

REVISION INDEX		
RVS.	DATE	DESCRIPTION
BA1	00/00/0000	XXXXXXXXXXXXXXXXXXXXXXXXXXXX

4105 AVENUE D AUSTIN, TEXAS 78751



A0.0

Note: 1.) Subject to restrictions and easement rights as stated in: V.180, P.299 and V.563, P.20 Real Property Records.

FROM A 1/2" REBAR FOUND AT THE PROPERTY CORNER, A 1/2" REBAR FOUND BEARS S 05°35'39" W, 0.54'

ASSUMED BEARING BASIS
S 67°30'00" E 119.95' (120.00')

AVENUE D
(60' ROW)

WATER METER

CM

CONCRETE WALK

N 29°22'03" E 62.57'

[62.50']

[62.30']

N 29°22'03" E 62.57'

0.70' OH

CONCRETE DRIVE

0.50' OH

ORIGINAL LOT LINE

CONCRETE WALK

STUCCO COLUMNS

WOOD FENCE

BRULINE LINE

PUBLIC UTILITY EASEMENT

DRAINAGE EASEMENT

PER PLAT

CALCULATED FROM RECORD DATA

POWER POLE

OVERHEAD UTILITIES

CONCRETE MONUMENT

PROOF OF CORNER

LEGEND

- 1/2" IRON PIPE FOUND
- 1/2" REBAR FOUND
- CHAIN LINK FENCE
- WOOD FENCE
- BRULINE LINE
- PUBLIC UTILITY EASEMENT
- DRAINAGE EASEMENT
- PER PLAT
- CALCULATED FROM RECORD DATA
- POWER POLE
- OVERHEAD UTILITIES
- CONCRETE MONUMENT
- PROOF OF CORNER

LOT 9

LOT 8

LOT 7

LOT 6

LOT 5

LOT 4

LOT 3

LOT 2

LOT 1

LOT 10

LOT 11

LOT 12

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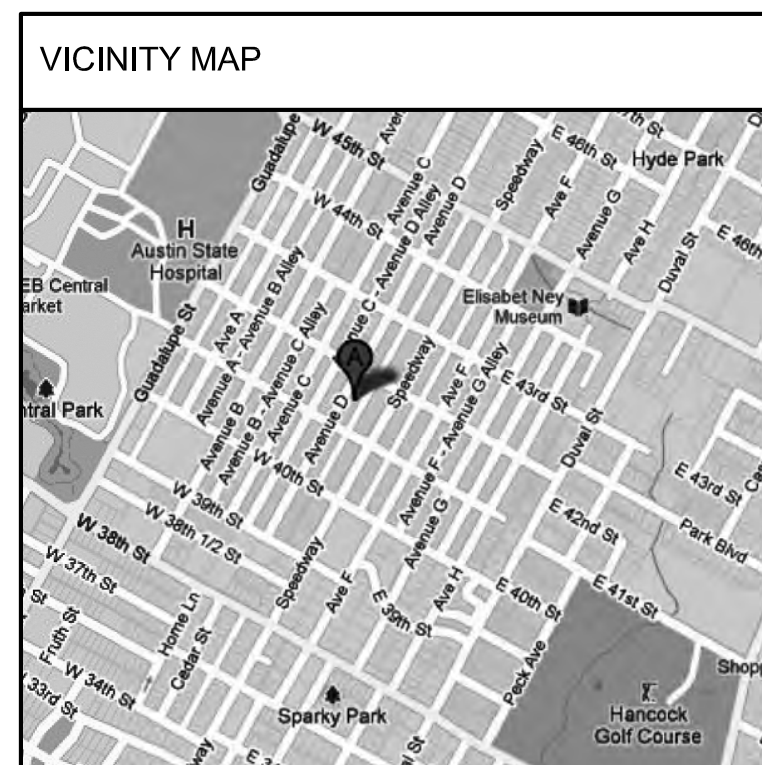
LOT 324

LOT 325

LOT 326

LOT 327

SUBDIVISION		HYDE PARK ADDITION	
LOT: 8, 9 & NORTH 12.5' OF LOT 10, BLK 24	BOOK 1	PAGE 67	PLAT RECORDS
COUNTY: TRAVIS	STATE OF TEXAS	STREET ADDRESS: 4105 AVENUE D	
CITY: AUSTIN	REFERENCE NAME: ELIZABETH V. WILLIAMS		



SOLID ARROW W/ CORRESPONDING LETTER DESIGNATION INDICATES DRAWING

1/A4.1

SHEET NUMBER

DRAWING NUMBER

AX.X

SHEET NUMBER

3 / A4.1

↑
DRAWING NUMBER

↑
SHEET NUMBER

 REVISION ADDENDA NUMBER

$1 / A3.2a$
 $1 / A3.2a$

 DRAWING NUMBER/SHEET NUMBER

	DOOR DESIGNATION NUMBER
	WINDOW DESIGNATION NUMBER
	MATERIAL TAG

FIN. FLR. ENTRY
0'-0" F.F.

FINISH FLOOR ELEVATION

PROJECT:
HYDE PARK RENOVATION / ADDITION
4105 AVENUE D
AUSTIN, TX 78751

ARCHITECT:
CLARK | RICHARDSON LLC
2502 E. 8TH STREET
AUSTIN, TEXAS 78702
CONTACT: APRIL CLARK
512-636-7653
april@clarkrichardson.com

STRUCTURAL:
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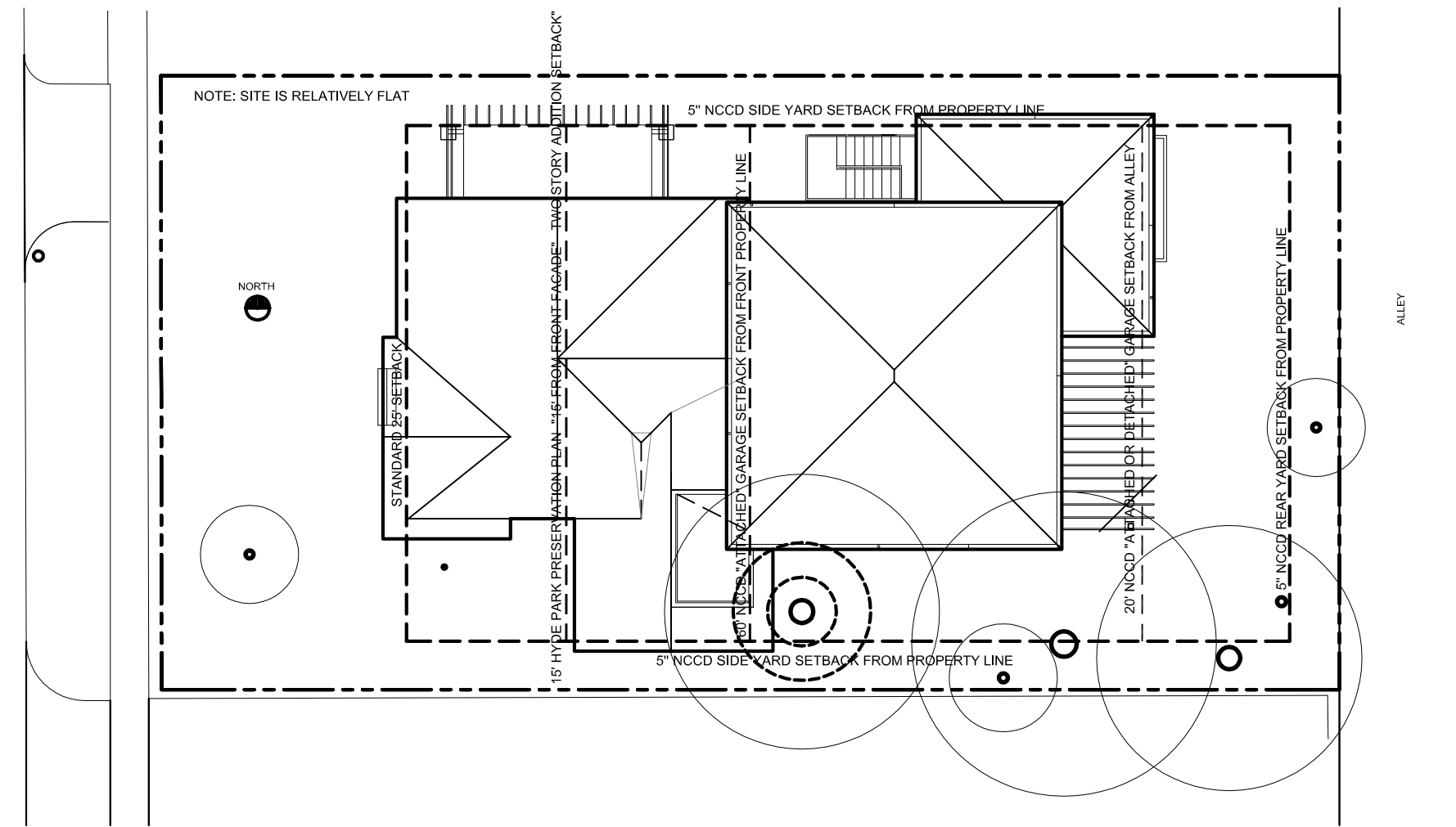
OWNER:
ELIZABETH WILLIAMS
4106 AVENUE B
AUSTIN, TX 78751

ARCHITECT'S SEAL:



SCALE: N/A
DATE: DECEMBER 9, 2011

CODE REVIEW & NOTES



SITE PLAN - SETBACKS

SCALE 1" = 20'-0"

7



SOUTH ELEVATION - MCMANSION TENT DIAGRAM

SCALE 1/16" = 1'-0"

6



EAST ELEVATION - MCMANSION TENT DIAGRAM

SCALE 1/16" = 1'-0"

5



NORTH ELEVATION - MCMANSION TENT DIAGRAM

SCALE 1/16" = 1'-0"

4



WEST ELEVATION - MCMANSION TENT DIAGRAM

SCALE 1/16" = 1'-0"

3

PROJECT INFORMATION	GENERAL NOTES
PROJECT DESCRIPTION: THE PROJECT SCOPE INCLUDES THE RENOVATION OF AND ADDITION TO AN EXISTING SINGLE FAMILY HOME IN THE HYDE PARK NEIGHBORHOOD. PROJECT IS PURSUING AN AUSTIN GREEN BUILDING CERTIFICATION. HISTORIC DISTRICT: THE EXISTING HOME IS A CONTRIBUTING STRUCTURE TO THE HYDE PARK HISTORIC DISTRICT. NATIONALLY REGISTERED. LANDSCAPING: NO TREES PROTECTED TREES ARE TO BE REMOVED. TREES IN THE GENERAL AREA OF THE SITE TO BE PROTECTED DURING CONSTRUCTION. SEE DEMOLITION PLAN FOR SMALLER TREES TO BE REMOVED. ZONING: SF-3 OCCUPANCY: OWNER OCCUPIED SINGLE FAMILY RESIDENCE APPLICABLE BUILDING CODES: 2006 IRC, 2009 IECC, 2008 NEC, 2009 IFC, 2009 UMC, 2009 UPC, HYDE PARK NEIGHBORHOOD CONSERVATION COMBINING DISTRICT, TAS, AND LOCAL AMENDMENTS DEMOLITION: PORTIONS OF THE EXISTING HOUSE TO BE DEMOLISHED. ADDITIONALLY, AN EXISTING TEMPORARY STORAGE BUILDING AND SLAB TO BE DEMOLISHED. DEMOLITION PERMIT IS REQUIRED. PRELIMINARY REVIEW: THIS PROJECT HAS RECEIVED WORKING REVIEWS FROM THE FOLLOWING INDIVIDUALS & GROUPS:- EDWARD VIGIL, SENIOR PLANNER - CITY OF AUSTIN ALYSON MCGEE, DEPUTY HISTORIC PRESERVATION OFFICER - COA COMMISSIONERS FROM THE COA BOARD OF APPROPRIATENESS HYDE PARK NEIGHBORHOOD DESIGN COMMITTEE	1. AT NO TIME ARE CHANGES TO THE CONSTRUCTION METHODS, MATERIALS, DETAILS, SPECIFICATIONS, GENERAL NOTES OR SCHEDULES, OR DELETION OF ANY REQUIREMENT SHOWN ON THESE DRAWINGS ACCEPTABLE WITHOUT FIRST OBTAINING WRITTEN PERMISSION FROM THE ARCHITECT AND CLIENT. TO OBTAIN PERMISSION - PRICING, RELEVANT DRAWINGS AND DOCUMENTS MUST BE PROVIDED. 2. ALL PROPOSALS SHALL TAKE INTO CONSIDERATION ALL SITE & CONSTRUCTION CONDITIONS AFFECTING WORK UNDER THIS CONTRACT. 3. COORDINATE MECHANICAL PLUMBING AND ELECTRICAL DIVISIONS WITH OTHER TRADES AFFECTING OR AFFECTED BY SAME. 4. CONTRACTOR TO COORDINATE STAGING AREAS 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTING THE PROJECT IN ACCORDANCE WITH ALL PROVISIONS OF APPLICABLE CODES AND ORDINANCES. WORKMANSHIP AND MATERIALS TO BE OF THE HIGHEST INDUSTRY STANDARDS. 6. THE PLANS AND SPECIFICATIONS HAVE BEEN DEVELOPED WITH THE INTENT OF MEETING OF EXCEEDING THE MINIMUM REQUIRED STANDARDS. SHOULD THE PLANS AND SPECIFICATIONS DISAGREE WITH THEMSELVES, THE GREATER QUALITY OR GREATER QUANTITY SHALL BE PERFORMED OR FURNISHED. 7. NOTICE TO ALL SUBCONTRACTORS: IT IS YOUR RESPONSIBILITY TO BID YOUR SCOPE OF WORK USING THE COMPLETE SET OF PLANS AND SPECIFICATIONS. THE FACT THAT SOMETHING WAS NOT INDICATED ON YOUR PORTION OF THE DRAWINGS WILL NOT BE ACCEPTABLE AS A REASON FOR AN EXTRA SERVICES, IF IT CAN BE FOUND ELSEWHERE IN THE DRAWINGS OR SPECIFICATIONS OR IF IT IS IMPLIED AS PART OF THE SCOPE OF WORK. 8. THE CONTRACTOR MUST VERIFY ALL EXISTING CONDITIONS AND ITEMS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES. 9. IN THE EVENT OF THEFT OR DAMAGE OF MATERIALS STORED ON SITE, EACH PRIME CONTRACTOR SHALL REPLACE AND/OR RESTORE ALL AFFECTED MATERIALS. 10. PROVIDE FIRST AID AND FIRE PROTECTION AS REQUIRED BY OSHA. 11. GENERAL CONTRACTOR AND SUB-CONTRACTOR ARE TO BID THIS PROJECT AS DESIGNED. VALUE ENGINEERING IS WELCOMED IN AN EFFORT TO GET THE BEST VALUE. GENERAL CONTRACTOR SHALL SUBMIT THEIR BID PER PLANS AND SPECIFICATIONS AND SUBMIT VALUE ENGINEERING ITEMS SEPARATELY. 12. PROVIDE ARCHITECT W/SHOP DWGS, OF ALL MILLWORK, SHOP FABRICATED STRUCTURAL TRUSSES AND FRAMING AS WELL AS WINDOWS. 13. ALL NEW & ORIGINAL CONSTRUCTION SHALL BE THOROUGHLY CLEANED AND PAINTED, BOTH EXTERIOR & INTERIOR PRIOR TO OWNERS OCCUPANCY. 14. FINISH SCHEDULE FOR ALL MATERIALS, FINISHES, FIXTURES AND PAINT COLORS 15. CONTRACTOR SHALL PROVIDE APPROPRIATE WRITTEN DOCUMENTS THAT REFLECT ANY CHANGES TO ORIGINAL DRAWINGS, FINISH AND MATERIAL SPECIFICATIONS OR LAYOUT 16. SITE MEETINGS ARE REQUIRED TO BE HELD WITH THE ARCHITECT, CONTRACTOR AND EACH TRADE SUBCONTRACTOR AT THE START OF EACH PHASE INCLUDING THE FOLLOWING PHASES: PRE-CONSTRUCTION, MILLWORK

SITE NOTES

- TREES TO BE SAVED SHALL BE PROTECTED BY FENCING BEFORE CONSTRUCTION BEGINS. NO EQUIPMENT OR MATERIAL SHALL BE OPERATED OR STORED WITHIN THE FENCED-IN AREA. FENCES SHALL BE AT THE DRIP LINE AND COMPLETELY SURROUND THE TREE OR CLUSTER OF TREES. NO BURNING OF DERBIS, CLEANING FLUIDS, CONCRETE SPILLS, ETC. WILL BE ALLOWED WITHIN THESE AREAS.
- CONTRACTOR TO VERIFY EXACT LOCATION OF STRUCTURES, AND RELATED STRUCTURES ON LOT ACCORDING TO THE SET OF DRAWINGS.
- ALL EXISTING CONDITIONS MUST BE VERIFIED PRIOR TO CONSTRUCTION. CONTRACTOR MUST NOTIFY ARCHITECT IN WRITING OF ANY DISCREPANCIES TO THE DRAWINGS.

PROJECT INFORMATION & GENERAL NOTES

SCALE: NTS

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PROJECT COVERAGE CALCULATIONS

Date: 12-07-2011

Impervious Cover Calculations

4105 Avenue D - Williams Residence

	Totals	SQ FT	
		Existing	New
Lot	7,500		
45% of total lot	3,375		
a. Total Building Coverage on lot*	2,494	2,140	354
b. Driveway area on private property (Runners)	208	0	208
c. Sidewalk / walkways on private property	105	0	105
d. Uncovered patios	0	0	0
e. Uncovered wood decks (may be counted at 50%)	182	22	160
50% Wood Deck (Uncovered)	15		
50% Wood Stairs (Uncovered)	146		
50% Wood Deck 2nd Flr (Uncovered)	19		
f. AC Pads	27	9	18
g. Concrete decks	0	230	-230
h. Other			
*Includes overhangs over 2' and covered decks, porches & patios			
Total	3,016	2,401	615
45% of total lot	3,375		
Total Impervious Cover	3,016		
Remaining SQFT of Impervious cover	359		

Building Coverage

4105 Avenue D - Williams Residence

	Totals	SQ FT	
		Existing	New
Lot	7,500		
40% of total lot	3,000		
a. 1st Floor Conditioned Area*	1,701	1,938	-237
a-1 1st Floor Porches (Below Conditioned Area)**	168	0	168
b. 2nd Floor Conditioned Area	1,198	0	1,198
b-1 2nd Floor Balcony (Above Conditioned Area)**	96	0	96
c. 3rd Floor Conditioned Area	0	0	0
d. Basement	0	0	0
e. Garage & Carport	553	0	553
f. Wood Deck & Stairs (Uncovered)	296	0	296
g. Breezeways	0	0	0
h. Covered Patio	0	0	0
i. Covered Porch (front)*	202	202	0
j. Wood Deck - Balcony (Uncovered, 2nd Floor)	38	0	38
k. Swimming Pools	0	0	0
l. Other Covered Area	0	0	0
*Includes overhangs over 2' not included in other line items ie. Overhanging an item previously accounted for such as carport			
**Does not contribute to building coverage per code			
Total Building Area	4,252	2,140	2,112
Subtract b,c,d,k and f	1,758	0	1,758
Applicable per code exceptions as defined by Building Coverage			
40% of total lot	3,000		
Total Building Coverage on Lot	2,494	2,140	354
Remaining SQFT of Building Coverage Allowable	506		

FAR Calculations

4105 Avenue D - Williams Residence

	Totals	SQ FT	
		Existing	New
Lot	7,500		
40% of total lot	3,000		
I. 1st Floor Gross Area			
a. 1st floor area*		1588	17
b. 1st floor area with ceiling height over 15 feet		0	0
c. TOTAL (add a & b above)	1,605	1588	17
II. 2nd Floor Conditioned Area			
d. 2nd floor area**		0	1198
e. 2nd floor area with ceiling height over 15 feet		0	0
f. TOTAL (add d & e above)	1,198	0	1198
III. 3rd Floor Conditioned Area			
g. 3rd floor area**		0	0
h. 3rd floor area with ceiling height over 15 feet		0	0
i. TOTAL (add d & e above)	0	0	0
IV. Basement Gross Area			
j. Floor area outside of footprint of first floor	0	0	0
V. Garage			
k. attached***	164	0	164
l. detached		0	0
VI. Carport			
open on two or more sides without habitable s above it subtract 450sqft	0	0	0
Carport (Code exception excludes its full area)			
*Excluding covered or uncovered finished ground floor porches			
**Including all areas covered by a roof ie porches, breezeways, mezzanine or loft			
***Subtract 200sqft if used to meet the min. parking requirement			
Total Gross Floor Area	2,967	1588	1379
Floor Area Ratio	39.56%		
40% of total lot	3,000		
Total FAR Coverage	2,967		
Remaining SQFT of FAR	33		

PROJECT COVERAGE CALCULATIONS

SCALE: NTS

1

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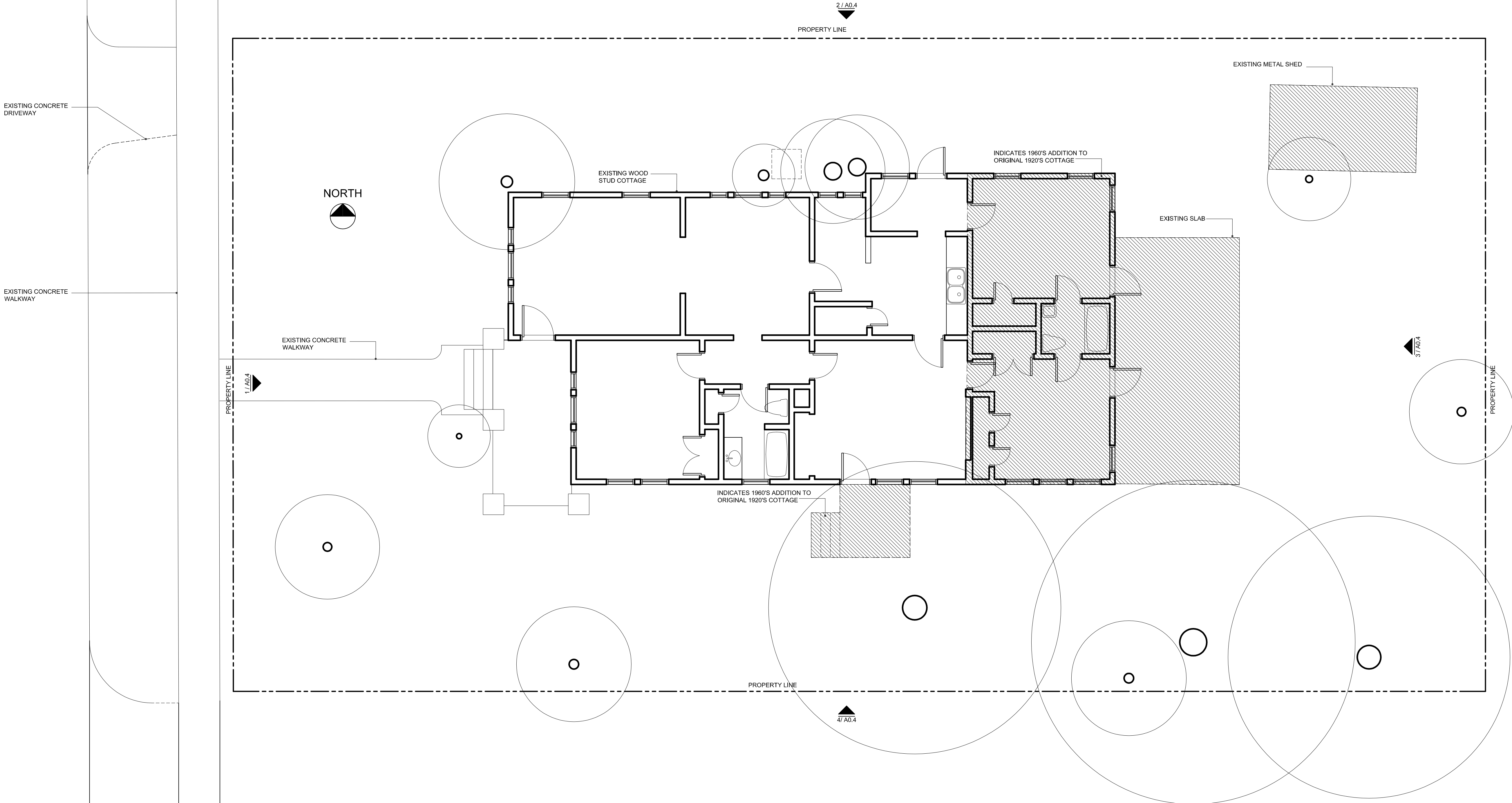
STRUCTURAL:
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justinb@archce.net

OWNER:
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SCALE: 3/16" = 1'-0"	DATE: DECEMBER 9, 2011
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EXISTING SITE PLAN



EXISTING SITE PLAN
SCALE $\frac{3}{16}" = 1'-0"$

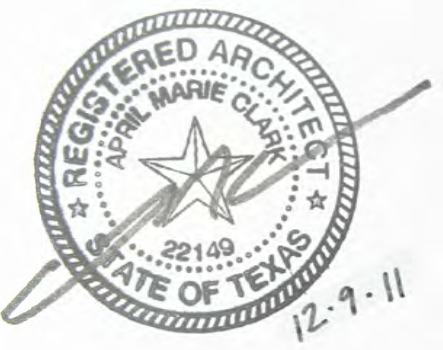
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ARCHITECT'S SEAL:



SCALE:

3/16" = 1'-0"

DATE:

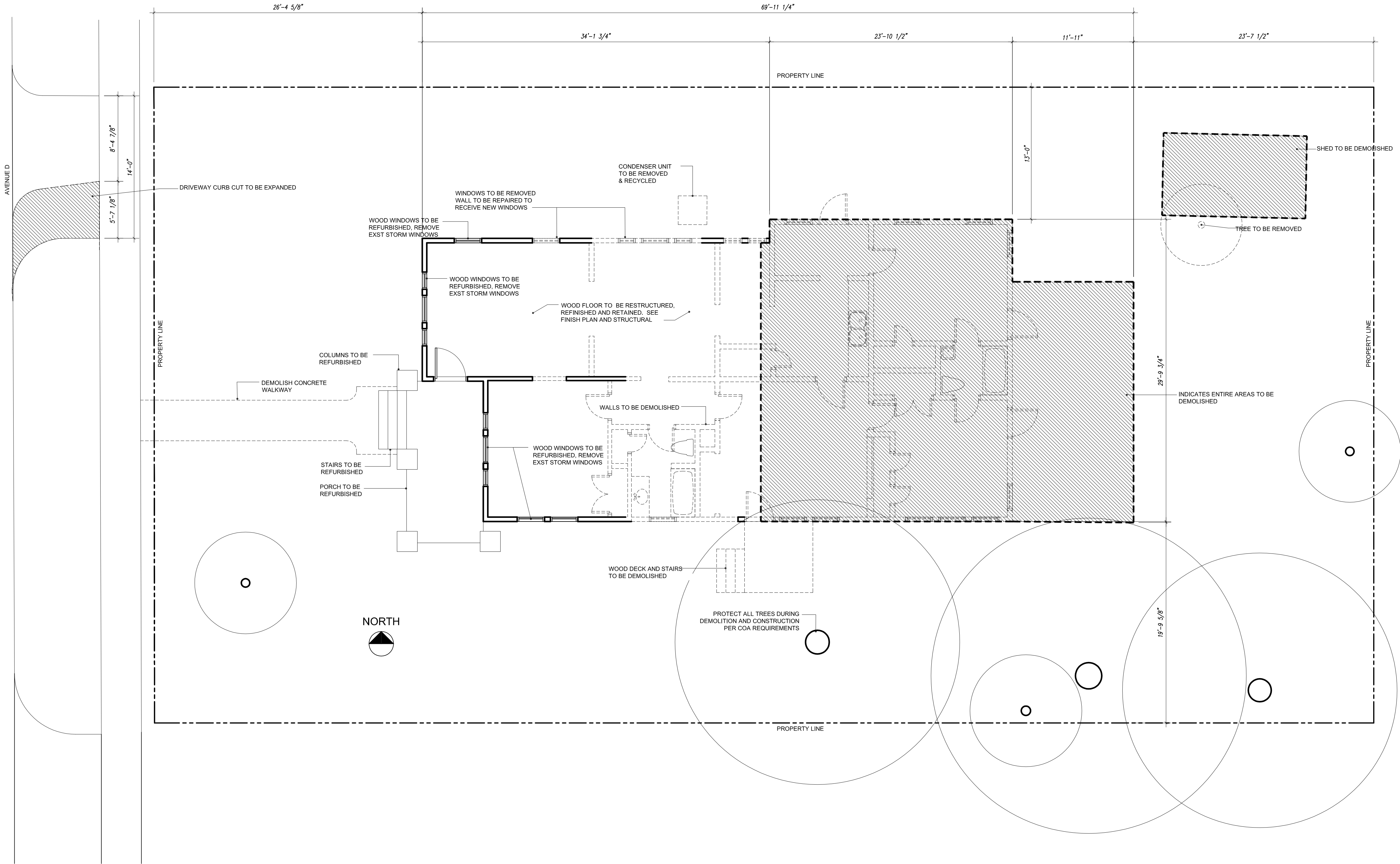
DECEMBER 9, 2011

DEMOLITION PLAN

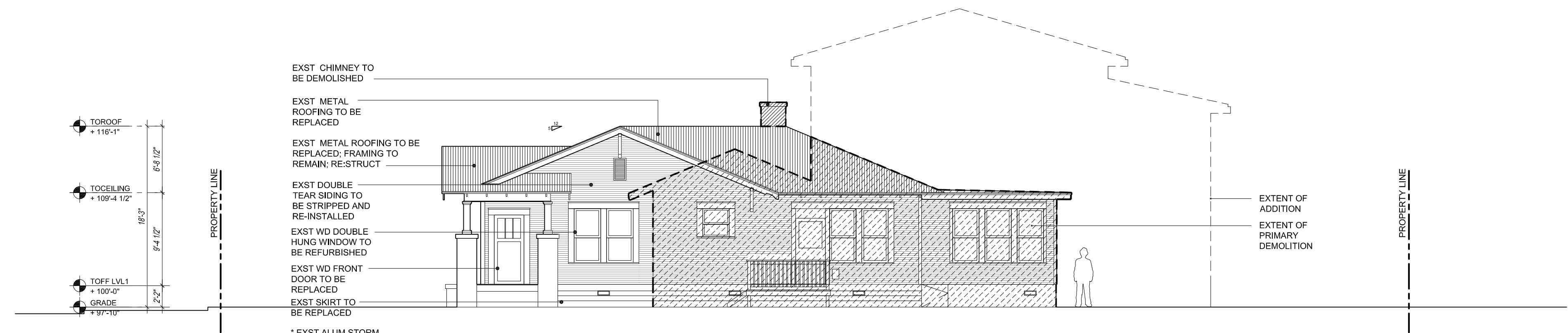
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WALL LEGEND	
	EXISTING WALL TO REMAIN
	WALL TO BE DEMOLISHED
	NEW WOOD FRAME WALL

DEMOLITION NOTES
- A MINIMUM OF 50% OF CONSTRUCTION AND DEMOLITION WASTE IS TO BE RECYCLED, RETAIN PROPER DOCUMENTATION PER AUSTIN ENERGY GREEN BUILDING REQUIREMENTS
-ARCHITECT, STRUCTURAL ENGINEER AND CONTRACTOR TO REVIEW IN FIELD ALL WALLS, AND PORTION OF WALLS TO BE DEMOLISHED PRIOR TO COMMENCEMENT OF DEMOLITION. ALL DEMOLITION TO BE CLEARLY MARKED IN THE FIELD.
- PERFORM DEMOLITION IN ACCORDANCE WITH ALL APPLICABLE CODES AND STANDARDS
-DEMOLISH IN AN ORDERLY AND CAREFUL MANNER IN ORDER TO ACCOMMODATE NEW WORK. PROTECT EXISTING FOUNDATION, WALLS AND SUPPORTING MEMBERS WHICH ARE TO REMAIN.
- WHERE POSSIBLE RECYCLE ANY LIGHTLY USED FIXTURES, WINDOWS, CABINETS AND DOORS TO BE REMOVED AT LOCAL RE-USE STORES, SUCH AS HABITAT-FOR-HUMANITY RE-STORE.
- CEASE DEMOLITION IMMEDIATELY AND NOTIFY THE STRUCTURAL ENGINEER AND ARCHITECT, IF SAFETY OR STRUCTURE APPEARS TO BE ENDANGERED. TAKE PRECAUTIONS TO PROPERLY SUPPORT STRUCTURE. DO NOT RESUME OPERATIONS UNTIL SAFETY IS RESTORED.
-SCRAPE, SAND, STRIP OR BRUSH AND PREPARE ALL SURFACES AS REQUIRED IN ORDER TO RECEIVE NEW FINISHES.
-PROTECT FINISH WORK THAT IS TO REMAIN IN PLACE FROM DAMAGE
-PROTECT ADJACENT TREES AND SHRUBS TO REMAIN IN PLACE FROM DAMAGE PER CITY OF AUSTIN ARBORIST REQUIREMENTS
- REMOVE DEMOLISHED MATERIALS, TOOLS AND EQUIPMENT FROM SITE UPON COMPLETION OF WORK. LEAVE SITE CLAN AND FREE OF DEBRIS.
- REPAIR ALL DEMOLITION OR DAMAGED CAUSED IN EXCESS OF THAT REQUIRED AT NO ADDITIONAL COST TO THE OWNER.
- ALL WALLS AND ROOF STRUCTURES TO REMAIN ARE TO BE PROPERLY SHORED PRIOR TO THE REMOVAL OF ANY STRUCTURAL ELEMENTS. SHORING IS RESPONSIBILITY OF CONTRACTOR AND IS TO BE ENGINEERED BY A REGISTERED ENGINEER. INSTALLED SHORING MUST BE REVIEWED BY ENGINEER RESPONSIBLE.

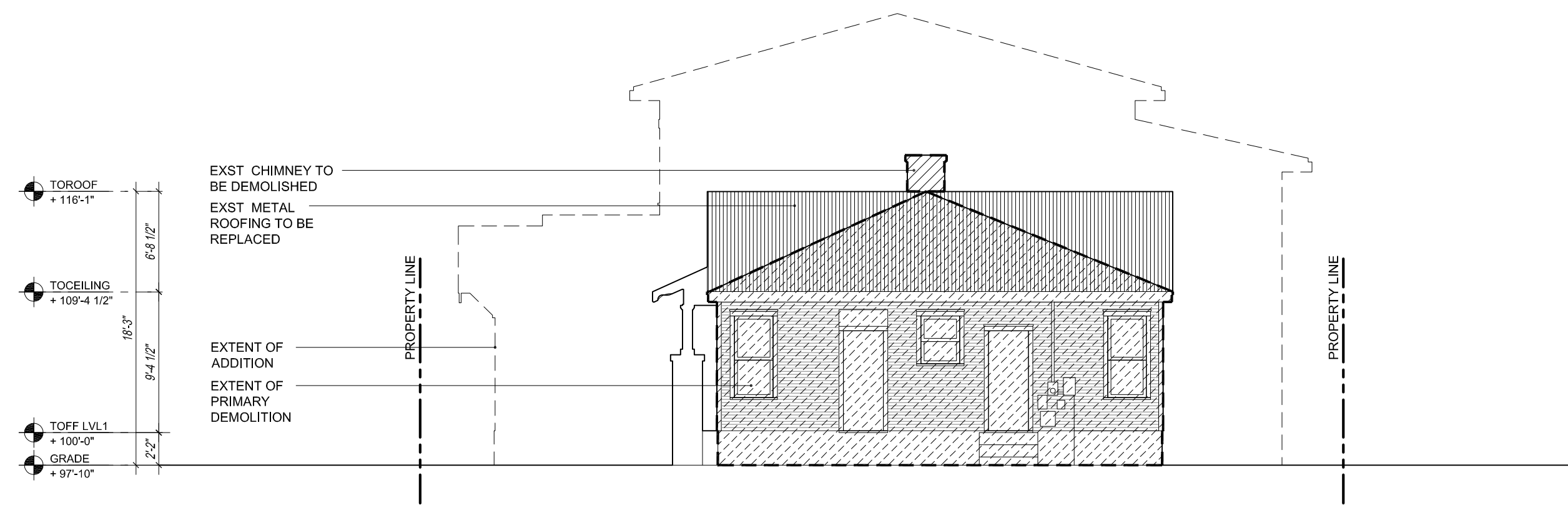


DEMOLITION PLAN
SCALE 3/16" = 1'-0"



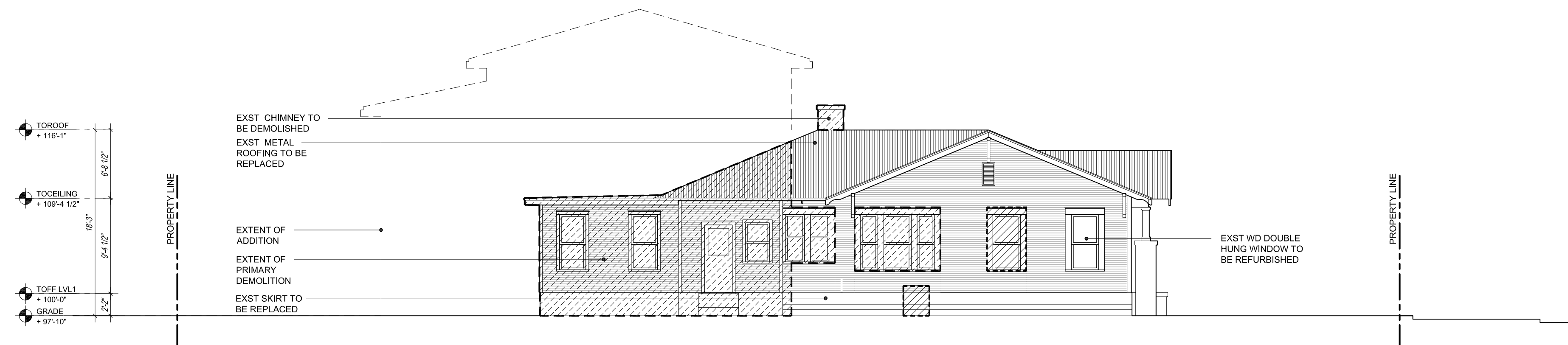
SOUTH ELEVATION
SCALE 1/8" = 1'-0"

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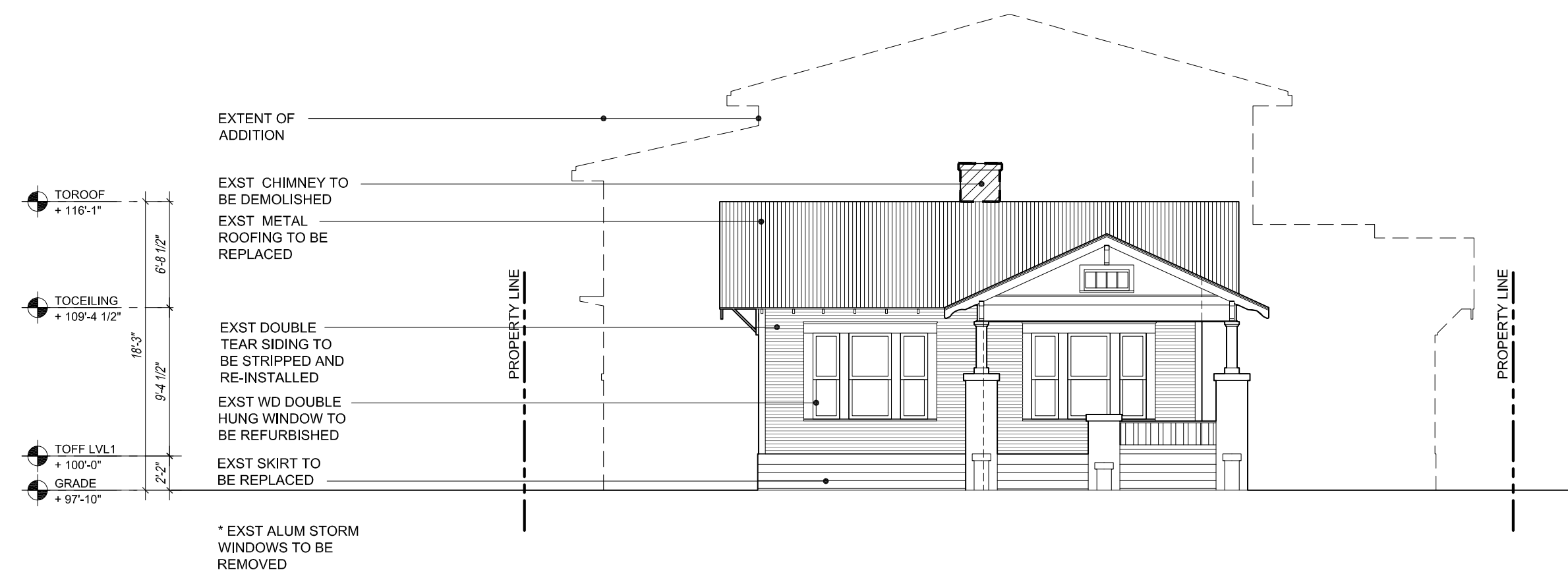
EAST ELEVATION
SCALE 1/8" = 1'-0"

3



NORTH ELEVATION
SCALE 1/8" = 1'-0"

2



WEST ELEVATION
SCALE 1/8" = 1'-0"

1

LEGEND

EXTENT OF ADDITION

EXTENT OF DEMOLITION

C | R

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ARCHITECT'S SEAL:



SCALE:

1/8" = 1'-0"

DATE:

DECEMBER 9, 2011

EXISTING & DEMO
ELEVATIONS

A0.4

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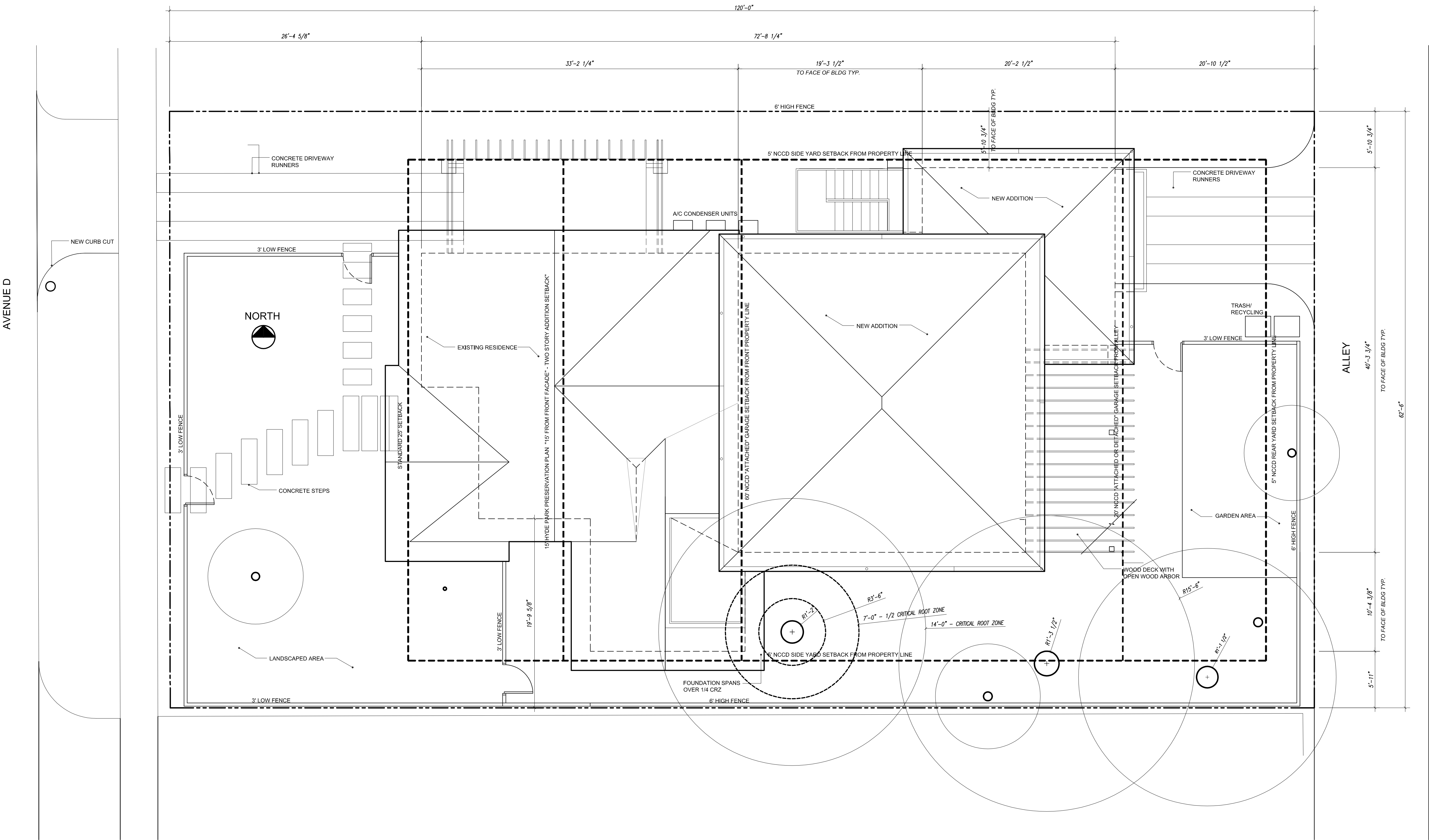
OWNER:
ELIZABETH WILLIAMS
4106 AVENUE B
AUSTIN, TX 78751



SCALE: 3/16" = 1'-0"	DATE: DECEMBER 9, 2011
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SITE PLAN

A1.0



SITE PLAN
SCALE 3/16" = 1'-0"

PROJECT:
HYDE PARK RENOVATION / ADDITION
4105 AVENUE D
AUSTIN, TX 78751

ARCHITECT:
CLARK | RICHARDSON LLC
2502 E. 8TH STREET
AUSTIN, TEXAS 78702
CONTACT: APRIL CLARK
512-636-7653
april@clarkrichardson.com

STRUCTURAL:
ARCH CONSULTING ENGINEERS PLLC
105 W RIVERSIDE DR, SUITE 101
AUSTIN, TX 78702
CONTACT: JUSTIN BILLODEAU
512-328-5353
justinb@archce.net

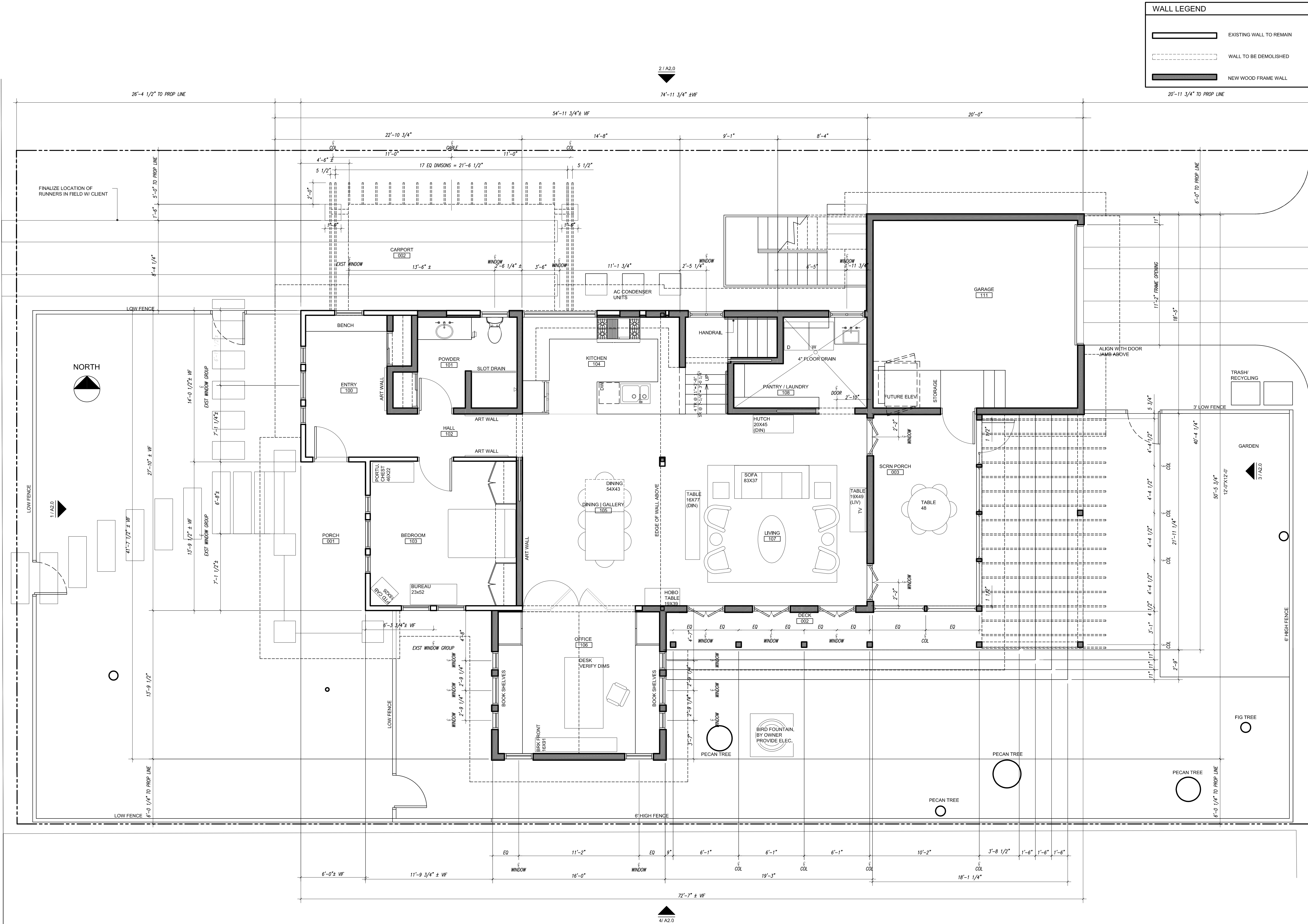
OWNER:
ELIZABETH WILLIAMS
4106 AVENUE B
AUSTIN, TX 78751

ARCHITECT'S SEAL:



SCALE: 1/4" = 1'-0"	DATE: DECEMBER 9, 2011
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FIRST FLOOR PLAN



FIRST FLOOR PLAN
SCALE 1/4" = 1'-0"

PROJECT:
HYDE PARK RENOVATION / ADDITION
4105 AVENUE D
AUSTIN, TX 78751

ARCHITECT:
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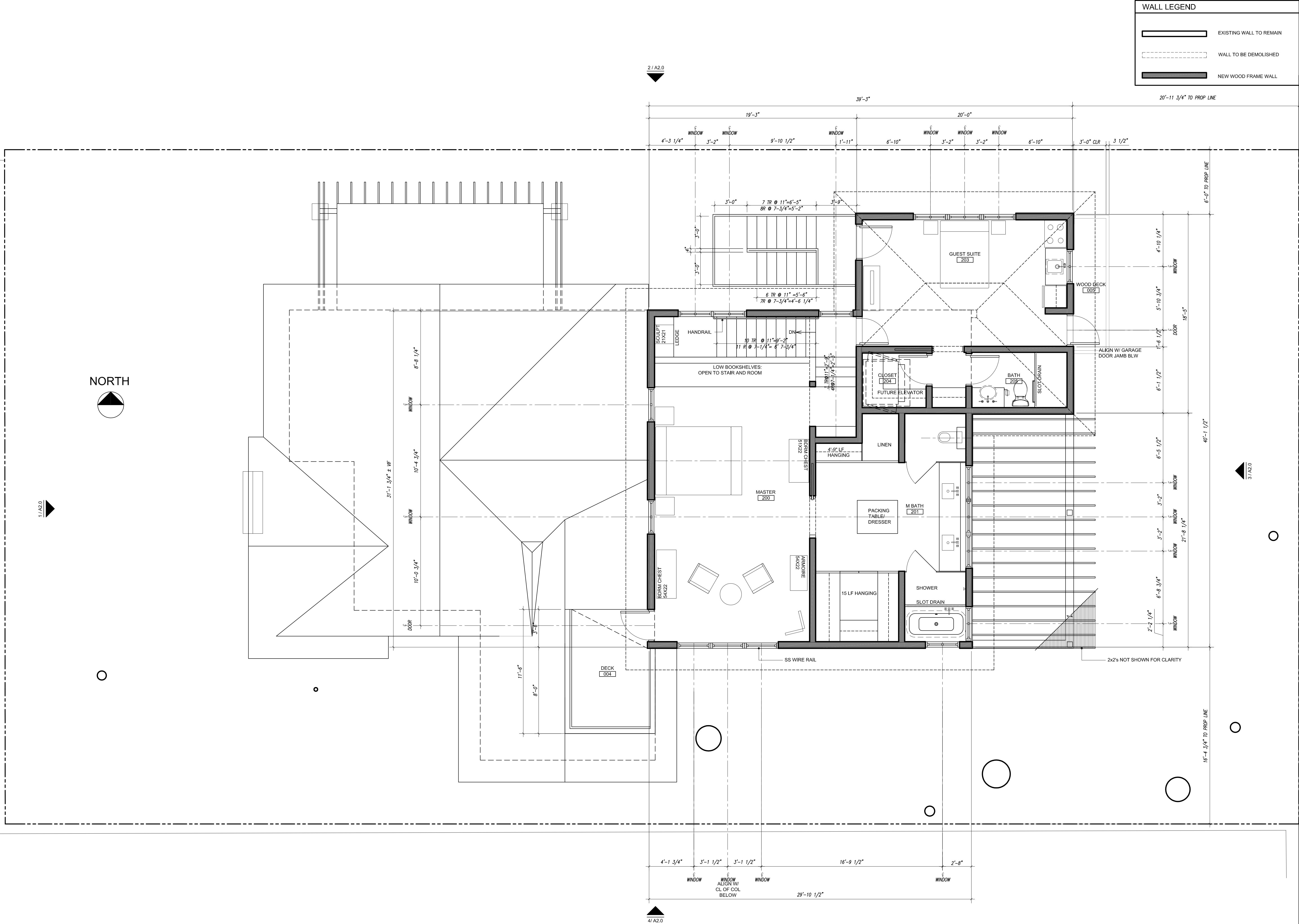
STRUCTURAL:
ARCH CONSULTING ENGINEERS PLLC
105 W RIVERSIDE DR, SUITE 101
AUSTIN, TX 78702
CONTACT: JUSTIN BILLODEAU
512-328-5353
justinb@archce.net

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ELIZABETH WILLIAMS
4106 AVENUE B
AUSTIN, TX 78751



SCALE: 3/4" = 1'-0"	DATE: DECEMBER 9, 2011
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SECOND FLOOR PLAN



SECOND FLOOR PLAN
SCALE 1/4" = 1'-0"

ARCHITECT:
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AUSTIN, TEXAS 78702
CONTACT: APRIL CLARK
512-636-7653
april@clarkrichardson.com

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AUSTIN, TX 78702
CONTACT: JUSTIN BILLODEAU
512-328-5353
justinb@archce.net

OWNER:
ELIZABETH WILLIAMS
4106 AVENUE B
AUSTIN, TX 78751

ARCHITECT'S SEAL:

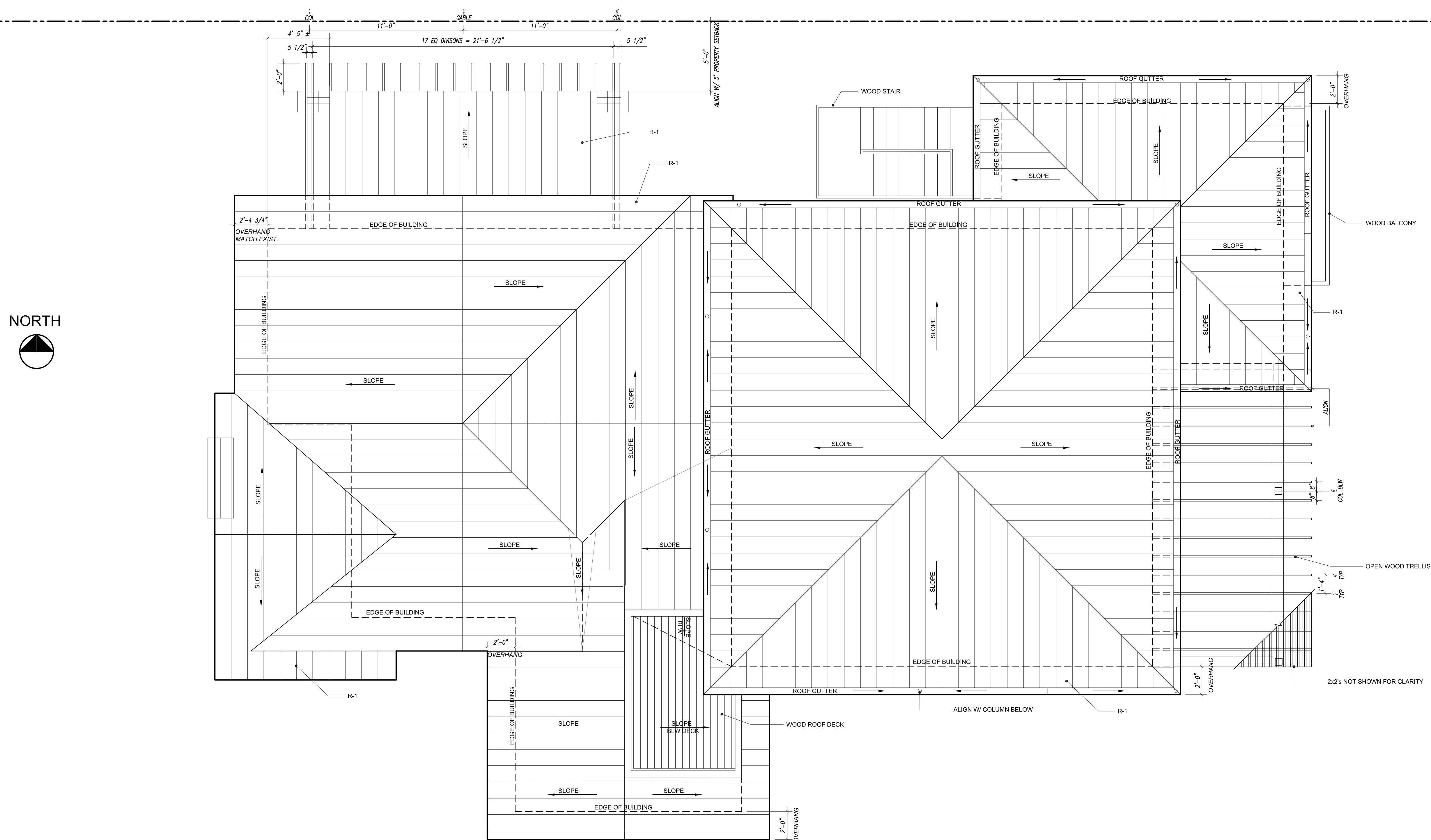


SCALE:
 $\frac{1}{4}" = 1'-0"$

DATE:	DECEMBER 9, 2011
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ROOF PLAN

A1.3



ROOF PLAN
SCALE 1/4" = 1'-0"

PROJECT:
HYDE PARK RENOVATION / ADDITION
4105 AVENUE D
AUSTIN, TX 78751

ARCHITECT:
CLARK | RICHARDSON LLC
2502 E. 8TH STREET
AUSTIN, TEXAS 78702
CONTACT: APRIL CLARK
512-636-7653
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STRUCTURAL:
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512-328-5353
justinb@archce.net

OWNER:
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AUSTIN, TX 78751

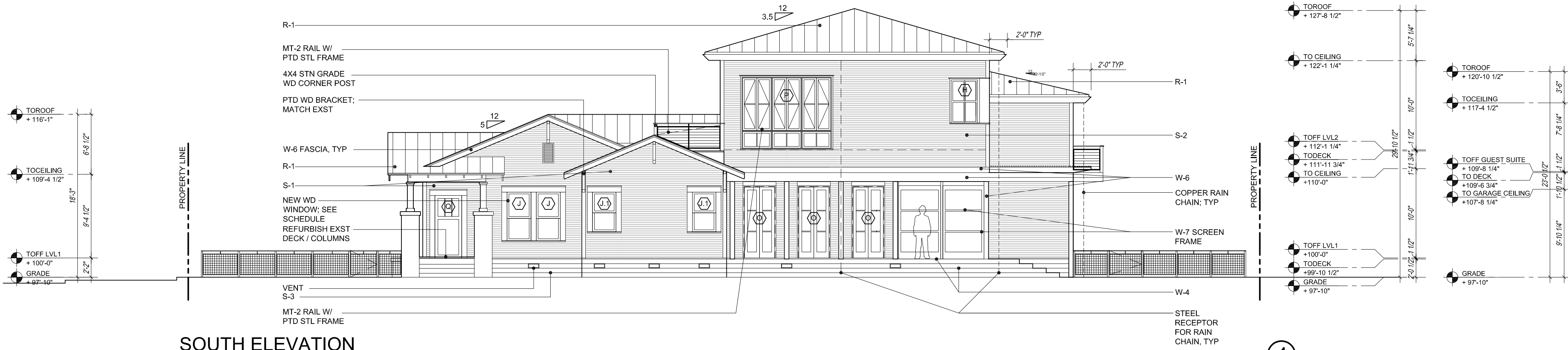
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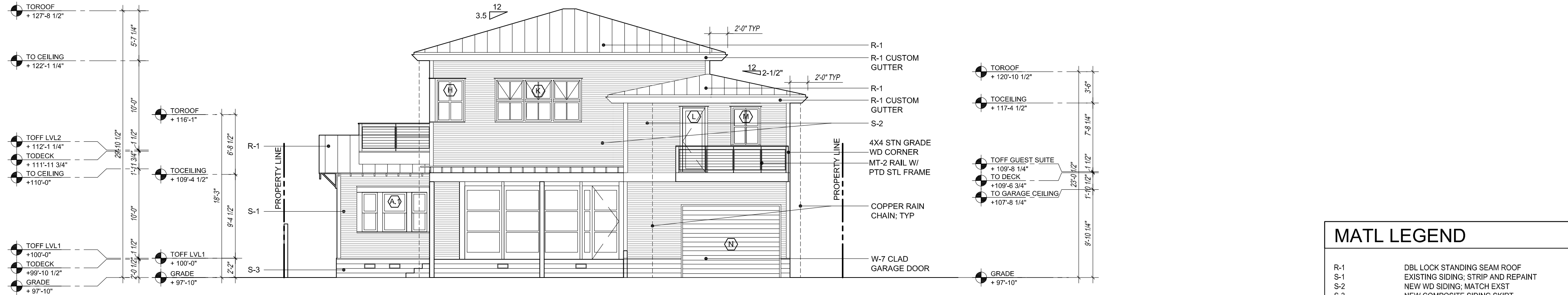
SCALE: 1/8" = 1'-0"
DATE: DECEMBER 9, 2011

BUILDING ELEVATIONS

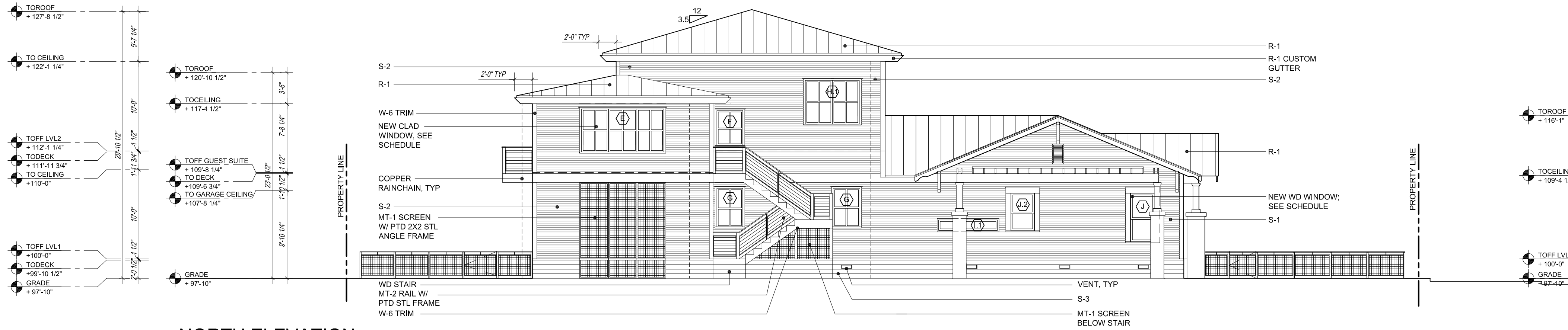
A2.0



SOUTH ELEVATION
SCALE 1/8" = 1'-0"



EAST ELEVATION
SCALE 1/8" = 1'-0"



NORTH ELEVATION
SCALE 1/8" = 1'-0"



WEST ELEVATION
SCALE 1/8" = 1'-0"

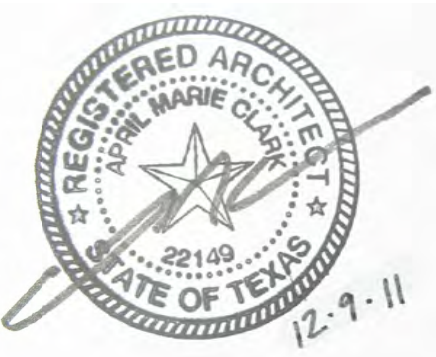
PROJECT:
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4105 AVENUE D
AUSTIN, TX 78751

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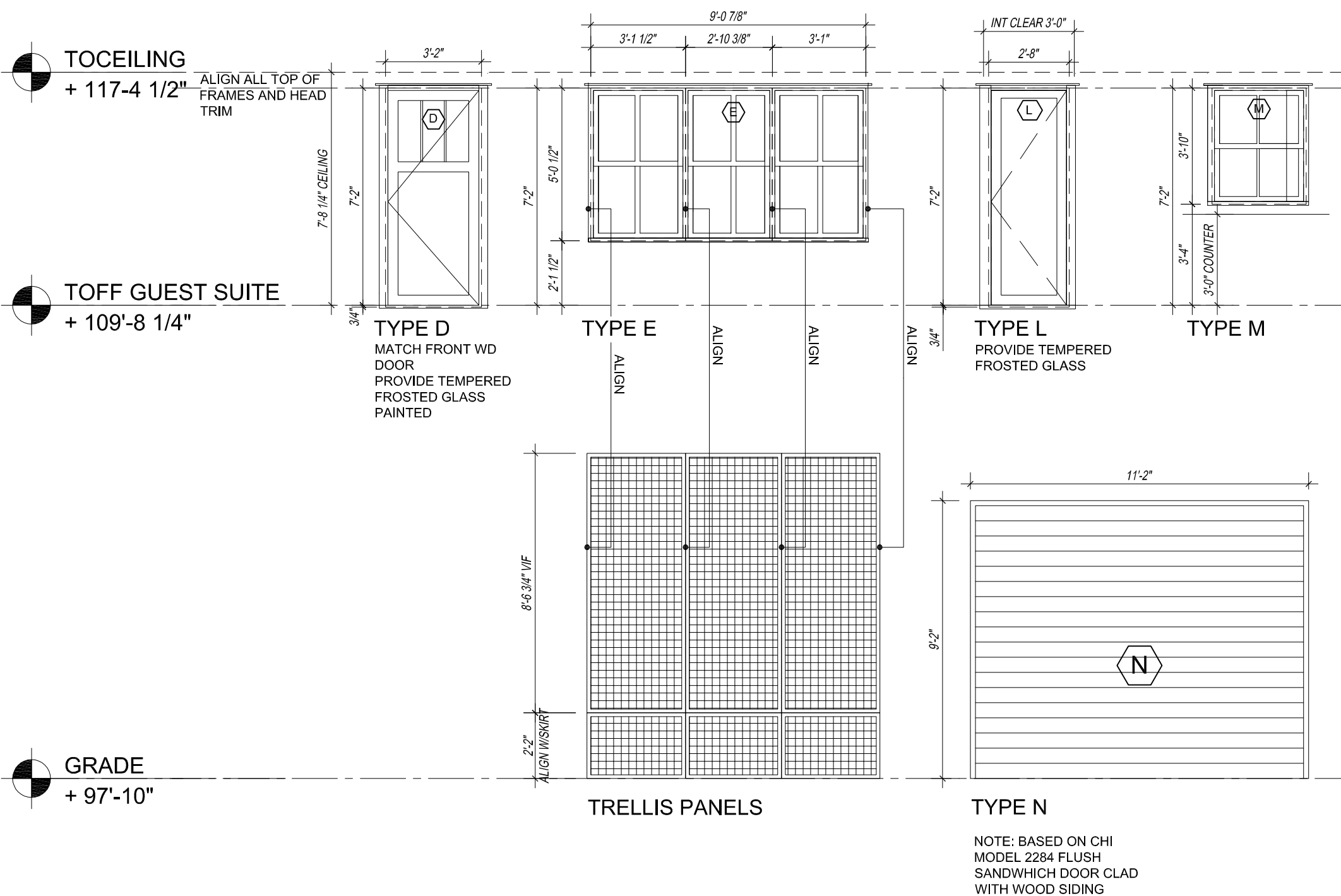
ARCHITECT'S SEAL:



SCALE: 1/4" = 1'-0"	DATE: DECEMBER 9, 2011
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DOOR & WINDOW
TYPES

A6.0



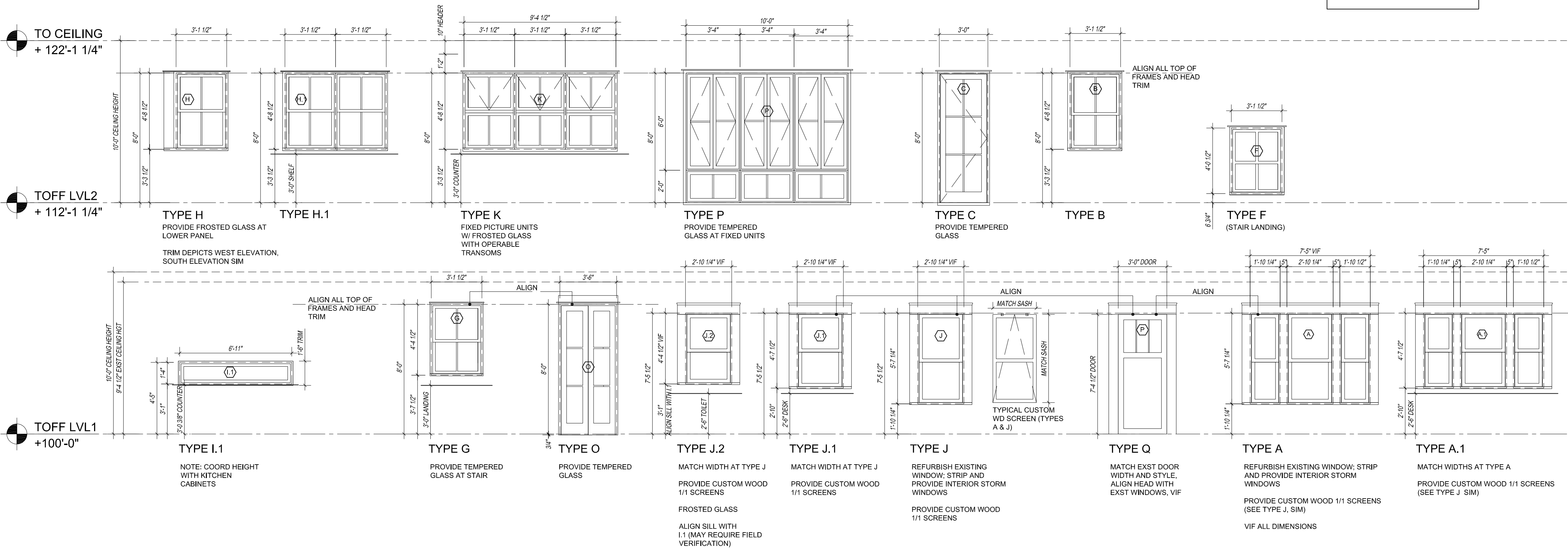
GARAGE EXT WINDOW & DOOR TYPES

SCALE 1/4" = 1'-0"

2

NOTES:

1. ALL DIMENSIONS REFER TO FRAME DIMENSIONS, U.O.N.
2. FIELD VERIFY ALL MATCHES TO EXST HISTORIC WINDOWS
3. PROVIDE INSECT SCREENS ON ALL WINDOWS / DOORS, U.O.N. PROVIDE SOLAR SCREENS ON ALL EAST / WEST WINDOWS AND TYPE P.
4. CONFIRM ALL JAMB EXTENSIONS WITH WINDOW DETAILS. GC TO COORDINATE WITH WALL TYPES AT ALL FURR OUT LOCATIONS.



MAIN HOUSE EXT WINDOW & DOOR TYPES

SCALE 1/4" = 1'-0"

1