2023	Lot: 1	David Weekley Homes	© Weekley Homes L.P. 2008 The measurements, dimensions, and other specifications, shown on this document, are guidelines for construction use only. The actual specifications of the finished structure may vary. This document may not be relied on as a representation of what the completed structure will look like.	
		Job No.: 1122	Blk: E Sect: 3		MM/CL3/AJ Date: 02/26/08	Scale: 1/8" = 1'-0" Rev: 11/03/10 GS

23/2



THE SEAL ON THIS PAGE PERTAINS ONLY TO THE ATTESTATION OF THE COMPLIANCE OF THESE PLANS TO THE RESIDENTIAL DESIGN AND COMPATIBILITY STANDARDS FOR THE CITY OF AUSTIN

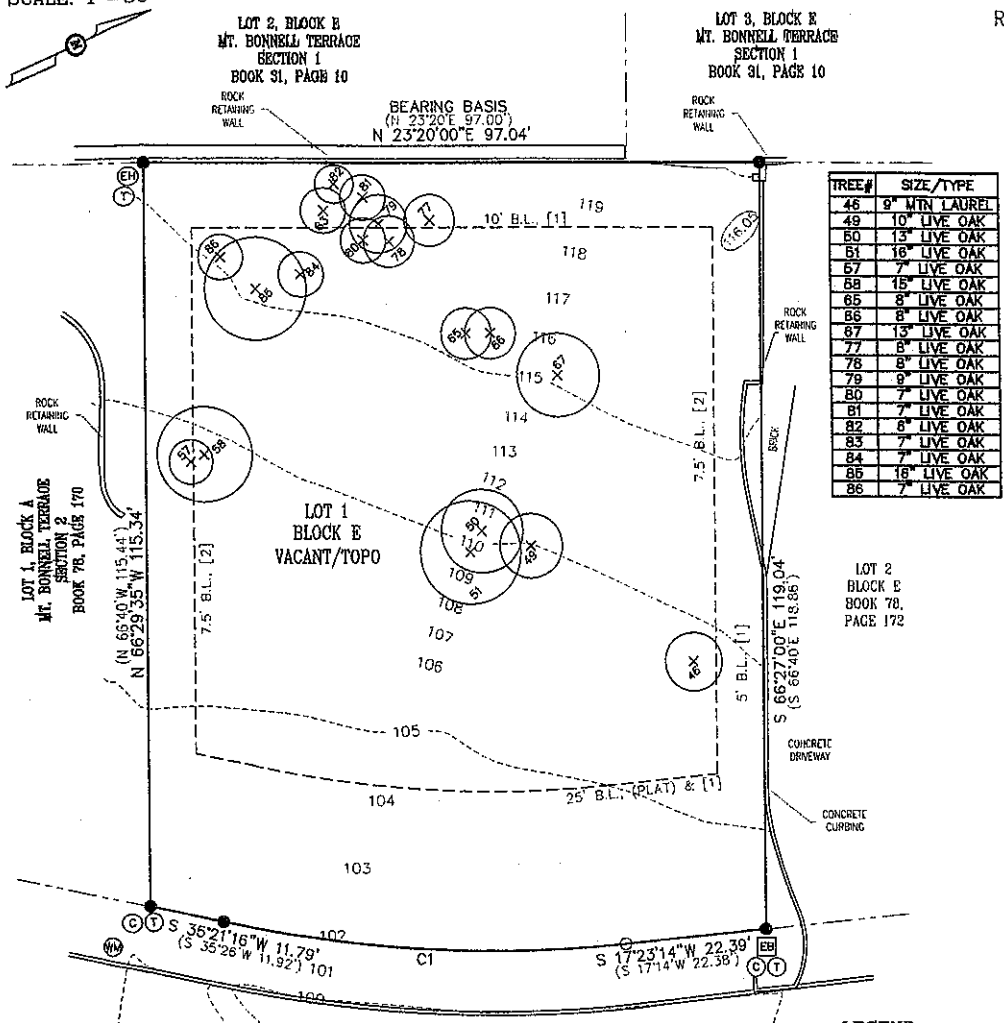


NORTH 3688-B MCM-4 LUNDY BOE, AUSTIN	MOUNT BONNELL DRIVE 3704 Bonnell Drive Austin, TX 78731		Proj. No.: 2023	Lot: 1 Blk: E Sect: 3	David Weekley Homes		© Weekley Homes LP, 2008 The measurements, dimensions, and other specifications, shown on this document, are guidelines for construction use only. The actual specifications of the finished structure may vary. This document may not be relied on as a representation of what the completed structure will look like.
			Job No.: 1122	MM/CL3/AJ Date: 02/26/08 Rev: 11/03/10 GS			

C3
22

SCALE: 1"=30'

THE SEAL ON THIS PAGE PERTAINS ONLY TO THE AFFIRMATION OF THE COMPLIANCE OF THESE PLANS TO THE RESIDENTIAL DESIGN AND COMPATIBILITY STANDARDS FOR THE CITY OF AUSTIN



SURVEYOR'S NOTES

- () DENOTES RECORD INFORMATION
- [1] BUILDING LINE PER CITY OF AUSTIN ZONING ORDINANCE.
- [2] PER HOME OWNERS ASSOCIATION

EASEMENT RESEARCH PERFORMED BY ALL POINTS AND THE UNDERSIGNED SURVEYOR WAS LIMITED TO INFORMATION SUPPLIED BY NATIONAL INVESTORS TITLE INSURANCE COMPANY PER COMMITMENT C.F. #1101891-ARB, EFFECTIVE FEBRUARY 2, 2011; SCHEDULE B, PARAGRAPH 10.

LOT 1 IS SUBJECT TO RESTRICTIVE COVENANTS AS STATED IN: BOOK 78, PAGE 172 PLAT RECORDS OF TRAVIS COUNTY, TEXAS; VOLUME 6861, PAGE 1502 AND VOLUME 12347, PAGE 602 DEED RECORDS OF TRAVIS COUNTY, TEXAS.

LOT 1 IS SUBJECT TO SANITARY SEWER EASEMENT RECORDED IN VOLUME 4647, PAGE 274 DEED RECORDS OF TRAVIS COUNTY, TEXAS AS STATED IN BOOK 78, PAGE 172 OF THE PLAT RECORDS OF TRAVIS COUNTY, TEXAS.

ALL POINTS DOES NOT MAKE OR WARRANT ANY FLOOD ZONE DETERMINATION.

LOT No. 1 BLOCK "E" SUBDIVISION / ADDITION MT. BONNELL TERRACE
 SECTION 3 PHASE _____ Book 78 Page(s) 172 Cabinet _____ PLAT RECORDS
TRAVIS COUNTY, TEXAS Volume _____ Document No. _____
 CITY AUSTIN Reference: WILLIAM D. CLARK AND CLAUDIA J. CLARK

TO THE LENDERS AND/OR OWNERS OF THE PREMISES AND/OR NATIONAL INVESTORS TITLE INSURANCE COMPANY / PLANS/CAPITAL BANK

The undersigned certifies that this survey was this day made by me or under my supervision on the ground of the real property shown on the survey and after the exercise of reasonable care and is in reliance on record searches by the title company that this survey is correct to the best of the undersigned's knowledge and belief and that the property has access to and from a roadway, except as shown hereon. There are no stable discrepancies, conflicts, shortages or overlapping of improvements or encroachments except as shown hereon.



ALL POINTS SURVEYING
 1714 FORTVIEW ROAD - SUITE 200
 AUSTIN TX. 78704
 TEL#: (512) 440-0071 - FAX: (512) 440-0199

SITE PLAN - EXISTING

scale: 1"=30'

LEGEND

EB	ELEC. BOX
WM	WATER METER
T	TELE. PED.
C	C.A.T.V. PED.
EH	ELECT. MANHOLE
●	IRON ROD FND.
○	1/2" IRON ROD W/ PLASTIC CAP STAMPED "ALL POINTS" SET
X	SPOT ELEVATION
B.L.	BUILDING LINE

LEGEND

---	WOOD FENCE
---	WIRE FENCE
---	CHAIN LINK FENCE
---	UTILITY LINE
---	WROUGHT IRON FENCE
AC	A/C UNIT
ET	ELEC. TRANS.
EB	ELEC. BOX
EM	ELEC. METER
WM	WATER METER
SBC	SBC BOX
S	SEWER
G	GAS METER
WM	WATER METER
T	TELE. PED.
C	C.A.T.V. PED.
EH	ELECT. MANHOLE
TE	TELE. COM.
●	IRON ROD FND.
○	1/2" IRON ROD W/ PLASTIC CAP STAMPED "ALL POINTS" SET
●	SPINDLE FND.
●	SPINDLE SET
▲	NAIL FND.
▲	NAIL SET
○	PIPE FND.
○	PIPE SET
○	UTILITY POLE
○	FIRE HYDRANT
○	LIGHT STANDARD
X	SPOT ELEVATION
B.L.	BUILDING LINE
D.E.	DRAINAGE EASEMENT
P.U.E.	PUBLIC UTILITY EASEMENT

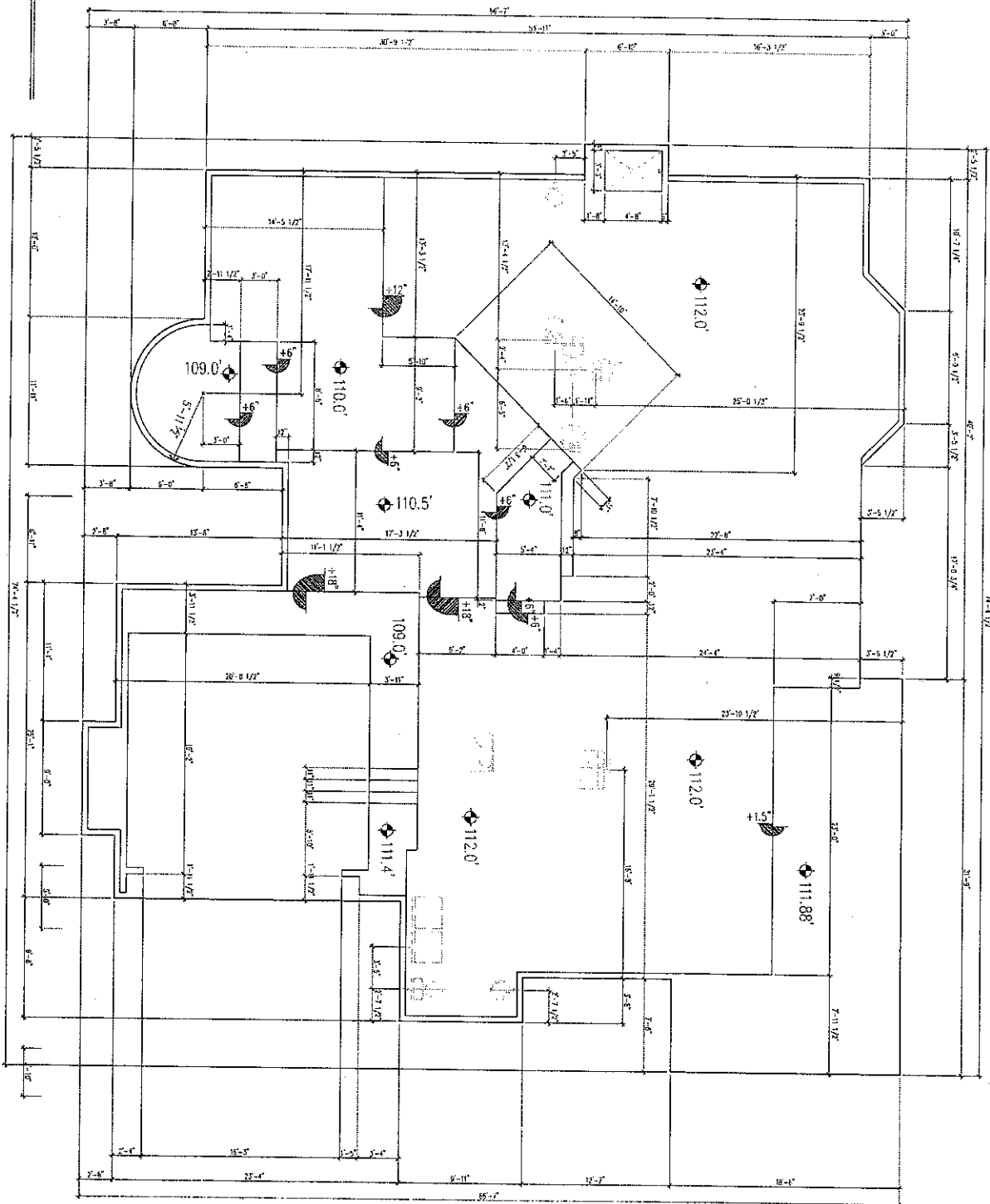
Curve	Radius	Length	Chord	Chord Bearing
C1	199.73'	63.50'	63.23'	S 26°33'39" W
(C1)	(199.73')	(63.44')	(63.18')	(S 26°20' W)

FIELD WORK JA/AA Date 2/21/11
 DRAFTING MDL
 SURVEY DATE: 2/21/11
 Job No. 02815811
 SCALE: 1"=30'

NORTH 3688- PLT PLAN LUND BOY AUST	MOUNT BONNELL TERRACE 3704 Bonnell Drive AUSTIN TX 78731	Proj. No.: 2023	Lot: 1	David Weekley Homes	© Weekley Homes L.P. 2008 The measurements, dimensions, and other specifications, shown on this document, are guidelines for construction use only. The actual specifications of the finished structure may vary. This document may not be relied on as a representation of
		Job No.: 1100	Blk: E		
				MM/CL3/AJ	Scale: 1"=30'

C3
23

FORM SET PLAN



NORTH
3688-B
FS-1
BOL. AUSTIN

MOUNT BONNELL TERRACE
3704 Bponnell Drive
Austin, TX 78731

Proj. No.:
2023
Job. No.:
1122

Lot: 1
Blk: E
Sect: 3

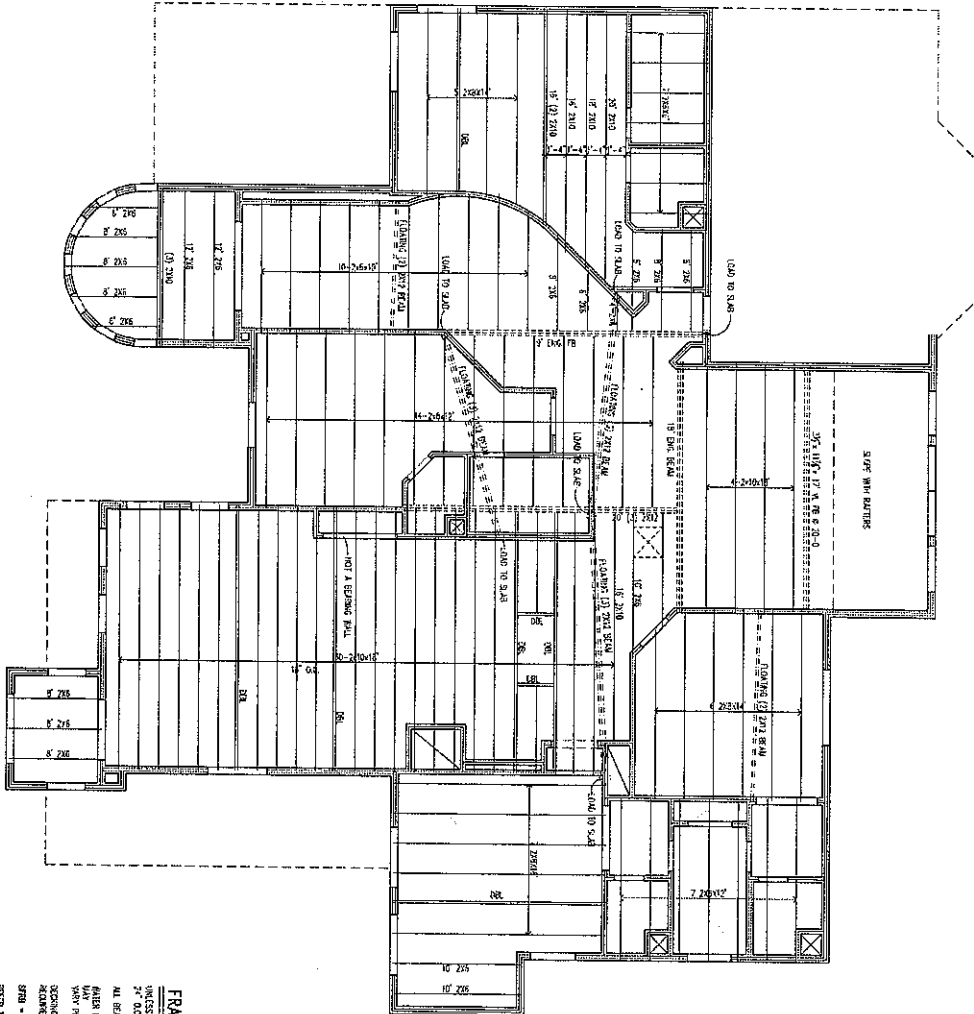
David Weekley Homes

MM/CL3/AJ
Date: 02/26/08
Scale: 1/8" = 1'-0"
Rev: 11/03/10 GS

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13/25



NOTE: ALL 2ND FLR. CEILING HEIGHTS
9'-0" UNLESS NOTED OTHERWISE

ADVANCED FRAMING: 2X6 EXTERIOR PERIMETER
WALL UNLESS NOTED OTHERWISE

FRAMING PLAN (TEXAS)

UNLESS OTHERWISE NOTED ALL DIMENSIONS TO BE: NO. 2 GRADE, UNLESS SPECIFIED
2" O.C.

ALL BEAMS USED FOR PERIMETER SUPPORT ARE TO BE PLACED WITH PROTECTIVE
FLOORING MATERIAL, PROVIDE DRAINAGE AND PUMP AS REQUIRED. EXTERIOR MATERIAL LOCATION
VARY FOR THE CONSTRUCTION OF CITY REQUIREMENTS.

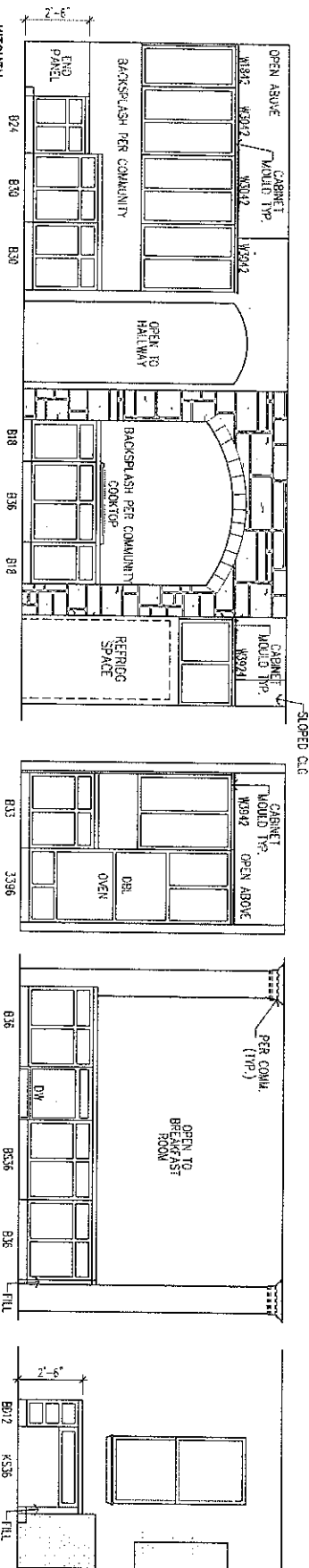
ROOFING SHALL BE PROVIDED FOR RELEVANT AND SLOPED (PER CITY/COUNTY
REQUIREMENTS).

STAIRS - 32" WIDE FOR EACH STAIRCASE.

NOTES TO BE MADE OF THE TOP AND BOTTOM AND ADJUST TO A 70%.

ALL JOIST AND BEAMS TO BE COMBINATION PINE UNLESS NOTED OTHERWISE.

NORTH 3688-B FRM-2 LUNDY BOUL AUSTRALIA	MOUNT BONNELL TERRACE 3704 Bonnell Drive Austin, TX 78731	Proj. No.: 2023	Lot: 1 Blk: E Sect: 3	David Weekley Homes		© Weekley Homes LP, 2008 The measurements, dimensions, and other specifications, shown on this document, are guidelines for construction use only. The actual specifications of the finished structure may vary. This document may not be relied on as a representation of what the completed structure will look like.
		Job No.: 1122	Date: 02/26/08	Scale: 1/8" = 1'-0"	Rev: 11/03/10 GS	



42" CAB HI. IF USED (REF: COMM. FEAT. LEVEL)

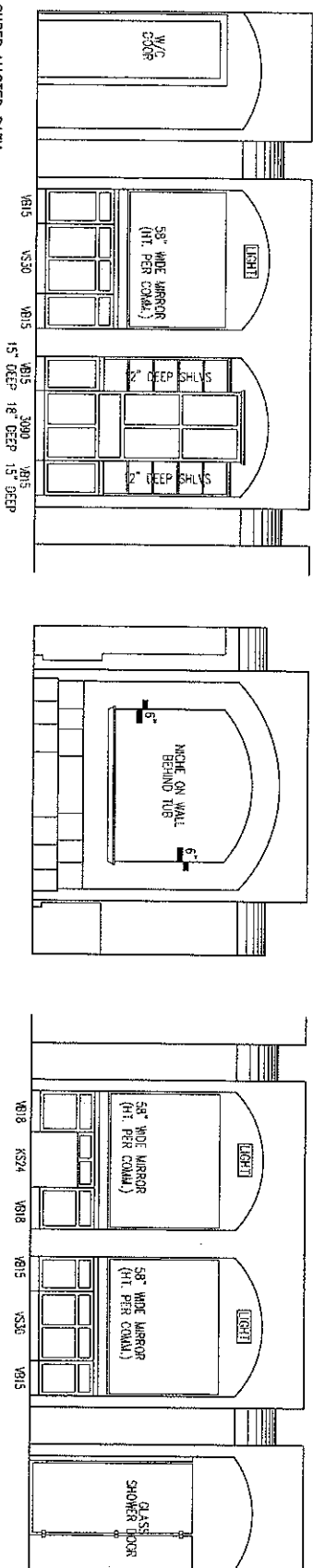
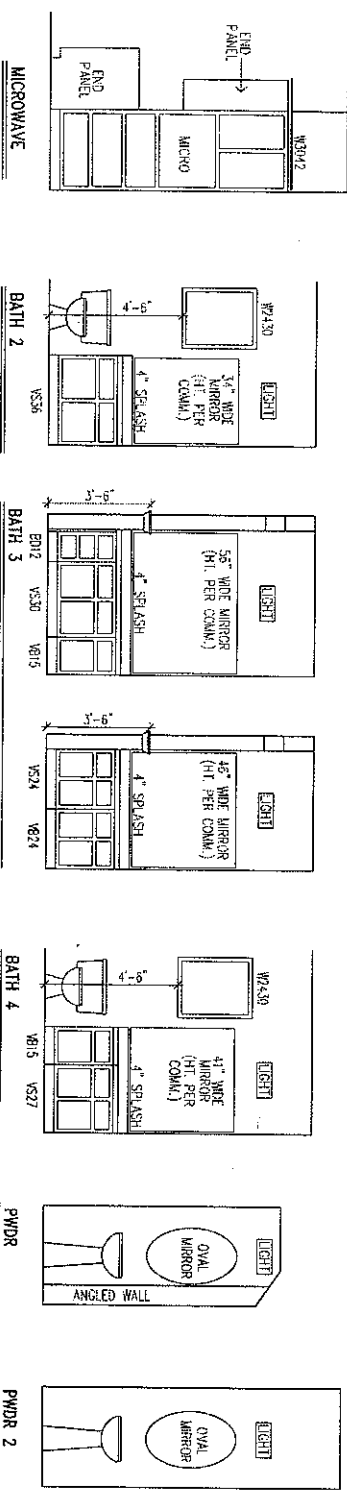
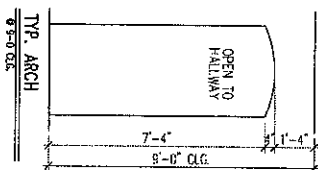
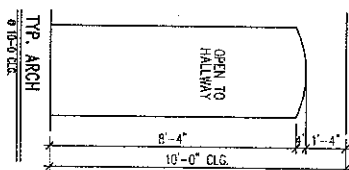
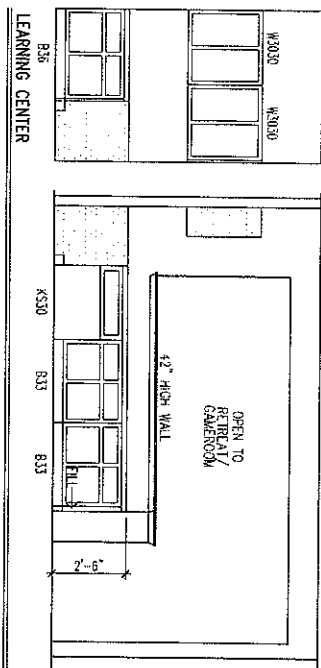
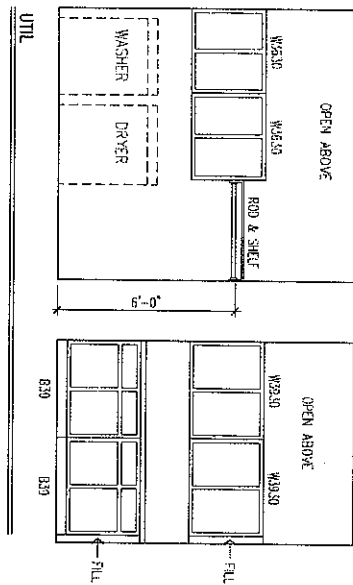


Diagram illustrating the components of a wall-mounted TV assembly:

- INSET SPEAKERS FOR TV SPEECH
- FLATSCREEN TV (CENTER IN SPACE)
- PVC TILE FEED
- PARTIAL WALL ASBY CABINET FOR TV MOUNT

FAMILY ROOM



NORTH 3688-B RFP-1 LUNDY BYC, AUSTIN	MOUNT BONNELL TERRACE 3704 Bonnell Drive Austin, TX 78731	Proj. No:	Lot: 1	David Weekley Homes MM/CL3/AJ Date: 02/26/08	Scale: 1/8" = 1'-0" Rev: 11/03/10 GS	© Weekley Homes L.P. 2008 The measurements, dimensions, and other specifications shown on this document are guidelines for construction use only. The actual specifications of the finished structure may vary. This document may not be relied on as a representation of what the completed structure will look like.
		2023	Blk: E			
		1122				



As Designed Estimated Energy Report

TCV Texas
Climate
Vision



Single Family House

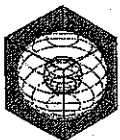
3704 Bonnell Drive
Austin, 78731

Builder: David Weekley Homes | (512) 821 - 8800

Printed Date: 4/13/2011 Inspected Date:

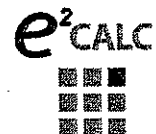
Certificate Number: 416746

	1st Floor	2nd Floor
Floor Area:	2667 sq ft	1799 sq ft
Wall Height:	15 ft	12 ft
Window Area:	411 sq ft	368 sq ft
Front Orientation:		East
Wall Insulation:		R-15
Ceiling Insulation:		R-38
Window Type:		U-0.34; SHGC-0.21
Heating:		Gas AFUE-0.80
Cooling:		SEER 16
Water Heater:		EF-0.58
Estimated Percent Above Code:		16.3%



© 2008 Energy Systems Laboratory
Texas Engineering Experiment Station
The Engineering Agency of the State of Texas

TCV 1.1



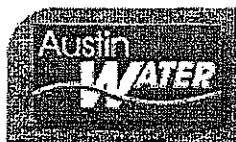
63/30

As Designed Estimated Energy Report Checklist - page 2

Please place a lower case x in the yellow column to the left of the items included and inspected to a satisfactory level in the building project.

	Input	Input Values	Verified	By (signature)
	Fenestration (U-Factor)			
	Glazed Fenestration (SHGC)			
	Ceiling R-Value			
	Wall R-Value			
	Duct R-Value			
	Cooling System SEER			
	Furnace AFUE/Heat Pump HSPF			
	Cooling System(s) Capacity			
	Roof Radiant Barrier			
	Location of Ducts/Mechanical (conditioned or unconditioned space)			
	Documentation of Testing			
	Building Envelope Infiltration			
	HVAC System Leakage			
	HVAC System Balancing - Passed			
	HVAC System Total Static Pressure			
	Domestic Hot Water Energy Factor			
	Total Number of Lamps (Bulbs) Installed			
	Number of High Efficacy Lamps Installed			

Notes



03/31

Austin Water Utility

Water & Wastewater Service Plan Verification

(W & WW SPV)

(Please Print or Type)

Customer Name: William D. & Claudia Clark one: (512) 750-8364 Alternate Phone: _____

Service Address: 3704 Bonnell Drive

Lot: 1 Block: E Subdivision/Land Status: Mount Bonnell Tax Parcel ID No.: _____

Existing Use: vacant single-family res. duplex Terrace garage apartment other _____
(Circle one)

Proposed Use: vacant single-family res. duplex garage apartment other _____
(Circle one)

Number of existing bathrooms: N/A Number of proposed bathrooms: 5.5 baths

City of Austin Office Use

Water Main size: _____ Service stub size: _____ Service stub upgrade required? _____ New stub size: _____

Existing Meter number: _____ Existing Meter size: _____ Upgrade required? _____ New size: _____

WW Service: Septic System/On-Site Sewage Facility (OSSF) _____ or WW Collection System _____ WW Main size: _____

If the site has an OSSF, please contact Utility Development Services (UDS) at 972-0210 or 972-0211, Waller Creek Center, 625 E. 10th Street, Suite 715 for consultation and approval.

Annette Adair 4/19/11 512-821-0851
W&WWSPV Completed by (Signature & Print name) Project Date Phone
Coordinator Weekly Home

OSSF (if applicable) Approved by UDS (Signature & Print name) _____ Date _____ Phone _____

AWU Representative _____ Date _____ Phone _____

Approved: ☐ Yes (see attached approved documents) ☐ No

NOTE: For residential plan review, this original stamped "approval" must be submitted with the stamped "original" floor plan.

Verification expires 180 days after date of Submittal

Instructions:

The intent of the "W&WWSPV" is to ensure that, prior to beginning a single-family residential project (includes duplex and garage apartment uses), adequate water/wastewater service can be provided to the site and is planned for as part of the overall project, and to ensure that the applicant is aware of the potential costs associated with the relocation, new service or upgrading of existing services to the site.

A "W&WWSPV" is required, prior to submitting for residential permit, for the following project types:

- Construction of a new home, duplex, or garage apartment (except for projects identified as a "volume builder" project)
- Remodeling/additions to an existing structure to increase the number of total bathrooms on the site to more than 3
- Remodeling/additions that increase the number of units on the site (for example, converting a home to a duplex)
- Remodeling/additions to an existing structure to increase the number of total bedrooms, total living square footage or change in surface improvement such as swimming pool, driveway, garage, etc. (for structure using OSSF).

If a "W&WWSPV" is required, complete the verification form above, and provide a copy of the "plot plan" for the site (plot plan, house floor plan and other required planning material for OSSF). The "plot plan" should be to a standard scale and show all existing and proposed improvements. Submit the application and planning material to Austin Water Utility-Taps Division (to UDS for OSSF) for approval, prior to submitting for a residential building permit, at one of the locations below:

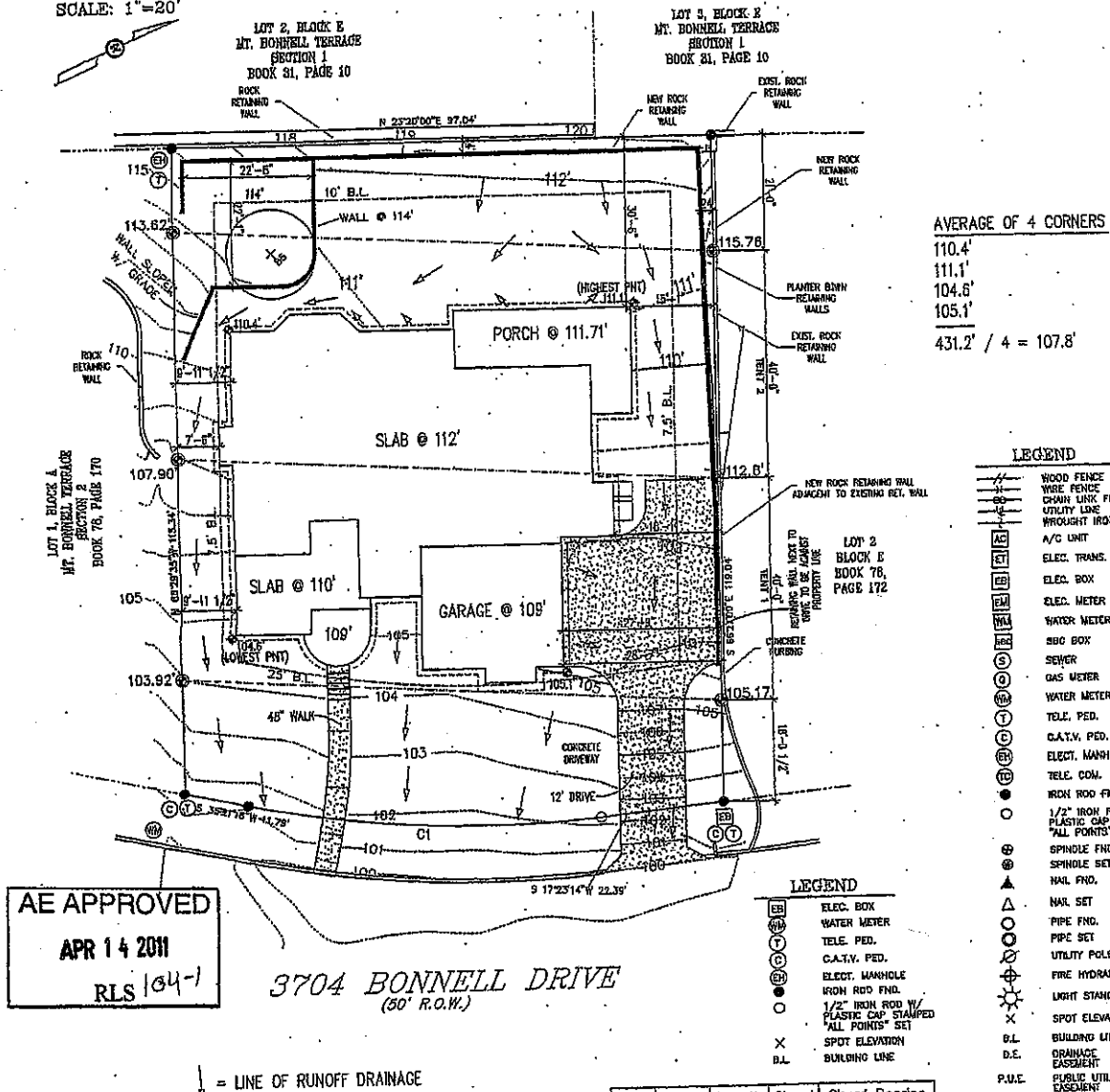
Note: Applicant must contact AWU taps office, at either location noted below, to submit an application (if required) for a meter upgrade or a new service before issuance of the building permit.

Austin Water Utility- Waller Creek
625 E 10th St, Austin, TX 78701
(512) 972-0000 - Suite 200 - TAPS Division
(512) 972-0207 - Suite 715 - UDS Division

Development Assistance Center- One Texas Center
505 Barton Springs, Austin, TX 78704
(512) 974-6370

C3
32

SCALE: 1"=20'



SITE PLAN - FINAL GRADE

scale: 1"=20'

NORTH
3688-B
PLT PLAN-3
LUNDY
BOTT AUSTIN

MOUNT BONNELL TERRACE
3704 Bonnell Drive
Austin, TX 78731

Proj. No.: 2023
Job No.: 1122
Lot: 1
Blk: E
Sect: 3

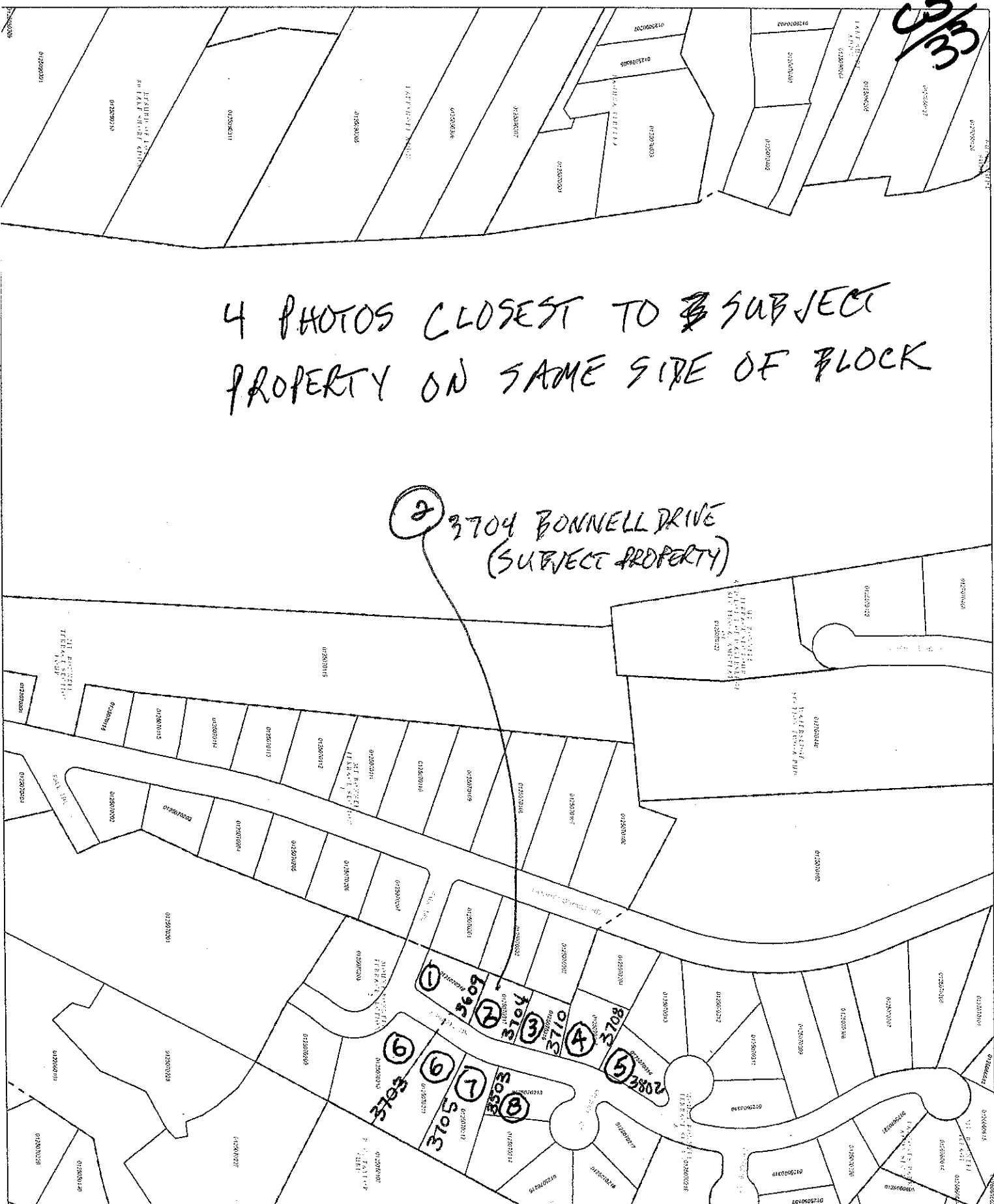
David Weekley Homes
MM/CL3/AJ
Date: 02/26/08
Scale: 1/8" = 1'-0"
Rev: 11/03/10 GS

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03/33

4 PHOTOS CLOSEST TO ~~S~~ SUBJECT
PROPERTY ON SAME SIDE OF BLOCK

② 3704 BONNELL DRIVE
(SUBJECT PROPERTY)



1 2507

Revision Date
8/24/2005

0 100 Feet

12500	12507	0
12508	12509	12510
12511	12512	12513
12514	12515	12516

Map scale = 100 scale map
Blue = 400 scale map

NAD_1983_StatePlane_Texas_Central_FIPS_4203_Feet
Projection: Lambert_Conformal_Conic

3

Travis Central Appraisal District
8314 Cross Park Drive
Austin, Texas 78754
Internet Address: www.traviscad.org
Main Telephone Number (512) 834-9317
TDD (512) 836-3328

P.O. Box 149012
Austin, Texas 78714
Appraisal Information (512) 834-9318

3609 FALL TRAIL ①

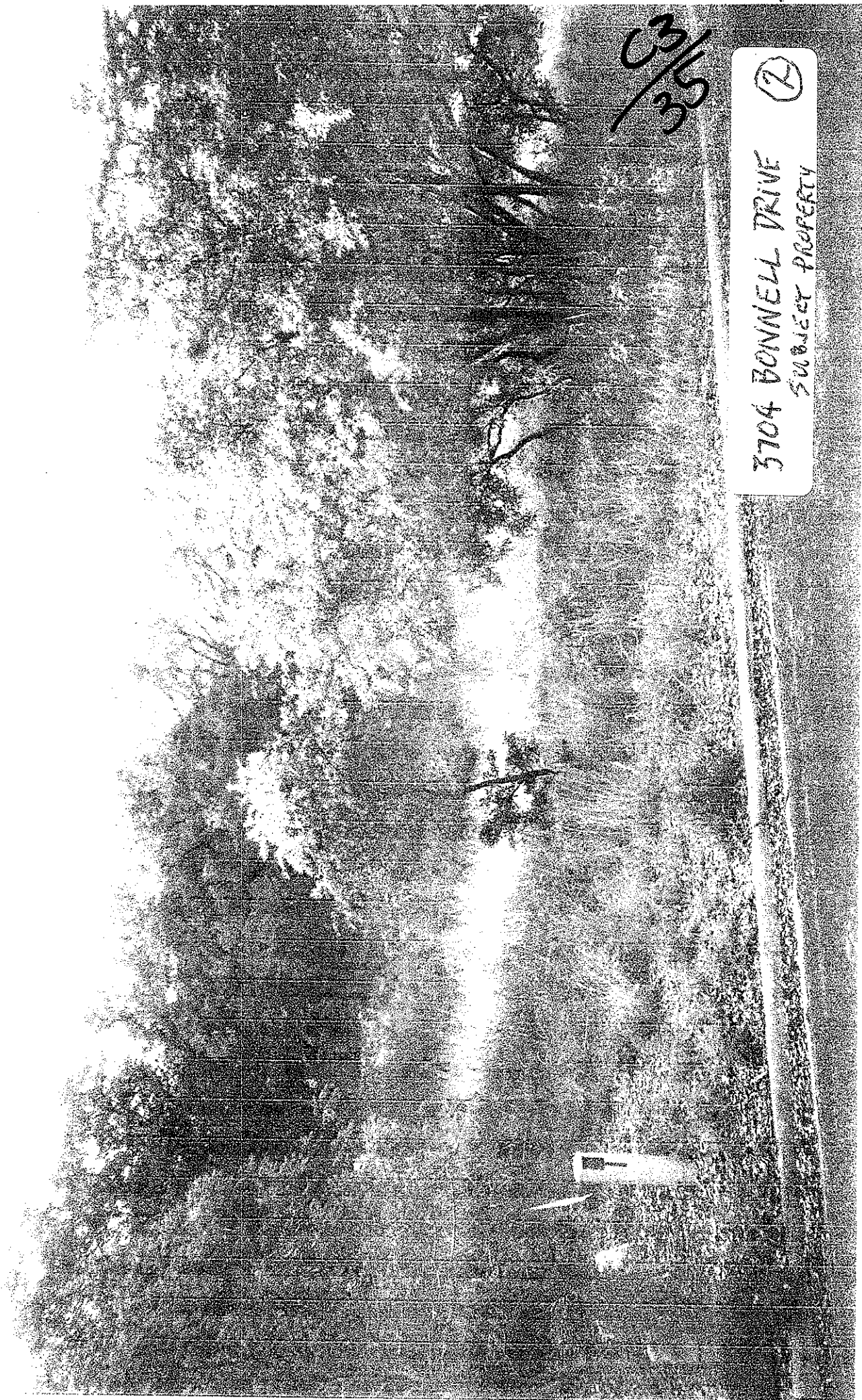
193
34



03/5/33

(2)

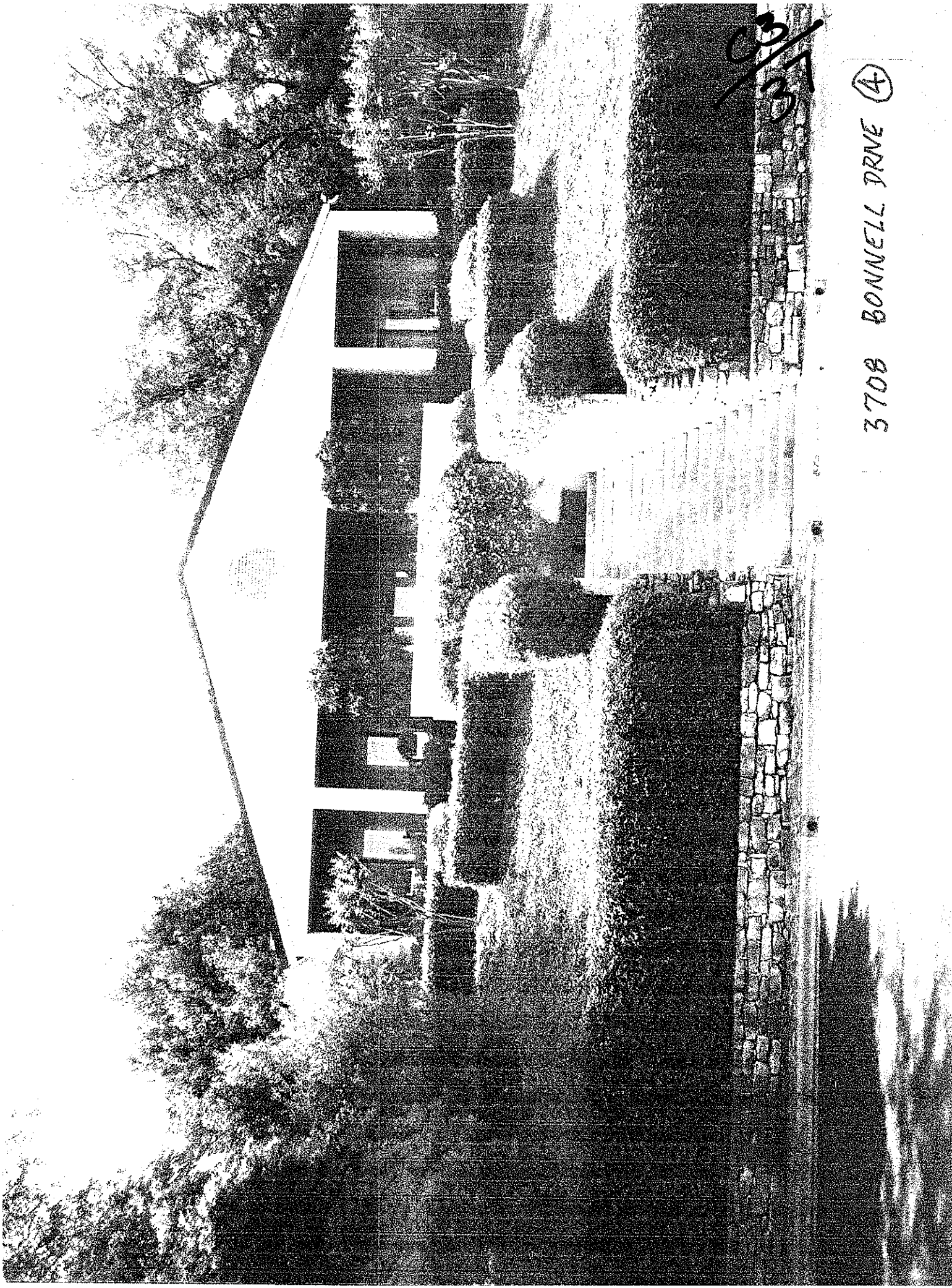
3704 BONNELL DRIVE
SUBJECT PROPERTY





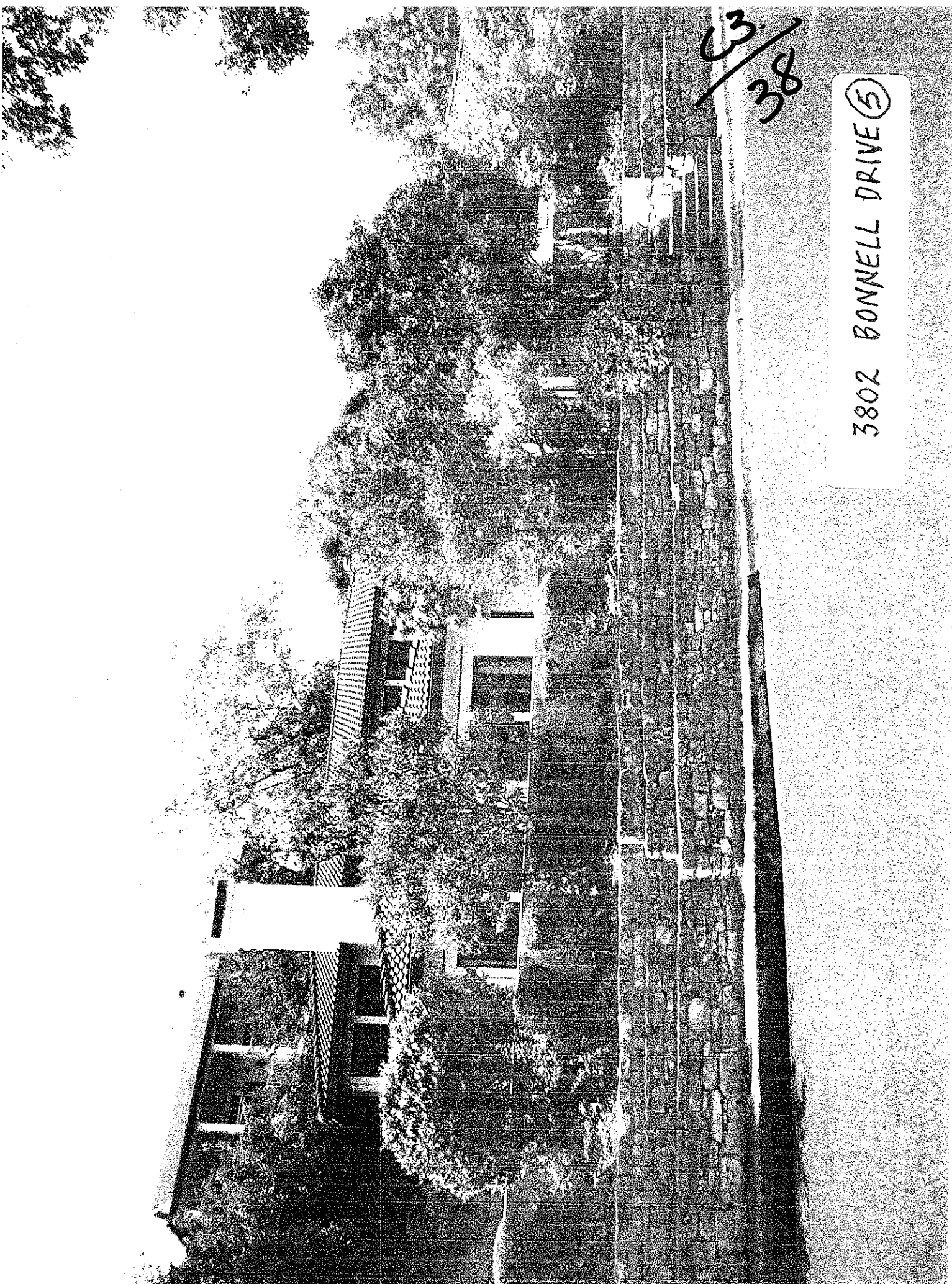
GP
30

3710 BONNELL DRIVE (3)



C3
37

3708 BONNELL DRNE ④



C3.
38

3802 BONNELL DRIVE (5)



~~33~~
39

3703 BONNELL DRIVE
2 LOTS • LOT 1, BLK D, SEC. 3 > ⑥
 • LOT 1, BLK B, SEC. 2



C3
40

3705 BONNELL DRIVE (7)



C3
41

3503 BONNELL COURT ⑧

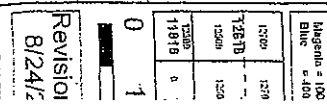
C3
42

FAR CALCS FOR HOUSES W/IN 300' RADIUS OF SUBJECT LOT

	Address	Square Footage	Lot Area	FAR
	1 3609 Fall Trl	4301	12999	33%
*	2 3704 Bonnell Dr	0	11586	
	3 3710 Bonnell Dr	2735	9830	28%
	4 3708 Bonnell Dr	4066	13944	29%
	5 3802 Bonnell Dr	3414	12468	27%
	6 3703 Bonnell Dr	7626	25984	29%
	7 3705 Bonnell Dr	3418	19578	17%
	8 3503 Bonell Ct	3510	13168	27%
	9 3501 Bonnell Ct	3987	17300	23%
	10 3606 Fall Trl	4735	24099	20%
	11 3603 Mount Bonnell Rd	4245	15549	27%
	12 3605 Mount Bonnell Rd	5207	15932	33%
	13 3701 Mount Bonnell Rd	2685	15577	17%
	14 3703 Mount Bonnell Rd	3493	16263	21%
	15 3803 Mount Bonnell Rd	6278	16392	38%
	16 3603 Alta Ct	3773	18331	21%

* SUBJECT PROPERTY
(VACANT LOT)

Q/ $\frac{C^3}{4^3}$



Travis Central Appraisal District
8314 Cross Park Drive P.O. Box 149012
Austin, Texas 78754 Austin, Texas 78714

Internet Address: your friend's ip

Owner's Name **GRAVES SALLY SAMPLE**

Mailing Address 3609 FALL TRL
AUSTIN, TX 78731-5838

Location 3609 FALL TRL 78731

Legal LOT 1 BLK A MOUNT BONNELL TERRACE SEC 2

Property Details

Deed Date 02222001

Deed Volume 00000

Deed Page 00000

Exemptions HS, OA

Freeze Exempt F

ARB Protest F

Agent Code 0

Land Acres 0.2984

Block A

Tract or Lot 1

Docket No. 2001028109TR

Abstract Code S09217

Neighborhood Code X8254

Handwritten: FAR 4301 12/999 = 33%

Value Information

2010 Certified

Land Value 378,000.00

Improvement Value 524,295.00

AG Value 0.00

AG Productivity Value 0.00

Timber Value 0.00

Timber Productivity Value 0.00

Assessed Value 902,295.00

10% Cap Value 0.00

Total Value 902,295.00

Data up to date as of 2011-04-01

☐ AGRICULTURAL (1-D-1) ☐ APPOINTMENT OF AGENT FORM ☐ FREEPORT EXEMPTION ☐ HOMESTEAD EXEMPTION FORM

☐ PRINTER FRIENDLY REPORT ☐ PROTEST FORM ☐ RELIGIOUS EXEMPTION FORM (TIFF) ☐ PLAT MAP (PDF) ☐ PLAT MAP

Value By Jurisdiction

Entity Code	Entity Name	2010 Tax Rate	Assessed Value	Taxable Value	Market Value	Appraised Value
0A	TRAVIS CENTRAL APP DIST		902,295.00	902,295.00	902,295.00	902,295.00
01	AUSTIN ISD	1.227000	902,295.00	852,295.00	902,295.00	902,295.00
02	CITY OF AUSTIN	0.457100	902,295.00	851,295.00	902,295.00	902,295.00
03	TRAVIS COUNTY	0.465800	902,295.00	656,836.00	902,295.00	902,295.00
2J	TRAVIS CO HEALTHCARE DIST	0.071900	902,295.00	656,836.00	902,295.00	902,295.00
68	AUSTIN COMM COLL DIST	0.095100	902,295.00	778,272.00	902,295.00	902,295.00

Improvement Information

Improvement ID 319419 State Category A1 Description 1 FAM DWELLING

Segment Information

Imp ID	Seg ID	Type Code	Description	Class	Effective Year Built	Area
319419	1816866	1ST	1st Floor	WW6-	1996	3,521
319419	1836793	2ND	2nd Floor	WW6-	1996	780
319419	1836794	011	PORCH OPEN 1ST F	*6-	1996	114
319419	1836795	011	PORCH OPEN 1ST F	*6-	1996	24
319419	1836796	011	PORCH OPEN 1ST F	*6-	1996	289
319419	1836797	041	GARAGE ATT 1ST F	WW6-	1996	780
319419	1836798	095	HVAC RESIDENTIAL	**	1996	4,301
319419	1836799	251	BATHROOM	**	1996	5
319419	1836800	522	FIREPLACE	*6-	1996	1
319419	1889096	011	PORCH OPEN 1ST F	*6-	1996	162

Total Living Area 4,301

Land Information

Land ID	Type Code	SPTS Code	Homesite	Size-Acres	Front	Depth	Size-Sqft
121901	LAND	A1	T	0.298	0	0	12,999

[show history](#)

(2)

13/45

TaxNetUSA: Travis County Property Information

Property ID Number: 122340 Ref ID2 Number: 01250703170000

Owner's Name **CLARK WILLIAM**

Mailing Address
6106 JANEY DR
AUSTIN, TX 78757-

Location
3704 BONNELL DR 78731

Legal
LOT 1 BLK E MOUNT BONNELL TERRACE SEC 3

Property Details

Deed Date
Deed Volume
Deed Page
Exemptions
Freeze Exempt
ARB Protest
Agent Code
Land Acres
Block
Tract or Lot
Docket No.
Abstract Code
Neighborhood Code

1232010

F
F
O
0.2660
E
1
2011016546TR
S09218
X8204

Value Information

	2010 Certified
Land Value	350,000.00
Improvement Value	0.00
AG Value	0.00
AG Productivity Value	0.00
Timber Value	0.00
Timber Productivity Value	0.00
Assessed Value	350,000.00
10% Cap Value	0.00
Total Value	350,000.00

Date up to date as of 2011-04-01

☒ AGRICULTURAL (1-D-1) ☐ APPOINTMENT OF AGENT FORM ☐ FREEPORT EXEMPTION ☐ HOMESTEAD EXEMPTION FORM
☐ PRINTER FRIENDLY REPORT ☐ PROTEST FORM ☐ RELIGIOUS EXEMPTION FORM (TIFF) ☐ PLAT MAP (PDF) ☐ PLAT MAP

Value By Jurisdiction

Entity Code	Entity Name	2010 Tax Rate	Assessed Value	Taxable Value	Market Value	Appraised Value
0A	TRAVIS CENTRAL APP DIST		350,000.00	350,000.00	350,000.00	350,000.00
01	AUSTIN ISD	1.227000	350,000.00	350,000.00	350,000.00	350,000.00
02	CITY OF AUSTIN	0.457100	350,000.00	350,000.00	350,000.00	350,000.00
03	TRAVIS COUNTY	0.465800	350,000.00	350,000.00	350,000.00	350,000.00
2J	TRAVIS CO HEALTHCARE DIST	0.071900	350,000.00	350,000.00	350,000.00	350,000.00
68	AUSTIN COMM COLL DIST	0.095100	350,000.00	350,000.00	350,000.00	350,000.00

Improvement Information

Improvement ID	State Category	Description
----------------	----------------	-------------

Segment Information

Imp ID	Seg ID	Type Code	Description	Class	Effective Year Built	Area
						Total Living Area 0

Land Information

Land ID	Type Code	SPTB Code	Homesite	Size-Acres	Front	Depth	Size-Sqft
121900	LAND	C1	F	0.266	0	0	11,586

[show history](#)

(4)

C3/47

TaxNetUSA: Travis County Property Information

Property ID Number: 122338 Ref ID2 Number: 01250703150000

Owner's Name **COWDEN J COLEY & JEANIE**

Mailing Address 3708 BONNELL DR
AUSTIN, TX 78731-5844

Location 3708 BONNELL DR 78731

Legal LOT 3 BLK E MOUNT BONNELL TERRACE SEC 3

Property Details

Deed Date 08301990
Deed Volume 11266
Deed Page 01509
Exemptions HS, OA
Freeze Exempt F
ARB Protest F
Agent Code 2553
Land Acres 0.3201
Block E
Tract or Lot 3
Docket No.
Abstract Code S09218
Neighborhood Code X8260

FAR

4066
13,944 = 29%

Value Information

2010 Certified
Land Value 350,000.00
Improvement Value 375,315.00
AG Value 0.00
AG Productivity Value 0.00
Timber Value 0.00
Timber Productivity Value 0.00
Assessed Value 725,315.00
10% Cap Value 0.00
Total Value 725,315.00

Data up to date as of 2011-04-01

☒ AGRICULTURAL (1-D-1) ☒ APPOINTMENT OF AGENT FORM ☒ FREEPORT EXEMPTION ☒ HOMESTEAD EXEMPTION FORM
☒ PRINTER FRIENDLY REPORT ☒ PROTEST FORM ☒ RELIGIOUS EXEMPTION FORM (TIFF) ☒ PLAT MAP (PDF) ☒ PLAT MAP

Value By Jurisdiction

Entity Code	Entity Name	2010 Tax Rate	Assessed Value	Taxable Value	Market Value	Appraised Value
0A	TRAVIS CENTRAL APP DIST		725,315.00	725,315.00	725,315.00	725,315.00
01	AUSTIN ISD	1.227000	725,315.00	675,315.00	725,315.00	725,315.00
02	CITY OF AUSTIN	0.457100	725,315.00	674,315.00	725,315.00	725,315.00
03	TRAVIS COUNTY	0.465800	725,315.00	515,252.00	725,315.00	725,315.00
2J	TRAVIS CO HEALTHCARE DIST	0.071900	725,315.00	515,252.00	725,315.00	725,315.00
68	AUSTIN COMM COLL DIST	0.095100	725,315.00	603,062.00	725,315.00	725,315.00

Improvement Information

Improvement ID 118774 State Category A1 Description 1 FAM DWELLING

Segment Information

Imp ID	Seg ID	Type Code	Description	Class	Effective Year Built	Area
118774	127478	1ST	1st Floor	WV6	1984	3,576
118774	481499	011	PORCH OPEN 1ST F	*6	1984	429
118774	481500	011	PORCH OPEN 1ST F	*6	1984	99
118774	481501	041	GARAGE ATT 1ST F	WV6	1984	690
118774	481502	095	HVAC RESIDENTIAL	**	1984	3,576
118774	481503	251	BATHROOM	**	1984	4
118774	481504	320	OBS DRIVEWAY	SOC*	1984	1
118774	481505	320	OBS DRIVEWAY	LDC*	1984	1
118774	481506	513	DECK COVERED	*6	1984	270
118774	481507	522	FIREPLACE	*6	1984	1
118774	481508	522	FIREPLACE	*6	1984	1
118774	481509	612	TERRACE UNCOVERD	*6	1984	81
118774	481510	613	TERRACE COVERED	*6	1984	112
118774	481511	619	TERRACE FV	F-V*	1984	1
118774	481512	619	TERRACE FV	F-V*	1984	1
118774	3172112	SO	Sketch Only	SO*	0	182
118774	3172113	SO	Sketch Only	SO*	0	494

Total Living Area 3,576

Land Information

Land ID 121898 Type Code LAND SPTB Code A1 Homesite T Size-Acres 0.320 Front 0 Depth 0 Size-Sqft 13,944

show history

4066

(5)

CB
48

TaxNetUSA: Travis County Property Information

Property ID Number: 122337 Ref ID2 Number: 01250703140000

Owner's Name **GREENE LLOYD E & JENNIFER**

Property Details

05042006

Mailing Address 3802 BONNELL DR
AUSTIN, TX 78731-5846

Location 3802 BONNELL DR 78731

Legal LOT 5 BLK E MOUNT BONNELL TERRACE SEC 3

Deed Date
Deed Volume
Deed Page
Exemptions
Freeze Exempt
ARB Protest
Agent Code
Land Acres
Block
Tract or Lot
Docket No.
Abstract Code
Neighborhood Code

HS
F
F
0
0.2862
E
5
2006083889TR
S09218
X8260

FAB
3414
12,468 = 27.4%

Value Information

2010 Certified

Land Value 350,000.00
Improvement Value 366,837.00
AG Value 0.00
AG Productivity Value 0.00
Timber Value 0.00
Timber Productivity Value 0.00
Assessed Value 716,837.00
10% Cap Value 0.00
Total Value 716,837.00

Data up to date as of 2011-04-01

☒ AGRICULTURAL (1-D-1) ☒ APPOINTMENT OF AGENT FORM ☒ FREEPORT EXEMPTION ☒ HOMESTEAD EXEMPTION FORM
☒ PRINTER FRIENDLY REPORT ☒ PROTEST FORM ☒ RELIGIOUS EXEMPTION FORM (TIFF) ☒ PLAY MAP (PDF) ☒ PLAY MAP

Value By Jurisdiction

Entity Code	Entity Name	2010 Tax Rate	Assessed Value	Taxable Value	Market Value	Appraised Value
0A	TRAVIS CENTRAL APP DIST		716,837.00	716,837.00	716,837.00	716,837.00
01	AUSTIN ISD	1.227000	716,837.00	701,837.00	716,837.00	716,837.00
02	CITY OF AUSTIN	0.457100	716,837.00	716,837.00	716,837.00	716,837.00
03	TRAVIS COUNTY	0.465800	716,837.00	573,470.00	716,837.00	716,837.00
2J	TRAVIS CO HEALTHCARE DIST	0.071900	716,837.00	573,470.00	716,837.00	716,837.00
68	AUSTIN COMM COLL DIST	0.085100	716,837.00	709,669.00	716,837.00	716,837.00

Improvement Information

Improvement ID 118773 State Category A1 Description 1 FAM DWELLING

Segment Information

Imp ID	Seg ID	Type Code	Description	Class	Effective Year Built	Area
118773	127476	1ST	1st Floor	WP6	1985	1,585
118773	127477	2ND	2nd Floor	WP6	1985	1,545
118773	481491	011	PORCH OPEN 1ST F	*6	1985	100
118773	481492	011	PORCH OPEN 1ST F	*6	1985	40
118773	481493	041	GARAGE ATT 1ST F	WP6	1985	484
118773	481494	085	HVAC RESIDENTIAL	**	1985	3,130
118773	481495	251	BATHROOM	**	1985	3
118773	481496	320	OBS DRIVEWAY	MDC*	1985	1
118773	481497	522	FIREPLACE	*6	1985	1
118773	481498	539	FENCE FV	F-V*	1985	1
118773	1907891	612	TERRACE UNCOVERD	*6	1985	165
118773	1976370	613	TERRACE COVERED	*6	1985	168

Total Living Area 3,130

Land Information

Land ID 121897 Type Code LAND SPTB Code A1 Homesite T Size-Acres 0.286 Front 0 Depth 0 Size-Sqft 12,468

show history

3414

Owner's Name **GARRISON NANCY S**Mailing Address 3703 BONNELL DR
AUSTIN, TX 78731-5843

Location 3703 BONNELL DR 78731

Legal LOT 1 BLK D MOUNT BONNELL TERRACE SEC 3 & LOT 1 BLK B MOUNT
BONNELL TERRACE SEC 2

Property Details

Deed Date 10012007
 Deed Volume
 Deed Page
 Exemptions
 Freeze Exempt
 ARB Protest
 Agent Code
 Land Acres
 Block
 Tract or Lot
 Docket No.
 Abstract Code
 Neighborhood Code

7626
25,984 = 29.9%

F
 F
 2490
 1.0547
 D.B
 1.1
 2007182271TR
 S09218
 X8264

Data up to date as of 2011-04-01

Value Information

2010 Certified

Land Value	728,000.00
Improvement Value	274,871.00
AG Value	0.00
AG Productivity Value	0.00
Timber Value	0.00
Timber Productivity Value	0.00
Assessed Value	1,002,871.00
10% Cap Value	0.00
Total Value	1,002,871.00

AGRICULTURAL (1-D-1)

APPOINTMENT OF AGENT FORM

FREEDOM EXEMPTION

HOMESTEAD EXEMPTION FORM

PRINTER FRIENDLY REPORT

PROTEST FORM

RELIGIOUS EXEMPTION FORM

(TIFF)

PLAT MAP

(PDF)

PLAT MAP

Value By Jurisdiction

Entity Code	Entity Name	2010 Tax Rate	Assessed Value	Taxable Value	Market Value	Appraised Value
0A	TRAVIS CENTRAL APP DIST		1,002,871.00	1,002,871.00	1,002,871.00	1,002,871.00
01	AUSTIN ISD	1.227000	1,002,871.00	1,002,871.00	1,002,871.00	1,002,871.00
02	CITY OF AUSTIN	0.457100	1,002,871.00	1,002,871.00	1,002,871.00	1,002,871.00
03	TRAVIS COUNTY	0.466800	1,002,871.00	1,002,871.00	1,002,871.00	1,002,871.00
2J	TRAVIS CO HEALTHCARE DIST	0.071900	1,002,871.00	1,002,871.00	1,002,871.00	1,002,871.00
66	AUSTIN COMM COLL DIST	0.095100	1,002,871.00	1,002,871.00	1,002,871.00	1,002,871.00

Improvement Information

Improvement ID
769797State Category
A1Description
1 FAM DWELLING

Segment Information

Imp ID	Seg ID	Type Code	Description	Class	Effective Year Built	Area
769797	4242895	1ST	1st Floor	XX9	2008	3,555
769797	4242896	2ND	2nd Floor	XX9	2008	1,990
769797	4242897	RSBLW	Residence Below	XX9	2008	1,683
769797	4244716	UBSMT	Unfinished Basement	XX9	2008	88
769797	4245684	612	TERRACE UNCOVERD	*9	2008	77
769797	4245686	612	TERRACE UNCOVERD	*9	2008	151
769797	4245687	612	TERRACE UNCOVERD	*9	2008	205
769797	4246524	011	PORCH OPEN 1ST F	*9	2008	151
769797	4246615	011	PORCH OPEN 1ST F	*9	2008	134
769797	4246616	041	GARAGE ATT 1ST F	XX9	2008	598
769797	4246617	251	BATHROOM	**	2008	5
769797	4246618	095	HVAC RESIDENTIAL	**	2008	7,228
769797	4282557	591	MASONRY TRIM SF	A*	2009	300

Total Living Area 7,228

Land Information

Land ID	Type Code	SPTB Code	Homesite	Size-Acres	Front	Depth	Size-Sqft
121873	LAND	A1	T	0.458	0	0	19,959
919461	LAND	A1	F	0.597	0	0	25,984

show history

TaxNetUSA: Travis County Property Information

Property ID Number: 122314 Ref ID2 Number: 01250702120000

Owner's Name **LEMOND TOM L JR & CORNELIA**

Property Details

Mailing Address
3705 BONNELL DR
AUSTIN, TX 78731-5843Location
3705 BONNELL DR 78731Legal
LOT 2 BLK D MOUNT BONNELL TERRACE SEC 3

Deed Date

Deed Volume

Deed Page

Exemptions

Freeze Exempt

ARB Protest

Agent Code

Land Acres

Block

Tract or Lot

Docket No.

Abstract Code

Neighborhood Code

03251965

09143

00203

HS, OA

F

F

0

0.4495

D

2

S09218

X8250

Value Information

2010 Certified

Land Value 455,000.00
 Improvement Value 303,911.00
 AG Value 0.00
 AG Productivity Value 0.00
 Timber Value 0.00
 Timber Productivity Value 0.00
 Assessed Value 758,911.00
 10% Cap Value 0.00
 Total Value 758,911.00

Data up to date as of 2011-04-01

AGRICULTURAL (1-D-1)

APPOINTMENT OF AGENT FORM

FREEPORT EXEMPTION

HOMESTEAD EXEMPTION FORM

PRINTER FRIENDLY REPORT

PROTEST FORM

RELIGIOUS EXEMPTION FORM

(TIFF)

PLAT MAP

(PDF)

PLAT MAP

Value By Jurisdiction

Entity Code	Entity Name	2010 Tax Rate	Assessed Value	Taxable Value	Market Value	Appraised Value
0A	TRAVIS CENTRAL APP DIST		758,911.00	758,911.00	758,911.00	758,911.00
01	AUSTIN ISD	1.227000	758,911.00	708,911.00	758,911.00	758,911.00
02	CITY OF AUSTIN	0.457100	758,911.00	707,911.00	758,911.00	758,911.00
03	TRAVIS COUNTY	0.465800	758,911.00	542,129.00	758,911.00	758,911.00
2J	TRAVIS CO HEALTHCARE DIST	0.071900	758,911.00	542,129.00	758,911.00	758,911.00
68	AUSTIN COMM COLL DIST	0.095100	758,911.00	636,322.00	758,911.00	758,911.00

Improvement Information

Improvement ID
118755State Category
A1Description
1 FAM DWELLING

Segment Information

Imp ID	Seg ID	Type Code	Description	Class	Effective Year Built	Area
118755	127436	1ST	1st Floor	WW5+	1981	2,515
118755	127437	2ND	2nd Floor	WW5+	1981	786
118755	127438	1/2	Half Floor	WW5+	1981	117
118755	481293	011	PORCH OPEN 1ST F	*5+	1981	156
118755	481294	051	CARPORT DET 1ST	*5+	1981	493
118755	481295	095	HVAC RESIDENTIAL	**	1981	3,418
118755	481296	251	BATHROOM	**	1981	4
118755	481297	320	OBS DRIVEWAY	SDC*	1981	1
118755	481298	320	OBS DRIVEWAY	LSC*	1981	1
118755	481299	512	DECK UNCOVERED	*5+	1981	1,038
118755	481300	522	FIREPLACE	*5+	1981	1
118755	3173343	SO	Sketch Only	SO*	0	108
118755	3173344	SO	Sketch Only	SO*	0	117
118755	3173345	SO	Sketch Only	SO*	0	56
118755	3173346	SO	Sketch Only	SO*	0	493
118755	3173347	SO	Sketch Only	SO*	0	144
118755	3173348	SO	Sketch Only	SO*	0	120

Total Living Area 3,418

Land Information

Land ID	Type Code	SPTB Code	Homesite	Size-Acres	Front	Depth	Size-Sqft
121874	LAND	A1	T	0.450	0	0	19,578

show history

TaxNetUSA: Travis County Property Information

Property ID Number: 122315 Ref ID2 Number: 01250702130000

Owner's Name **BONE ROBERT GORDON &**

Mailing Address
ELIZABETH ANN SCHULTZ
3503 BONNELL CT
AUSTIN, TX 78731-5841

Location
3503 BONNELL CT 78731

Legal
LOT 3 BLK D MOUNT BONNELL TERRACE SEC 3

Property Details

Deed Date
Deed Volume
Deed Page
Exemptions
Freeze Exempt
ARB Protest
Agent Code
Land Acres
Block
Tract or Lot
Docket No.
Abstract Code
Neighborhood Code

12142009

HS
F
F
0
0.3023
D
3
2009207748T
S09218
X8280

Handwritten:
FAR
 $\frac{3910}{17,168} = 22.6\%$

Value Information

	2010 Certified
Land Value	437,500.00
Improvement Value	429,754.00
AG Value	0.00
AG Productivity Value	0.00
Timber Value	0.00
Timber Productivity Value	0.00
Assessed Value	867,254.00
10% Cap Value	0.00
Total Value	867,254.00

Data up to date as of 2011-04-01

- ☒ AGRICULTURAL (1-D-1)
 ☒ APPOINTMENT OF AGENT FORM
 ☒ FREEPORT EXEMPTION
 ☒ HOMESTEAD EXEMPTION FORM
☒ PRINTER FRIENDLY REPORT
 ☒ PROTEST FORM
 ☒ RELIGIOUS EXEMPTION FORM (TIFF)
 ☒ PLAT MAP (PDF)
 ☒ PLAT MAP

Value By Jurisdiction

Entity Code	Entity Name	2010 Tax Rate	Assessed Value	Taxable Value	Market Value	Appraised Value
0A	TRAVIS CENTRAL APP DIST		867,254.00	867,254.00	867,254.00	867,254.00
01	AUSTIN ISD	1.227000	867,254.00	852,254.00	867,254.00	867,254.00
02	CITY OF AUSTIN	0.457100	867,254.00	867,254.00	867,254.00	867,254.00
03	TRAVIS COUNTY	0.465800	867,254.00	693,803.00	867,254.00	867,254.00
2J	TRAVIS CO HEALTHCARE DIST	0.071900	867,254.00	693,803.00	867,254.00	867,254.00
68	AUSTIN COMM COLL DIST	0.095100	867,254.00	858,581.00	867,254.00	867,254.00

Improvement Information

Improvement ID	State Category	Description
118756	A1	1 FAM DWELLING

Segment Information

Imp ID	Seg ID	Type Code	Description	Class	Effective Year Built	Area
118756	127439	1ST	1st Floor	WV6-	1981	1,821
118756	127440	2ND	2nd Floor	WV6-	1981	1,115
118756	481302	RSBLW	Residence Below	WV6-	1981	428
118756	481303	011	PORCH OPEN 1ST F	*6-	1981	96
118756	481304	012	PORCH OPEN 2ND F	*6-	1981	78
118756	481305	041	GARAGE ATT 1ST F	WV6-	1981	546
118756	481306	095	HVAC RESIDENTIAL	**	1981	3,164
118756	481307	251	BATHROOM	**	1981	3
118756	481308	512	DECK UNCOVERED	*6-	1981	180
118756	481309	512	DECK UNCOVERED	*6-	1981	196
118756	481310	522	FIREPLACE	*6-	1981	1
118756	481311	581	STORAGE ATT	WV6-	1981	122
118756	481312	613	TERRACE COVERED	*6-	1981	128
118756	2130414	011	PORCH OPEN 1ST F	*6-	1981	78
118756	2164551	613	TERRACE COVERED	*6-	1981	128
118756	2542085	613	TERRACE COVERED	*6-	1981	196

Total Living Area 3,164

Land Information

Land ID	Type Code	SPTB Code	Homesite	Size-Acres	Front	Depth	Size-Sqft
121876	LAND	A1	T	0.302	0	0	13,168

show history

Handwritten: 3910

TaxNetUSA: Travis County Property Information

Property ID Number: 122316 Ref ID2 Number: 01250702140000

Owner's Name **EDWARDS WAYNE F & CELA A**Mailing Address
3501 BONNELL CT
AUSTIN, TX 78731-5841

Location 3501 BONNELL CT 78731

Legal LOT 4 BLK D MOUNT BONNELL TERRACE SEC 3

Property Details

Deed Date 04051990
 Deed Volume 11161
 Deed Page 01138
 Exemptions HS, OA
 Freeze Exempt F
 ARB Protest F
 Agent Code 0
 Land Acres 0.3972
 Block D
 Tract or Lot 4
 Docket No.
 Abstract Code S09218
 Neighborhood Code X8250

Handwritten: FAR
 $\frac{7987}{17,300} = 46\%$

Value Information

2010 Certified

Land Value 437,500.00
 Improvement Value 356,256.00
 AG Value 0.00
 AG Productivity Value 0.00
 Timber Value 0.00
 Timber Productivity Value 0.00
 Assessed Value 793,756.00
 10% Cap Value 0.00
 Total Value 793,756.00

Data up to date as of 2011-04-01

☒ AGRICULTURAL (1-D-1) ☒ APPOINTMENT OF AGENT FORM ☒ FREEPORT EXEMPTION ☒ HOMESTEAD EXEMPTION FORM
☒ PRINTER FRIENDLY REPORT ☒ PROTEST FORM ☒ RELIGIOUS EXEMPTION FORM (TIFF) ☒ PLAT MAP (PDF) ☒ PLAT MAP

Value By Jurisdiction

Entity Code	Entity Name	2010 Tax Rate	Assessed Value	Taxable Value	Market Value	Appraised Value
0A	TRAVIS CENTRAL APP DIST		793,756.00	793,756.00	793,756.00	793,756.00
01	AUSTIN ISD	1.227000	793,756.00	743,756.00	793,756.00	793,756.00
02	CITY OF AUSTIN	0.457100	793,756.00	742,756.00	793,756.00	793,756.00
03	TRAVIS COUNTY	0.465800	793,756.00	570,005.00	793,756.00	793,756.00
2J	TRAVIS CO HEALTHCARE DIST	0.071600	793,756.00	570,005.00	793,756.00	793,756.00
6B	AUSTIN COMM COLL DIST	0.095100	793,756.00	670,818.00	793,756.00	793,756.00

Improvement Information

Improvement ID
118757State Category
A1

Description

1 FAM DWELLING

Segment Information

Imp ID	Seg ID	Type Code	Description	Class	Effective Year Built	Area
118757	127441	1ST	1st Floor	WV5+	1990	2,826
118757	127442	2ND	2nd Floor	WV5+	1990	763
118757	481313	011	PORCH OPEN 1ST F	*5+	1990	48
118757	481314	011	PORCH OPEN 1ST F	*5+	1990	497
118757	481315	041	GARAGE ATT 1ST F	WV5+	1990	598
118757	481316	095	HVAC RESIDENTIAL	**	1990	3,589
118757	481317	251	BATHROOM	**	1990	4
118757	481318	349	SPA FV	F-V	1990	1
118757	481319	512	DECK UNCOVERED	*5+	1990	560
118757	481320	522	FIREPLACE	*5+	1990	1
118757	481321	522	FIREPLACE	*5+	1990	1

Total Living Area 3,589

Land Information

Land ID	Type Code	SPTB Code	Homesite	Size-Acres	Front	Depth	Size-Sqft
121876	LAND	A1	T	0.397	0	0	17,300

show history

Owner's Name **OXFORD SHARON A**

Mailing Address 3606 FALL TRL
AUSTIN, TX 78731-5839

Location 3606 FALL TRL 78731

Legal LOT 1 BLK C MOUNT BONNELL TERRACE SEC 2

Property Details

Deed Date 03051999

Deed Volume 13384

Deed Page 01957

Exemptions HS

Freeze Exempt F

ARB Protest F

Agent Code 0

Land Acres 0.5532

Block C

Tract or Lot 1

Docket No.

Abstract Code S09217

Neighborhood Code X8250

Value Information

2010 Certified

Land Value 546,000.00

Improvement Value 416,985.00

AG Value 0.00

AG Productivity Value 0.00

Timber Value 0.00

Timber Productivity Value 0.00

Assessed Value 962,985.00

10% Cap Value 0.00

Total Value 962,985.00

Data up to date as of 2011-04-01

☐ AGRICULTURAL (1-D-1) ☐ APPOINTMENT OF AGENT FORM ☐ FREEPORT EXEMPTION ☐ HOMESTEAD EXEMPTION FORM

☐ PRINTER FRIENDLY REPORT ☐ PROTEST FORM ☐ RELIGIOUS EXEMPTION FORM (TIFF) ☐ PLAT MAP (PDF) ☐ PLAT MAP

Value By Jurisdiction

Entity Code	Entity Name	2010 Tax Rate	Assessed Value	Taxable Value	Market Value	Appraised Value
0A	TRAVIS CENTRAL APP DIST		962,985.00	962,985.00	962,985.00	962,985.00
01	AUSTIN ISD	1.227000	962,985.00	947,985.00	962,985.00	962,985.00
02	CITY OF AUSTIN	0.457100	962,985.00	962,985.00	962,985.00	962,985.00
03	TRAVIS COUNTY	0.465800	962,985.00	770,388.00	962,985.00	962,985.00
2J	TRAVIS CO HEALTHCARE DIST	0.071900	962,985.00	770,388.00	962,985.00	962,985.00
68	AUSTIN COMM COLL DIST	0.095100	962,985.00	953,355.00	962,985.00	962,985.00

Improvement Information

Improvement ID 118753 State Category A1 Description 1 FAM DWELLING

Segment Information

Imp ID	Seg ID	Type Code	Description	Class	Effective Year Built	Area
118753	127432	1ST	1st Floor	WW5+	1981	3,674
118753	127433	RSBLW	Residence Below	WW5+	1981	676
118753	481274	011	PORCH OPEN 1ST F	*5+	1981	10
118753	481275	011	PORCH OPEN 1ST F	*5+	1981	469
118753	481276	011	PORCH OPEN 1ST F	*5+	1981	36
118753	481277	041	GARAGE ATT 1ST F	WW5+	1981	585
118753	481278	095	HVAC RESIDENTIAL	**	1981	4,350
118753	481279	251	BATHROOM	**	1981	3
118753	481280	320	OBS DRIVEWAY	MDC*	1981	1
118753	481281	512	DECK UNCOVERED	*5+	1981	780
118753	481282	512	DECK UNCOVERED	*5+	1981	294
118753	1907877	512	DECK UNCOVERED	*5+	1981	176
118753	1907878	512	DECK UNCOVERED	*5+	1981	469
118753	1907879	522	FIREPLACE	*5+	1981	1
118753	1907880	571	STORAGE DET	WW4	1981	81
118753	1907881	602	POOL RES CONC	*5+	1981	528
118753	1907882	612	TERRACE UNCOVERD	*5+	1981	356
118753	1907883	612	TERRACE UNCOVERD	*5+	1981	207

Total Living Area 4,350

Land Information

Land ID	Type Code	SPTB Code	Homesite	Size-Acres	Front	Depth	Size-Sqft
121870	LAND	A1	T	0.553	0	0	24,099

[show history](#)

Owner's Name **MOODY THOMAS & MARY B**

Mailing Address 3603 MOUNT BONNELL RD
AUSTIN, TX 78731-5800

Location 3603 MOUNT BONNELL RD 78731

Legal LOT 6 BLK C MOUNT BONNELL TERRACE SEC 1

Property Details

Deed Date 01142002
Deed Volume 00000
Deed Page 00000
Exemptions HS, OA
Freeze Exempt F
ARB Protest F
Agent Code 0
Land Acres 0.3569
Block C
Tract or Lot 6
Docket No. 2002008686TR
Abstract Code S09216
Neighborhood Code X8250

Handwritten: FAR
4245 / 15,549 = 27.3%

Value Information

2010 Certified

Land Value 525,000.00
Improvement Value 349,814.00
AG Value 0.00
AG Productivity Value 0.00
Timber Value 0.00
Timber Productivity Value 0.00
Assessed Value 874,814.00
10% Cap Value 0.00
Total Value 874,814.00

Data up to date as of 2011-04-01

☐ AGRICULTURAL (1-D-1) ☐ APPOINTMENT OF AGENT FORM ☐ FREEDOM EXEMPTION ☐ HOMESTEAD EXEMPTION FORM

☐ PRINTER FRIENDLY REPORT ☐ PROTEST FORM ☐ RELIGIOUS EXEMPTION FORM (TIFF) ☐ PLAT MAP (PDF) ☐ PLAT MAP

Value By Jurisdiction

Entity Code	Entity Name	2010 Tax Rate	Assessed Value	Taxable Value	Market Value	Appraised Value
0A	TRAVIS CENTRAL APP DIST		874,814.00	874,814.00	874,814.00	874,814.00
01	AUSTIN ISD	1.227000	874,814.00	824,814.00	874,814.00	874,814.00
02	CITY OF AUSTIN	0.457100	874,814.00	823,814.00	874,814.00	874,814.00
03	TRAVIS COUNTY	0.465800	874,814.00	634,851.00	874,814.00	874,814.00
2J	TRAVIS CO HEALTHCARE DIST	0.071900	874,814.00	634,851.00	874,814.00	874,814.00
68	AUSTIN COMM COLL DIST	0.095100	874,814.00	751,068.00	874,814.00	874,814.00

Improvement Information

Improvement ID 118752 State Category A1 Description 1 FAM DWELLING

Segment Information

Imp ID	Seg ID	Type Code	Description	Class	Effective Year Built	Area
118752	127430	1ST	1st Floor	WV5+	1974	3,668
118752	481262	011	PORCH OPEN 1ST F	*5+	1974	14
118752	481263	011	PORCH OPEN 1ST F	*5+	1974	180
118752	481264	041	GARAGE ATT 1ST F	WV5+	1974	777
118752	481265	095	HVAC RESIDENTIAL	**	1974	3,668
118752	481266	251	BATHROOM	**	1974	3
118752	481267	320	OBS DRIVEWAY	MDC*	1974	1
118752	481268	320	OBS DRIVEWAY	LSC*	1974	1
118752	481269	512	DECK UNCOVERED	*5+	1974	264
118752	481270	522	FIREPLACE	*5+	1974	1
118752	481271	531	OBS FENCE	WAL*	1974	1
118752	481272	602	POOL RES CONC	*5+	1974	465
118752	481273	612	TERRACE UNCOVERD	*5+	1974	898

Total Living Area 3,668

Land Information

Land ID 121869 Type Code LAND SPTB Code A1 Homesite T Size-Acres 0.357 Front 0 Depth 0 Size-Sqft 15,549

[show history](#)

Owner's Name **MCNUTT GORDON R JR**Mailing Address
PO BOX 5968
AUSTIN, TX 78763-5968

Location 3605 MOUNT BONNELL RD 78731

Legal LOT 1 BLK E MOUNT BONNELL TERRACE SEC 1

Property Details

Deed Date 07021980
Deed Volume 11220
Deed Page 01020
Exemptions HS, OA
Freeze Exempt F
ARB Protest F
Agent Code 0
Land Acres 0.3657
Block E
Tract or Lot 1
Docket No.
Abstract Code S09216
Neighborhood Code X6260

Handwritten: FAR 5207 = 32.79
15,932

Value Information

2010 Certified

Land Value	437,500.00
Improvement Value	617,098.00
AG Value	0.00
AG Productivity Value	0.00
Timber Value	0.00
Timber Productivity Value	0.00
Assessed Value	1,054,598.00
10% Cap Value	0.00
Total Value	1,054,598.00

Data up to date as of 2011-04-01

☐ AGRICULTURAL (1-D-1) ☐ APPOINTMENT OF AGENT FORM ☐ FREEDOM EXEMPTION ☐ HOMESTEAD EXEMPTION FORM
☐ PRINTER FRIENDLY REPORT ☐ PROTEST FORM ☐ RELIGIOUS EXEMPTION FORM (TIFF) ☐ PLAT MAP (PDF) ☐ PLAT MAP

Value By Jurisdiction

Entity Code	Entity Name	2010 Tax Rate	Assessed Value	Taxable Value	Market Value	Appraised Value
0A	TRAVIS CENTRAL APP DIST		1,054,598.00	1,054,598.00	1,054,598.00	1,054,598.00
01	AUSTIN ISD	1.227000	1,054,598.00	1,004,598.00	1,054,598.00	1,054,598.00
02	CITY OF AUSTIN	0.457100	1,054,598.00	1,003,598.00	1,054,598.00	1,054,598.00
03	TRAVIS COUNTY	0.465800	1,054,598.00	778,578.00	1,054,598.00	1,054,598.00
2J	TRAVIS CO HEALTHCARE DIST	0.071900	1,054,598.00	778,578.00	1,054,598.00	1,054,598.00
66	AUSTIN COMM COLL DIST	0.095100	1,054,598.00	929,052.00	1,054,598.00	1,054,598.00

Improvement Information

Improvement ID	State Category	Description
118766	A1	1 FAM DWELLING

Segment Information

Imp ID	Seg ID	Type Code	Description	Class	Effective Year Built	Area
118766	127460	1ST	1st Floor	WW6	1975	3,677
118766	127461	2ND	2nd Floor	WW6	1975	1,267
118766	481425	011	PORCH OPEN 1ST F	*6	1975	35
118766	481426	041	GARAGE ATT 1ST F	WW6	1975	463
118766	481427	095	HVAC RESIDENTIAL	**	1975	4,944
118766	481428	251	BATHROOM	**	1975	4
118766	481430	512	DECK UNCOVERED	*6	1975	195
118766	481431	522	FIREPLACE	*6	1975	1
118766	481432	581	STORAGE ATT	WW6	1975	200
118766	481433	604	POOL RES CONC	*6	1975	1
118766	481434	612	TERRACE UNCOVERD	*6	1975	1,028
118766	481435	630	PORCH CLOS FIN	*6	1975	194

Total Living Area 4,944

Land Information

Land ID	Type Code	SPTB Code	Homesite	Size-Acres	Front	Depth	Size-Sqft
121885	LAND	A1	T	0.366	0	0	15,932

[show history](#)

(13)

CS
56

TaxNetUSA: Travis County Property Information

Property ID Number: 122326 Ref ID2 Number: 01250703020000

Owner's Name **DEIGH JOHN & S LYNN HILL**

Property Details

Mailing Address 3701 MOUNT BONNELL RD
AUSTIN, TX 78731-5730
Location 3701 MOUNT BONNELL RD 78731
Legal LOT 2 BLK E MOUNT BONNELL TERRACE SEC 1

Deed Date 07012004
Deed Volume 00000
Deed Page 00000
Exemptions HS
Freeze Exempt F
ARB Protest F
Agent Code 0
Land Acres 0.3576
Block E
Tract or Lot 2
Docket No. 2004128197TR
Abstract Code S09216
Neighborhood Code X8250

Handwritten: FAR
2685
15,779 = 17%

Value Information

2010 Certified

Land Value 437,500.00
Improvement Value 292,050.00
AG Value 0.00
AG Productivity Value 0.00
Timber Value 0.00
Timber Productivity Value 0.00
Assessed Value 729,550.00
10% Cap Value 0.00
Total Value 729,550.00

Data up to date as of 2011-04-01

☐ AGRICULTURAL (1-D-1) ☐ APPOINTMENT OF AGENT FORM ☐ FREEPORT EXEMPTION ☐ HOMESTEAD EXEMPTION FORM
☐ PRINTER FRIENDLY REPORT ☐ PROTEST FORM ☐ RELIGIOUS EXEMPTION FORM (TIFF) ☐ PLAT MAP (PDF) ☐ PLAT MAP

Value By Jurisdiction

Entity Code	Entity Name	2010 Tax Rate	Assessed Value	Taxable Value	Market Value	Appraised Value
0A	TRAVIS CENTRAL APP DIST		729,550.00	729,550.00	729,550.00	729,550.00
01	AUSTIN ISD	1.227000	729,550.00	714,550.00	729,550.00	729,550.00
02	CITY OF AUSTIN	0.457100	729,550.00	729,550.00	729,550.00	729,550.00
03	TRAVIS COUNTY	0.465800	729,550.00	583,640.00	729,550.00	729,550.00
2J	TRAVIS CO HEALTHCARE DIST	0.071900	729,550.00	583,640.00	729,550.00	729,550.00
66	AUSTIN COMM COLL DIST	0.095100	729,550.00	722,254.00	729,550.00	729,550.00

Improvement Information

Improvement ID 118767 State Category A1 Description 1 FAM DWELLING

Segment Information

Imp ID	Seg ID	Type Code	Description	Class	Effective Year Built	Area
118767	127462	1ST	1st Floor	WW5+	1974	1,673
118767	127463	2ND	2nd Floor	WW5+	1974	646
118767	481436	011	PORCH OPEN 1ST F	*5+	1974	324
118767	481437	041	GARAGE ATT 1ST F	WW5+	1974	566
118767	481438	095	HVAC RESIDENTIAL	**	1974	2,319
118767	481439	251	BATHROOM	**	1974	3
118767	481440	303	STAIRWAYS FV	F-V*	1974	1
118767	481441	320	OBS DRIVEWAY	MDC*	1974	1
118767	481442	512	DECK UNCOVERED	*5+	1974	458
118767	481443	522	FIREPLACE	*5+	1974	1
118767	481444	581	STORAGE ATT	WW5	1974	1,000
118767	481445	612	TERRACE UNCOVERED	*5+	1974	392
118767	3107598	SO	Sketch Only	SO*	0	332
118767	3107599	SO	Sketch Only	SO*	0	126
Total Living Area						2,319

Land Information

Land ID 121886 Type Code LAND SPTS Code A1 Homesite T Size-Acres 0.358 Front 0 Depth 0 Size-Sqft 15,577

show history

Handwritten: 2685

TaxNetUSA: Travis County Property Information

Property ID Number: 122327 Ref ID2 Number: 01250703030000

Owner's Name **SHELTON JOHN T III**

Property Details

Mailing Address 3703 MOUNT BONNELL RD
AUSTIN, TX 78731-5730

Location 3703 MOUNT BONNELL RD 78731

Legal LOT 3 BLK E MOUNT BONNELL TERRACE SEC 1

Deed Date 07281994

Deed Volume 12238

Deed Page 01825

Exemptions HS

Freeze Exempt F

ARB Protest F

Agent Code 2490

Land Acres 0.3733

Block E

Tract or Lot 3

Docket No.

Abstract Code S09216

Neighborhood Code X8264

Handwritten: 3493 / 16259 = 21.570

Value Information

2010 Certified

Land Value 437,500.00

Improvement Value 352,500.00

AG Value 0.00

AG Productivity Value 0.00

Timber Value 0.00

Timber Productivity Value 0.00

Assessed Value 790,000.00

10% Cap Value 0.00

Total Value 790,000.00

Data up to date as of 2011-04-01

☐ AGRICULTURAL (1-D-1) ☐ APPOINTMENT OF AGENT FORM ☐ FREEPORT EXEMPTION ☐ HOMESTEAD EXEMPTION FORM

☐ PRINTER FRIENDLY REPORT ☐ PROTEST FORM ☐ RELIGIOUS EXEMPTION FORM (TIFF) ☐ PLAT MAP (PDF) ☐ PLAT MAP

Value By Jurisdiction

Entity Code	Entity Name	2010 Tax Rate	Assessed Value	Taxable Value	Market Value	Appraised Value
0A	TRAVIS CENTRAL APP DIST		790,000.00	790,000.00	790,000.00	790,000.00
01	AUSTIN ISD	1.227000	790,000.00	775,000.00	790,000.00	790,000.00
02	CITY OF AUSTIN	0.457100	790,000.00	790,000.00	790,000.00	790,000.00
03	TRAVIS COUNTY	0.465800	790,000.00	632,000.00	790,000.00	790,000.00
2J	TRAVIS CO HEALTHCARE DIST	0.071900	790,000.00	632,000.00	790,000.00	790,000.00
68	AUSTIN COMM COLL DIST	0.095100	790,000.00	782,100.00	790,000.00	790,000.00

Improvement Information

Improvement ID 310900 State Category A1 Description 1 FAM DWELLING

Segment Information

Imp ID	Seg ID	Type Code	Description	Class	Effective Year Built	Area
310900	1756907	1ST	1st Floor	WW6	1995	1,835
310900	1756908	2ND	2nd Floor	WW6	1995	1,085
310900	1773652	011	PORCH OPEN 1ST F	'6	1995	72
310900	1773653	011	PORCH OPEN 1ST F	'6	1995	280
310900	1773654	011	PORCH OPEN 1ST F	'6	1995	341
310900	1773655	012	PORCH OPEN 2ND F	'6	1995	341
310900	1773656	031	GARAGE DET 1ST F	WW6	1995	623
310900	1773657	095	HVAC RESIDENTIAL	'	1995	2,920
310900	1773658	251	BATHROOM	'	1995	3
310900	1773659	512	DECK UNCOVERED	'6	1995	243
310900	1773660	522	FIREPLACE	'6	1995	1
310900	1773661	581	STORAGE ATT	WW5-	1995	64
310900	1836788	602	POOL RES CONC	'6	1995	400

Total Living Area 2,920

Land Information

Land ID 121887 Type Code LAND SPTB Code A1 Homesite T Size-Acres 0.373 Front 0 Depth 0 Size-Sqft 16,263

[show history](#)

Owner's Name **EURE PATRICIA E**

Mailing Address 3803 MOUNT BONNELL RD
AUSTIN, TX 78731-5732

Location 3803 MOUNT BONNELL RD 78731

Legal LOT 4 BLK E MOUNT BONNELL TERRACE SEC 3

Property Details

Deed Date
Deed Volume
Deed Page
Exemptions
Freeze Exempt
ARB Protest
Agent Code
Land Acres
Block
Tract or Lot
Docket No.
Abstract Code
Neighborhood Code

HS, OAS
F
F
0
0.3763
E
4
S09218
X8264

Value Information

2010 Certified

Land Value 437,500.00

Improvement Value 752,213.00

AG Value 0.00

AG Productivity Value 0.00

Timber Value 0.00

Timber Productivity Value 0.00

Assessed Value 1,189,713.00

10% Cap Value 0.00

Total Value 1,189,713.00

Data up to date as of 2011-04-01

☐ AGRICULTURAL (1-D-1) ☐ APPOINTMENT OF AGENT FORM ☐ FREEPORT EXEMPTION ☐ HOMESTEAD EXEMPTION FORM

☐ PRINTER FRIENDLY REPORT ☐ PROTEST FORM ☐ RELIGIOUS EXEMPTION FORM (TIFF) ☐ PLAT MAP (PDF) ☐ PLAT MAP

Value By Jurisdiction

Entity Code	Entity Name	2010 Tax Rate	Assessed Value	Taxable Value	Market Value	Appraised Value
0A	TRAVIS CENTRAL APP DIST		1,189,713.00	1,189,713.00	1,189,713.00	1,189,713.00
01	AUSTIN ISD	1.227000	1,189,713.00	1,139,713.00	1,189,713.00	1,189,713.00
02	CITY OF AUSTIN	0.457100	1,189,713.00	1,138,713.00	1,189,713.00	1,189,713.00
03	TRAVIS COUNTY	0.465800	1,189,713.00	886,770.00	1,189,713.00	1,189,713.00
2J	TRAVIS CO HEALTHCARE DIST	0.071900	1,189,713.00	886,770.00	1,189,713.00	1,189,713.00
68	AUSTIN COMM COLL DIST	0.095100	1,189,713.00	1,062,816.00	1,189,713.00	1,189,713.00

Improvement Information

Improvement ID 118768 State Category A1 Description 1 FAM DWELLING

Segment Information

Imp ID	Seg ID	Type Code	Description	Class	Effective Year Built	Area
118768	127464	1ST	1st Floor	WP6+	1983	1,814
118768	127465	2ND	2nd Floor	WP6+	1983	1,782
118768	127466	RSBLW	Residence Below	WP6+	1983	450
118768	127467	3RD	3rd Floor	WP6+	1983	1,714
118768	481447	011	PORCH OPEN 1ST F	*6+	1983	32
118768	481448	041	GARAGE ATT 1ST F	WP6+	1983	718
118768	481449	095	HVAC RESIDENTIAL	**	1983	5,760
118768	481450	251	BATHROOM	**	1983	6
118768	481451	320	OBS DRIVEWAY	MDC*	1983	1
118768	481452	477	ELEVATOR RES	3A*	1983	1
118768	481453	512	DECK UNCOVERED	*6+	1983	840
118768	481454	522	FIREPLACE	*6+	1983	1
118768	481455	539	FENCE FV	F-V*	1983	1
118768	481456	604	POOL RES CONC	*6+	1983	1
118768	3056689	SO	Sketch Only	SO*	0	180
Total Living Area						5,760

Land Information

Land ID	Type Code	SPTB Code	Homesite	Size-Acres	Front	Depth	Size-Sqft
121888	LAND	A1	T	0.376	0	0	16,392

[show history](#)

Owner's Name **HERMAN TIMOTHY J & MARY G**Mailing Address
3603 ALTA CT
AUSTIN, TX 78731-5840Location
3603 ALTA CT 78731Legal
LOT 6 BLK E MOUNT BONNELL TERRACE SEC 3

Property Details

Deed Date 05151998
Deed Volume 12687
Deed Page 01793
Exemptions HS
Freeze Exempt F
ARB Protest F
Agent Code 2385
Land Acres 0.4208
Block E
Tract or Lot 6
Docket No.
Abstract Code S09218
Neighborhood Code X8264

Handwritten: FAR
3773
187331 = 20.6%

Value Information

2010 Certified

Land Value	420,000.00
Improvement Value	393,944.00
AG Value	0.00
AG Productivity Value	0.00
Timber Value	0.00
Timber Productivity Value	0.00
Assessed Value	813,944.00
10% Cap Value	0.00
Total Value	813,944.00

Data up to date as of 2011-04-01

☐ AGRICULTURAL (1-D-1)☐ APPOINTMENT OF AGENT FORM☐ FREEDOM EXEMPTION☐ HOMESTEAD EXEMPTION FORM☐ PRINTER FRIENDLY REPORT☐ PROTEST FORM☐ RELIGIOUS EXEMPTION FORM

(TIFF)

☐ PLAT MAP

(PDF)

☐ PLAT MAP

Value By Jurisdiction

Entity Code	Entity Name	2010 Tax Rate	Assessed Value	Taxable Value	Market Value	Appraised Value
0A	TRAVIS CENTRAL APP DIST		813,944.00	813,944.00	813,944.00	813,944.00
01	AUSTIN ISD	1.227000	813,944.00	798,944.00	813,944.00	813,944.00
02	CITY OF AUSTIN	0.457100	813,944.00	813,944.00	813,944.00	813,944.00
03	TRAVIS COUNTY	0.465800	813,944.00	651,155.00	813,944.00	813,944.00
2J	TRAVIS CO HEALTHCARE DIST	0.071900	813,944.00	651,155.00	813,944.00	813,944.00
68	AUSTIN COMM COLL DIST	0.095100	813,944.00	805,805.00	813,944.00	813,944.00

Improvement Information

Improvement ID
329847State Category
A1Description
1 FAM DWELLING

Segment Information

Imp ID	Seg ID	Type Code	Description	Class	Effective Year Built	Area
329847	1889084	1ST	1st Floor	WP6	1998	1,097
329847	1889095	2ND	2nd Floor	WP6	1998	2,347
329847	1907884	011	PORCH OPEN 1ST F	'6	1998	804
329847	1907885	012	PORCH OPEN 2ND F	'6	1998	692
329847	1907886	012	PORCH OPEN 2ND F	'8	1998	140
329847	1907887	041	GARAGE ATT 1ST F	WP6	1998	529
329847	1907888	095	HVAC RESIDENTIAL	"	1998	3,444
329847	1907889	251	BATHROOM	"	1998	3
329847	1907890	522	FIREPLACE	'6	1998	1
329847	3322523	512	DECK UNCOVERED	WP6	2004	446

Total Living Area 3,444

Land Information

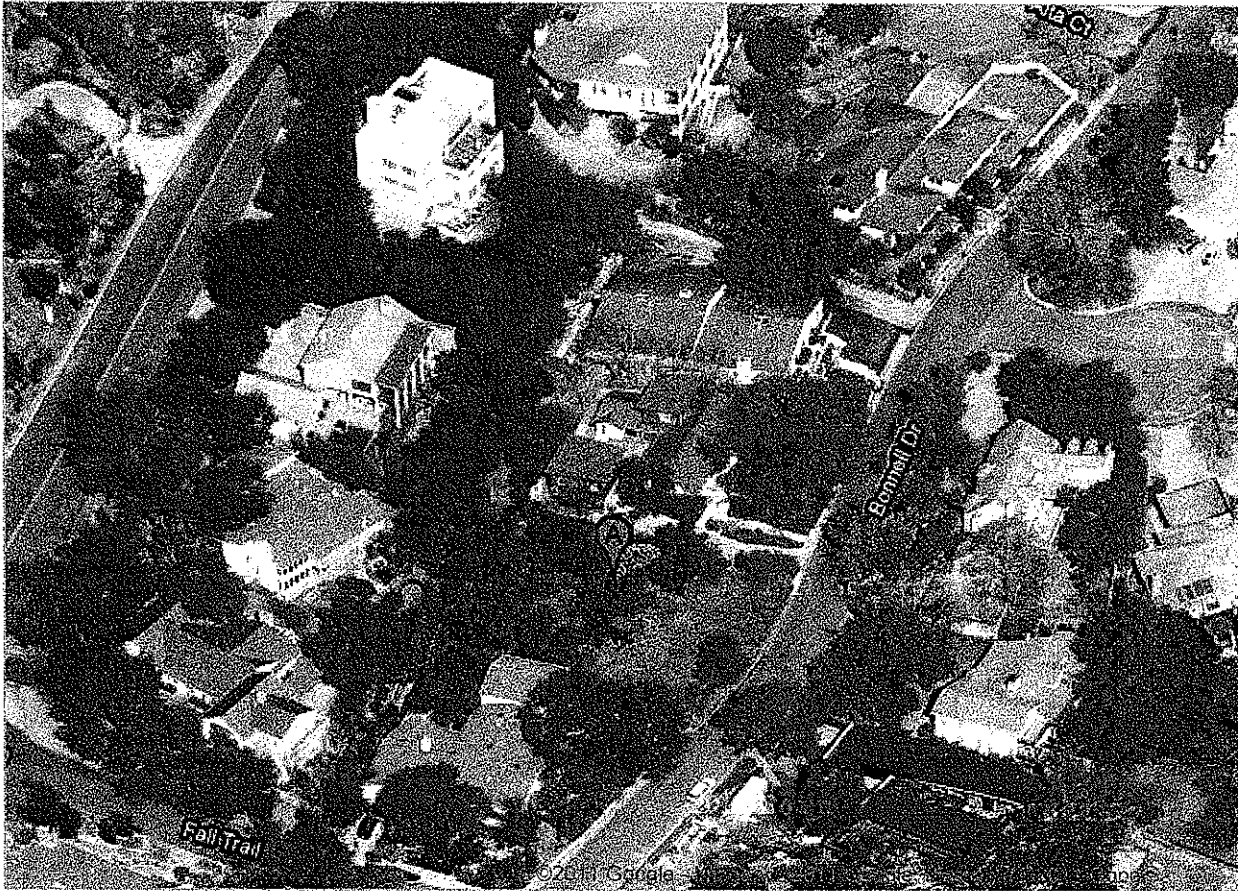
Land ID	Type Code	SPTB Code	Homesite	Size-Acres	Front	Depth	Size-Sqft
121896	LAND	A1	T	0.421	0	0	18,331

[show history](#)

Google maps

To see all the details that are visible on the screen, use the "Print" link next to the map.

C3
60



(A) SUBJECT PROPERTY
3704 BONNELL DRIVE