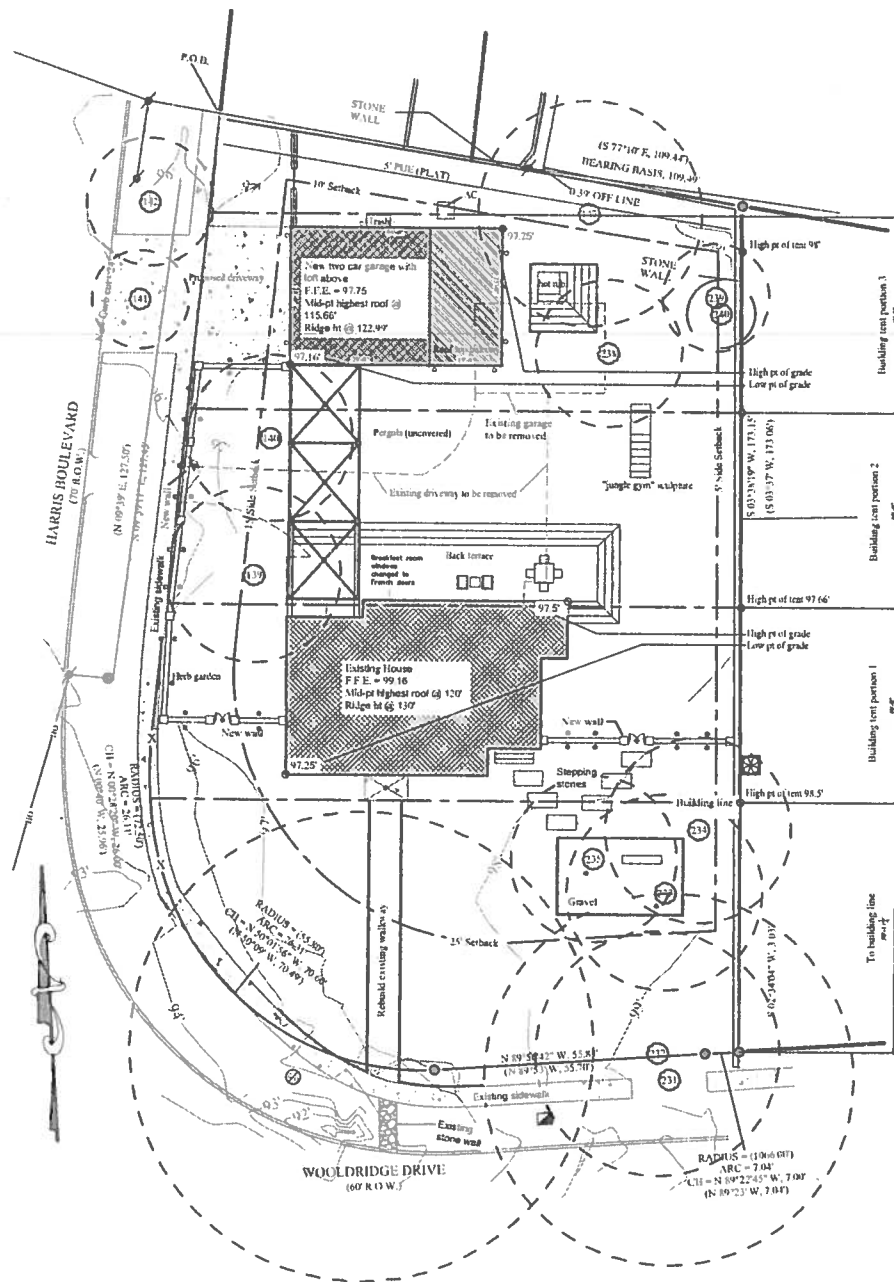




TREE LEGEND	
1"	1" MAGNOLIA, TAG 621
2"	2" ALM, TAG 630
3"	3" OAK
4"	4" OAK
5"	5" FLM, TAG 629
6"	6" PRCAN, TAG 641
7"	7" OAK, TAG 645
8"	8" OAK, TAG 640
9"	9" OAK, TAG 670
10"	10" ELM, TAG 615
11"	11" ELM, TAG 625
12"	12" ELM, TAG 648
13"	13" ELM, TAG 619
14"	14" PEC UN, TAG 617
15"	15" PRCAN, TAG 627

Imp. coverage: 5455.5 sf / 25.93%
 FAR: 4744.4 sf / 22.55%
 Lot size: 21,039.47 sf / 100%

Tree Protection Notes:
 Protective measures outlined by the city of Austin tree ordinance are to be followed in preserving existing trees and their critical root zone. No materials are to be stored within zone.

Plot Plan - scale 1:30

1510 Wooldridge Dr. Austin, Texas

DONALD F. FORNES AND LAUREN C. FORNES

RESTRICTIONS:
 SUBJECT TO RESTRICTIONS IN VOLUME 436, PAGE 192, VOLUME 538, PAGE 289 AND AS PER PLAT IN VOLUME 3, PAGE 136.

LOT 1 AND THE WEST 20' OF LOT 2, BLOCK 2, FIRST SECTION OF PEMBERTON HEIGHTS ADDITION, A SUBDIVISION IN TRAVIS COUNTY, TEXAS; ACCORDING TO THE MAP OR PLAT RECORDED IN VOLUME 3, PAGE 136, OF THE PLAT RECORDS OF TRAVIS COUNTY, TEXAS; SAID PROPERTY BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS IN EXHIBIT "A" ATTACHED HERETO AND MADE A PART HEREOF;

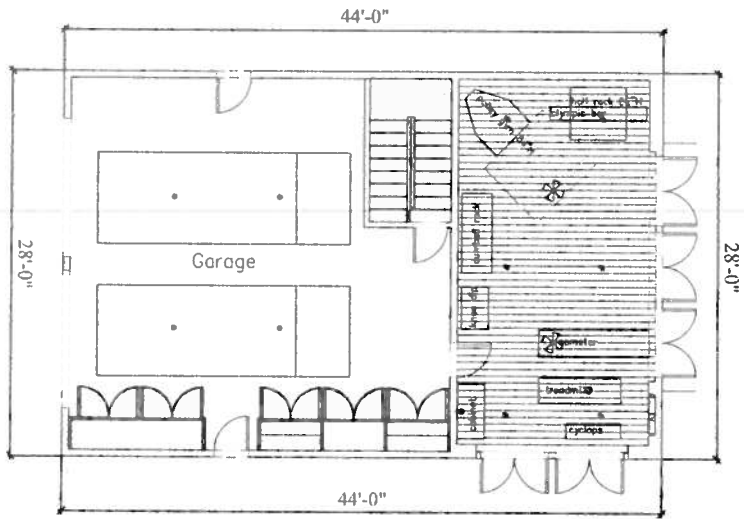
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1510 Wooldridge Dr. Austin TX				New construction
LOT SIZE	21039.4700	SQFT		
	Existing	Addition		
A. 1ST FLOOR CONDITIONED AREA	1816.000	428.433		
B. 2ND FLOOR CONDITIONED AREA	1347.000	778.500		
C. 3RD FLOOR CONDITIONED AREA	874.000	0.000		
D. BASEMENT	0.000	0.000		
E. GARAGE/CAPOUT	0.000	0.000		
F. ATTACHED (including storage rooms)	0.000	0.000		
G. DETACHED	0.000	612.000		
H. WOOD DECKS	0.000	0.000		
I. BREZZEWAYS	0.000	0.000		
J. COVERED PATIOS	0.000	0.000		
K. COVERED PORCHES	48.815	4.000		
L. UNCOVERED WOOD DECKS	0.000	42.400		
M. UNCOVERED WOOD DECKS	0.000	182.200		
N. OTHER BALCONIES OR COVERED TERRACES	0.000	0.000		
O. TOTAL BUILDING AREA ON LOT	1862.800	1221.000		
% OF LOT				
TOTAL BUILDING COVERAGE A, E, F, G, H, I, J, K, L				3684.0000
				0.1777

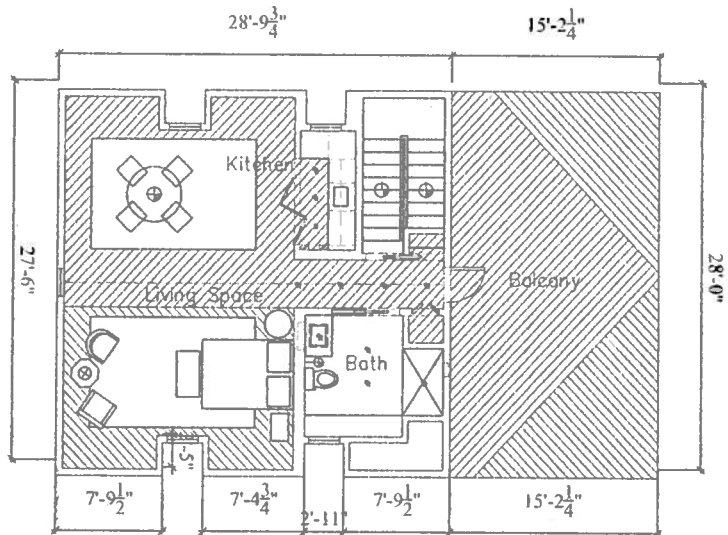
IMPERVIOUS COVERAGE			
A. TOTAL BUILDING COVERAGE ON LOT		3684.000	
B. DRIVEWAY AREA ON PRIVATE PROPERTY		624.000	
C. SIDEWALK/PAVEMENT ON PRIVATE PROPERTY		1176.000	
D. UNCOVERED PATIOS		0.000	
E. UNCOVERED WOOD DECKS (MAX 16' SQUARE FT)		24.000	
F. AIR CONDITIONER PADS (MAX 16' SQUARE FT)		0.000	
G. CONCRETE DECKS		0.000	
H. OTHER (Walls, Brackets)		0.000	
I. TOTAL IMPERVIOUS COVERAGE		6324.000	
% OF LOT		0.2958	

RESIDENTIAL PERMIT APPLICATION "D"				FLOOR AREA RATIO INFORMATION	
		Unit A	Unit B		
A. 1ST FLOOR GROSS AREA		1816.000	428.433		
B. 2ND FLOOR AREA (EXCLUDING COVERED OR UNCOVERED FINISHED GROUND FLOOR PORCHES)					
C. 3RD FLOOR AREA WITH CEILING HEIGHT OVER 15 FEET					
D. TOTAL (ADD A AND B ABOVE)					
E. 2ND FLOOR GROSS AREA (SEE NOTE 1)					
F. 2ND FLOOR AREA (EXCLUDING ALL AREAS COVERED BY A ROOF, IE PORCHES, BREZZEWAYS, MEZZANINE OR LOFT)					
G. 2ND FLOOR AREA WITH CEILING HEIGHT OVER 15 FEET					
H. TOTAL (ADD D AND E ABOVE)					
I. 3RD FLOOR GROSS AREA (SEE NOTE 1)					
J. 3RD FLOOR AREA (EXCLUDING ALL AREAS COVERED BY A ROOF, IE PORCHES, BREZZEWAYS, MEZZANINE OR LOFT)					
K. 3RD FLOOR AREA WITH CEILING HEIGHT OVER 15 FEET					
L. TOTAL (ADD G AND H ABOVE)					
M. BASEMENT GROSS AREA					
N. FLOOR AREA OUTSIDE FOOTPRINT OF FIRST FLOOR GREATER THAN 3 FEET ABOVE GRADE AT THE AVERAGE ELEVATION AT THE INTERSECTIONS OF THE MINIMUM FRONT YARD SETBACK LINE AND SIDE PROPERTY LINES					
O. GARAGE					
P. ATTACHED (SUBTRACT 200 SQFT IF USED TO MEET THE MINIMUM PARKING REQUIREMENT)					
Q. DETACHED (SUBTRACT 400 SQFT IF MORE THAN 10 FEET FROM THE PRINCIPAL STRUCTURE)					
R. GARAGE (OPEN ON 2 OR MORE SIDES WITHOUT MEZANINE SPACES ABOVE IT) (SUBTRACT 400 SQFT)					
S. TOTAL					
T. TOTAL GROSS FLOOR AREA (FROM VII. ABOVE)					
U. GROSS AREA OF LOT					
V. FLOOR AREA RATIO (GROSS FLOOR AREA GROSS AREA OF LOT)					

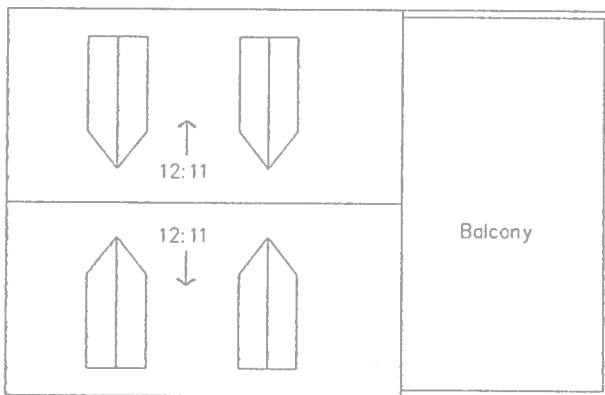
FIRST FLOOR PLAN
SCALE: 3/32"=1'-0"

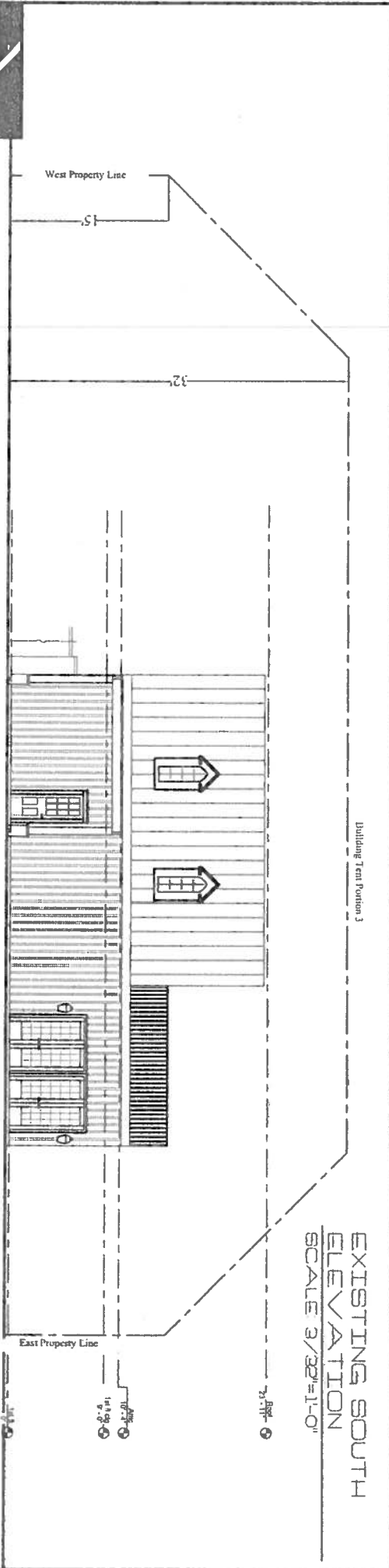
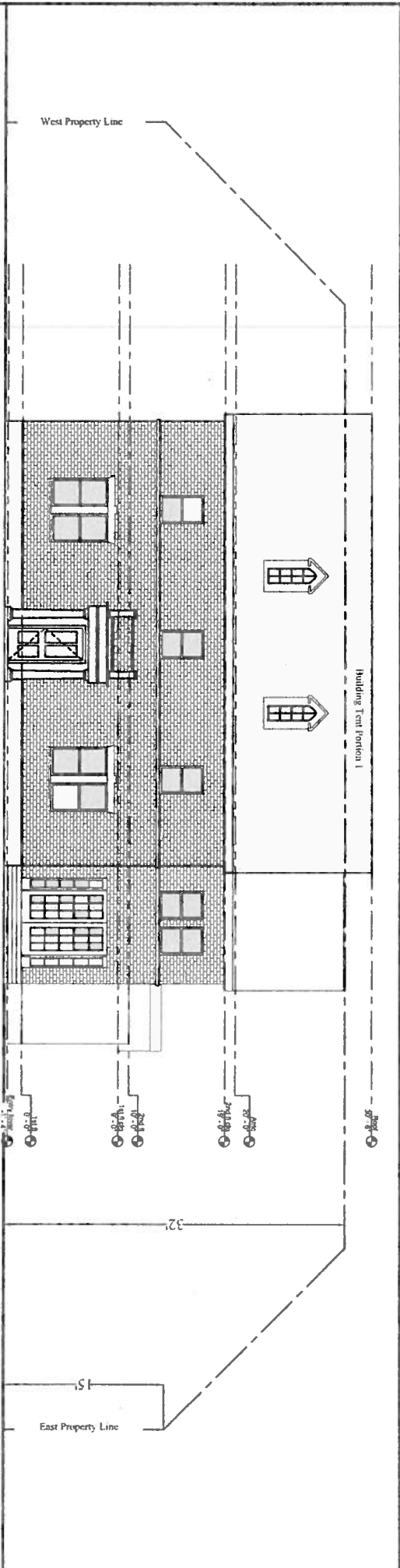


SECOND FLOOR PLAN
SCALE: 3/32"=1'-0"



ROOF PLAN
SCALE: 3/32"=1'-0"





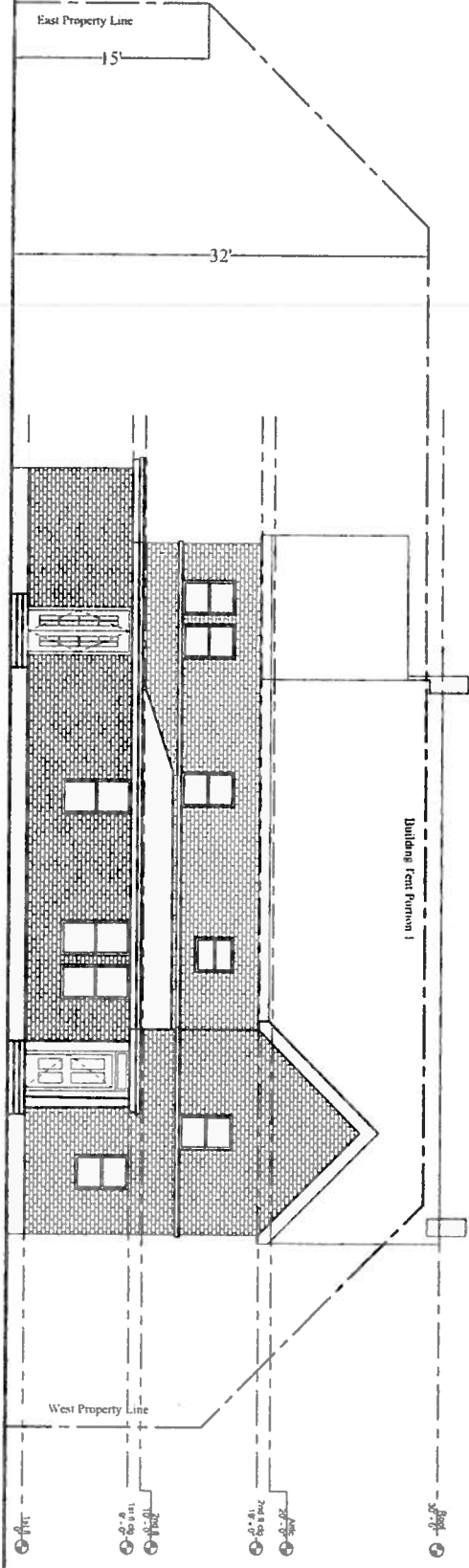
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**EXISTING SOUTH
ELEVATION**
SCALE 3/32"=1'-0"

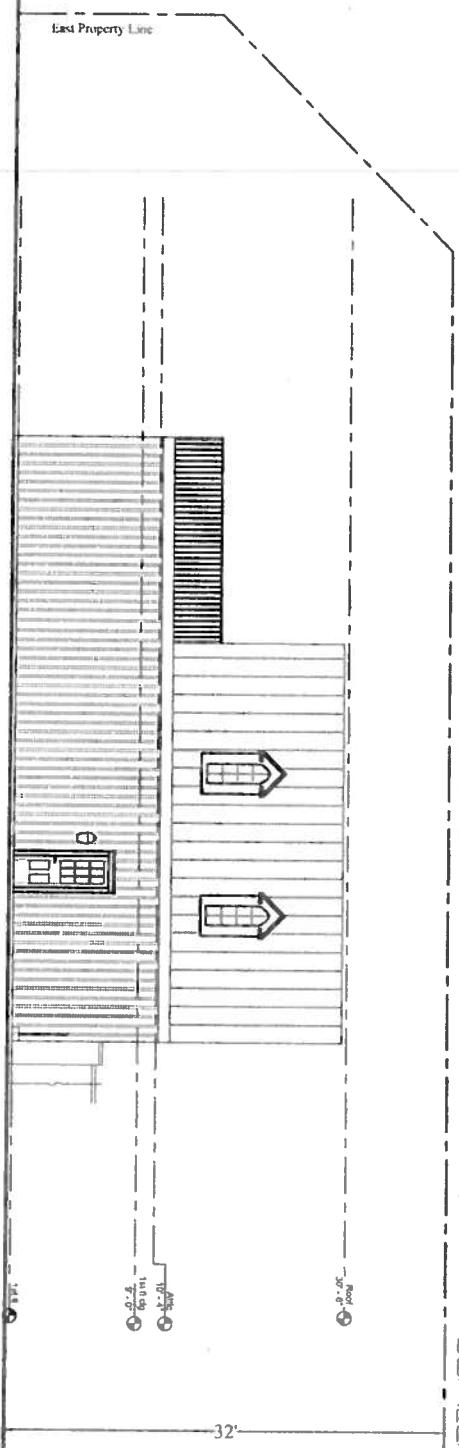
**ADDITION SOUTH
ELEVATION**
SCALE 3/32"=1'-0"

Elevations



Building 1 (East Portion 1)

EXISTING NORTH
ELEVATION
SCALE 3/32"=1'-0"



Building 2 (West Portion 2)

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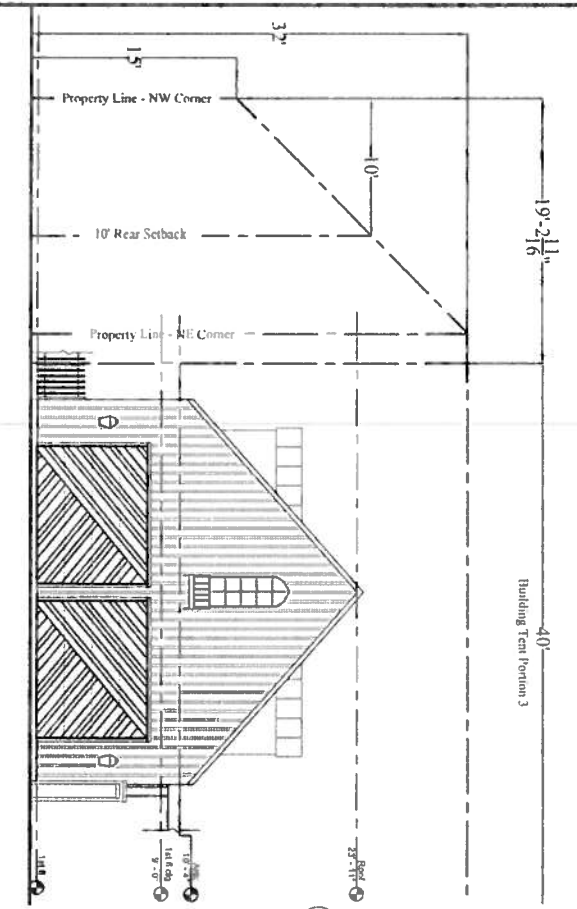
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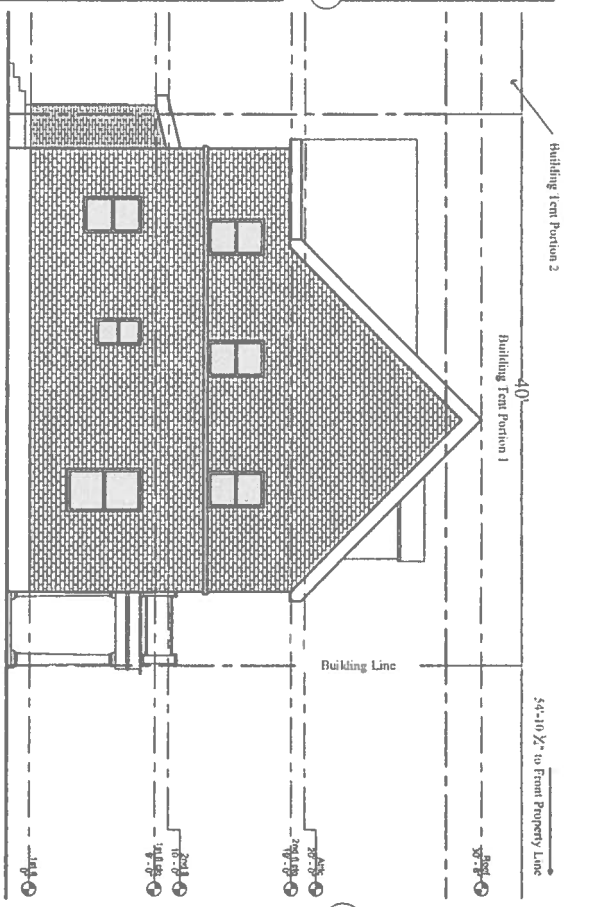
ADDITION NORTH
ELEVATION
SCALE 3/32"=1'-0"

Elevations

Elevations



ADDITION



EXISTING

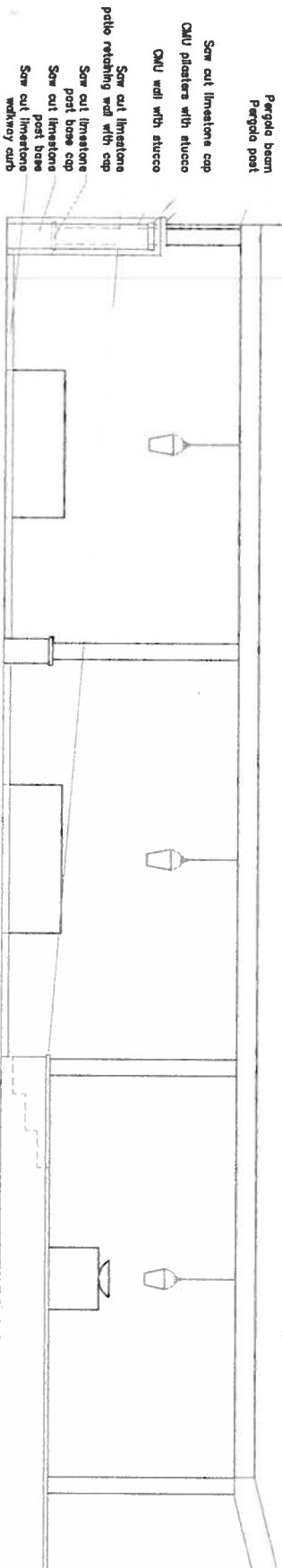
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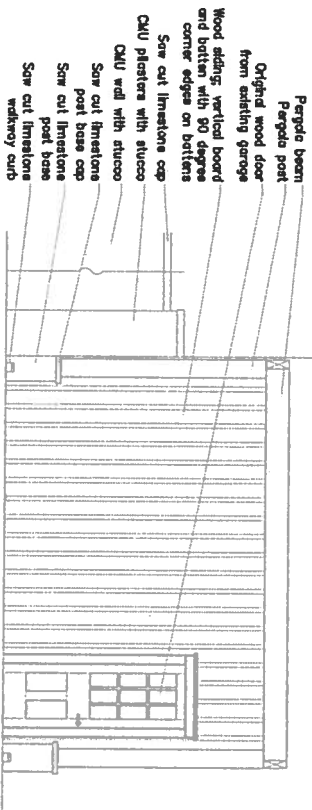
1510 Woodridge Dr. Austin, Texas

WEST ELEVATION
SCALE: 3/32"=1'-0"

Elevations



Conceptual Elevation
Pergola - West



Conceptual Elevation
Pergola looking north

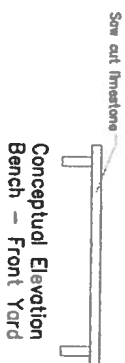
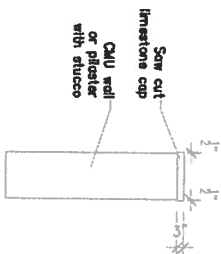
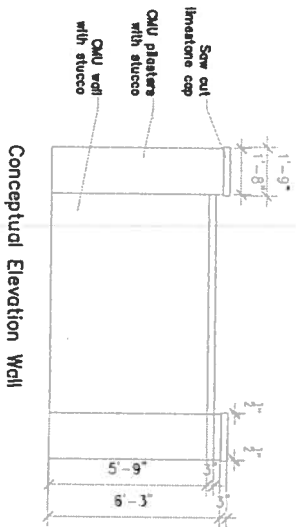
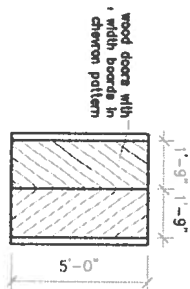
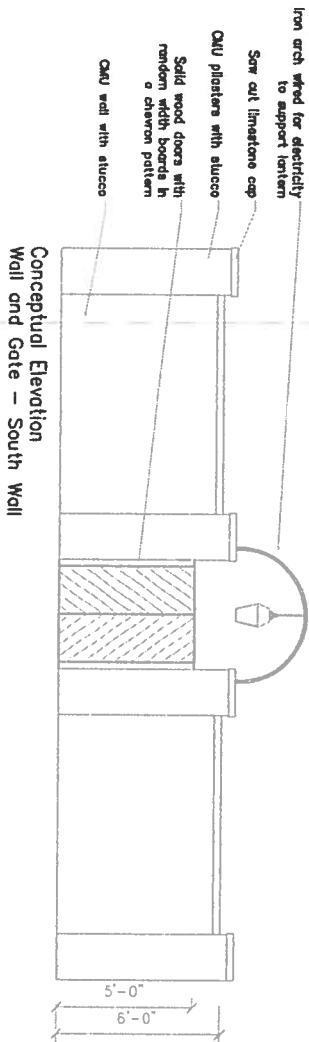
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WEST ELEVATION
SCALE: 3/32"=1'-0"

Site details



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Site details

WEST ELEVATION
SCALE: 3/32"=1'-0"