

**HISTORIC LANDMARK COMMISSION
OCTOBER 24, 2011
PERMITS IN NATIONAL REGISTER HISTORIC DISTRICTS
NRD-2011-0078
1803 W. 10th Street
Clarksville National Register District**

PROPOSAL

Construct 2,154 sf, 2-story house and 506 sf detached garage on a vacant lot.

PROJECT SPECIFICATIONS

The contemporary design of the new house, as proposed, will be a 2,154 sf, 2-story, cross-gabled form with a slab on grade foundation. The house will be sided in a combination of board and batten, and horizontal siding, and will have a number of, non-symmetrical, multi-paned windows. The roofing materials on the main structure will be composite shingles.

The house will have a partial width front porch with a side entry front door. The porch roof will be standing seam metal, as will be the bracketed awnings over two of the front windows. A second story balcony porch will be located at the side of the house toward the rear.

The proposed two-car, 506 sf, detached garage will have board and batten siding and composite shingle roofing to match the house. The garage will be located at the rear of the property and will be accessible from a full-width, paneled door facing the alley.

STAFF COMMENTS

The property is an existing vacant lot located in the Clarksville National Register District.

The Clarksville National Register Historic District has no specific design guidelines for new construction. Design guidelines in other historic districts address size, scale, massing, fenestration patterns, and materials. Applicable general design review guidelines state:

- The distinguishing original qualities or character of a property and its environment shall not be destroyed. Removal or alteration of any historic material or distinctive architectural features should be avoided.
- All properties shall be recognized as products of their own time. Alterations which have no historical basis and which seek to create an earlier appearance shall be discouraged.
- Changes, which have taken place in the course of time may have acquired significance in their own right, and shall be recognized and respected.
- Distinctive stylistic features or examples of skilled craftsmanship, which characterize a property, shall be treated with sensitivity.
- Deteriorated architectural features shall be repaired rather than replaced whenever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture, and other visual qualities.

Repair or replacement of missing architectural features should be based on an accurate duplication of features, substantiated by historical, physical, or pictorial evidence.

- Surface cleaning of structure shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the historic building materials shall not be undertaken.
- Contemporary designs for alterations and additions to existing properties are appropriate when such alterations and additions do not destroy significant historic, architectural, or cultural material and are compatible with the size, scale, color, material, and character of the property, neighborhood, or environment.
- Whenever possible, new additions or alterations to structures shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the structure would not be impaired.
- The installation of protective or code-required mechanical systems shall be concealed whenever possible so as not to intrude upon or detract from the property's aesthetic and historical qualities except where concealment would result in the alteration or destruction of historically significant materials or spaces.
- Reconstruction of a part or all of a property shall be undertaken only when such work is essential to reproduce a significant missing feature in a historic district, and documentation exists to ensure an accurate reproduction of the original.

STAFF RECOMMENDATION

The project as proposed meets these design guidelines and is compatible with the size, scale, massing, fenestration patterns, and materials found in the Clarksville National Register District. Staff recommends approving the project as proposed.

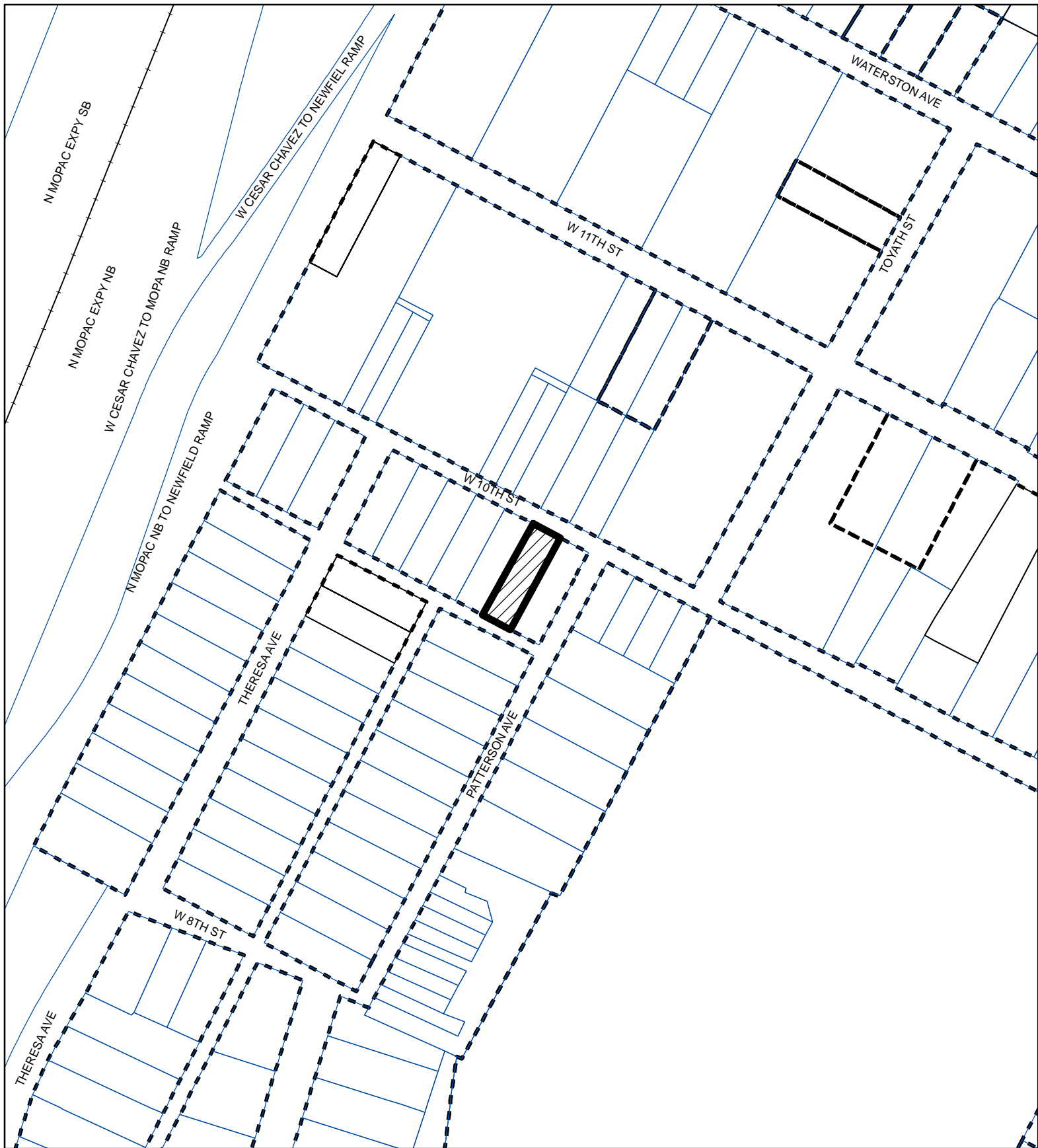
PHOTOS



1803 W. 10 Street – View of empty lot from street



1803 W. 10 Street – View of empty lot from alley



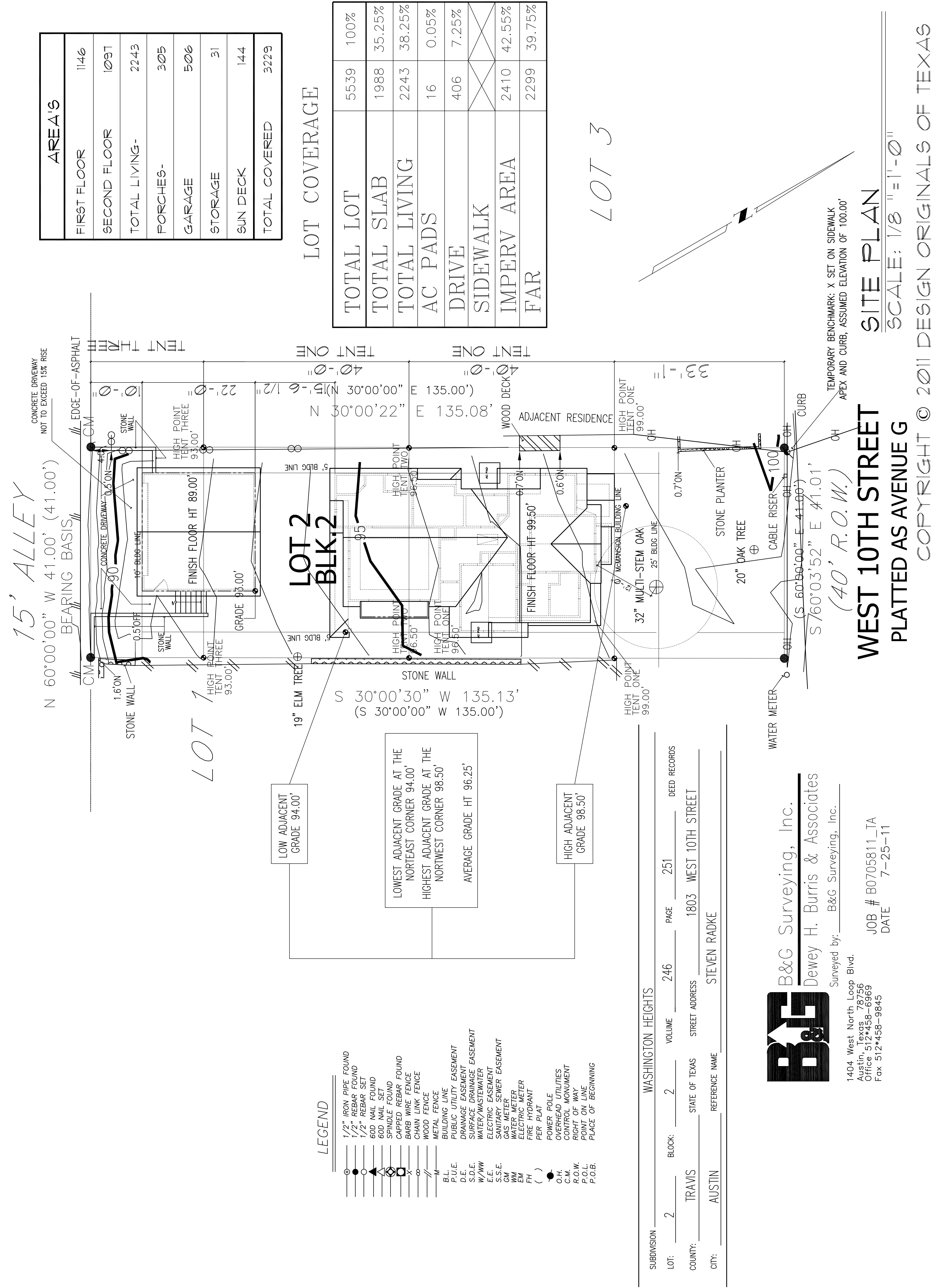
NATIONAL REGISTER DISTRICT

CASE#: NRD-2011-0078
 LOCATION: 1803 W 10TH STREET
 GRID: H23
 MANAGER: STEVE SADOWSKY



This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

This product has been produced by the Planning and Development Review Department for the sole purpose of geographic reference. No warranty is made by the City of Austin regarding specific accuracy or completeness.



Design Originals is a Professional Building Design Firm. We Are Not Qualified To Nor Licensed To Design Structural Framing Or Foundation. A Licensed Professional Engineer Or Architect Should Be Present On And Foundation. Should An Engineer's Seal Be Present, On These Drawings, It Is Not To Be Taken As An Indication That The Engineer Is Responsible For The Structural Design. Design Originals, Inc. Will Not Be Held Responsible For The Structural Design In Any Way Or Any Problems Which May Arise.

VINSON - RADKE INVESTMENTS LLC.

RVAN VINSON
115 WILD BASIN RD. STE. 115
AUSTIN, TX 78748
OFFICE (512) 328-1110

DESIGN ORIGINALS of Texas

home design center

10713 RRN 620, STE. 515
AUSTIN, TX 78726
OFFICE (512) 331-1775

25132 OKKHURST DR., STE. 180
SPRING, TX 77381
OFFICE (281) 419-1184

1803 WEST 10th STREET

JOB # A9483

DATE: 08-16-11

REVISION: 09-06-11

DRAWN BY: JCD

INSTITUTE OF TEXAS ARCHITECTS

JOHN C. DAVIS, SR. #491

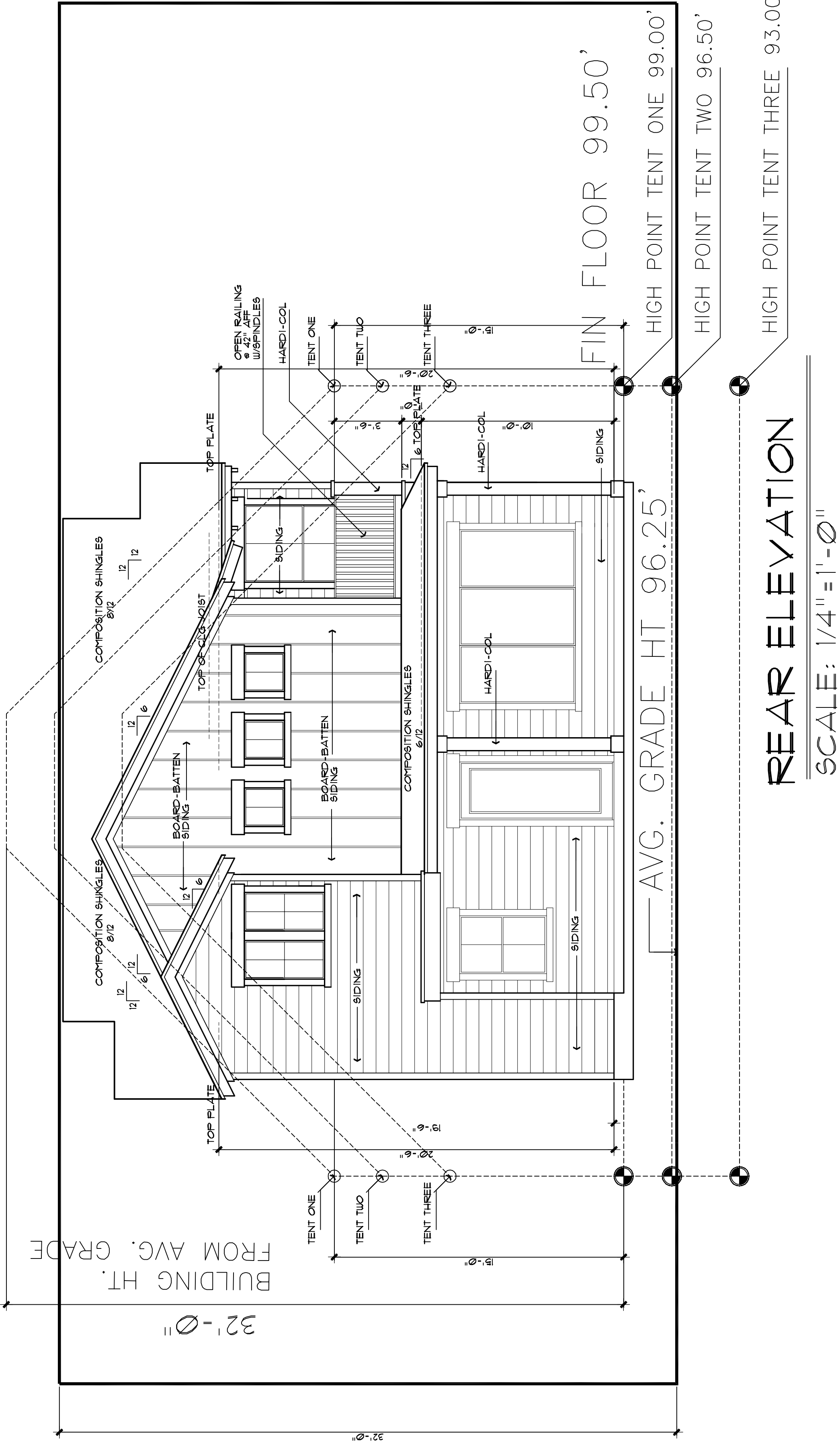
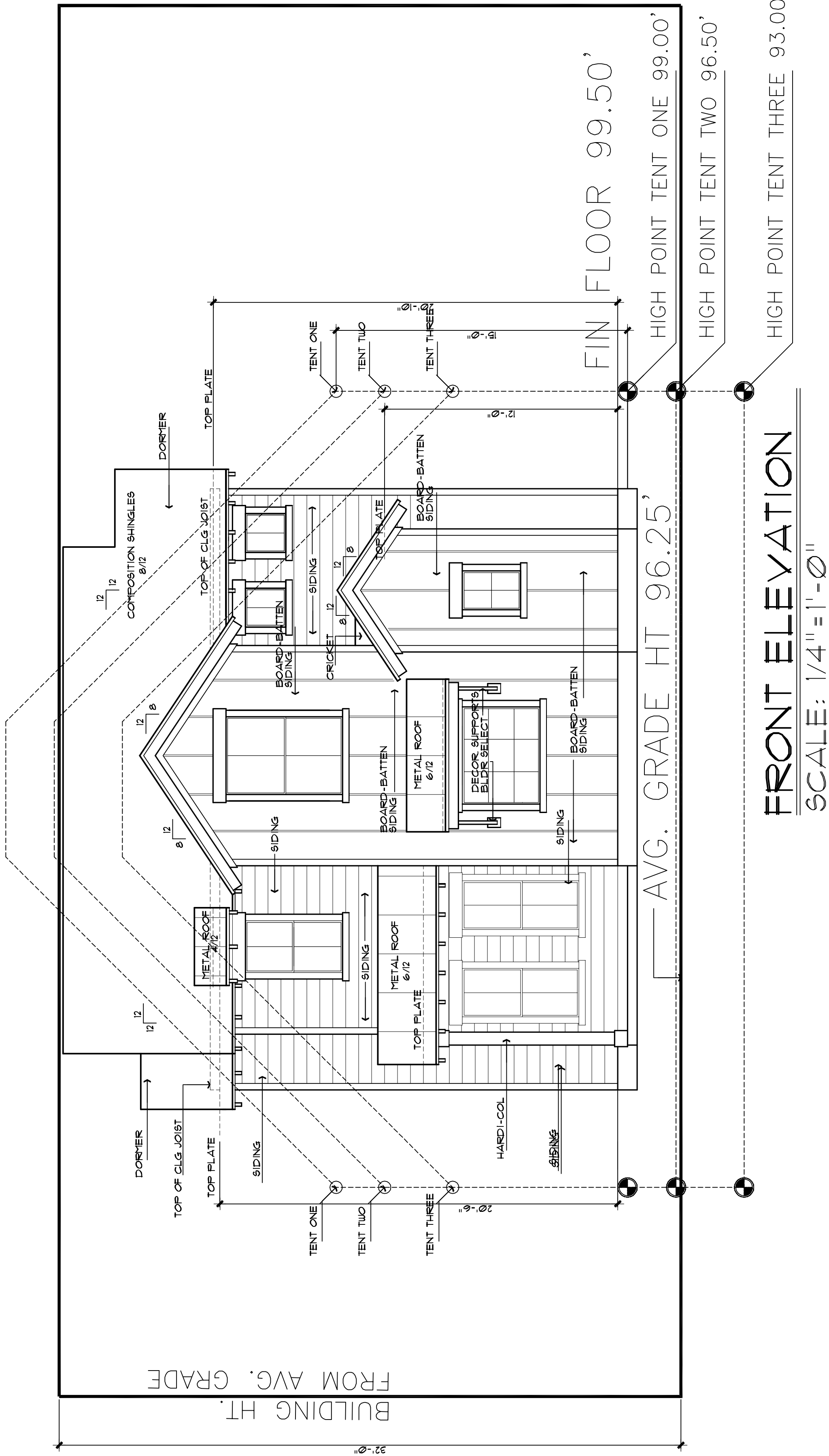
DATE: _____

2 OF 10

FRONT AND REAR ELEVATIONS

SCALE: 1/4" = 1'-0"

COPYRIGHT © 2011 DESIGN ORIGINALS OF TEXAS



Design Originals is a Professional Building Design Firm. We Are Not Obligated To Nor Licensed To Design. All Plans are the Property of Design Originals, Inc. and are to be used only for the project and location specified. No part of these plans may be reproduced or transmitted in any form or by any means electronic, mechanical, photocopying, recording, or by any information storage and retrieval system without the prior written permission of Design Originals, Inc. The Engineer should be consulted regarding the framing and foundation. Should an Engineer's seal be present, on these plans, it is the responsibility of the Engineer to provide the structural design. Design Originals, Inc. will not be held responsible for the structural design. Design Originals, Inc. is not responsible for any problems arising from these plans.

GENERAL NOTES:

- Design Originals assumes no responsibility for changes or modifications made to these plans by others.
- These plans and specifications are intended to meet all applicable codes and ordinances. Contractor to comply with all local codes, ordinances and dead restrictions.
- Any discrepancies in plans to be brought to the attention of the designer prior to beginning construction. Design Originals assumes responsibility for errors that are not reported.
- Contractor shall insure compatibility of the building with all site requirements.
- Contractor to consult with a structural engineer for design of all solid framing, columns, beams, and other structural members.
- All wood, concrete and steel structural members shall be of a good quality and meet all applicable national, state and local building codes.
- All angles shown on plans are 45° unless noted otherwise.
- All dimensions should be read or calculated and never scaled.
- All window sizes are nominal rough opening, verify sizes with manufacturers details & specs.
- All windows will be dimensioned to center of rough openings unless otherwise noted.
- Weather strip attic access door(s).
- Contractor to provide a 3/4" plywood catwalk from attic access to HVAC units (if applicable). Units to be located within 20'-0" of access.
- All vents to rear of residence.
- Provide 1 sq. ft. net free area of attic ventilation per 150 sq. ft. of total covered roof area as per code.
- Floor truss area to be draft stopped where trusses open to attic space.
- Divide floor truss area into equal areas of less than 1000 sq. ft. each for fire stops.
- Provide control and expansion joints as required on concrete drives, walks, patios and masonry walls.
- Full down attic access to be standard 30"x54" R.O. all ceilings 11'-1 1/8" or higher require 30"x60" R.O.
- Provide studs at all 4 corners of tub.
- Provide 5/8" type "X" gypsum board on common walls and ceilings.
- Do not use wood build-outs behind stucco, around windows and doors.
- Attach tops, sides and bottoms of windows and doors to framing with 2x4's.
- Apply 2 ply 30# building paper shingle style over all exterior sheathing prior to installing metal roof.
- Stucco veneer must comply with 2006 IRC and the ASTM requirements.
- Provide weep screen properly installed.
- Provide expansion connection (s) joints to divide expansion joints. Max 100' total sq. ft. area. Provide casing bead where stucco terminates around perimeter of windows, doors or dissimilar materials. Stop casing bead at least 3/8" to 1/2" away from window and door frames.

VINSON - RADKE INVESTMENTS LLC.

RYAN VINSON
115 ALBU TX 76128
OFFICE (512) 328-1110

DESIGN ORIGINALS of Texas

home design center

26132 OKMURST PR., STE. 180
RIVERSIDE TX 77804
OFFICE (281) 419-2187

1803 WEST 10TH STREET

JOB # A9483

DATE: 08-16-11

REVISION: 09-06-11

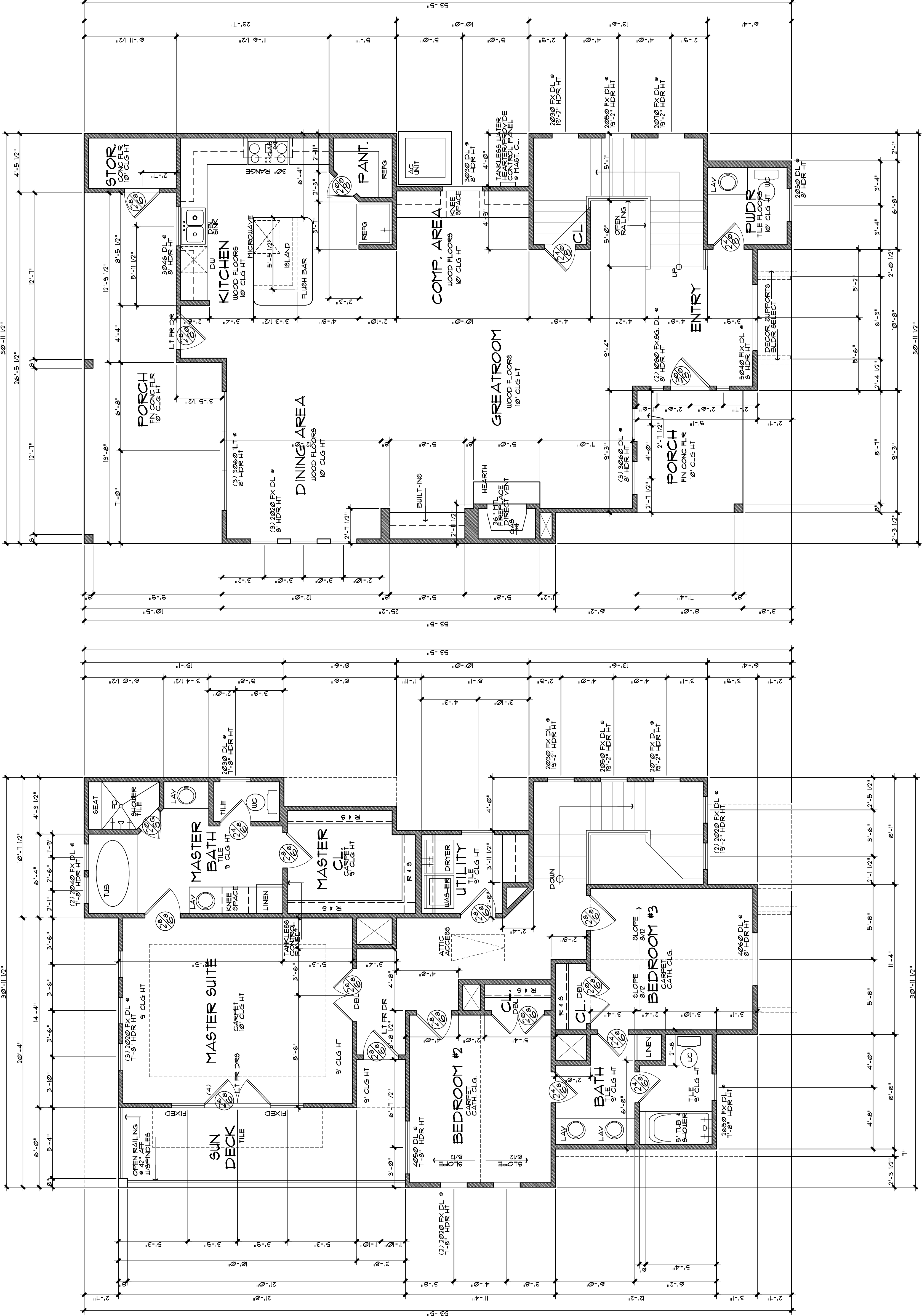
DRAWN BY: JOD

TEXAS INSTITUTE OF BUILDING

JOHN C. DANIE, SR. #491

DATE:

3 OF 10



FIRST FLOOR

SCALE: 1/4" = 1'-0"

SECOND FLOOR

SCALE: 1/4" = 1'-0"

Design Originals is a Professional Building Design Firm. We Are Not Qualified To Nor Licensed To Design Structural Framing Or Foundation. A Licensed Professional Engineer Or Architect Should Be Present On All Foundation, Structural Framing, And Foundation. Design Originals is not responsible for the structural design of the building. The structural design of the building will not be held responsible for the structural design in any way or any problems which may arise.

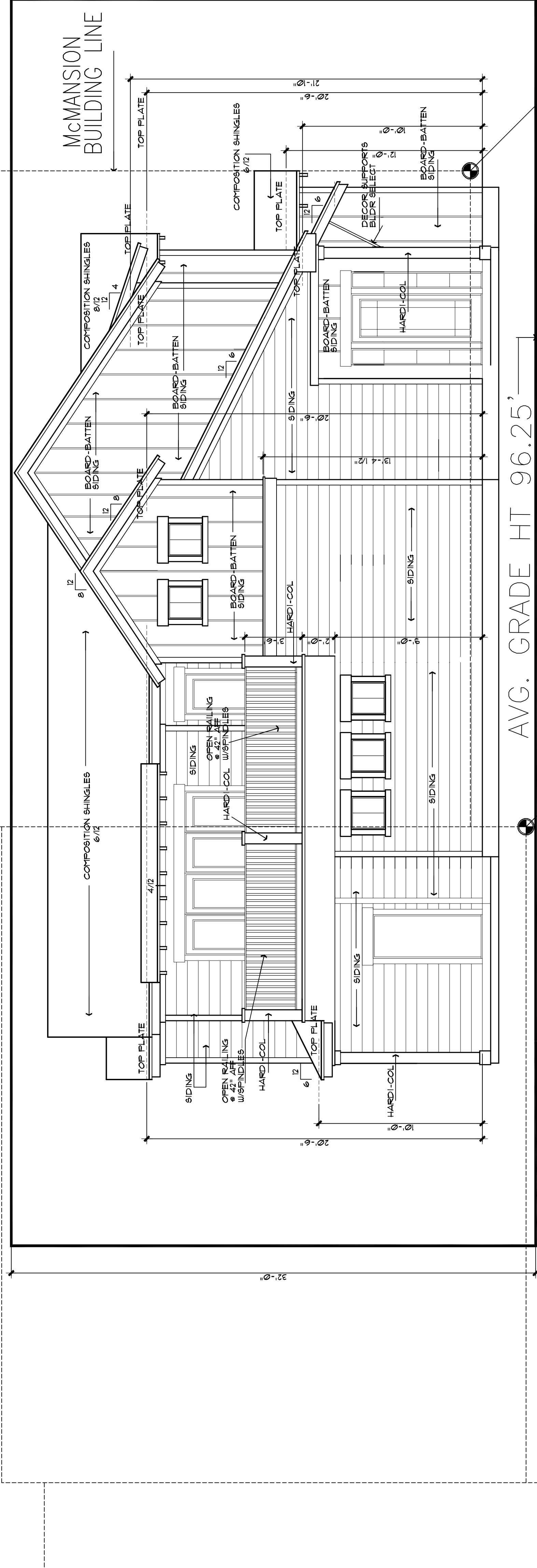
VINSON - RADKE
INVESTMENTS LLC.
RVAN NVINSON
115 WILD BASIN RD. STE. 115
AUSTIN, TX 78748
OFFICE (512) 328-1110

DESIGN ORIGINALS of Texas
home design center
25132 OKAKHURST DR., STE. 180
SPRING, TX 77388
OFFICE (281) 419-1184
10113 RRN 620, STE. 515
AUSTIN, TX 78726
OFFICE (512) 331-1775

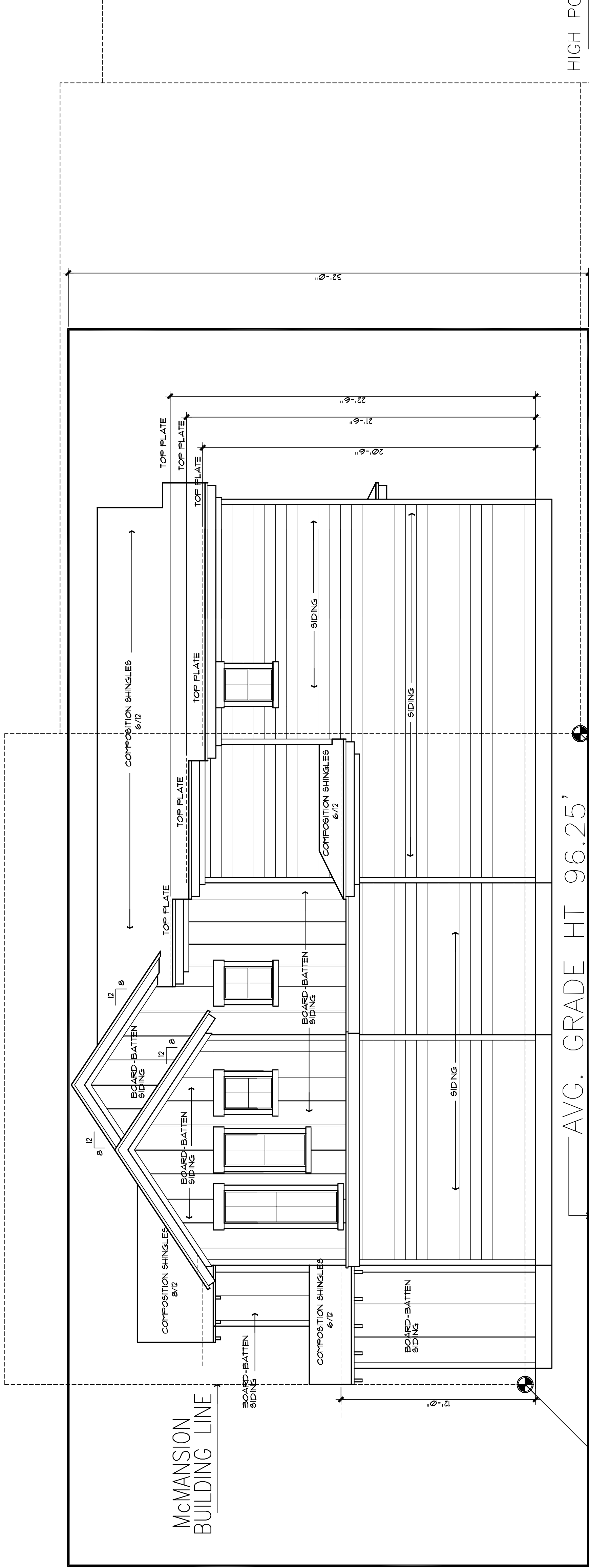
1803
WEST 10th
STREET

JOB # A9483
DATE: 08-16-11
REVISION: 09-06-11
DRAWN BY: JCD

JOHN C. DAVIS, SR. #491
DATE: _____
4 OF 10

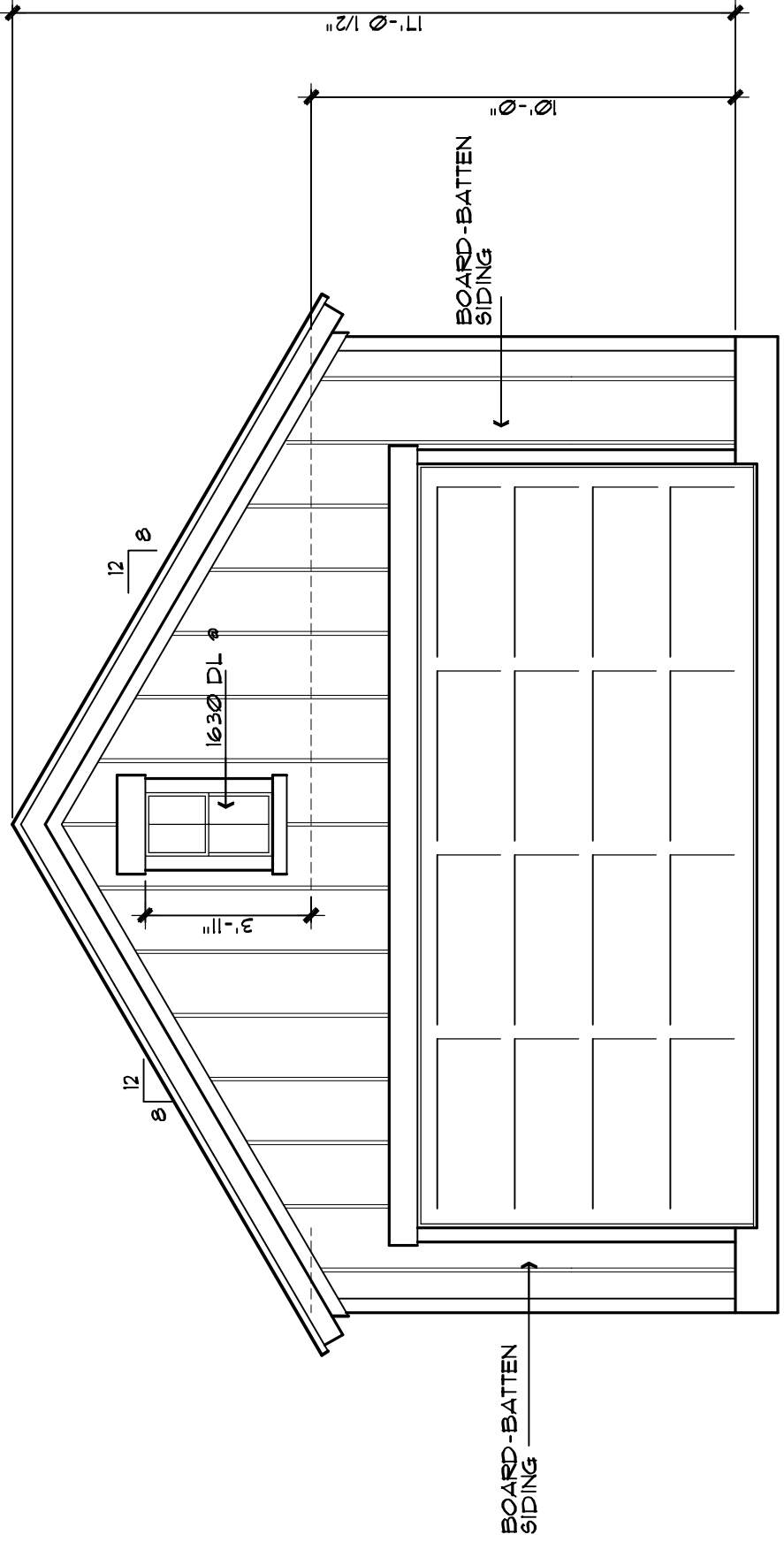


LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



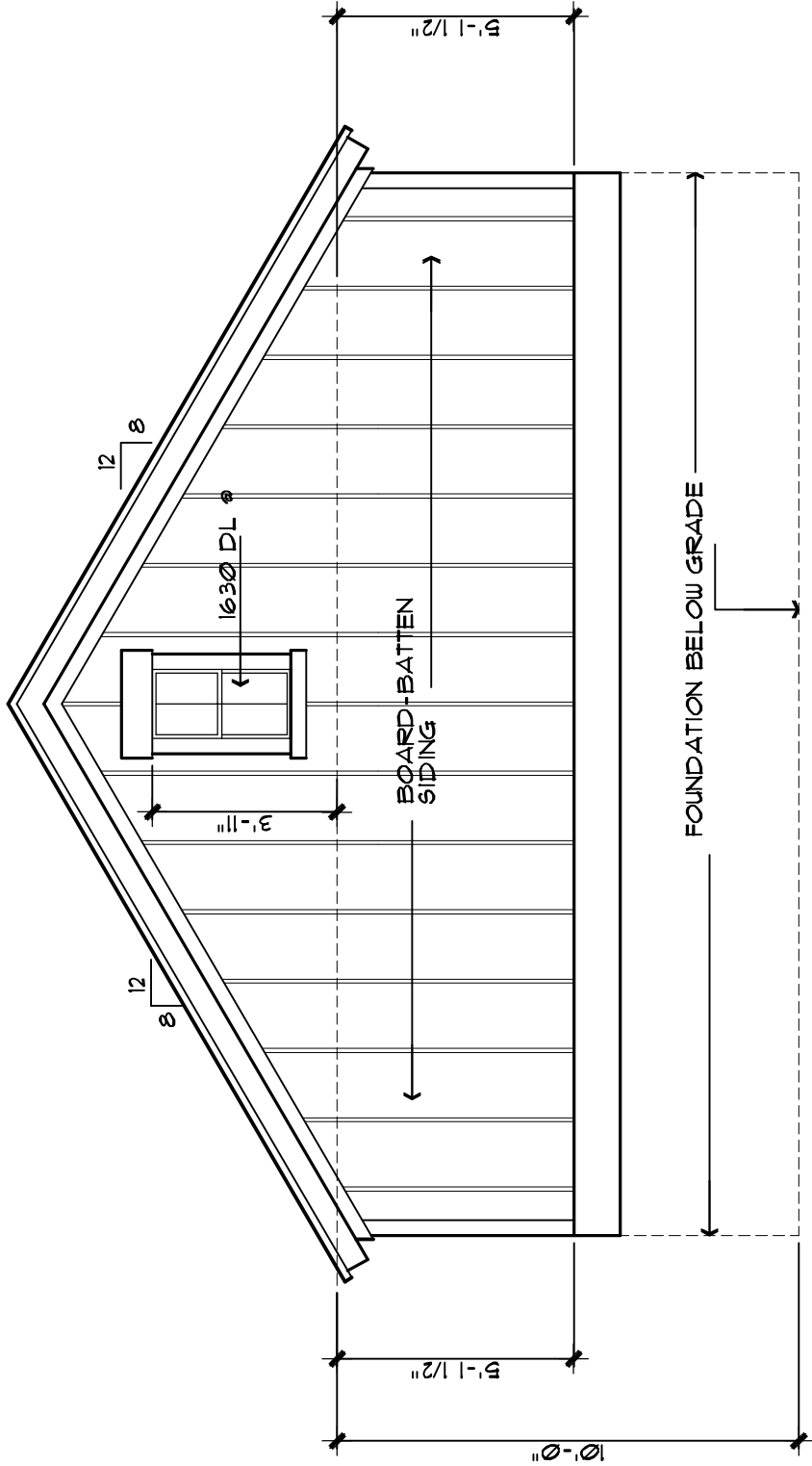
RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

SIDE ELEVATIONS
SCALE: 1/4" = 1'-0"
COPYRIGHT © 2011 DESIGN ORIGINALS OF TEXAS



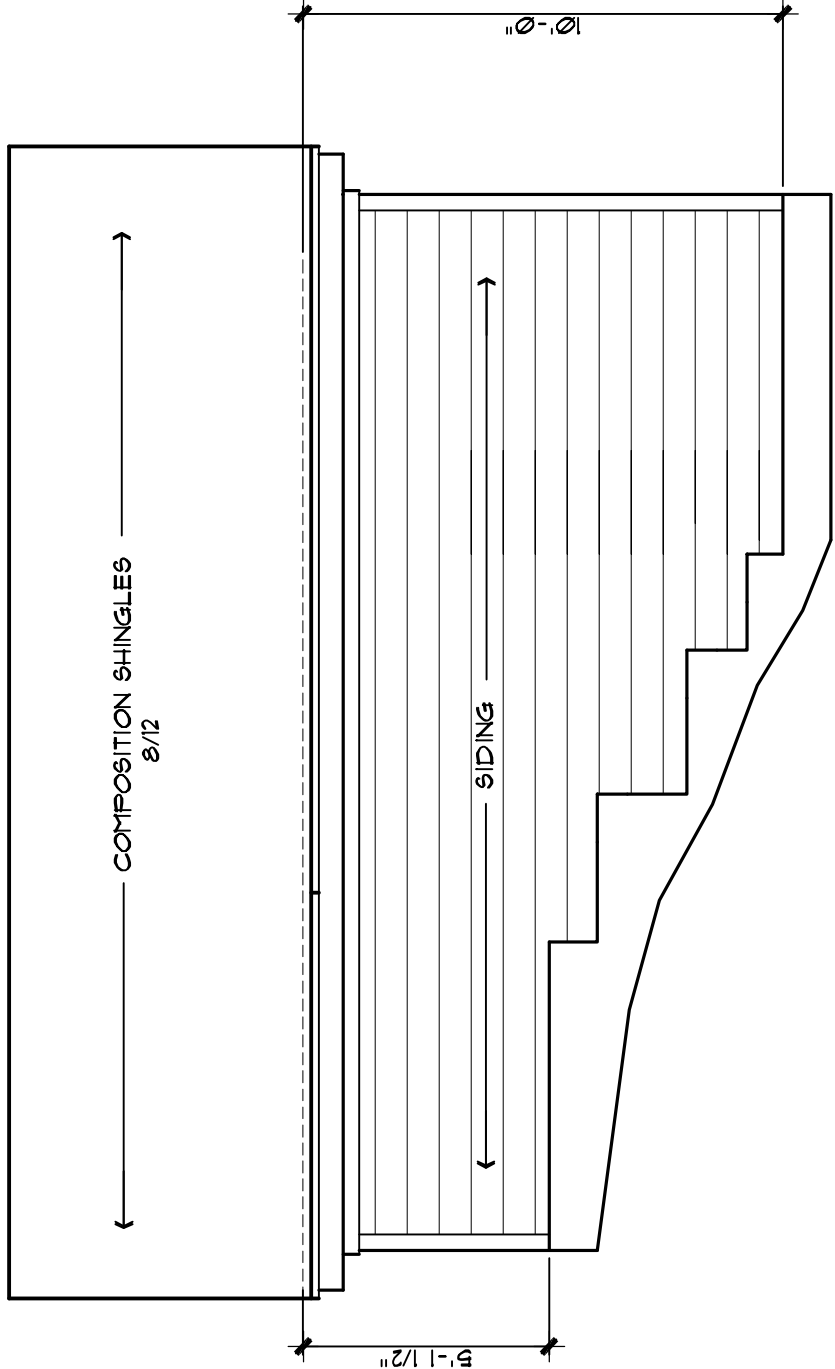
FRONT GARAGE ELEVATION

SCALE: 1/4" = 1'-0"



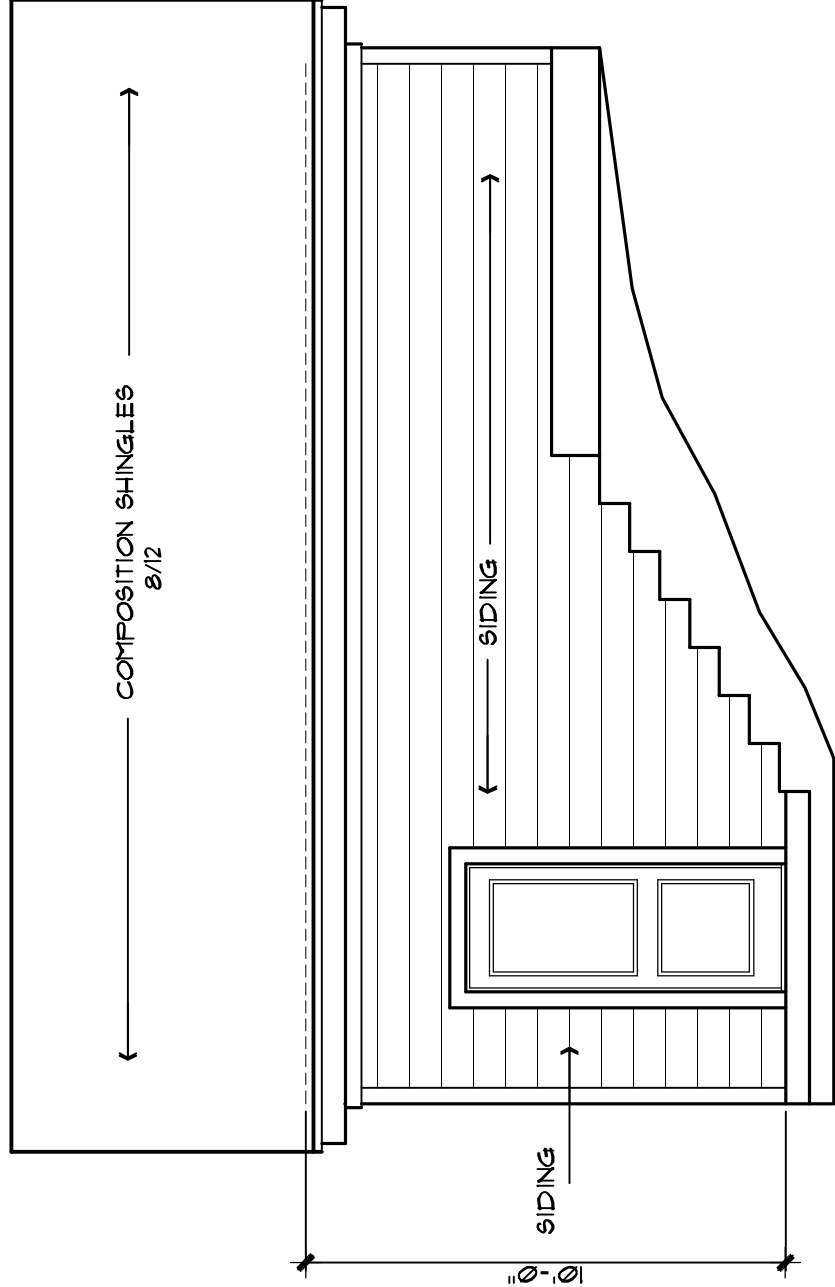
REAR GARAGE ELEVATION

SCALE: 1/4" = 1'-0"



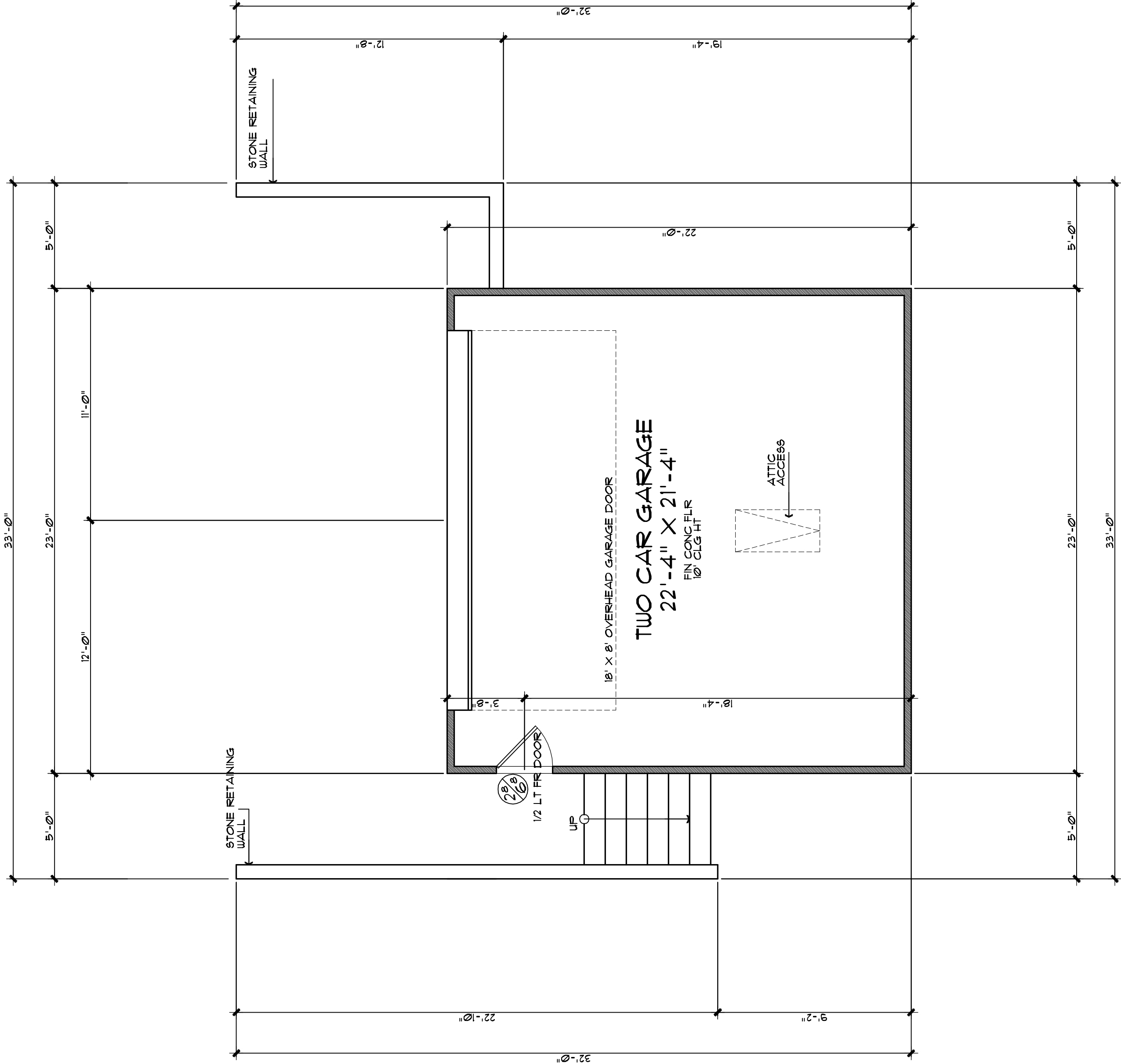
LEFT SIDE GARAGE ELEVATION

SCALE: 1/4" = 1'-0"



RIGHT SIDE GARAGE ELEVATION

SCALE: 1/4" = 1'-0"



GARAGE PLAN

SCALE: 1/4" = 1'-0"

VINSON - RADKE
INVESTMENTS LLC.

RYAN VINSON
115 WILD BASIN RD, STE. 115
AUSTIN, TX 78748
OFFICE (512) 328-1110

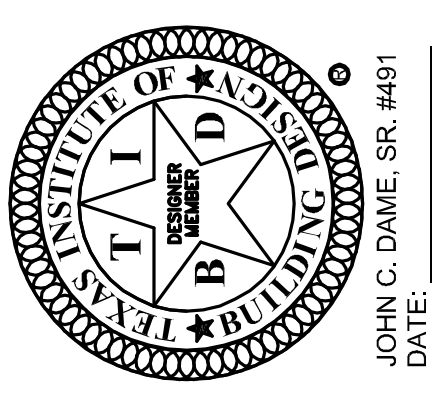
DESIGN ORIGINALS of Texas
home design center

25132 OKMURST DR., STE. 180
SPRING, TX 77381
OFFICE (281) 419-1184

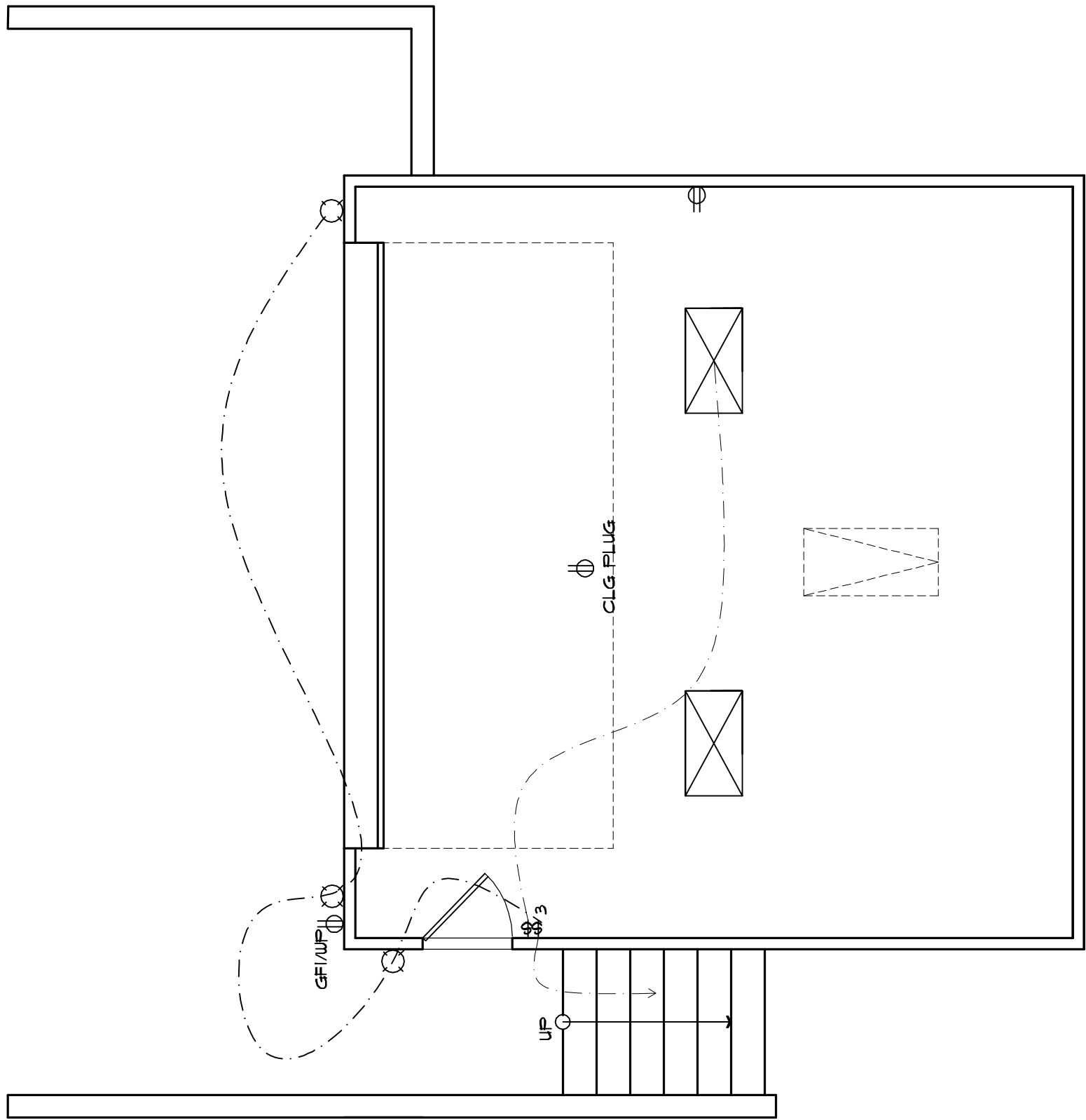
10713 RRN 620, STE. 515
AUSTIN, TX 78726
OFFICE (512) 331-1775

1803
WEST 10th
STREET

JOB # A9483
DATE: 08-16-11
REVISION: 09-06-11
DRAWN BY: JCD



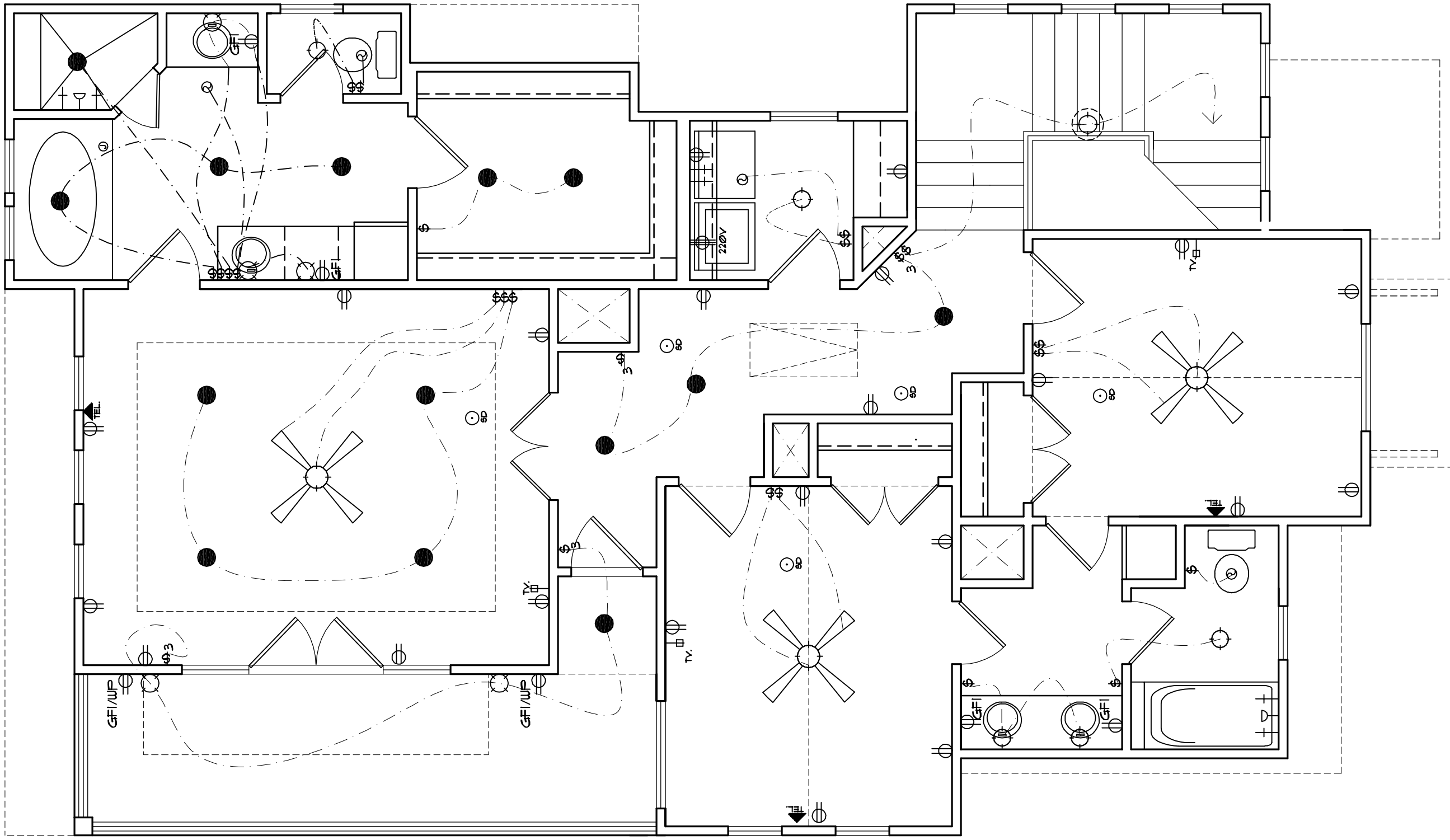
Design Originals is a Professional Building Design Firm. We are Not Qualified To Nor Licensed To Design Structural Framing Or Foundation. A Licensed Professional Engineer Should Be Present On All Foundations. All Foundations Should Be Designed And Constructed In Accordance With The Texas Building Code. The Structural Design Originals, Inc. Will Not Be Held Responsible For The Structural Design In Any Way Or Any Problems Which May Arise.



GARAGE ELECTRICAL

SCALE: 1/4" = 1'-0"

ELECTRICAL SYMBOL LEGEND	
SMOKE DETECTOR	RECESSED LIGHT
SINGLE POLE SWITCH	RECESSED EYEBALL LIGHT
3 WAY SWITCH	VENT
4 WAY SWITCH	UNDER COUNTER LIGHT
DIMMER SWITCH	FLOOR BOX FIXTURE
ELECTRICAL JUNCTION BOX	4" FLOOR STRIP
WALL OUTLET	DOUBLE FLOOD LIGHTS
4 FLEX WALL OUTLET	WALL MTD. PHONE OUTLET
FLOOR PLUG	WALL MTD. CABLE TV OUTLET
WATER PROOF OUTLET	STEREO SPEAKER JACK
220V OUTLET	INTERCOM SYSTEM
SPEAKER	COMPUTER DATA TERMINAL
HALOGEN LIGHT	DOOR BELL
SURFACE MOUNT LIGHT	DOOR CHIME
HANGING LIGHT	HEAT DETECTOR
WALL MOUNT LIGHT	
CARBON MONOXIDE DETECTOR	



SECOND FLOOR ELECTRICAL

SCALE: 1/4" = 1'-0"

ELECTRICAL NOTES:

Provide smoke detectors per code.

Provide for security system as spec.

Outlets within 6'-0" of sink or lavatory to be on G. F. I. circuit.

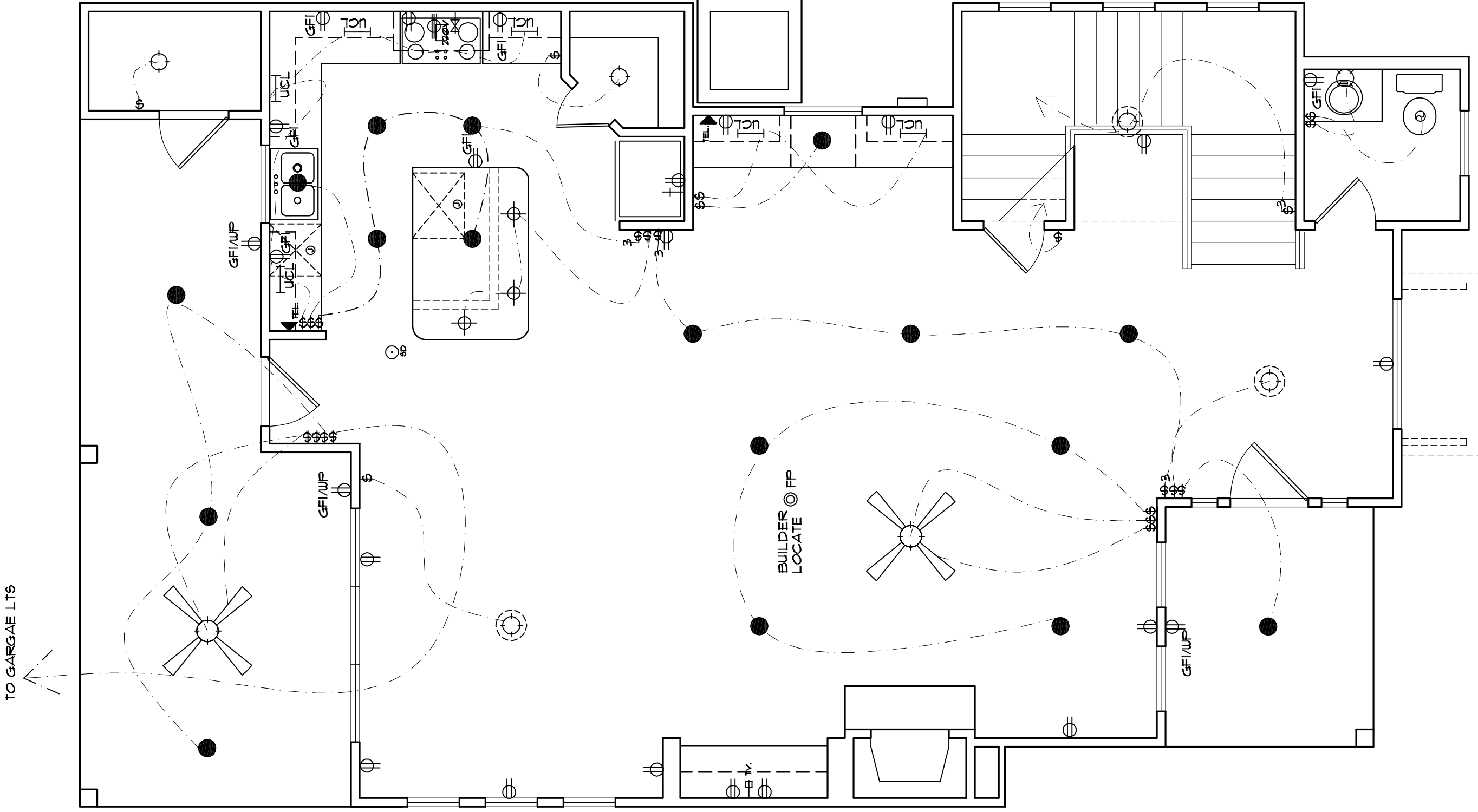
Center light over pedestal lav, where shown.

Block for ceiling fan in all bedrooms, living, family and breakfast rooms.

Supply 220v and 110v or gas and 110v to HVAC unit(s) in attic (ref. specs.)

Provide light near HVAC unit(s) in attic

Any discrepancies in plans are to be brought to the attention of the designer immediately.



FIRST FLOOR ELECTRICAL

SCALE: 1/4" = 1'-0"

Design Originals is a Professional Building Design Firm. We are Not Qualified to Nor Licensed To Design Structural Framing Or Foundations. A Licensed Professional Engineer or Architect Must Be Present On Site To Verify The Accuracy Of The Design. These Drawings Are Not To Be Used For Construction Without The Approval Of The Designer. Design Originals, Inc. Will Not Be Held Responsible For The Structural Design In Any Way Or Any Problems Which May Arise.

ELECTRICAL PLANS

SCALE: 1/4" = 1'-0"

COPYRIGHT © 2011 DESIGN ORIGINALS OF TEXAS

VINSON - RADKE INVESTMENTS LLC.

RYAN VINSON
115 WILD BASS RD. STE. 115
AUSTIN, TX 78746
OFFICE (512) 328-1110

DESIGN ORIGINALS of Texas

home design center

26132 OAKHURST DR., STE. 180
SPRING, TX 77388
OFFICE (281) 419-7184

10713 RR N 620, STE. 515
AUSTIN, TX 78728
OFFICE (512) 391-1775

1803 WEST 10th STREET

JOB # A9483

DATE: 08-16-11

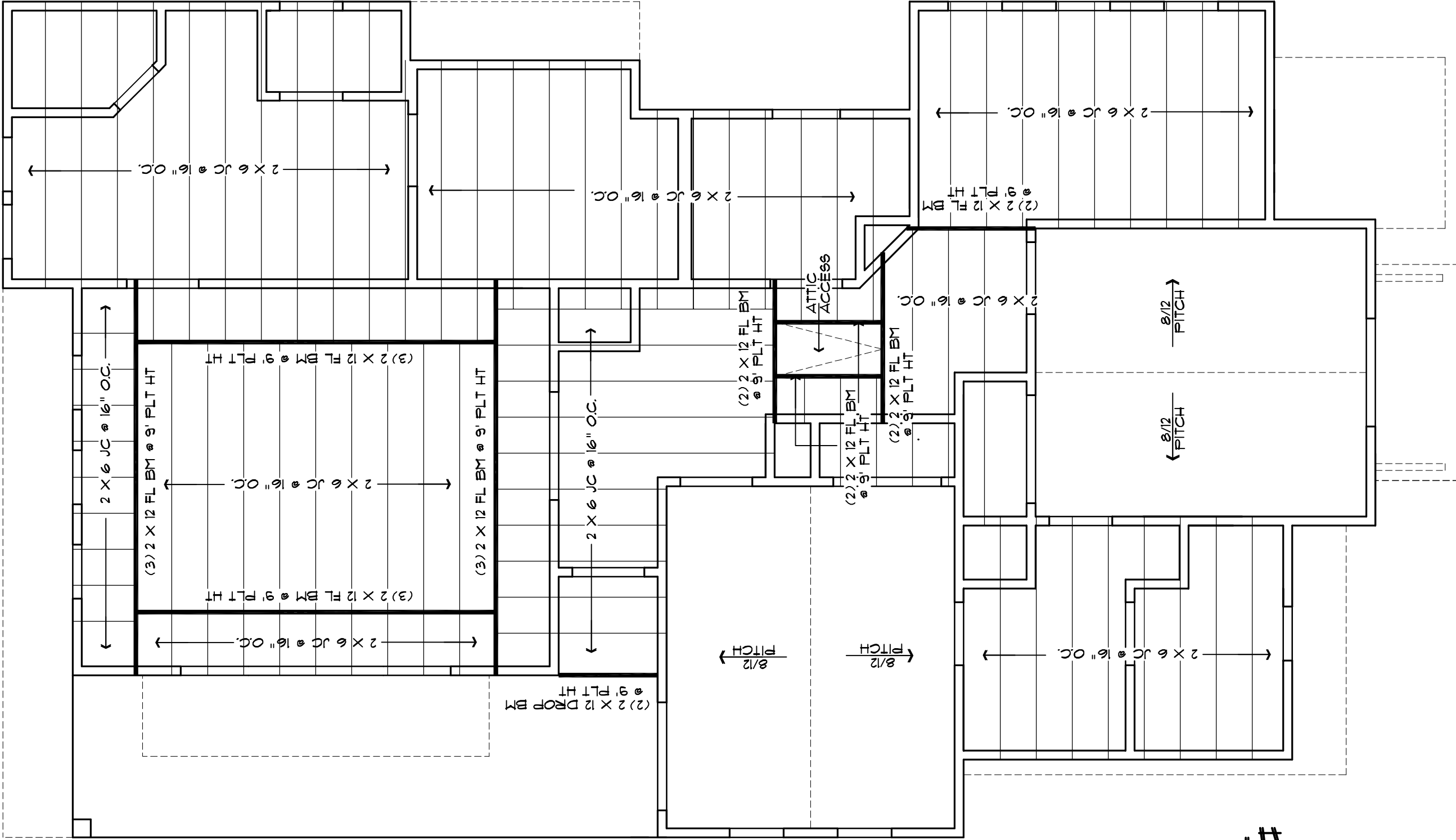
REVISION: 09-06-11

DRAWN BY: JCD

INSTITUTE OF TEXAS BUILDING PROFESSIONALS

JOHN C. DANIE, SR. #491

DATE: 6 OF 10



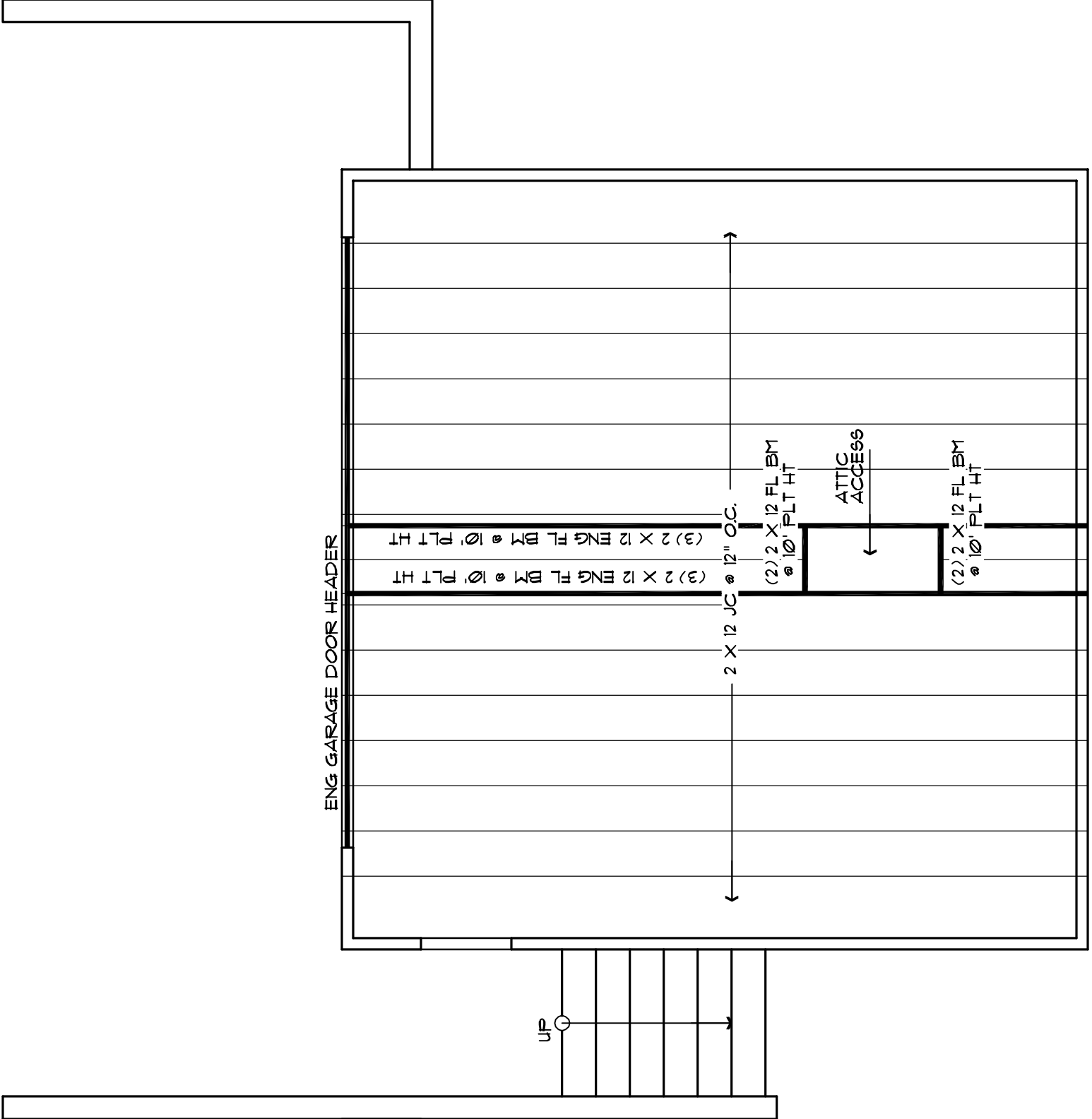
FIRST FLOOR FRAMING

SCALE: 1/4" = 1'-0"

Design Originals is a Professional Building Design Firm. We are Not Qualified to Nor Licensed to Design Structural Framing or Foundations. A Licensed Professional Engineer or Architect must be consulted for all structural and foundation work. These Drawings, The Engineer or Architect Shall Bear The Responsibility For. Design Originals, Inc. Will Not Be Held Responsible for the Structural Design in Any Way/Or Any Problems Which May Arise.

SCALE: 1/4" = 1'-0"

COPYRIGHT © 2011 DESIGN ORIGINALS OF TEXAS

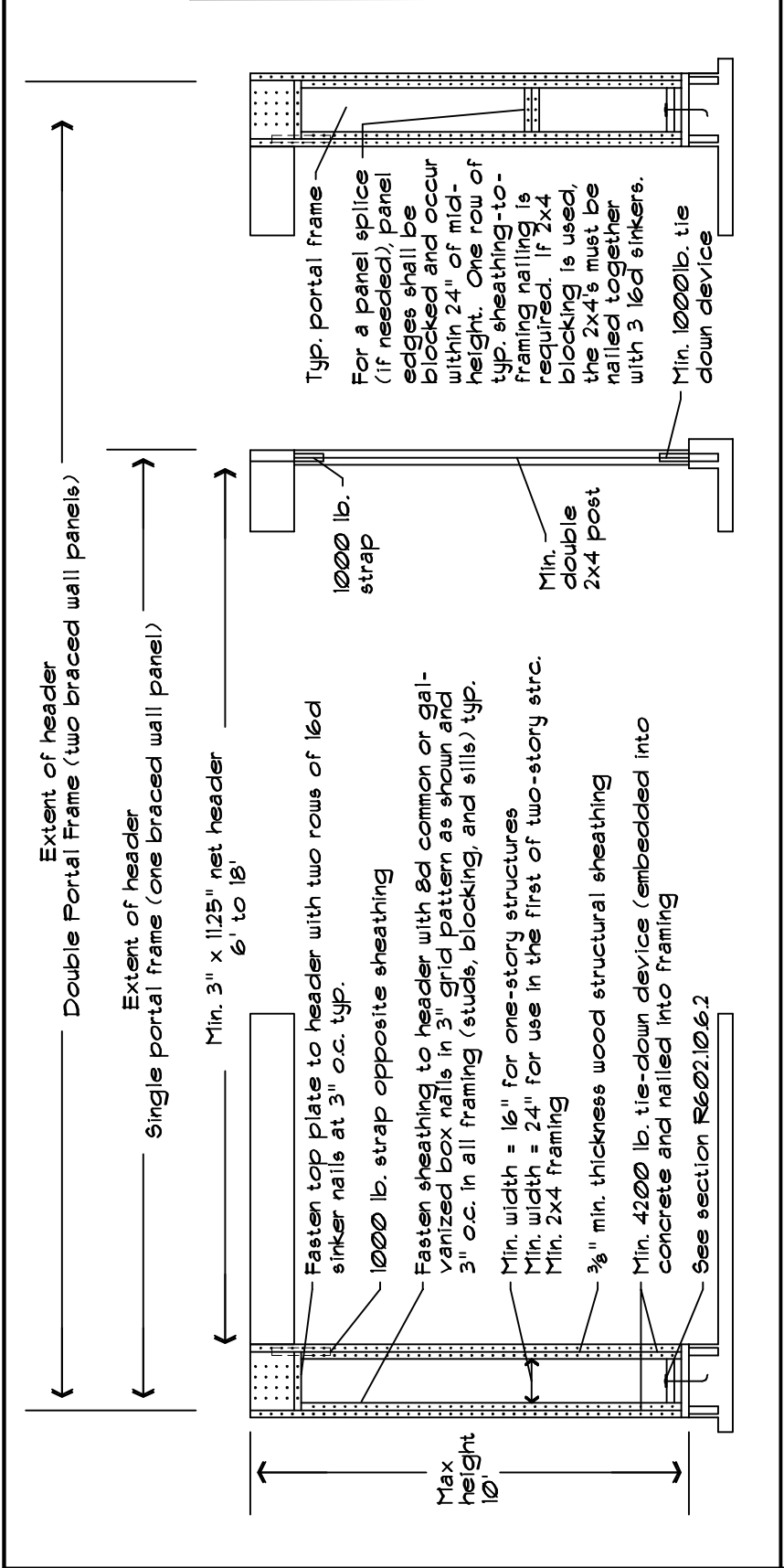


GARAGE FRAMING

SCALE: 1/4" = 1'-0"

SECOND FLOOR FRAMING

SCALE: 1/4" = 1'-0"



CEILING JOIST SPAN CHARTS & NOTES (w/ ATTIC STORAGE)

(ALL ATTIC SPACE 30" CLR AND ABOVE TO BE CONSIDERED ATTIC STORAGE)

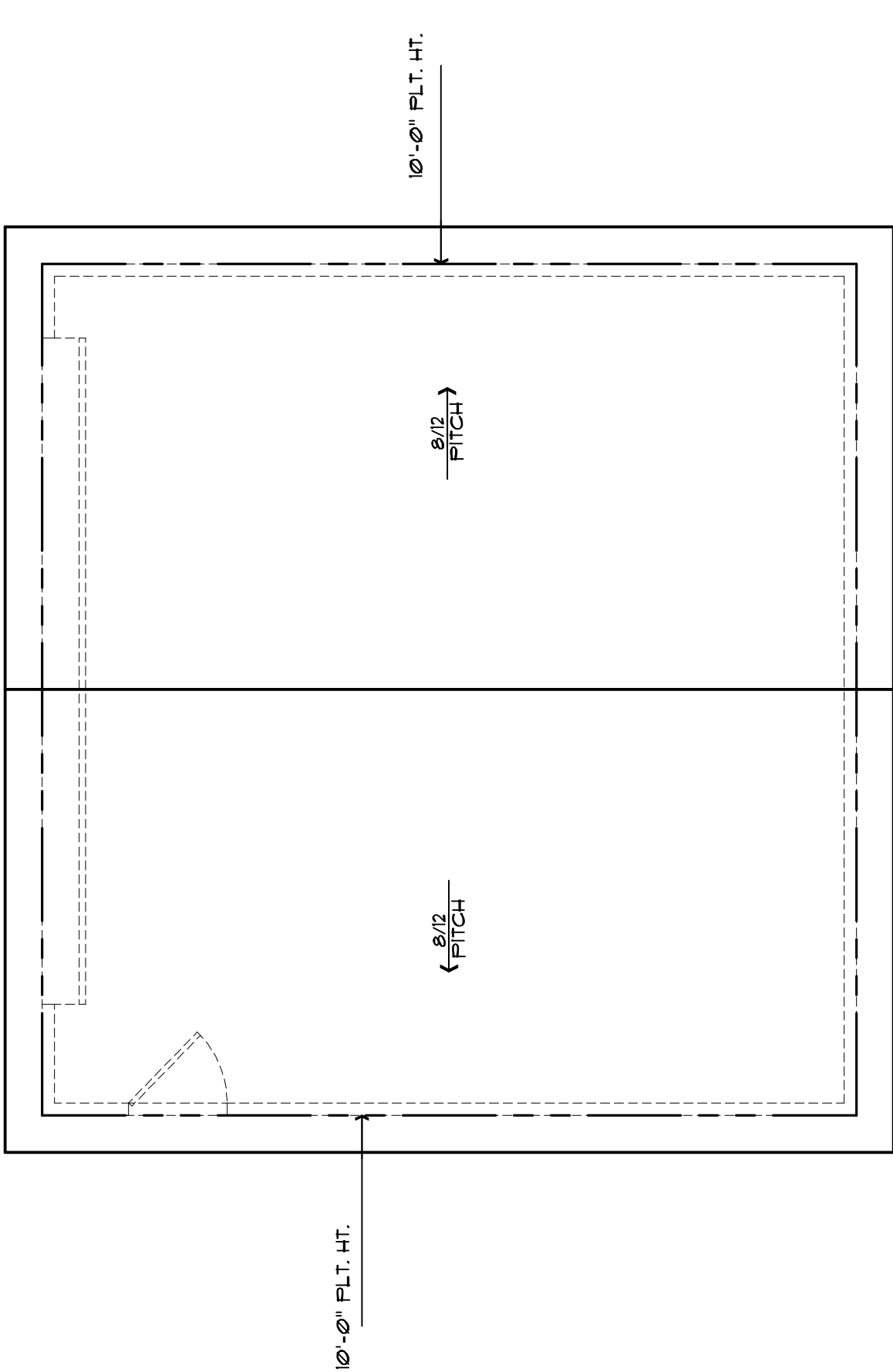
Maximum Clear Span for Ceiling Joists with Attic Storage			
Size	24" o.c.	16" o.c.	12" o.c.
2 x 6	10'-8"	12'-3"	13'-6"
2 x 8	14'-1"	16'-2"	17'-3"
2 x 10	17'-10"	20'-4"	21'-4"

Based on SYP#2, 18% Moisture Content, F_b 1200psi, E 1,900,000 psi. Maximum deflection requirements: TL < 240, LL < 1260, CL < 144.

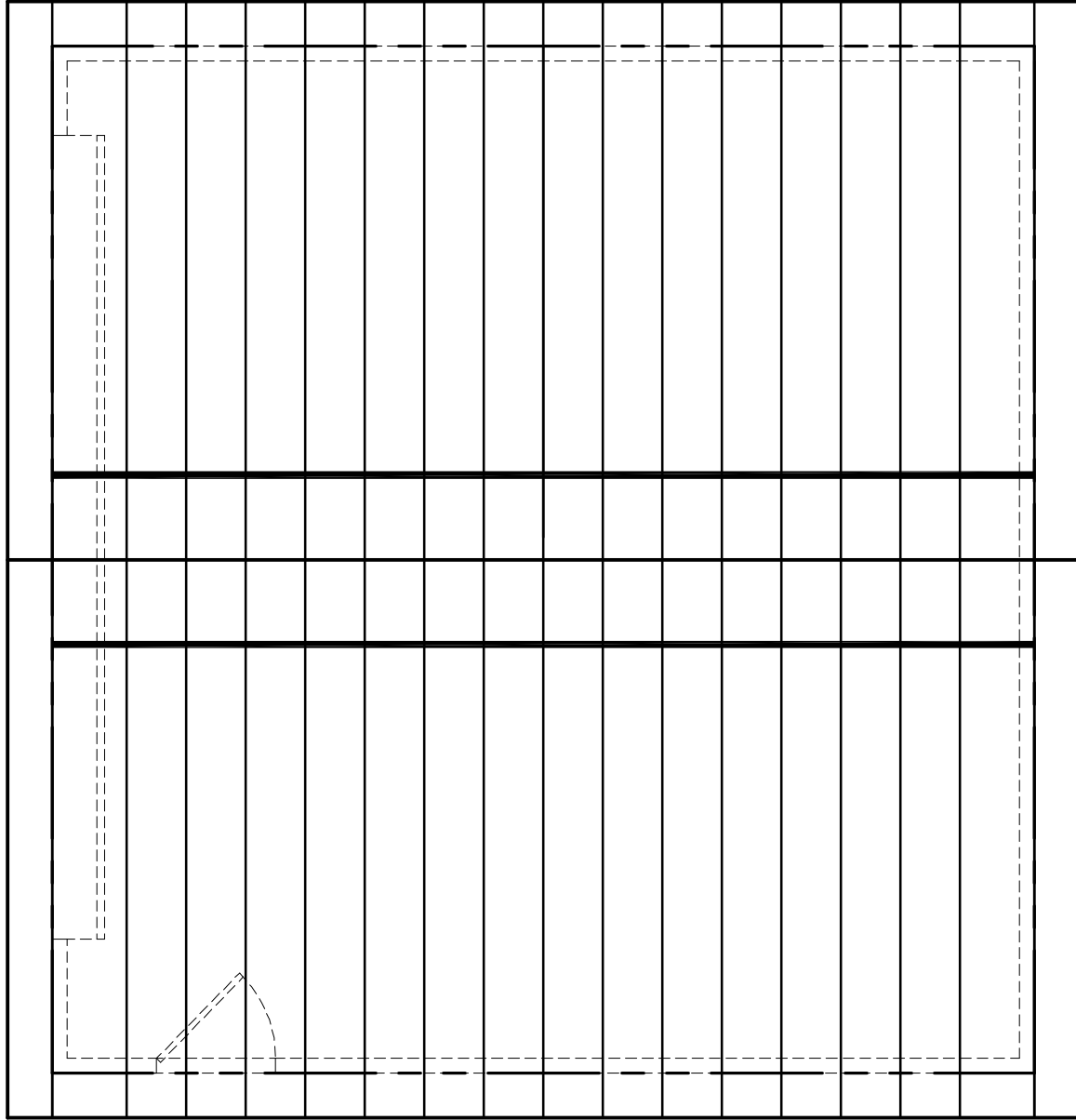
Design loads: 20psf Live Load, 8psf Dead Load

Notes:

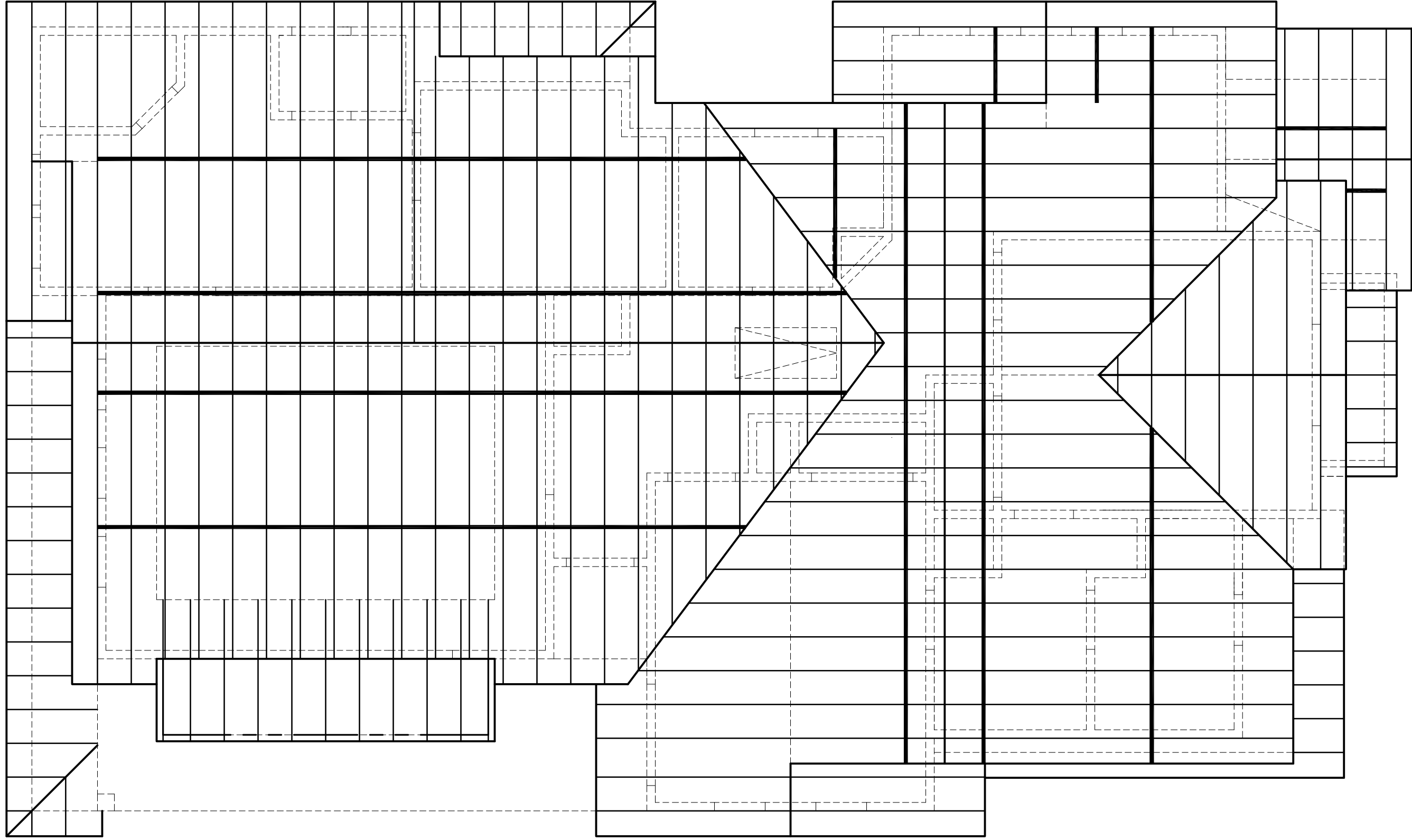
- Unless Noted Otherwise: All Joist to be SYP #2
- Unless Noted Otherwise: All Beams to be SYP #2
- Unless Noted Otherwise: Framing under HVAC ducts to be 24" o.c. w/ 3/4" plywood decking as required.
- Builder to verify sizing and spacing of Joist and Beams prior to construction.



GARAGE ROOF PLAN
SCALE: 1/4" = 1'-0"



GARAGE RAFTER PLAN
SCALE: 1/4" = 1'-0"



RAFTER PLAN
SCALE: 1/4" = 1'-0"

ROOF SELECTIONS

TILE ROOFING:
RAFTERS TO BE A MIN. 2x8

COMPOSITION ROOFING:
RAFTERS TO BE A MIN. 2x6

METAL ROOFING:
RAFTERS TO BE A MIN. 2x6

PURLINS

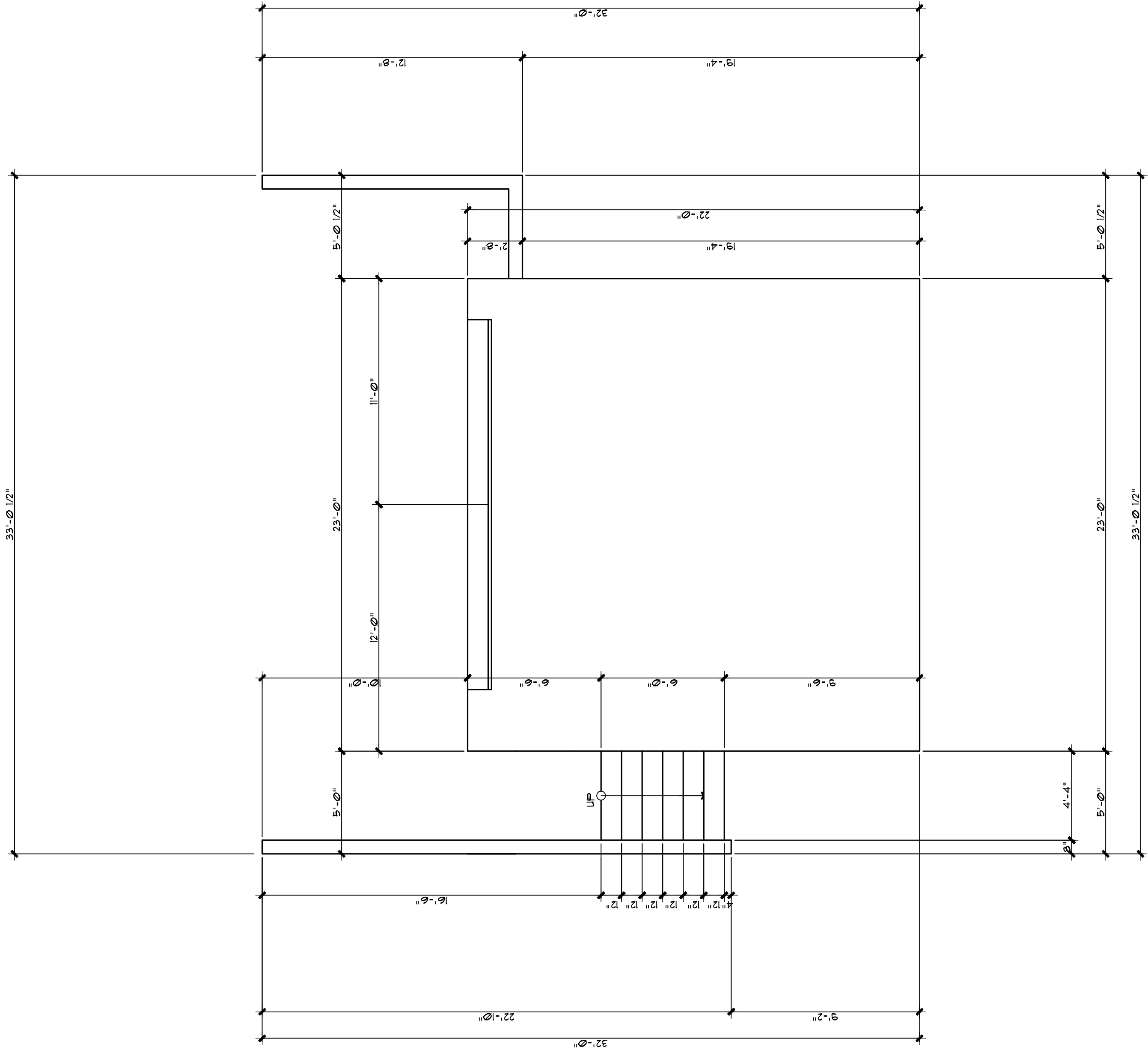
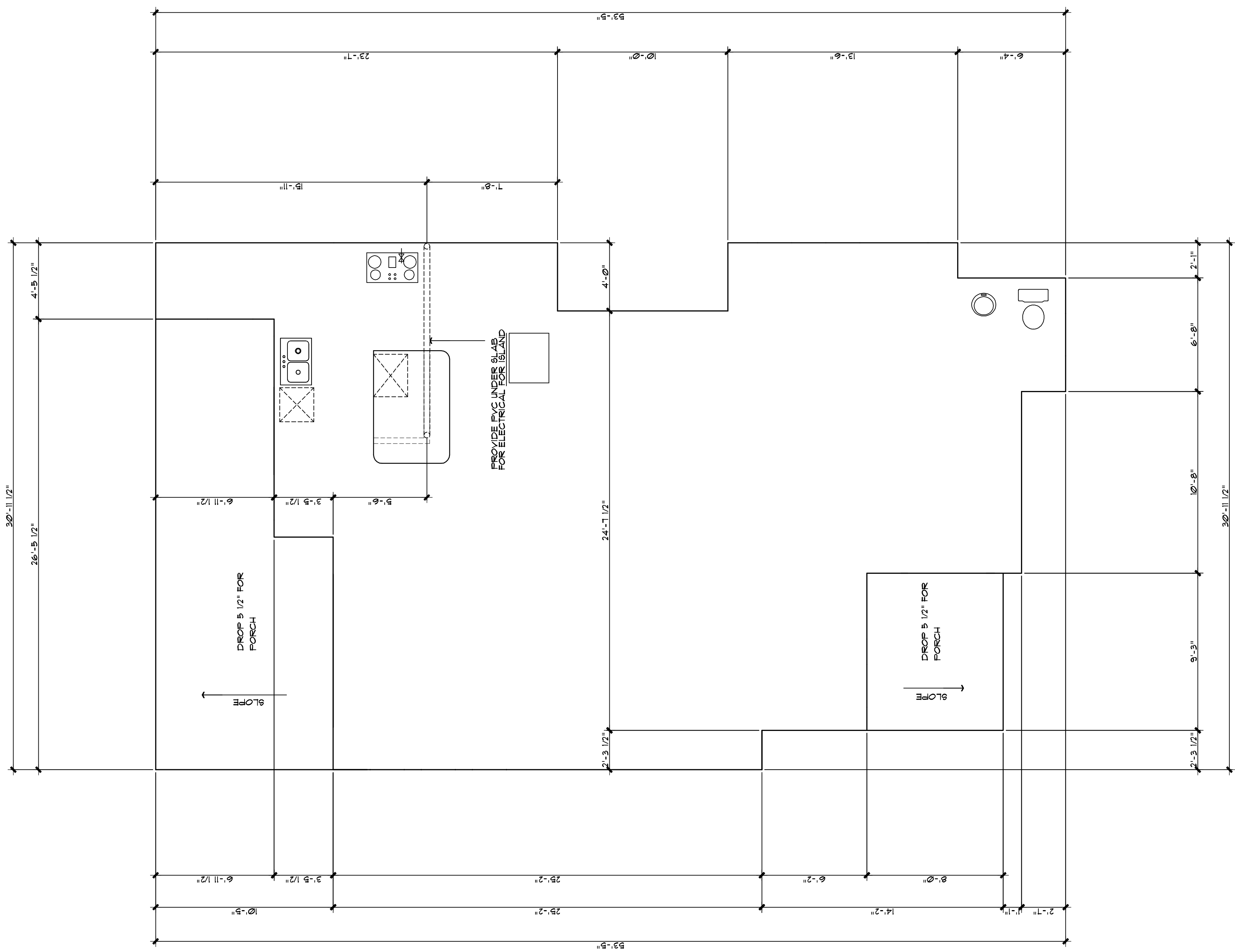
COLLAR TIES

RIDGE, HIP & VALLEY
●

Design Originals is A Professional Building Design Firm. We Are Not Qualified To Nor Licensed To Design Structural Elements. We Are Not Licensed Professional Engineers. Should Be Consulted Regarding The Framing And Foundation. Should An Engineer's Seal Be Present On This Drawing, It Is For The Structural Design Originals, Inc. Responsibility For The Structural Design Originals, Inc. Will Not Be Held Responsible For The Structural Design In Any Way Or Any Problems Which May Arise.

ROOF PLAN
SCALE: 1/4" = 1'-0"

ROOF FRAMING SPAN CHARTS & NOTES			
Maximum Clear Span for Rafters-with No Gyp. Bd.			
Size	24" o.c.	16" o.c.	12" o.c.
2 x 6	11'-5"	14'-0"	16'-2"
2 x 8	15'-1"	18'-5"	21'-4"
2 x 10	19'-3"	23'-1"	27'-2"
For material w/ E=16 F _b =1400 I.e. #2 KDYP Design loads' 20psf Live 1psf Dead			
Maximum Clear Span for Rafters-with Gyp. Bd.			
Size	24" o.c.	16" o.c.	12" o.c.
2 x 6	10'-0"	12'-4"	14'-2"
2 x 8	13'-3"	16'-3"	18'-9"
2 x 10	16'-11"	20'-8"	23'-11"
2 x 12	20'-6"	25'-2"	29'-1"
For material w/ E=16 F _b =1400 I.e. #2 KDYP Design loads' 20psf Live 15psf Dead			
<div>Note: Unless Noted Otherwise: All Rafters to be #2KDYP w/ 2 x 8 #2KDYP Ridge Beams, Valley & Hip Rafters- support & Brace Rafters where required All overhangs to be 1'-4" from Frame Wall</div>			



GARAGE FORM SETTING PLAN
SCALE: 1/4" = 1'-0"

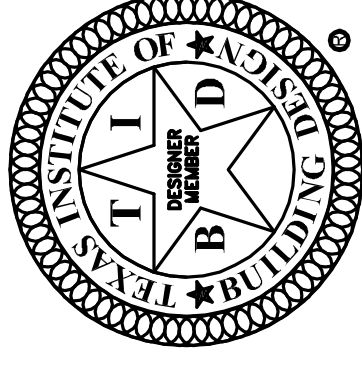
SCALE: $1/4'' = 1' - 0''$

Design Originals Is A Professional Building Design Firm. We Are Not Qualified To Nor Licensed To Design Structural Framing Or Foundations. A Licensed Professional Engineer Should Be Consulted Regarding The Framing And Foundation. Should An Engineer's Seal Be Present On These Drawings, The "Engineer Of Record" Shall Bear The Responsibility For The Structural Design. Design Originals Will Not Be Held Responsible For The Structural Design In Any Way Or Any Problems Which May Arise.

FOR KEY SETTINGS PLAN

SCALE: $1/4$

COPYRIGHT © 2011 DESIGN ORIGINALS OF TEXAS



JOHN C. DAME, SR. #49
DATE:

DATE: _____

9 OF 10

JOB # A9493

DATE: 08-16-11

REVISION: 09-06-11

DRAWN BY: JCD

1803
WEST 10th
STREET

WEST 10th
STREET

WEST 10th
STREET

DESIGN ORIGINALS of Texas

home design center

10713 RR N 620, STE. 515
AUSTIN, TX 78726

AUSTIN, TX. 78726
OFFICE (512) 331-1775

AUSTIN, TX. 78726
OFFICE (512) 331-1775

25132 OAKHURST DR., STE. 180
SPRING TX 77386

SPRING, TX. 77386
OFFICE (281) 419-7184

SPRING, TX. 77386
OFFICE (281) 419-7184

RYAN VINSON
115 WILD BASIN RD. STE. 115
AUSTIN, TX. 78746
OFFICE (512) 328-1110

RYAN WINSON
115 WILD BASIN RD. STE. 115
AUSTIN, TX. 78746

AUSTIN, TX. 78746
OFFICE (512) 328-1110

AUSTIN, TX. 78746
OFFICE (512) 328-1110

VINSON - RADKE
INVESTMENTS LLC.

INVESTMENTS LLC.

