

CITY OF AUSTIN

ROW # 1067867p

CASE # 2011-102191R

TCAD # 0413110942

APPLICATION TO THE RESIDENTIAL DESIGN
AND COMPATIBILITY COMMISSION (RDCC)

GENERAL MODIFICATION WAIVER

STREET ADDRESS: 1308 Central Park Ct

LEGAL DESCRIPTION: Subdivision - Salem Center

Lot(s) 6A Block A Outlot _____ Division _____

LAND STATUS DETERMINATION CASE NUMBER (if applicable) _____

I/We Jim Nance on behalf of myself/ourselves as authorized agent for

Treaty Oak Homes LLC affirm that on Nov. 21, 2011,

hereby apply for a hearing before the Residential Design and Compatibility Commission for modification Section 2.8.1. of up to 25% increase in one or more of the following:

- ☒ Maximum Floor to area ratio .4 or Gross floor area 2300 sq ft.
- ☒ Maximum Linear feet of Gables protruding from setback plane
- ☒ Maximum Linear feet of Dormers protruding from the setback plane

Waive or modify the side wall articulation requirement of Section 2.7.

☒ Side Wall Length Articulation
(Please describe request. Please be brief but thorough).

Increase of 25% in Max FAR, Max linear Feet of Gables
and/or Dormers Protruding through Setback Plane and Waive
or modify the Sidewall articulation Requirement

in a SF-6 Co zoning district.

Note: Certificate of Appropriateness: H (Historic) or HD (Historic Designation) - case goes to RDCC first. National Register Historical District (NRHD) Overlay: without H or HD - case goes to Historic Landmark Commission first.

CITY OF AUSTIN
APPLICATION TO THE RESIDENTIAL DESIGN
AND COMPATIBILITY COMMISSION
GENERAL MODIFICATION WAIVER

REASONABLE USE:

1. The Residential Design and Compatibility Standards Ordinance applicable to the property does not allow for a reasonable use because:

LOT SLOPE TOWARDS REAR INHIBITS DEVELOPE-
MENT TOWARDS ~~REAR~~ BACK OF LOT W/
2-STORY DESIGN

REQUEST:

2. The request for the modification is unique to the property in that:

WILL ALLOW 2-STORY PLANS THAT WORK
ON OTHER LOTS TO BE USED FOR
~~OTHER~~ UNITS IN THE DEVELOPEMENT.

AREA CHARACTER:


3. The modification will not alter the character of the area adjacent to the property, will not impair the use of adjacent conforming property, and will not impair the purpose of the regulations of the zoning district in which the property is located because:

ADJOINING PROPERTY IS IN THIS DEVELOPEMENT
OR ACROSS 'P' EASEMENT.

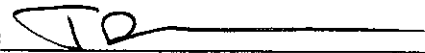
**CITY OF AUSTIN
APPLICATION TO THE RESIDENTIAL DESIGN
AND COMPATIBILITY COMMISSION**

GENERAL MODIFICATION WAIVER

APPLICANT CERTIFICATE – I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Mailing Address 205 Wild Basin Rd. S.
City, State Austin, Texas Zip 78746
Phone (512) 684-3880 Printed Name Jim Nance
Signature  Date 11-10-11

OWNER'S CERTIFICATE – I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Mailing Address Same
City, State _____ Zip _____
Phone _____ Printed Name Jim Nance
Signature  Date 11-10-11

CITY OF AUSTIN

RESIDENTIAL PERMIT APPLICATION "A"

BP Number 2011-102191R

Building Permit No. _____

Plat No. _____

Date 11-9-11Reviewer Brent Hendricks

PRIMARY PROJECT DATA

Service Address 1308 Central Park CtTax Parcel No. 04131109420000

Legal Description

Lot 6A Block A Subdivision Resub of Lot B-1 of Salem Center Section _____ Phase _____

If in a Planned Unit Development, provide Name and Case No. _____

(attach final approved copies of subdivision and site plan)

If this site is not a legally subdivided lot, you must contact the Development Assistance Center for a Land Status Determination.

Description of Work

☒ New Residence

Remodel (specify) _____

☐ Duplex

Addition (specify) _____

☐ Garage attached ☐ detached☐ Carport attached ☐ detached☐ Pool

Other (specify) _____

Zoning (e.g. SF-1, SF-2...) SF-660Height of Principal building 27' 1/2" # of floors 2 Height of Other structure(s) _____ ft. # of floors _____Does this site currently have water and wastewater availability? ☒ Yes ☐ No. If no, please contact the Austin Water Utility at 512-972-0000 to apply for water and/or wastewater tap application, or a service extension request.Does this site have a septic system? ☐ Yes ☒ No. If yes, for all sites requiring a septic field you must obtain an approved septic permit prior to a zoning review.Does this site have a Board of Adjustment ruling? ☐ Yes ☒ No If yes, attach the B.O.A. documentationWill this development require a cut and fill in excess of 4 feet? ☐ Yes ☒ NoDoes this site front a paved street? ☒ Yes ☐ No A paved alley? ☐ Yes ☒ NoIs this property within the Residential Design and Compatibility Standards Ordinance Boundary Area? ☒ Yes ☐ NoVALUATIONS FOR
REMODELS ONLY

Building \$ _____

Electrical \$ _____

Mechanical \$ _____

Plumbing \$ _____

Driveway/

Sidewalk \$ _____

TOTAL \$ _____

(labor and materials)

VALUATIONS FOR NEW CONSTRUCTION
OR ADDITIONS ONLYLot Size 5666.06 sq. ft.Job Valuation - Principal Building \$ 100,000.00
(Labor and materials)Job Valuation - Other Structure(s) \$ _____
(Labor and materials)

TOTAL JOB VALUATION

(sum of remodels and additions)

\$ _____

(Labor and materials)

PERMIT FEES

(For office use only)

NEW/ADDITIONS REMODELS

Building \$ _____ \$ _____

Electrical \$ _____ \$ _____

Mechanical \$ _____ \$ _____

Plumbing \$ _____ \$ _____

Driveway

& Sidewalk \$ _____ \$ _____

TOTAL \$ _____ \$ _____

OWNER / BUILDER INFORMATION

OWNER

Name Treaty Oak Homes, LLC.

Telephone (h) _____

(w) 512-684-3881

BUILDER

Company Name Treaty Oak Homes, LLC.Telephone 512-684-3881Contact/Applicant's Name Jim Nance

Pager _____

FAX 512-328-5523

DRIVEWAY/

SIDEWALK

Contractor KRM ConcreteTelephone 512-252-1085

CERTIFICATE

OF

OCCUPANCY

Name Treaty Oak Homes, LLC.

Telephone _____

Address 205 Wild Basin Rd. S. Bldg 2, Site 4.City AustinST Texas ZIP 78745

You would like to be notified when your application is approved, please select the method:

☐ telephone☒ e-mail: Jim.N@treatyoakhomes.comYou may check the status of this application at www.ci.austin.tx.us/development/pierivr.htm

ITY OF AUSTIN
ESIDENTIAL PERMIT APPLICATION "C"

BUILDING COVERAGE

the area of a lot covered by buildings or roofed areas, but not including (i) incidental projecting eaves and similar features, or (ii) ground level paving, landscaping, or open recreational facilities.

	Existing	New / Addition
a. 1 st floor conditioned area	sq.ft.	869 sq.ft.
b. 2 nd floor conditioned area	sq.ft.	1050 sq.ft.
c. 3 rd floor conditioned area	sq.ft.	— sq.ft.
d. Basement	sq.ft.	— sq.ft.
e. Garage / Carport	sq.ft.	— sq.ft.
<input checked="" type="checkbox"/> attached	sq.ft.	— sq.ft.
detached	sq.ft.	230 sq.ft.
f. Wood decks [must be counted at 100%]	sq.ft.	— sq.ft.
g. Breezeways	sq.ft.	— sq.ft.
h. Covered patios	sq.ft.	— sq.ft.
i. Covered porches	sq.ft.	— sq.ft.
j. Balconies	sq.ft.	104 sq.ft.
k. Swimming pool(s) [pool surface area(s)]	sq.ft.	68 sq.ft.
l. Other building or covered area(s)	sq.ft.	— sq.ft.
Specify <u>Porte-cochere</u>	sq.ft.	60 sq.ft.

TOTAL BUILDING AREA (add a. through l.) sq.ft. 2381 sq.ft.

TOTAL BUILDING COVERAGE ON LOT (subtract, if applicable, b., c., d., k. and f. if uncovered)

1331 sq.ft.
23.5 % of lot

PERVIOUS COVERAGE

include building cover and sidewalks, driveways, uncovered patios, decks, air conditioning equipment pad, and other improvements in calculating impervious cover. Roof overhangs which do not exceed two feet or which are used for solar screening are not included in building coverage or impervious coverage. All water must drain away from buildings on this site and buildings on adjacent lots.

a. Total building coverage on lot (see above)	<u>1331</u> sq.ft.
b. Driveway area on private property	<u>1091</u> sq.ft.
c. Sidewalk / walkways on private property	<u>27</u> sq.ft.
d. Uncovered patios	<u>23</u> sq.ft.
e. Uncovered wood decks [may be counted at 50%]	<u>—</u> sq.ft.
f. Air conditioner pads	<u>10</u> sq.ft.
g. Concrete decks	<u>—</u> sq.ft.
h. Other (specify) _____	<u>—</u> sq.ft.

TOTAL IMPERVIOUS COVERAGE (add a. through h.)

2482 sq.ft.
43.8 % of lot

CITY OF AUSTIN
RESIDENTIAL PERMIT APPLICATION "D"
FLOOR AREA RATIO INFORMATION

TO BE COMPLETED FOR ALL PROPERTIES LOCATED WITHIN THE RESIDENTIAL DESIGN AND COMPATIBILITY
STANDARDS ORDINANCE BOUNDARY AREA.

Service Address 1308 Central Park Ct + 1304 Central Park Ct

Applicant's Signature DR

Date 11-8-11

GROSS FLOOR AREA AND FLOOR AREA RATIO as defined in the Austin Zoning Code.

	Existing	New / Addition
I. 1st Floor Gross Area		
a. 1 st floor area (excluding covered or uncovered finished ground-floor porches)	sq.ft.	1952 sq.ft.
b. 1 st floor area with ceiling height over 15 feet.	sq.ft.	sq.ft.
c. TOTAL (add a and b above)	sq.ft.	1952 sq.ft.
II. 2nd Floor Gross Area See note ¹ below		
d. 2 nd floor area (including all areas covered by a roof i.e. porches, breezeways, mezzanine or loft)	sq.ft.	1517 sq.ft.
e. 2 nd floor area with ceiling height > 15 feet.	sq.ft.	sq.ft.
f. TOTAL (add d and e above)	sq.ft.	1517 sq.ft.
III. 3rd Floor Gross Area See note ¹ below		
g. 3 rd floor area (including all areas covered by a roof i.e. porches, breezeways, mezzanine or loft).	sq.ft.	sq.ft.
h. 3 rd floor area with ceiling height > 15 feet	sq.ft.	sq.ft.
i. TOTAL (add g and h above)	sq.ft.	sq.ft.
IV. Basement Gross Area		
j. Floor area outside footprint of first floor or greater than 3 feet above grade at the average elevation at the intersections of the minimum front yard setback line and side property lines.	sq.ft.	sq.ft.
V. Garage		
k. attached (subtract 200 square feet if used to meet the minimum parking requirement)	sq.ft.	282 sq.ft.
l. detached (subtract 450 square feet if more than 10 feet from principal structure)	sq.ft.	sq.ft.
VI. Carport (open on two or more sides without habitable space above it subtract 450 square feet)		
	sq.ft.	sq.ft.
VII. TOTAL		
	sq.ft.	3751 sq.ft.

TOTAL GROSS FLOOR AREA (add existing and new from VII above)

GROSS AREA OF LOT

FLOOR AREA RATIO (gross floor area / gross area of lot)

3751 sq. ft.
1152 sq. ft.

33.64 sq. ft.

If a second or third floor meets all of the following criteria it is considered to be attic space and is not calculated as part of the overall Gross Floor Area of the structure.

- It is fully contained within the roof structure and the roof has a slope of 3 to 12 or greater
- It only has one floor within the roof structure
- It does not extend beyond the foot print of the floors below
- It is the highest habitable portion of the building; and
- Fifty percent or more of the area has a ceiling height of seven feet or less.



Austin Water Utility

Water & Wastewater Service Plan Verification

(W & WW SPV)

(Please Print or Type)

Customer Name: 1308 Trenty Oak Homes Phone: 684-3880 Alternate Phone: _____

Service Address: 1308 Central Park Ct

Lot: 6A Block: A Subdivision/Land Status: Salem Center Tax Parcel ID No.: 09131109420000

Existing Use: vacant single-family res. duplex garage apartment other _____
(Circle one)

Proposed Use: vacant single-family res. duplex garage apartment other _____
(Circle one)

Number of existing bathrooms: 0 Number of proposed bathrooms: 2 1/2

Water Main size: 8" Service stub size: 1 1/2" City of Austin Office Use Service stub upgrade required? ✓ New stub size: _____

Existing Meter number: New Existing Meter size: 5/8" Upgrade required? ✓ New size: _____

WW Service: Septic System/On-Site Sewage Facility (OSSF) _____ or WW Collection System ✓ WW Main size: _____

If the site has an OSSF, please contact Utility Development Services (UDS) at 972-0210 or 972-0211, Waller Creek Center, 625 E. 10th Street, Suite 715 for consultation and approval.

W&WWSPV Completed by (Signature & Print name) _____

Date _____

Phone _____

OSSF (if applicable) Approved by UDS (Signature & Print name) _____

Date _____

Phone _____

AWU Representative _____

Date 11/9/11

Phone 974-8734

Approved: ☐ Yes (see attached approved documents)

☐ No

NOTE: For residential plan review, this original stamped "approval" must be submitted with the stamped "original" floor plan.

Verification expires 180 days after date of Submittal

Instructions:

The intent of the "W&WWSPV" is to ensure that, prior to beginning a single-family residential project (includes duplex and garage apartment uses), adequate water/wastewater service can be provided to the site and is planned for as part of the overall project, and to ensure that the applicant is aware of the potential costs associated with the relocation, new service or upgrading of existing services to the site.

A "W&WWSPV" is required, prior to submitting for residential permit, for the following project types:

- Construction of a new home, duplex, or garage apartment (except for projects identified as a "volume builder" project)
- Remodeling/additions to an existing structure to increase the number of total bathrooms on the site to more than 3
- Remodeling/additions that increase the number of units on the site (for example, converting a home to a duplex)
- Remodeling/additions to an existing structure to increase the number of total bedrooms, total living square footage or change in surface improvement such as swimming pool, driveway, garage, etc. (for structure using OSSF).

If a "W&WWSPV" is required, complete the verification form above, and provide a copy of the "plot plan" for the site (plot plan, house floor plan and other required planning material for OSSF). The "plot plan" should be to a standard scale and show all existing and proposed improvements. Submit the application and planning material to Austin Water Utility-Taps Division (to UDS for OSSF) for approval, prior to submitting for a residential building permit, at one of the locations below:

Note: Applicant must contact AWU taps office, at either location noted below, to submit an application (if required) for a meter upgrade or a new service before issuance of the building permit.

Austin Water Utility- Waller Creek
625 E 10th St, Austin, TX 78701
(512) 972-0000 - Suite 200 - TAPS Division
(512) 972-0207 - Suite 715 - UDS Division

Development Assistance Center- One Texas Center
505 Barton Springs, Austin, TX 78704
(512) 974-6370

Updated: November 16, 2009

WATER & WASTEWATER UTILITY
CONSUMER SERVICES DIVISION

ONE STOP SHOP
505 Barton Springs
Austin, Texas 78701
(512) 974-2632 phone
(512) 974-9112 phone
(512) 974-9779 fax
(512) 974-9109 fax



Austin Energy
Electric Service Planning Application (ESPA)
For Residential and Commercial "SERVICE ONLY"
Under 350 amps 1 ϕ or 225 amps 3 ϕ

☐ Check this box if
this is for a
building permit
only.

(Please print or type. Fields left blank will be considered Not Applicable.)

Responsible Person for Service Request <u>Jim Nena</u>		Phone <u>684-3880</u>
Email <u>Jimn@treedyakhomes.com</u>		Fax <u>328-5523</u>
Project Name <u>D08 Central Park</u>	<input checked="" type="checkbox"/> New Construction <input type="checkbox"/> Remodeling	
Project Address <u>1308 Central Park Ct</u>	OR	
Legal Description _____	Lot _____ Block _____	
Requested Service Duration: <input type="checkbox"/> Permanent Service <input checked="" type="checkbox"/> Construction Power/Temp Service (Usually less than 24 months)		
Who is your electrical service provider? <input checked="" type="checkbox"/> AE <input type="checkbox"/> Other _____		

<input type="checkbox"/> Overhead or <input type="checkbox"/> Underground	Voltage _____	<input type="checkbox"/> Single-phase (1 ϕ) or <input type="checkbox"/> Three-phase (3 ϕ)
Service Main Size(s) _____ (amps)	Number of Meters? _____	
AE Service Length _____ (ft.)	Conductor _____ (type & size)	
SqFt Per Unit _____	#Units _____	<input type="checkbox"/> All Electric <input type="checkbox"/> Gas & Electric <input type="checkbox"/> Other _____
Total AC Load _____ (Tons)	Largest AC unit _____ (Tons)	
LRA (Locked Rotor Amps) of Largest AC Unit _____ (Amps)		
Electric Heating _____ (kW)	Other _____ (kW)	

Comments: _____

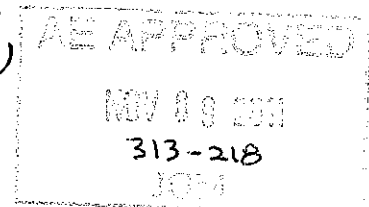
ESPA Completed by (Signature & Print name) _____ Date _____ Phone _____

AE Representative _____ Approved: ☐ Yes ☐ No (Remarks on back) _____ Date _____ Phone _____

Application expires 180 days after date of Approval
(Any change to the above information requires a new ESPA)

Version 1.1.0.0

all structures etc. must maintain 7'5"
clearance from AE energized power
lines. Enforced by AE & NESC codes.



Benavidez, Sylvia

From: Hendricks, Brent
Sent: Tuesday, November 22, 2011 3:24 PM
To: 'Jim Nance'
Cc: Greg Hammonds; Benavidez, Sylvia; McDonald, John
Subject: RE: 1304, 1308, 1312, 1316, 1320 Central Park
Follow Up Flag: Follow up
Flag Status: Yellow

Jim,

I have now spoken with Sylvia, John McDonald (our supervisor) and Daniel Word, a former residential reviewer and subdivision expert. They all agree, the three lots in question will need to go to BoA for a variance for the encroachment into the front yard setback area. Lot 4 (1320 Central Park) is not an Attached Single Family Home therefore does not qualify for that part of the code you are referencing. It is just a regular Single Family Home lot (SF-6) and must meet the 25' setback that is measured from the point where the lot widens to a minimum width of 50' on the flag portion of the lot, not the pole portion. Lots 5A & 5B (1312 & 1316 Central Park) are Single Family Attached Lots and I do understand the portion of the code you are referring to (25-2-772 B.3). However I think you are reading it the wrong way. As you know the code speaks to the "site area" and the "lot area", which means the authors are distinguishing the difference between a site and a lot. Which is important because it affects where one places the front lot line and the placement of the setback line. (B.3) reads "minimum LOT width" not "minimum AREA width". Per that portion of the code we will keep each lot separate and place the front lot line where the lot widens to 25', not where the 'area' of the site widens to 25'. Per all three of my colleagues, this is how it has historically been measured, I really do not see anyway around it. I see no problem at all with it getting passed at BoA for the mere fact that there is a major hardship with these lots, the 50' electrical easement to the rear of the property. Unfortunately we are still required to send you to the BoA for that variance.

If you would care to meet with me or need some clarification on this subject I would be happy to meet with you next week. We will be off Thursday 24th and Friday 25th for the Holiday.

Thank you,

W. Brent Hendricks

City of Austin

Residential Plan Review, Planner II

505 Barton Springs Rd. 2nd Floor

512-974-2413

From: Jim Nance [mailto:JimN@treatyoakhomes.com]
Sent: Friday, November 18, 2011 4:08 PM
To: Hendricks, Brent
Cc: Greg Hammonds

11/29/2011

Subject: RE: 1304, 1308, 1312, 1316, 1320 Central Park

Brent

Copied below is the pertinent code regarding the lots in Central Park and their minimum widths. I think this should take care of the issue at 1320 Central Park.

Let me know if this is not what you need.

Source: Ord. 041118-57.

§ 25-2-772 SINGLE-FAMILY ATTACHED RESIDENTIAL USE.

- (A) For a single-family attached residential use, the base zoning district regulations are superseded by the requirements of this section.
- (B) For a single-family residential use:
- (1) minimum site area is 7,000 square feet;
 - (2) minimum lot area is 3,000 square feet; and
 - (3) minimum lot width, for a distance of 25 feet measured from the front property line, is:
 - (a) 25 feet; or
 - (b) on a cul-de-sac or curved street, 20 feet.
- (C) A lot may not contain more than one dwelling unit.
- (D) A site must contain two attached dwelling units.
- (E) Building coverage may not exceed 40 percent of the site.
- (F) Impervious cover may not exceed 45 percent of the site.
- (G) For a dwelling unit with fewer than six bedrooms, at least two parking spaces are required. A driveway may be included as one of the required parking spaces. Not more than two parking spaces may be located in the front yard.
- (H) For a dwelling unit with six or more bedrooms, at least one parking space for each bedroom is required. A driveway may be included as one or more of the required parking spaces, but not more than one parking space may be located behind another parking space. Not more than four parking spaces may be located in the front yard.
- (I) A fence is prohibited along the common lot line between attached single-family residential units for a distance of 25 feet measured from the front lot line.
- (J) A single-family attached residential use is prohibited on property that is subject to a deed restriction that limits use of the property to single-family detached dwellings or that requires a minimum lot size that is larger than the minimum lot size required by this section.
- Source: Section 13-2-253; Ord. 990225-70; Ord. 031211-11.

Thanks.

Jim Nance
Treaty Oak Homes, LLC.
205 Wild Basin Rd.
Bldg 2 Ste A
Austin, Texas 78746
Office: 512-684-3881
Mobile: 512-633-8100

From: Hendricks, Brent [mailto:Brent.Hendricks@austintexas.gov]
Sent: Friday, November 18, 2011 1:38 PM
To: Jim Nance
Cc: Benavidez, Sylvia
Subject: 1304, 1308, 1312, 1316, 1320 Central Park

11/29/2011

Jim,

I have been assigned to review the 5 homes located on Central Park. As you know Lots 5 A,B and 6 A,B are required to go before RDCC for their approval, but 3 of 5 will also need to go before the BoA for the setback issue. Here are my comments thus far.

1304 Lot 6B - Approval from RDCC,
Tree Review Required by City Arborist. Developer to set up appointment with City Arborist, supply arborist with a current site plan.

1308 Lot 6A - Approval from RDCC,
Tree Review Required by City Arborist. Developer to set up appointment with City Arborist, supply arborist with a current site plan.

1312 Lot 5B - Variance from the Board of Adjustment for encroachment into the 25' Front Setback area.
Approval from RDCC,
Tree Review Required by City Arborist. Developer to set up appointment with City Arborist, supply arborist with a current site plan.

1316 Lot 5A - Variance from the Board of Adjustment for encroachment into the 25' Front Setback area.
Approval from RDCC,
Tree Review Required by City Arborist. Developer to set up appointment with City Arborist, supply arborist with a current site plan.

1320 Lot 4 - Variance from the Board of Adjustment for encroachment into the 25' Front Setback area.
Tree Review Required by City Arborist. Developer to set up appointment with City Arborist, supply arborist with a current site plan.

Let us know how you would like to proceed with these. You will need to speak with Susan Walker 974-2202 if you decide to go before the BoA.

Thank you.

W. Brent Hendricks

City of Austin

Residential Plan Review, Planner II

505 Barton Springs Rd. 2nd Floor.

512-974-2413

From: Benavidez, Sylvia
Sent: Friday, November 18, 2011 12:18 PM
To: 'Jim Nance'
Cc: Hendricks, Brent
Subject: measurements

§ 25-1-22 MEASUREMENTS.

11/29/2011

- (A) Lot area is the net horizontal area within the lot lines, **excluding** the portion of the lot:
- (1) that provides street access, if the lot is a flag lot; or
 - (2) that is located below 492.8 feet of elevation above sea level, if the lot is adjacent to Lake Austin.

(B) Lot depth is the horizontal distance between the mid-point of the front lot line and the midpoint of the rear lot line.

(C) Except as otherwise provided in this title, lot width is measured at the front setback line and at a distance of 50 feet to the rear of the front setback line.

(D) In determining required yards and setbacks for an irregularly shaped lot or a lot bounded by only three lot lines, the rear lot line is:

- (1) a line ten feet long;
- (2) parallel to the front lot line; and
- (3) at the most distant location from the front lot line.

(E) A distance from a structure to a line or location is measured from the exterior face of the nearest wall or vertical support of the structure to the line or location. For a structure that does not have a wall or vertical support, the building official shall determine the point of measurement.

Source: Sections 13-2-1, 13-2-602, and 13-2-603; Ord. 990225-70; Ord. 031211-11.

25-2-21

(38) FLAG LOT means a lot that abuts a street by means of a strip of land that does not comply with the requirements of this chapter for minimum lot width, is not less than 15 feet wide, and is used for access.

(40) FRONT LOT LINE means:

- (a) for an interior lot, the lot line abutting the street;
 - (b) for a corner lot, the lot line designated as the front lot line by a subdivision or parcel map, or, if none, the shorter lot line abutting a street;
 - (c) for a through lot, the lot line abutting the street that provides the primary access to the lot;
- and

(d) for a flag lot, the lot line designated as the front lot line by a subdivision or parcel map, or if none, **the line determined by the building official to be the front lot line.**

Benavidez, Sylvia

From: Hendricks, Brent
Sent: Friday, November 18, 2011 1:38 PM
To: 'Jim Nance'
Cc: Benavidez, Sylvia
Subject: 1304, 1308, 1312, 1316, 1320 Central Park
Follow Up Flag: Follow up
Flag Status: Yellow

Jim,

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 Tree Review Required by City Arborist. Developer to set up appointment with City Arborist, supply arborist with a current site plan.

1312 Lot 5B - Variance from the Board of Adjustment for encroachment into the 25' Front Setback area.
 Approval from RDCC,
 Tree Review Required by City Arborist. Developer to set up appointment with City Arborist, supply arborist with a current site plan.

1316 Lot 5A - Variance from the Board of Adjustment for encroachment into the 25' Front Setback area.
 Approval from RDCC,
 Tree Review Required by City Arborist. Developer to set up appointment with City Arborist, supply arborist with a current site plan.

1320 Lot 4 - Variance from the Board of Adjustment for encroachment into the 25' Front Setback area.
 Tree Review Required by City Arborist. Developer to set up appointment with City Arborist, supply arborist with a current site plan.

Let us know how you would like to proceed with these. You will need to speak with Susan Walker 974-2202 if you decide to go before the BoA.

Thank you.

W. Brent Hendricks
 City of Austin
 Residential Plan Review, Planner II
 505 Barton Springs Rd. 2nd Floor
 512-974-2413

11/29/2011

From: Benavidez, Sylvia
Sent: Friday, November 18, 2011 12:18 PM
To: 'Jim Nance'
Cc: Hendricks, Brent
Subject: measurements

§ 25-1-22 MEASUREMENTS.

- (A) Lot area is the net horizontal area within the lot lines, **excluding** the portion of the lot:
 - (1) that provides street access, if the lot is a flag lot; or
 - (2) that is located below 492.8 feet of elevation above sea level, if the lot is adjacent to Lake Austin.
- (B) Lot depth is the horizontal distance between the mid-point of the front lot line and the midpoint of the rear lot line.
- (C) Except as otherwise provided in this title, lot width is measured at the front setback line and at a distance of 50 feet to the rear of the front setback line.
- (D) In determining required yards and setbacks for an irregularly shaped lot or a lot bounded by only three lot lines, the rear lot line is:
 - (1) a line ten feet long;
 - (2) parallel to the front lot line; and
 - (3) at the most distant location from the front lot line.
- (E) A distance from a structure to a line or location is measured from the exterior face of the nearest wall or vertical support of the structure to the line or location. For a structure that does not have a wall or vertical support, the building official shall determine the point of measurement.

Source: Sections 13-2-1, 13-2-602, and 13-2-603; Ord. 990225-70; Ord. 031211-11.

25-2-21

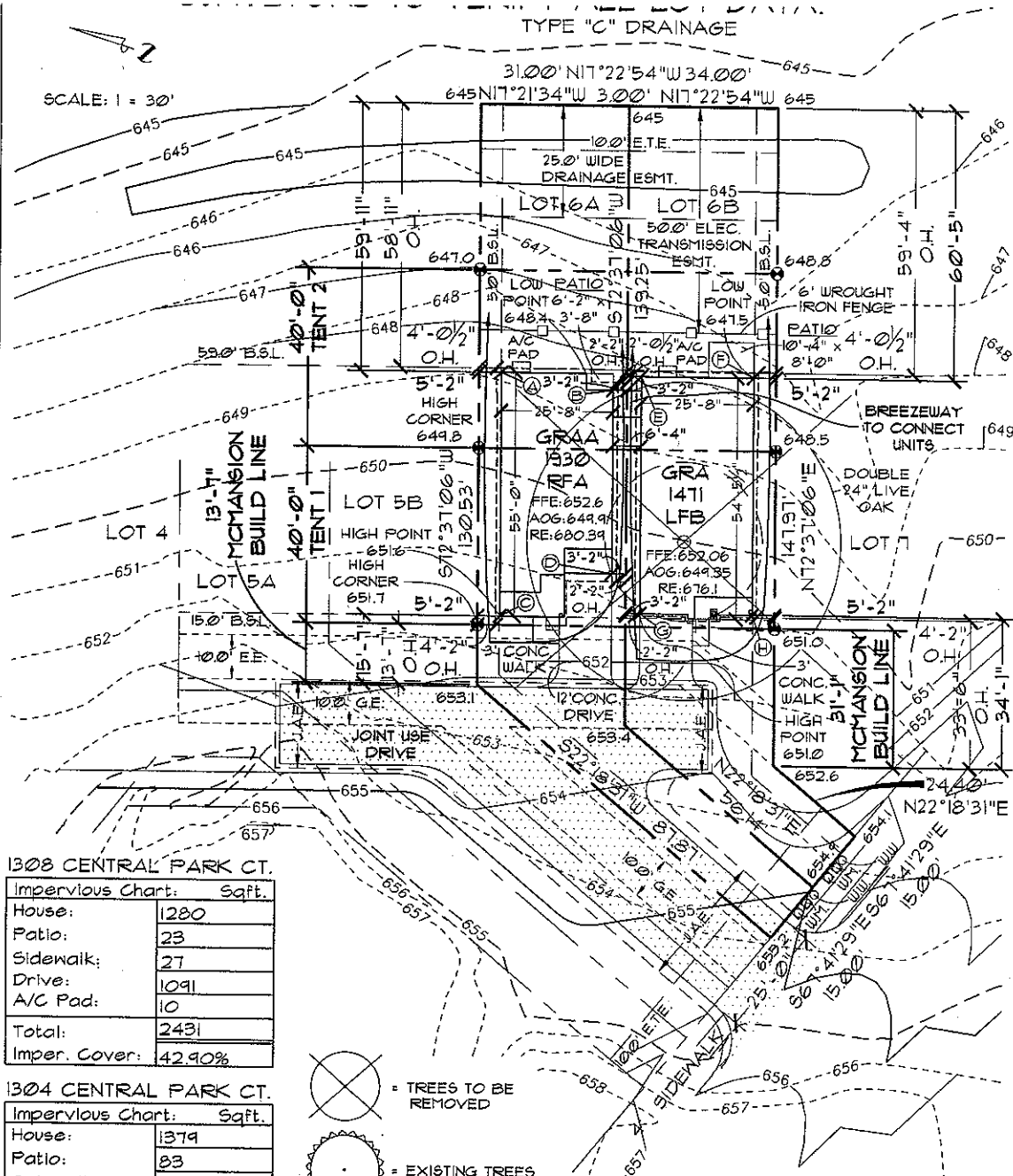
- (38) FLAG LOT means a lot that abuts a street by means of a strip of land that does not comply with the requirements of this chapter for minimum lot width, is not less than 15 feet wide, and is used for access.

(40) FRONT LOT LINE means:

- (a) for an interior lot, the lot line abutting the street;
- (b) for a corner lot, the lot line designated as the front lot line by a subdivision or parcel map, or, if none, the shorter lot line abutting a street;
- (c) for a through lot, the lot line abutting the street that provides the primary access to the lot;
and
- (d) for a flag lot, the lot line designated as the front lot line by a subdivision or parcel map, or if none, **the line determined by the building official to be the front lot line.**

TYPE "C" DRAINAGE

SCALE: 1" = 30'

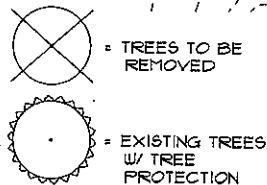


1308 CENTRAL PARK CT.

Impervious Chart:	Sqft.
House:	1280
Patio:	23
Sidewalk:	27
Drive:	1091
A/C Pad:	10
Total:	2431
Imper. Cover:	42.90%

1304 CENTRAL PARK CT.

Impervious Chart:	Sqft.
House:	1379
Patio:	83
Sidewalk:	20
Drive:	492
A/C Pad:	10
Total:	1984
Imper. Cover:	36.16%



— CUT CONTOURS
 --- ORIGINAL CONTOURS

- | | |
|---------------------------|---------------------------|
| (A) 06.648.8
FG.644.13 | (E) 06.648.1
FG.648.43 |
| (B) 06.648.5
FG.648.03 | (F) 06.647.5
FG.647.03 |
| (C) 06.651.6
FG.651.23 | (G) 06.651.0
FG.651.34 |
| (D) 06.650.7
FG.651.03 | (H) 06.650.8
FG.651.13 |

1308 & 1304 CENTRAL PARK CT.
 REV. 11/11 CHANGE TO LEGAL SHEET

BUILDERS REPRESENTATIVE TO
 VERIFY ALL LOT DATA, LOCATION
 OF MANHOLES, STORM SEWERS,
 EASEMENTS, AND OTHER
 INFRASTRUCTURE LOCATED ON LOT.
 KIPP FLORES ARCHITECTS MAKES
 NO REPRESENTATION AS TO THE
 EXISTENCE OF MANHOLES, STORM
 SEWERS, EASEMENTS, AND OTHER
 INFRASTRUCTURE LOCATED ON LOT.

LOT 6A AREA: 5666.063 SQ. FT.

LOT 6B AREA: 5486.615 SQ. FT. SIDEWALKS PER CITY OR SUBD. REQ. INFRASTRUCTURE LOCATED ON LOT.



**KIPP FLORES
 ARCHITECTS**

(512) 335-6477 fax (512) 336-6882
 11778 Jollyville Rd., Suite 100
 Austin, Texas 78759

ADDRESS

1308 & 1304 CENTRAL PARK CT

LOT
 6A & 6B

BLK
 A

CITY, STATE
 AUSTIN, TX

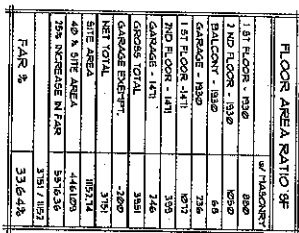
SUBDIVISION

SALEM CENTER

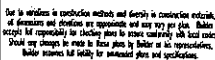
BUILDER
 GRAA

DATE
 10/24/2011

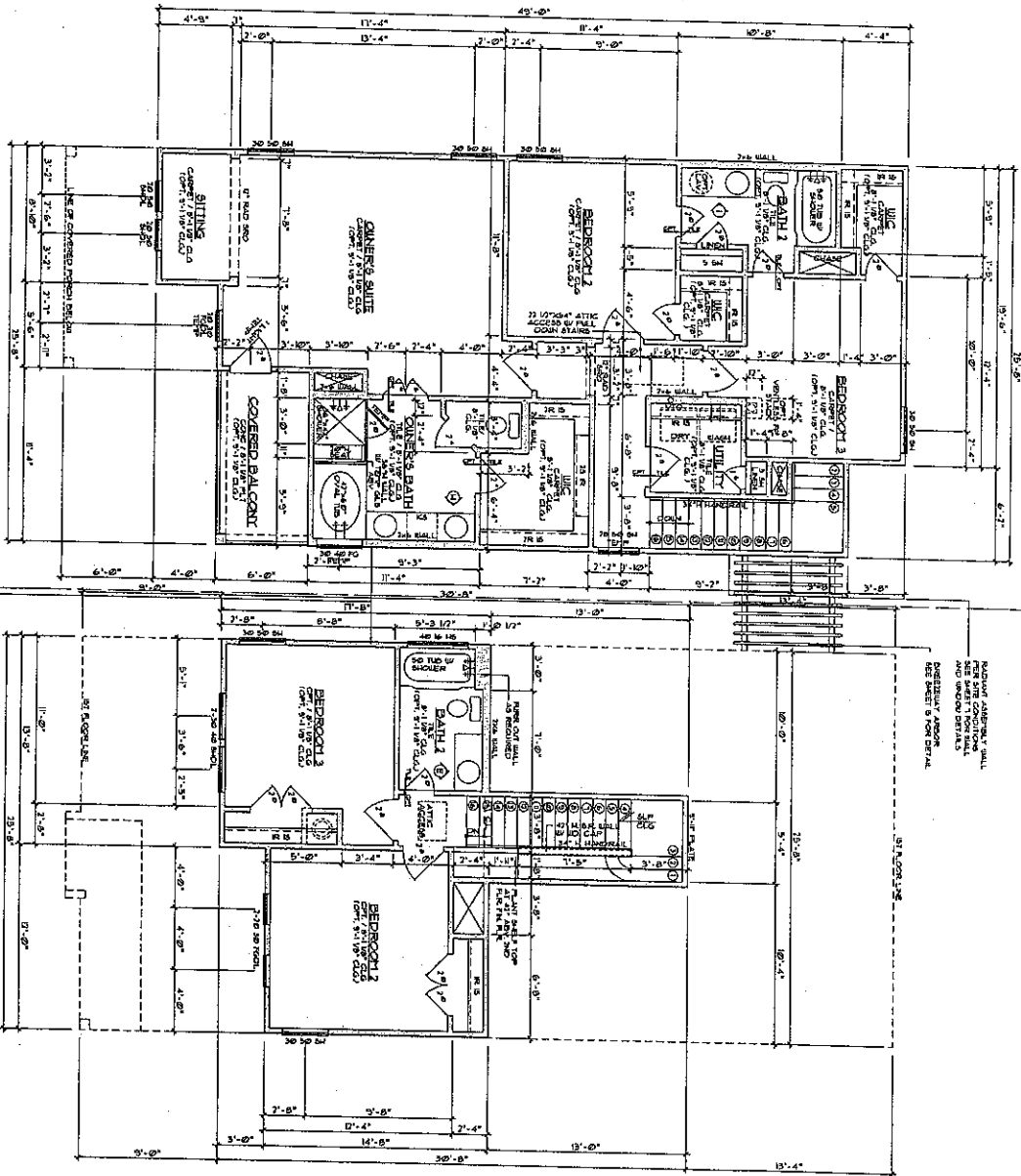
Square Footage Chart		
PLAN 1411 LFD		
	FRONT	W/ FLOORS
1ST FLOOR	2661	8712
2ND FLOOR	393	353
TOTAL 1/FLOOR	1466	3471
GARAGE	775	246
PORCH	61	61
TOTAL	1766	4739



GRASON COMMUNITIES, LTD.

[illegible]

PLAN 1471 L.F.F.



RADIANT ASSEMBLY SHALL
PER SITE CONDITIONS
SEE SHEET 7 FOR SILL
AND WINDOW DETAILS

REVISED 05-05-05 ADJUST FLOORING LINES IN KITCH (242V)
REVISED 06-04-05 / REVERSAL (MLR)
REVISED 06-04-05 / 1ST BLDR CKSET (MLR)

KIPP*FLORES
ARCHITECTS*
® (512) 335-6477 fax (512) 335-6852
11770 Jollyville Rd. Suite 100 Austin, Texas 78759

Due to variations in construction methods and diversity in construction materials, all dimensions and elevations are approximate and may vary per plan. Builder accepts full responsibility for checking plans to ensure conformity with local codes. Should any changes be made to these plans by Builder or his representatives, Builder assumes full liability for amended plans and specifications.

GRASON COMMUNITIES, LTD.

NOV 07 2011

1308 and 1304
CENTRAL PARK COURT

REGISTERED ARCHITECT
SABIS C. FLORES
STATE OF TEXAS
NOV 2005

1308-1304 11/07/2011

THE STATE OF TEXAS
COUNTY OF DALLAS
I, JAMES L. BLOTT, County Clerk, do hereby certify that the foregoing is a true and correct copy of the record as the same appears in the public records of this county.

Witness my hand and the seal of said county this 11th day of November, 2011.

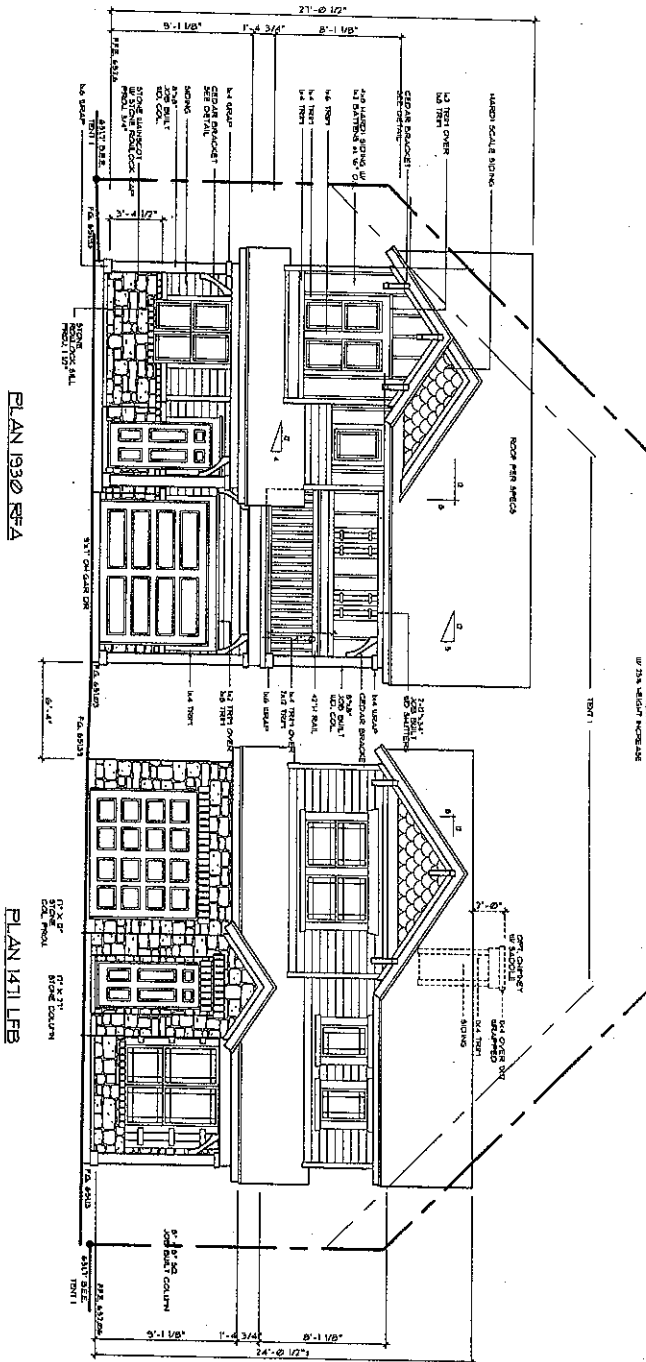
JAMES L. BLOTT, County Clerk

Date _____

06-28-09

Sheet

K
A
(5
11770 JG



PLAN 1300 SFA

PLAN 1471 LEB

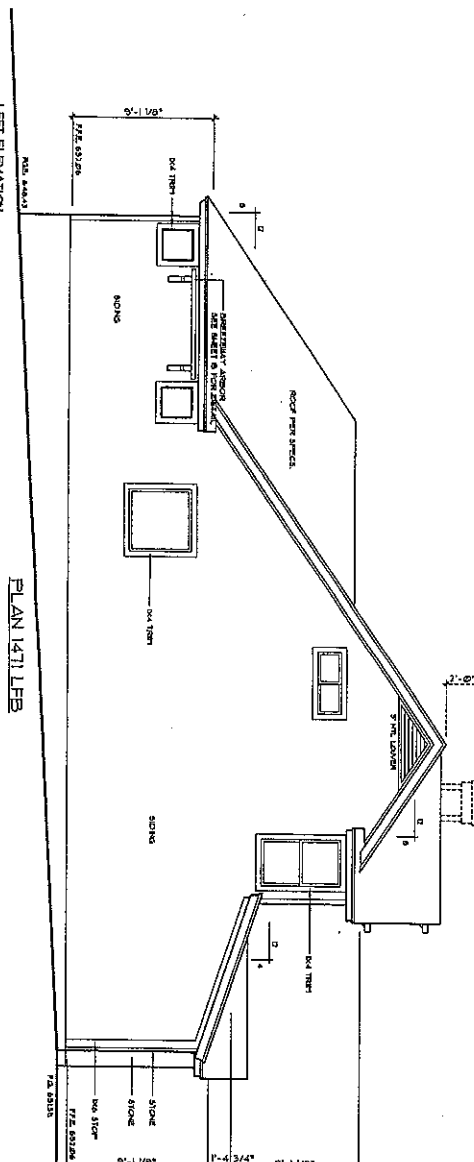
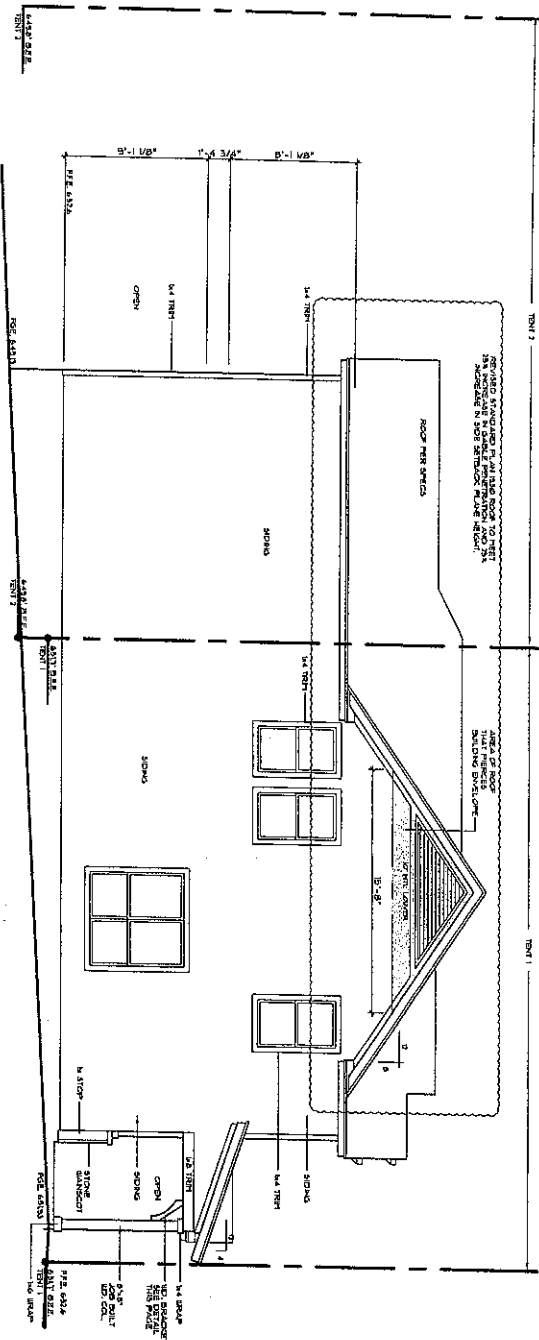
FRONT ELEVATION

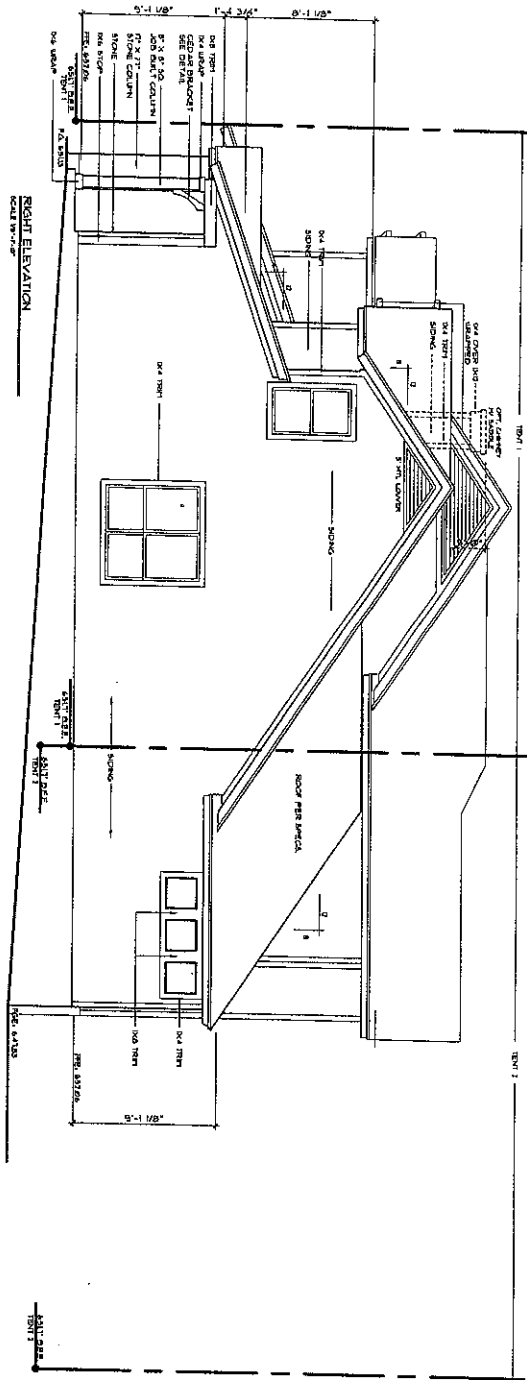
NOTES:
1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
2. FINISHES ARE TO BE AS NOTED.
3. MATERIALS AND METHODS OF CONSTRUCTION ARE TO BE AS NOTED.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY BONDS.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY REFERENCES.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY REFERENCES.



NOV 6 7 2011

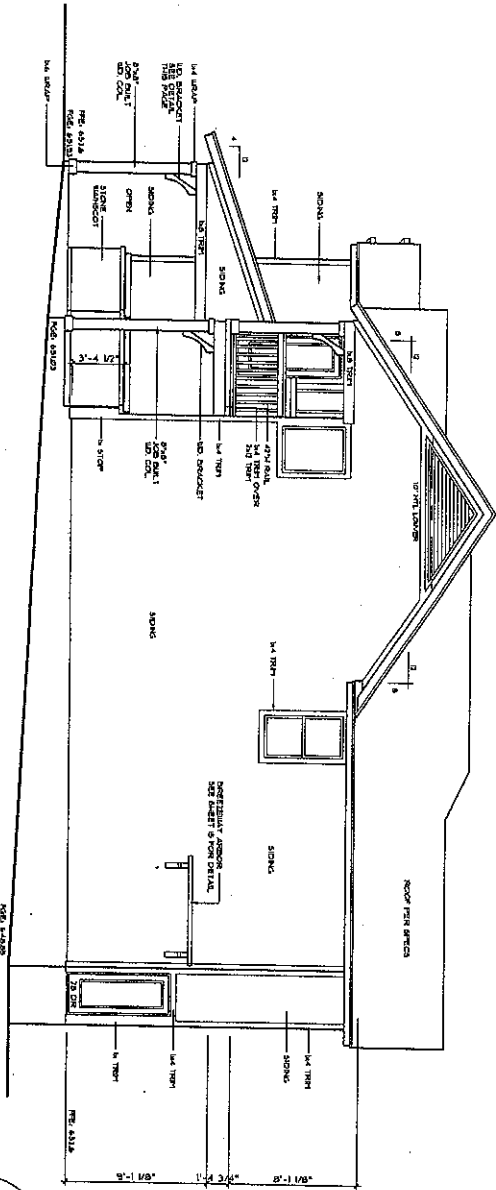
1308 and 1304
GRANDPAPA BABY CENTER





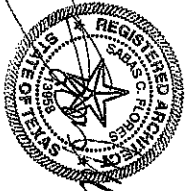
RIGHT ELEVATION

PLAN 1471 LFB



RIGHT ELEVATION

PLAN 1471 LFB



NOV 7 2011

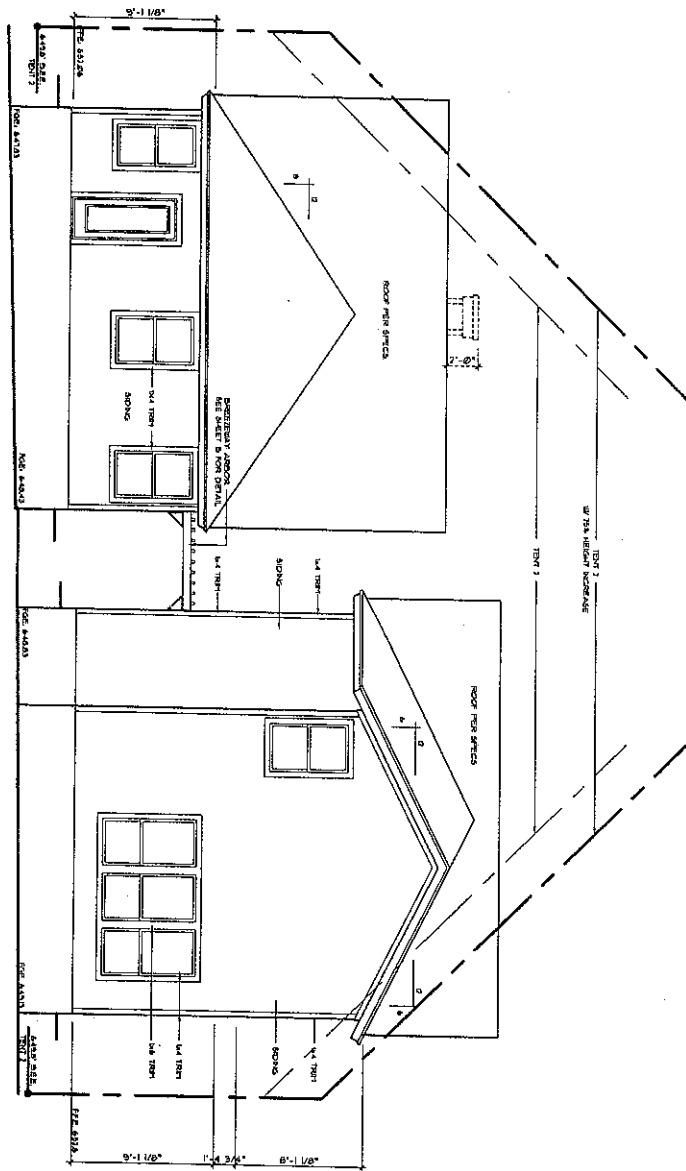
1308 and 1304
CENTRAL
CITY

C-0008-1036.DWG 11/04/11
05-28-09

KIPP FLORES ARCHITECTS
 (512) 335-5477 fax (512) 335-5482
 11779 Jollyville Rd., Suite 100 Austin, Texas 78759

Due to variations in construction methods and materials, construction methods, all dimensions and elevations are approximate and may vary slightly from those shown. Kipp Flores Architects, Inc. is not responsible for checking plans to ensure conformity with local codes. Should any changes be made to these plans in field or in reproduction, Kipp Flores Architects, Inc. is not responsible for associated plans and specifications.

GRASON COMMUNITIES, LTD.



PLAN 1471 FEB

PLAN 1930 REA

REAR ELEVATION

NOTES:
1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
2. NO LATER PLUMBING TO BE INSTALLED WITHOUT THE WRITTEN APPROVAL OF THE ARCHITECT.
3. PROVIDE STEEL LATHING ABOVE ALL CEILING JOINTS AND JOINTS IN PLASTER.
4. PROVIDE REINFORCED CONCRETE FLOOR SLABS AND FOUNDATIONS.
5. PROVIDE REINFORCED CONCRETE FOUNDATIONS AND FOUNDATIONS.



NOV 07 2011

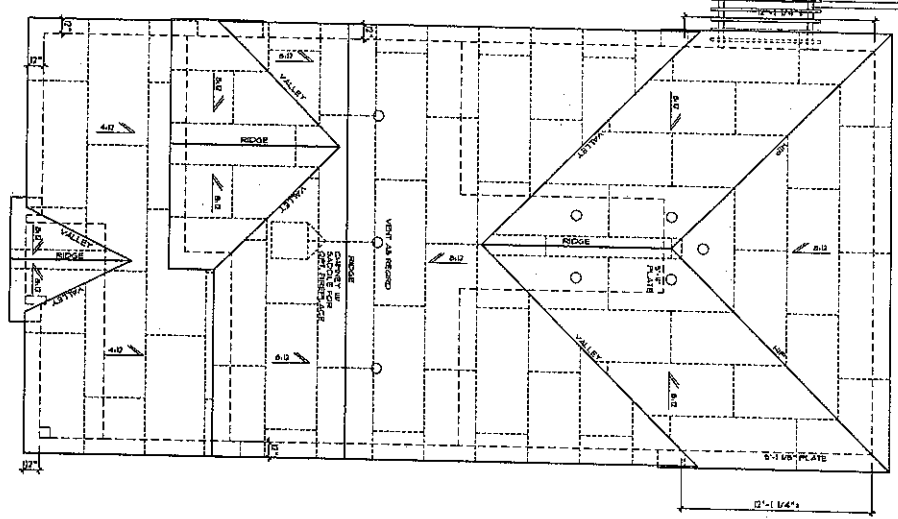
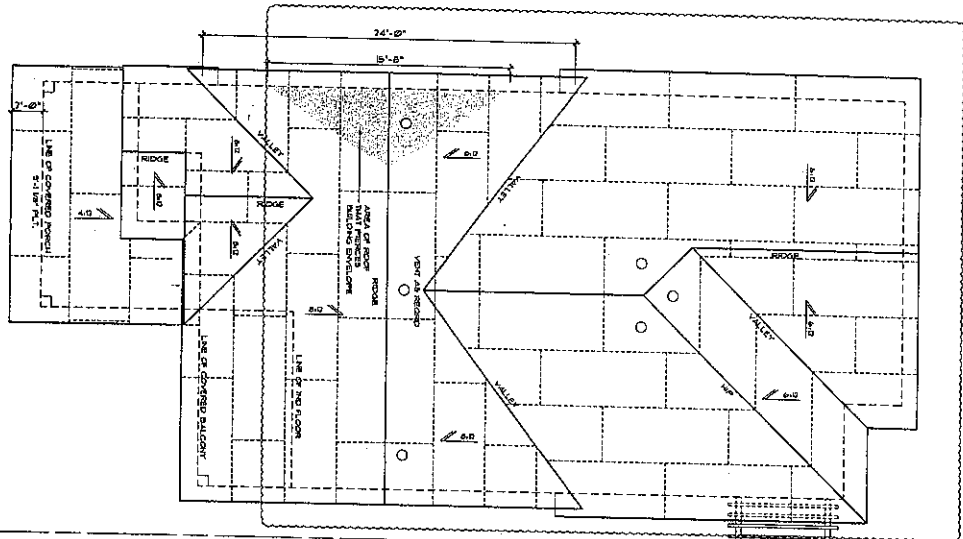
1308 914, 1304

KIPP FLORES ARCHITECTS®
 (512) 335-6477 fax (512) 335-5552
 11770 Jollyville Rd., Suite 100 Austin, Texas 78759

Due to mistakes in construction methods and details, a construction method, all dimensions and details are approximate and may vary per plan. Builders should take responsibility for checking plans to ensure conformity with local codes. Should any changes be made to these plans by Builders or its representatives, Builders assumes full liability for amended plans and specifications.

GRASON COMMUNITIES, LTD.

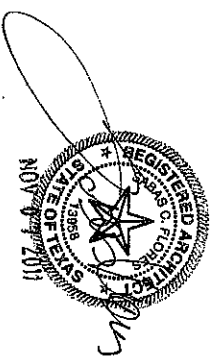
1308 and 1304



PLAN 1300 RFA

PLAN 1471 LFB

NOTES:
1. ALL ROOF PITCHES TO HAVE 1:12
2. ALL ROOF PITCHES TO HAVE 1:12
3. ALL ROOF PITCHES TO HAVE 1:12
4. ALL ROOF PITCHES TO HAVE 1:12
5. ALL ROOF PITCHES TO HAVE 1:12
6. ALL ROOF PITCHES TO HAVE 1:12
7. ALL ROOF PITCHES TO HAVE 1:12
8. ALL ROOF PITCHES TO HAVE 1:12
9. ALL ROOF PITCHES TO HAVE 1:12
10. ALL ROOF PITCHES TO HAVE 1:12



KIPP FLORES ARCHITECTS
© (512) 335-5477 fax (512) 335-5582
11776 Jollyville Rd. Suite 100 Austin, Texas 78750

Due to weather in construction method and thereby in construction materials, all dimensions and elevations are approximate and may vary from plan. Builder accepts full responsibility for checking plans to ensure conformity with local codes. Should any changes be made to these plans by Builder or its representatives, Builder assumes full liability for corrected plans and specifications.

GRASON COMMUNITIES, LTD.

REVISED 05-01-05 ADJUST FLOORING LINES IN KITCHEN
REVISED 06-04-05 / REVERSAL, 05, 06
REVISED 06-04-05 / 1ST FLOOR CHASE (PLAN)

1308 and 1304
CREATED BY
05-28-09

200700285

[Signature]
WATERSHED PROTECTION AND DEVELOPMENT REVIEW
P.E. DIRECTOR
VICTORIA HSU

THE STATE OF TEXAS
COUNTY OF BRAZOS

OF 21 2023 OF OFFICE OF THE COUNTY CLERK, THE 171 DAY

DEPUTY
COUNTY CLERK

SEAL



1. ALL STREETS, DRAINAGE, SIDEWALKS, EROSION CONTROLS, AND WATER AND WASTEWATER LINES ARE REQUIRED TO BE CONSTRUCTED AND INSTALLED TO CITY OF AUSTIN STANDARDS. 2. NO STRUCTURE SHALL BE OCCUPIED UNTIL THE WATER QUALITY CONTROL AND DETENTION FACILITY HAVE BEEN CONSTRUCTED, INSPECTED AND ACCEPTED BY THE CITY OF AUSTIN.

LOT AREA TABLE					
LOTS	50 FT.	ACRES	LOTS	NO. FT.	ACRES
1	D200	0.13	38A	4195	0.10
2	D200	0.13	10A	4192	0.10
3	D200	0.13	10B	4192	0.10
4	D200	0.13	10C	4192	0.10
5	D200	0.13	10D	4192	0.10
6	D200	0.13	10E	4192	0.10
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188	D200	0.13	10GE	4192	0.10
189	D200	0.13	10GF	4192	0.10
190	D200	0.13	10GG	4192	0.10
191	D200	0.13	10GH	4192	0.10
192	D200	0.13	10GI	4192	0.10
193	D200	0.13	10GJ	4192	0.10
194	D200	0.13	10GK	4192	0.10
195	D200	0.13	10GL	4192	0.10
196	D200	0.13	10GM	4192	0.10
197	D200	0.13	10GN	4192	0.10
198	D200	0.13	10GO	4192	0.10
199	D200	0.13	10GP	4192	0.10
200	D200	0.13	10GQ	4192	0.10
201	D200	0.13	10GR	4192	0.10
202	D200	0.13	10GS	4192	0.10
203	D200	0.13	10GT	4192	0.10
204	D200	0.13	10GU	4192	0.10
205	D200	0.13	10GV	4192	0.10
206	D200	0.13	10GW	4192	0.10
207	D200	0.13	10GX	4192	0.10
208	D200	0.13	10GY	4192	0.10
209	D200	0.13	10GZ	4192	0.10
210	D200	0.13	10HA	4192	0.10
211	D200	0.13	10HB	4192	0.10
212	D200	0.13	10HC	4192	0.10
213	D200	0.13	10HD	4192	0.10
214	D200	0.13	10HE	4192	0.10
215	D200	0.13	10HF	4192	0.10
216	D200	0.13	10HG	4192	0.10
217	D200	0.13	10HH	4192	0.10
218	D200	0.13	10HI	4192	0.10
219	D200	0.13	10HJ	4192	0.10
220	D200	0.13	10HK	4192	0.10
221	D200	0.13	10HL	4192	0.10
222	D200	0.13	10HM	4192	0.10
223	D200	0.13	10HN	4192	0.10
224	D200	0.13	10HO	4192	0.10
225	D200	0.13	10HP	4192	0.10
226	D200	0.13	10HQ		

GRASSEN COMMUNITIES, LTD., A TEXAS LIMITED PARTNERSHIP
BY
CRADOCK INVESTMENTS, LLC, A TEXAS LIMITED LIABILITY COMPANY, GENERAL PARTNER

THE STATE OF TEXAS
COUNTY OF TRAVIS

KEVIN H. THOMAS
AIR COMMISSIONER, DOWNS
AUGUST 28, 2008

Kevin H. Thomas
NOTARY PUBLIC, STATE OF TEXAS

EROSION/SEDIMENT

180 VOLUMES, LOT INCLUDING SINGLE FULL-LENGTH AND DOWA CONNECTIONS, IN ACCORDANCE WITH THE PROVISIONS OF THE ENVIRONMENTAL CRITERIA MANUAL.

WATER AND TILES IN PLASTER OR LAMINATED PLASTER, INCLUDING SOME WATER-TO-TOILET CONNECTIONS, ARE REQUIRED FOR ALL DEVELOPMENT WITH TOILETS. DOWA CONNECTIONS ARE REQUIRED FOR ALL DEVELOPMENT WITH TOILETS. THE FOLLOWING LOTS HAVE SLATES WITH A COEFFICIENT OF 100: 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 8

[illegible]

1. WATERSHED STATUS — THIS PROJECT IS LOCATED IN THE WILLIAMSON CREEK WATERSHED, CLASSIFIED AS SUBURBAN.

[illegible][illegible]

13. FOR A MINUTE TRAVEL DISTANCE OF 25 FEET FROM THE ROADWAY EDGE, ANY DRIVEWAY SHALL BE CONSTRUCTED TO A MINIMUM OF 10 FEET AND SHALL BE SUBJECT TO CONSTRUCTION ON LOTS IN THIS REDIVISION. DRIVEWAYS SHALL BE ADJUTED TO THE CITY OF ASHTON FOR REVIEW. RAISED CULVERTS SHALL BE USED TO THE AROUND
14. ALL DRIVEWAY DISCREPANCIES OR PRIVATE PROPERTIES SHALL BE APPROVED BY THE
15. OPEN ON ASHTON'S
16. LANDSCAPING OR OTHER ORNAMENTAL TREES SHALL BE PLANTED IN DRIVEWAY
17. AND DRIVEWAY SHALL PROVIDE FOR ACCESS TO DRIVEWAY EXCEPT AS MAY BE NECESSARY
18. BUILDING SETBACK LINES ARE IN CONFORMANCE WITH CITY OF ASHTON ZONING REGULATIONS.
19. SHEETS WILL BE CONSTRUCTED TO CITY OF ASHTON STANDARDS.
20. FAULTY DEVELOPED LOT 16 FOR OTHER USES SHALL BE STRIPPED COMPLETELY. LOTS 1-4 & 10 ARE SINGLE
21. CONSTRUCTION ON LOTS 5 EXCEEDING 25 FEET IS PROHIBITED.

[illegible][illegible]


ASSOCIATES, INC.
PROFESSIONAL LAND SURVEYING SERVICES
(512) 443-1772
FORT WORTH RD., SUITE 101
AUSTIN, TEXAS 78704

NO FEELES TO COMMENCEMENT OF CONCRETE
WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOT OWNERS
(LOTS 4 & 5A, 2B, 5A & 1B), SAVED BY THE COURT AND OTHERWISE.

NO SHOOTING OR CONSTRUCTION OF THE LOT OWNERS
SHOULD BE COORDINATED WITH AUSTIN ENERGY

**RESUBDIVISION OF
LOT B-1 OF SALTER CENTER**

HOWARD ENGINEERS, INC.
4309 Rymond Drive
Austin, Texas 78704
Phone (512) 448-0881
Fax: (512) 448-0889
Email: hals@howardengineers.com



CASE NO: C8-06-0102.1A
FILING DATE: NOVEMBER 2006
SHEET 1 OF 2

ORDINANCE NO. 020829-29

AN ORDINANCE REZONING AND CHANGING THE ZONING MAP FOR THE PROPERTY LOCATED AT 1100 WEST STASSNEY LANE FROM NEIGHBORHOOD COMMERCIAL (LR) DISTRICT, MULTIFAMILY RESIDENCE LOW DENSITY (MF-2) DISTRICT, MULTIFAMILY RESIDENCE MEDIUM DENSITY (MF-3) DISTRICT AND COMMUNITY COMMERCIAL (GR) DISTRICT TO TOWNHOUSE AND CONDOMINIUM RESIDENCE-CONDITIONAL OVERLAY (SF-6-CO) COMBINING DISTRICT.

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF AUSTIN:

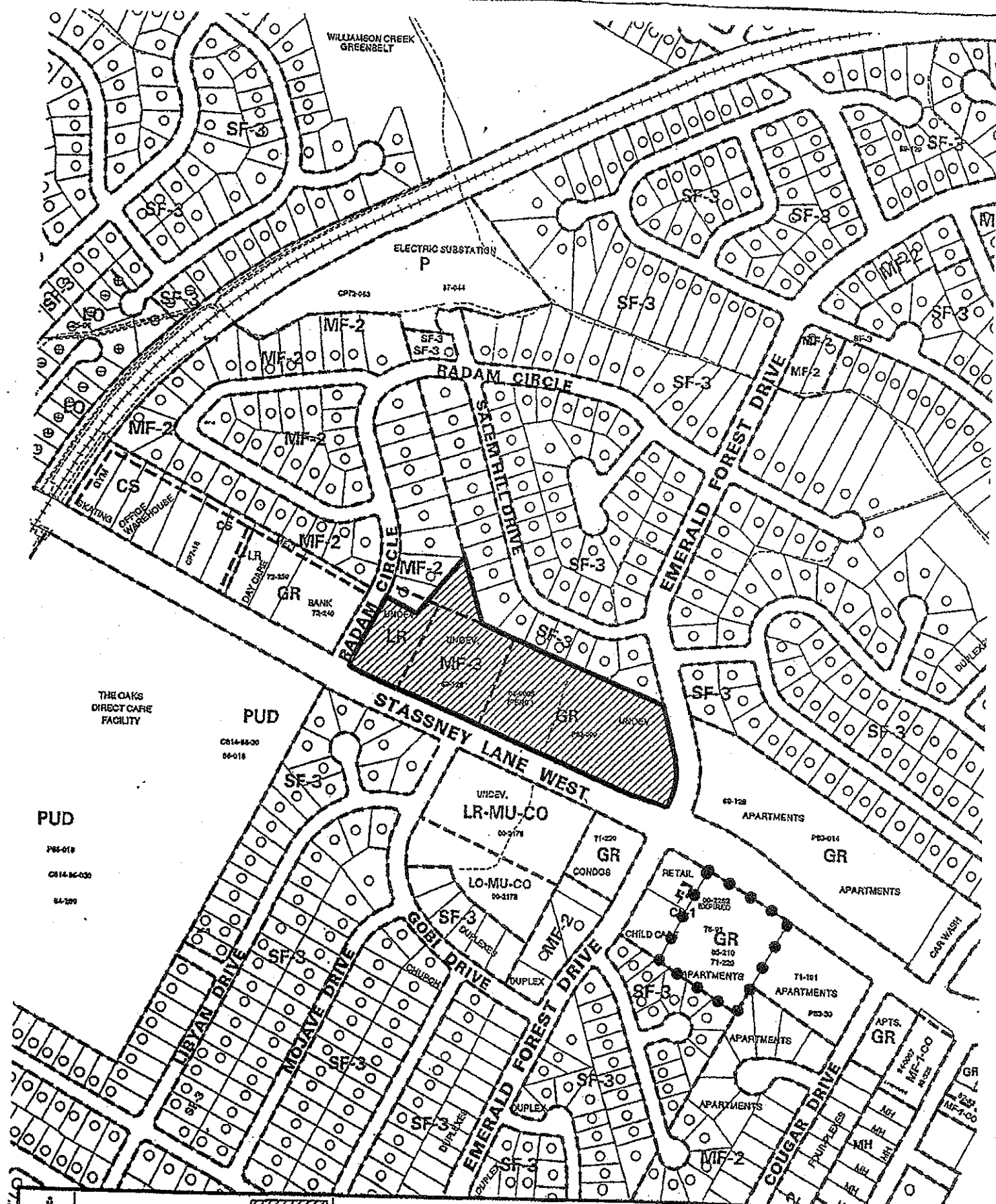
PART 1. The zoning map established by Section 25-2-191 of the City Code is amended to change the base district from neighborhood commercial (LR) district, multifamily residence low density (MF-2) district, multifamily residence medium density (MF-3) district and community commercial (GR) district to townhouse and condominium residence-conditional overlay (SF-6-CO) combining district on the property described in Zoning Case No. C14-02-0005, on file at the Neighborhood Planning and Zoning Department, as follows:

Lot B-2, Salem Center Subdivision, a subdivision in the City of Austin, Travis County, Texas, according to the map or plat of record in Plat Book 83, Pages 144B-144C, of the Plat Records of Travis County, Texas, (the "Property")

locally known as 1100 West Stassney Lane, in the City of Austin, Travis County, Texas, and generally identified in the map attached as Exhibit "A".

PART 2. The Property within the boundaries of the conditional overlay combining district established by this ordinance is subject to the following conditions:

1. The maximum height is 15 feet for a structure or a portion of a structure constructed within 50 feet of the north property line.
2. Development of the Property may not exceed 40 percent impervious coverage.
3. Development of the Property may not exceed 44 residential units.
4. A building may not contain more than one residential unit.



 1"=400'	SUBJECT TRACT		ZONING EXHIBIT A		CITY GRID REFERENCE NUMBER G17
	PENDING CASE				
	ZONING BOUNDARY				
	CASE #: C14-02-0005				
	ADDRESS: 1100 W STASSNEY LANE				
CASE MGR: W. WALSH		DATE: 02-01			
SUBJECT AREA (acres): 8.195		INTLS: SM			