

CITY OF AUSTIN

ROW # 106 93595

CASE # 2011-112588PR

TCAD # 04131109390000

APPLICATION TO THE RESIDENTIAL DESIGN
AND COMPATIBILITY COMMISSION (RDCC)

GENERAL MODIFICATION WAIVER

STREET ADDRESS: 1201, 1205, 1209, 1212, 1301, 1305, 1309, 1313, 1317, 1321, 1325
1329, 1333 Central Park Court

LEGAL DESCRIPTION: Subdivision - Salem Center

Lot(s) _____ Block _____ Outlot _____ Division _____

LAND STATUS DETERMINATION CASE NUMBER (if applicable) _____

I/We Jim Nance on behalf of myself/ourselves as authorized agent for

Treaty Oak Homes LLC affirm that on Dec 19, 2011,

hereby apply for a hearing before the Residential Design and Compatibility Commission for modification Section 2.8.1. of up to 25% increase in one or more of the following:

- ☒ Maximum Floor to area ratio .4 or Gross floor area 2300 sq ft.
☒ Maximum Linear feet of Gables protruding from setback plane
☒ Maximum Linear feet of Dormers protruding from the setback plane

Waive or modify the side wall articulation requirement of Section 2.7.

☒ Side Wall Length Articulation
(Please describe request. Please be brief but thorough).

The applicant is requesting a modification of an expired approved waiver that allowed an increase of up to 25% in the maximum floor to area ratio or maximum square footage of gross floor area; Maximum linear feet of gables or dormers protruding from the setback plane; or waive or modify the side wall articulation requirement from the maximum development permitted in Chapter 25-2 of the Land Development Code, Section 2.8.1 A & B Subchapter F: Residential Design and Compatibility Standards to continue building on the remainder 22 single family lots using the design criteria they have used on the existing single family homes allowing for compatibility through the entire lots in a SF6-C/O zoning district in the Salem Center Subdivision.

in a SF-6CO zoning district.

Note: Certificate of Appropriateness: H (Historic) or HD (Historic Designation) – case goes to RDCC first. National Register Historical District (NRHD) Overlay: without H or HD - case goes to Historic Landmark Commission first.

CITY OF AUSTIN
APPLICATION TO THE RESIDENTIAL DESIGN
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REASONABLE USE:

1. The Residential Design and Compatibility Standards Ordinance applicable to the property does not allow for a reasonable use because:

LOT SLOPE TOWARDS REAR INHIBITS DEVELOPE-
MENT TOWARDS REAR BACK OF LOT W/
2-STORY DESIGN

REQUEST:

2. The request for the modification is unique to the property in that:

WILL ALLOW 2-STORY PLANS THAT WORK
ON OTHER LOTS TO BE USED FOR
SINGLE UNIT IN THE DEVELOPEMENT.

AREA CHARACTER:

3. The modification will not alter the character of the area adjacent to the property, will not impair the use of adjacent conforming property, and will not impair the purpose of the regulations of the zoning district in which the property is located because:

ADJOINING PROPERTY IS IN THIS DEVELOPEMENT
OR ACROSS EASEMENT.

**CITY OF AUSTIN
APPLICATION TO THE RESIDENTIAL DESIGN
AND COMPATIBILITY COMMISSION**

GENERAL MODIFICATION WAIVER

APPLICANT CERTIFICATE - I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Mailing Address 205 Wild Basin Rd. S.
City, State Austin, Texas Zip 78746
Phone (512) 684-3880 Printed Name Jim Nance
Signature  Date 12-10-11

OWNER'S CERTIFICATE - I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Mailing Address Same
City, State _____ Zip _____
Phone _____ Printed Name Jim Nance
Signature  Date 12-10-11

CITY OF JUSTIN
RESIDENTIAL PERMIT APPLICATION "A"

BP Number _____
Bu. g Permit No. _____
Plat No. _____ Date <u>12-19-11</u>
Reviewer <u>Keith Batchler</u>

PRIMARY PROJECT DATA

Service Address 1325 Central Park Ct Tax Parcel No. 04141406180000

Legal Description
Lot 24B Block A Subdivision Resub of Lot B-1 of Salem Center Section _____ Phase _____

If in a Planned Unit Development, provide Name and Case No. _____
(attach final approved copies of subdivision and site plan)

If this site is not a legally subdivided lot, you must contact the Development Assistance Center for a Land Status Determination.

Description of Work
☒ New Residence _____ Remodel (specify) _____
☐ Duplex _____
☐ Garage ☐ attached ☐ detached _____ Addition (specify) _____
☐ Carport ☐ attached ☐ detached _____
☐ Pool _____ Other (specify) _____

Zoning (e.g. SF-1, SF-2...) SF-6C0

- Height of Principal building 24' 1/2" ft. # of floors 2 Height of Other structure(s) _____ ft. # of floors _____

- Does this site currently have water and wastewater availability? ☒ Yes ☐ No. If no, please contact the Austin Water Utility at 512-972-0000 to apply for water and/or wastewater tap application, or a service extension request.

- Does this site have a septic system? ☐ Yes ☒ No. If yes, for all sites requiring a septic field you must obtain an approved septic permit prior to a zoning review.

Does this site have a Board of Adjustment ruling? ☐ Yes ☒ No If yes, attach the B.O.A. documentation

Will this development require a cut and fill in excess of 4 feet? ☐ Yes ☒ No

Does this site front a paved street? ☒ Yes ☐ No A paved alley? ☐ Yes ☒ No

Is this property within the Residential Design and Compatibility Standards Ordinance Boundary Area? ☒ Yes ☐ No

VALUATIONS FOR REMODELS ONLY

VALUATIONS FOR NEW CONSTRUCTION OR ADDITIONS ONLY

PERMIT FEES
(For office use only)

Building \$ _____
Electrical \$ _____
Mechanical \$ _____
Plumbing \$ _____
Driveway/ Sidewalk \$ _____
TOTAL \$ _____
(labor and materials)

Lot Size 3842 sq. ft.
Job Valuation - Principal Building \$ 100,000.00
(Labor and materials)
Job Valuation - Other Structure(s) \$ _____
(Labor and materials)
TOTAL JOB VALUATION
(sum of remodels and additions)
\$ _____
(Labor and materials)

	NEW/ADDITIONS	REMODELS
Building	\$ _____	\$ _____
Electrical	\$ _____	\$ _____
Mechanical	\$ _____	\$ _____
Plumbing	\$ _____	\$ _____
Driveway & Sidewalk	\$ _____	\$ _____
TOTAL	\$ _____	\$ _____

OWNER / BUILDER INFORMATION

OWNER	Name <u>Treaty Oak Homes, LLC.</u>	Telephone (h) _____ (w) <u>512-681-3821</u>
BUILDER	Company Name <u>Treaty Oak Homes, LLC.</u>	Telephone <u>512-684-3881</u>
	Contact/Applicant's Name <u>Jim Nance</u>	Pager _____ FAX <u>512-328-5523</u>
DRIVEWAY/ SIDEWALK	Contractor <u>KRM Concrete</u>	Telephone <u>512-252-1085</u>
CERTIFICATE OF OCCUPANCY	Name <u>Treaty Oak Homes, LLC.</u>	Telephone _____
	Address <u>205 Wild Basin Rd. S. Bldg 2, Site 4.</u>	City <u>Austin</u> ST <u>Texas</u> ZIP <u>78745</u>

If you would like to be notified when your application is approved, please select the method:

☐ telephone ☒ e-mail: JimN@treatyoakhomes.com

You may check the status of this application at www.ci.austin.tx.us/development/permitrv.htm

**CITY OF AUSTIN
RESIDENTIAL PERMIT APPLICATION "B"**

**CITY OF AUSTIN
RESIDENTIAL PERMIT APPLICATION**

I understand that in accordance with Sections 25-1-411 and 25-11-66 of the Land Development Code (LDC), non-compliance with the LDC may be cause for the Building Official to suspend or revoke a permit and/or license. I understand that I am responsible for complying with any subdivision notes, deed restrictions, restrictive covenants and/or zoning conditional overlays prohibiting certain uses and/or requiring certain development restrictions (i.e., height, access, screening, etc.) on this property. If a conflict should result with any of these restrictions, it will be my responsibility to resolve it. I understand that, if requested, I must provide copies of all subdivision plat notes, deed restrictions, restrictive covenants, and/or zoning conditional overlay information that may apply to this property.

I acknowledge that this project qualifies for the Site Plan Exemption as listed in Section 25-5-2 of the LDC.

I understand that nothing may be built upon or over an easement. I further understand that no portion of any roof structure may overhang in any public utility or drainage easement.

I acknowledge that customer will bear the expense of any necessary relocation of existing utilities to clear this driveway location and/or the cost to repair any damage to existing utilities caused during construction.

I also understand that if there are any trees greater than 19 inches in diameter located on the property and immediately adjacent to the proposed construction, I am to schedule a Tree Ordinance review by contacting (512) 974-1876 and receive approval to proceed.

I agree that this application will expire on the 181st day after the date that the application is filed if the application is not approved and an extension is not granted. If the application expires, a new submittal will be required.

APPLICANT'S SIGNATURE  DATE 12-14-11

HOME BUILDER'S STATE REGISTRATION NUMBER (required for all new construction) 48694

Rejection Notes/Additional Comments (for office use only):

13212
Service Address 1325 Central Park Ct

Applicant's Signature  Date 12-14-11

1321 & 1325 Central Park Ct

CITY OF AUSTIN

RESIDENTIAL PERMIT APPLICATION "C"

BUILDING COVERAGE

The area of a lot covered by buildings or roofed areas, but not including (i) incidental projecting eaves and similar features, or (ii) ground level paving, landscaping, or open recreational facilities.

	Existing	New / Addition
a. 1 st floor conditioned area	sq.ft.	1072 sq.ft.
b. 2 nd floor conditioned area	sq.ft.	399 sq.ft.
c. 3 rd floor conditioned area	sq.ft.	— sq.ft.
d. Basement	sq.ft.	— sq.ft.
e. Garage / Carport	sq.ft.	— sq.ft.
attached	sq.ft.	— sq.ft.
detached	sq.ft.	246 sq.ft.
f. Wood decks [must be counted at 100%]	sq.ft.	— sq.ft.
g. Breezeways	sq.ft.	— sq.ft.
h. Covered patios	sq.ft.	— sq.ft.
i. Covered porches	sq.ft.	— sq.ft.
j. Balconies	sq.ft.	61 sq.ft.
k. Swimming pool(s) [pool surface area(s)]	sq.ft.	— sq.ft.
l. Other building or covered area(s)	sq.ft.	— sq.ft.
Specify _____	sq.ft.	— sq.ft.

TOTAL BUILDING AREA (add a. through l.) _____ sq.ft. 1778 sq.ft.

TOTAL BUILDING COVERAGE ON LOT (subtract, if applicable, b., c., d., k. and l. if uncovered)

1379 sq.ft.
35.9 % of lot

IMPERVIOUS COVERAGE

Include building cover and sidewalks, driveways, uncovered patios, decks, air conditioning equipment pad, and other improvements in calculating impervious cover. Roof overhangs which do not exceed two feet or which are used for solar screening are not included in building coverage or impervious coverage. All water must drain away from buildings on this site and buildings on adjacent lots.

a. Total building coverage on lot (see above)	1379 sq.ft.
b. Driveway area on private property	312 sq.ft.
c. Sidewalk / walkways on private property	20 sq.ft.
d. Uncovered patios	X 83 sq.ft.
e. Uncovered wood decks [may be counted at 50%]	— sq.ft.
f. Air conditioner pads	10 sq.ft.
g. Concrete decks	— sq.ft.
h. Other (specify) _____	— sq.ft.

TOTAL IMPERVIOUS COVERAGE (add a. through h.)

1804 sq.ft.
47.0 % of lot

CITY OF AUSTIN
RESIDENTIAL PERMIT APPLICATION "D"
FLOOR AREA RATIO INFORMATION

TO BE COMPLETED FOR ALL PROPERTIES LOCATED WITHIN THE RESIDENTIAL DESIGN AND COMPATIBILITY
STANDARDS ORDINANCE BOUNDARY AREA.

Service Address 1321 Central Park Ct + 1325 Central Park Ct

Applicant's Signature JD

Date 12-14-11

GROSS FLOOR AREA AND FLOOR AREA RATIO as defined in the Austin Zoning Code.

	Existing	New / Addition
I. 1st Floor Gross Area		
a. 1 st floor area (excluding covered or uncovered finished ground-floor porches)	sq.ft.	2251 sq.ft.
b. 1 st floor area with ceiling height over 15 feet.	sq.ft.	— sq.ft.
c. TOTAL (add a and b above)	sq.ft.	— sq.ft.
II. 2nd Floor Gross Area See note ¹ below		
d. 2 nd floor area (including all areas covered by a roof i.e. porches, breezeways, mezzanine or loft)	sq.ft.	399 sq.ft.
e. 2 nd floor area with ceiling height > 15 feet.	sq.ft.	— sq.ft.
f. TOTAL (add d and e above)	sq.ft.	— sq.ft.
III. 3rd Floor Gross Area See note ¹ below		
g. 3 rd floor area (including all areas covered by a roof i.e. porches, breezeways, mezzanine or loft).	sq.ft.	— sq.ft.
h. 3 rd floor area with ceiling height > 15 feet	sq.ft.	— sq.ft.
i. TOTAL (add g and h above)	sq.ft.	— sq.ft.
IV. Basement Gross Area		
j. Floor area outside footprint of first floor or greater than 3 feet above grade at the average elevation at the intersections of the minimum front yard setback line and side property lines.	sq.ft.	— sq.ft.
V. Garage		
k. ☒ attached (subtract 200 square feet if used to meet the minimum parking requirement)	sq.ft.	303 sq.ft.
l. ☐ detached (subtract 450 square feet if more than 10 feet from principal structure)	sq.ft.	— sq.ft.
VI. Carport (open on two or more sides without habitable space above it subtract 450 square feet)		
	sq.ft.	— sq.ft.
VII. TOTAL	sq.ft.	2953 sq.ft.

TOTAL GROSS FLOOR AREA (add existing and new from VII above)

GROSS AREA OF LOT

FLOOR AREA RATIO (gross floor area / gross area of lot)

¹ If a second or third floor meets all of the following criteria it is considered to be attic space and is not calculated as part of the overall Gross Floor Area of the structure.

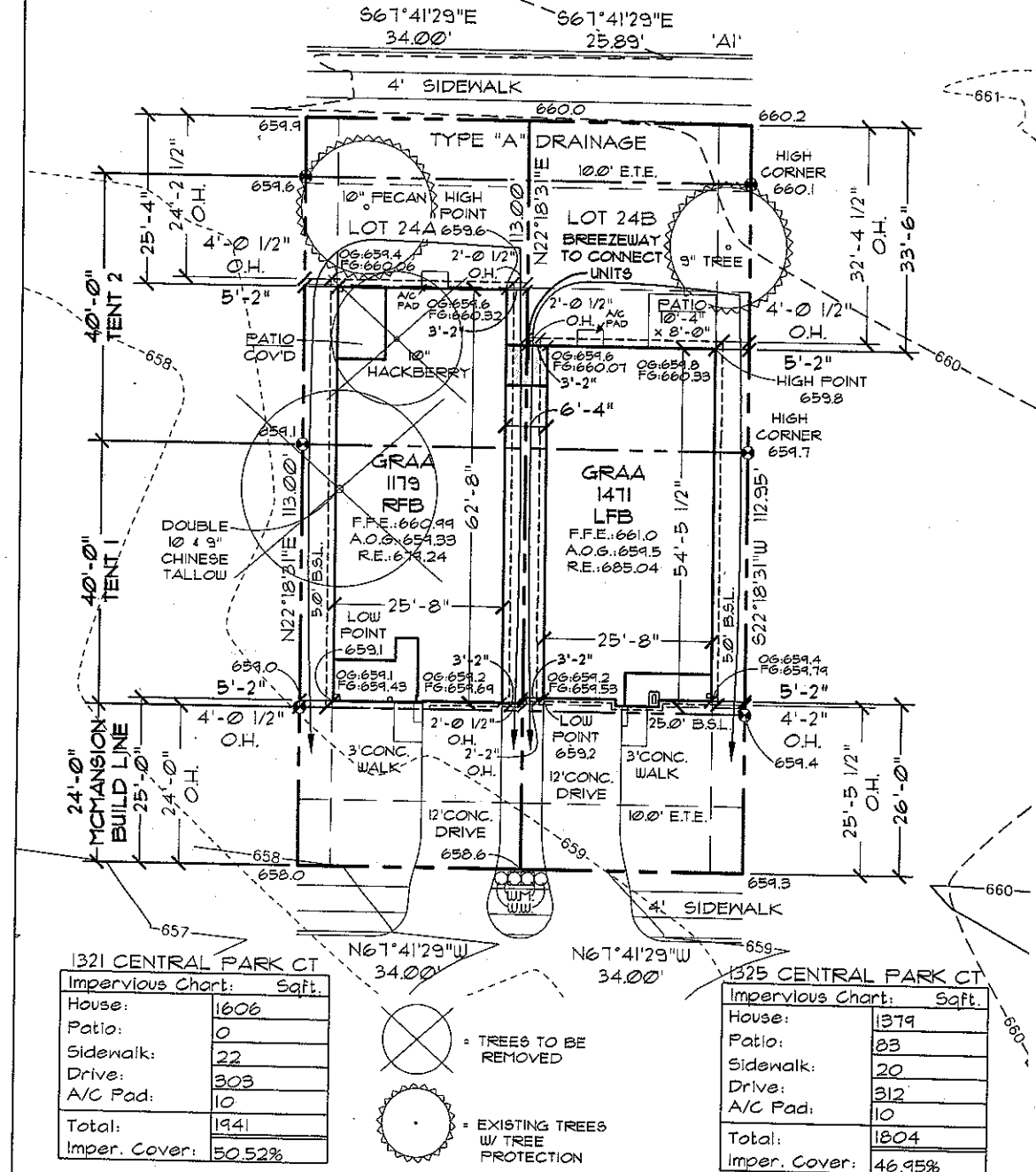
- It is fully contained within the roof structure and the roof has a slope of 3 to 12 or greater
- It only has one floor within the roof structure
- It does not extend beyond the foot print of the floors below
- It is the highest habitable portion of the building; and
- Fifty percent or more of the area has a ceiling height of seven feet or less.

SURVEYORS TO VERIFY ALL LOT DATA.

SCALE: 1" = 20'

ARC TABLE

ARC LEN.	RAD.	CHRD. BRG.
'A'	8.11	953.59' S67°18'22"E



— CUT CONTOURS

- - - ORIGINAL CONTOURS

LOT 24A AREA: 3842 SQ. FT.

LOT 24B AREA: 3842 SQ. FT. SIDEWALKS PER CITY OR SUBD. REQ. INFRASTRUCTURE LOCATED ON LOT.

BUILDERS REPRESENTATIVE TO VERIFY ALL LOT DATA, LOCATION OF MANHOLES, STORM SEWERS, EASEMENTS, AND OTHER INFRASTRUCTURE LOCATED ON LOT. KIPP FLORES ARCHITECTS MAKES NO REPRESENTATION AS TO THE EXISTENCE OF MANHOLES, STORM SEWERS, EASEMENTS, AND OTHER INFRASTRUCTURE LOCATED ON LOT.



KIPP FLORES ARCHITECTS
 (512) 835-5477 fax (512) 335-5852
 11776 Jollyville Rd., Suite 100
 Austin, Texas 78759

ADDRESS

1321 & 1325 CENTRAL PARK CT.

LOT

24A & 24B

BLK

A

CITY, STATE

AUSTIN, TX

SUBDIVISION

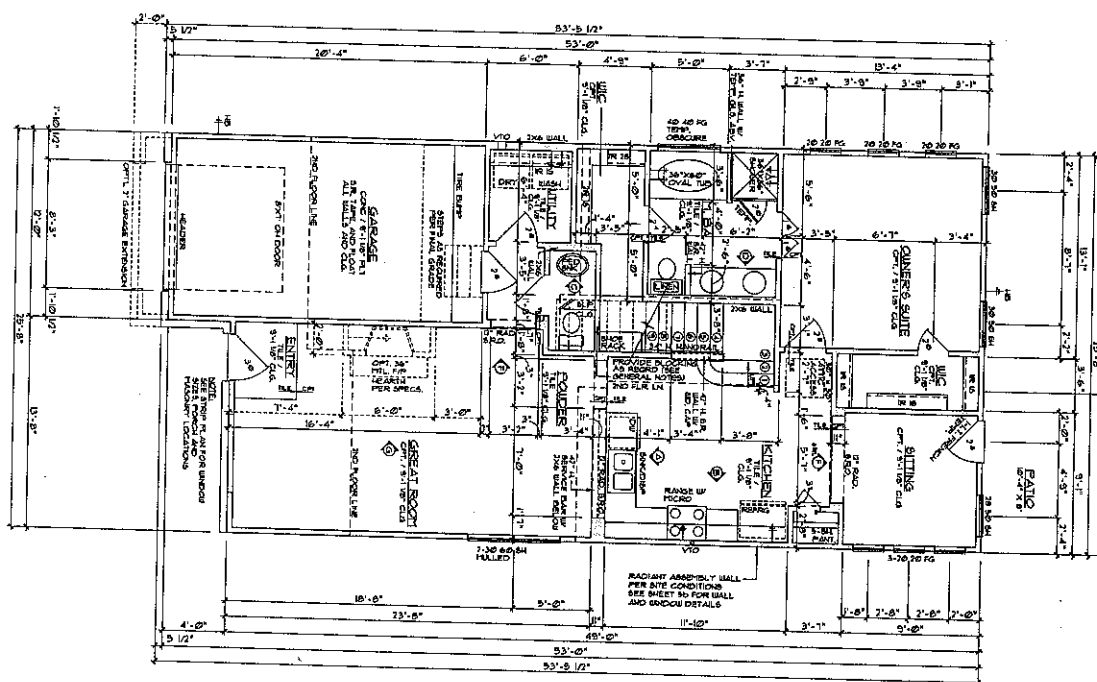
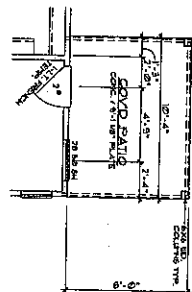
SALEM CENTER

BUILDER

GRAA

DATE

11/30/2011



FIRST LEVEL, FLOOR PLAN

NOTES:
1ST LEVEL PLATE HOTS TO BE
B-1: 1/2" BY 1/2" WINDOW
READER HOTS UNDER NOTED
2ND LEVEL PLATE HOTS TO BE
B-1: 1/2" BY 1/2" WINDOW
READER HOTS UNDER NOTED
C-1: 1/2" BY 1/2" WINDOW
READER HOTS UNDER NOTED
REMOVE TOPPER NO GLASS
THREE RECD
REMOVE INTERLOCKING IN ALL
AREAS AS REQUIRED PER
CURRENT IEC CODE

BLOODFLOW REQUIREMENTS. LATERAL DUE TO LARGER NORMAL VOLUME BLOOD FLOW THAT BE PARTICULATE LUGHS WITH OTHER EXPOS OF BARNARD WALLS.

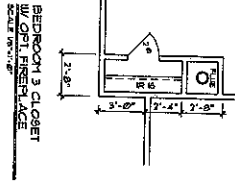
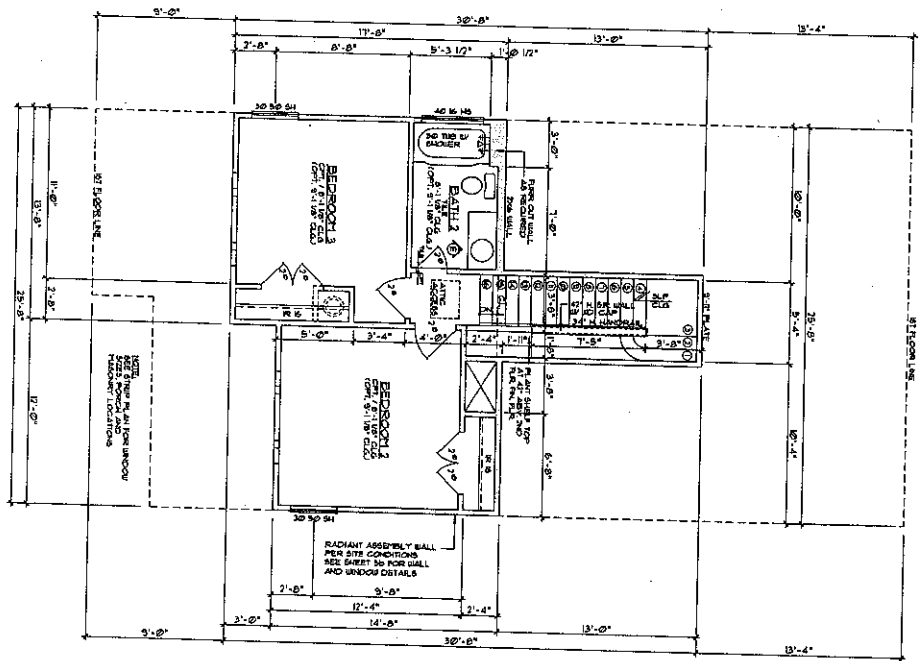
CHARACTER OF BLOODFLOW THAT DIFFERENCES FROM AND PARALLEL TO THE BARNARD FLOOR LEVEL.

Square Footage Chart			
Elevation 1'			
	FEET	W/ MASSCON	
1 ST FLOOR	1601	1072	
2 ST FLOOR	388	392	
TOTAL LIVING	1446	1471	
GARAGE	233	246	
PORCH	61	61	
TOTAL	1766	1778	
GRAT COND.			
RATIO	83	65	
GRAT. EXP.	74	25	

SQUARE FOOTAGE CHART		
Elevation 'A'		
	FRAME	W/ INSULATION
1 ST FLOOR	1651	1071
2 ND FLOOR	393	359
TOTAL LIVING	1446	1411
GARAGE	229	246
PORCH	51	51
TOTAL	1767	1714
GRF. COVD. PATIO	83	83
GRASS EXT.	24	25

CALCULATED BATHING RISK OF 100 OR LESS									
FOR ESTIMATED BATHING RISK OF 100 OR LESS									
FOR INDIVIDUALS ONLY									
1. AGE OF BATHING INDIVIDUAL 2. TIME OF DAY 3. TYPE OF WEATHER 4. TYPE OF WATER 5. TYPE OF SURFACE		1. AGE OF BATHING INDIVIDUAL 2. TIME OF DAY 3. TYPE OF WEATHER 4. TYPE OF WATER 5. TYPE OF SURFACE		1. AGE OF BATHING INDIVIDUAL 2. TIME OF DAY 3. TYPE OF WEATHER 4. TYPE OF WATER 5. TYPE OF SURFACE		1. AGE OF BATHING INDIVIDUAL 2. TIME OF DAY 3. TYPE OF WEATHER 4. TYPE OF WATER 5. TYPE OF SURFACE		1. AGE OF BATHING INDIVIDUAL 2. TIME OF DAY 3. TYPE OF WEATHER 4. TYPE OF WATER 5. TYPE OF SURFACE	
FOR INDIVIDUALS ONLY BATHING IN Pools									
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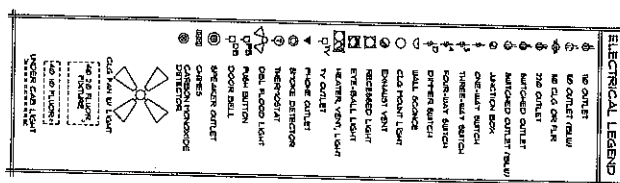
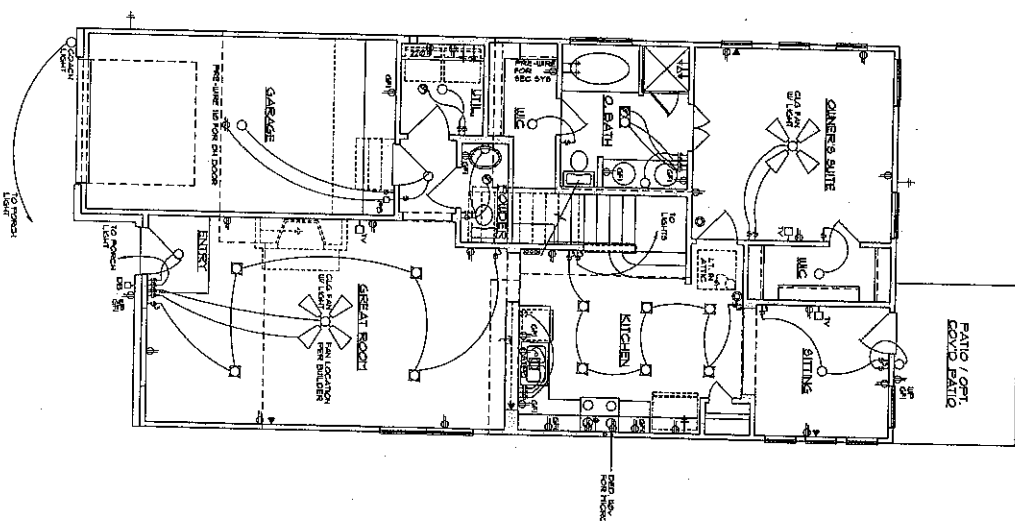
PLAN 1471 LF



SECOND LEVEL FLOOR PLAN
 NOTES:
 1. ALL ROOMS ARE TO BE FINISHED TO THE TOP OF THE WALLS.
 2. ALL ROOMS ARE TO BE FINISHED TO THE TOP OF THE WALLS.
 3. ALL ROOMS ARE TO BE FINISHED TO THE TOP OF THE WALLS.
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 7. ALL ROOMS ARE TO BE FINISHED TO THE TOP OF THE WALLS.
 8. ALL ROOMS ARE TO BE FINISHED TO THE TOP OF THE WALLS.
 9. ALL ROOMS ARE TO BE FINISHED TO THE TOP OF THE WALLS.
 10. ALL ROOMS ARE TO BE FINISHED TO THE TOP OF THE WALLS.

BUILDING AREA OF 20,000 SQ. FT. (AS SHOWN)			
NON-EXTENSION LOAD BEARING WALLS			
ROOM NO.	ROOM NAME	ROOM AREA	ROOM TYPE
101	Bedroom 1	12'0" x 11'0"	Bedroom
102	Bedroom 2	12'0" x 11'0"	Bedroom
103	Bathroom	5'0" x 7'0"	Bathroom
104	Hallway	10'0" x 10'0"	Hallway
105	Closet	2'0" x 2'0"	Closet
106	Linen Closet	2'0" x 2'0"	Linen Closet
107	Entry	10'0" x 10'0"	Entry
108	Kitchen	10'0" x 10'0"	Kitchen
109	Dining Room	10'0" x 10'0"	Dining Room
110	Living Room	10'0" x 10'0"	Living Room
111	Front Porch	10'0" x 10'0"	Front Porch
112	Rear Porch	10'0" x 10'0"	Rear Porch
113	Garage	20'0" x 20'0"	Garage
114	Driveway	20'0" x 20'0"	Driveway
115	Landscaping	20'0" x 20'0"	Landscaping
116	Pool	20'0" x 20'0"	Pool
117	Deck	20'0" x 20'0"	Deck
118	Patio	20'0" x 20'0"	Patio
119	Staircase	20'0" x 20'0"	Staircase
120	Storage Room	20'0" x 20'0"	Storage Room

PLAN 1471 LP



FIRST LEVEL ELECTRICAL PLAN

NOTES

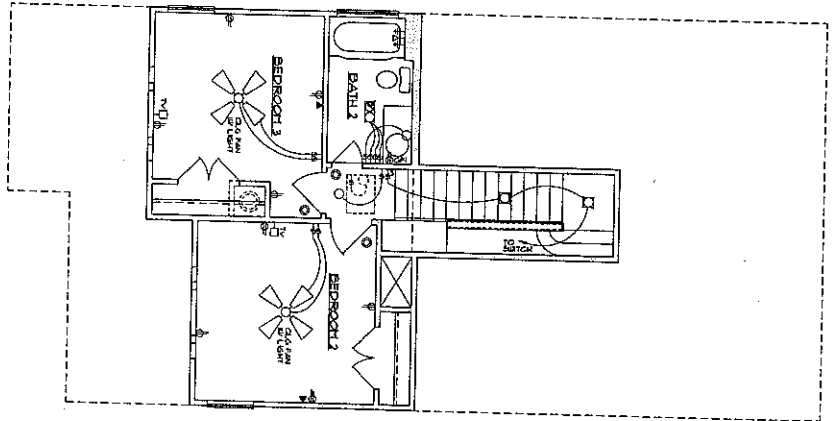
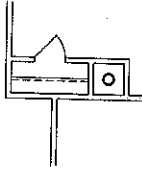
PROVIDE NEW OUTLET AND LIGHT NUBS
HAVE UNIT FOR SERVICE, LOCATION
REQUIRES PROVIDE TWO LIGHTS, ONE
AT UNIT AND ONE AT ACCESS DOORWAY
ON THE SLOTH

BLOCK ABOVE TO BE INSTALLED W/
BATTERY BACKUP IN ACCORDANCE
W/ ISEA 72. ALL SLOTH ALARMS SHALL
BE INTERCONNECTED SO THAT THE
ACTIVATION OF ONE ALARM WILL
ACTIVATE ALL OTHERS.

ELECTRICIAN TO PROVIDE 1" CP
PLUS OTHER 75'-0" FROM A/C
CONDENSER UNIT

PLAN 1471 LF

BEDROOM 3 CLOSET
W/OPT. FIREPLACE
SCALE 1/8" = 1'-0"



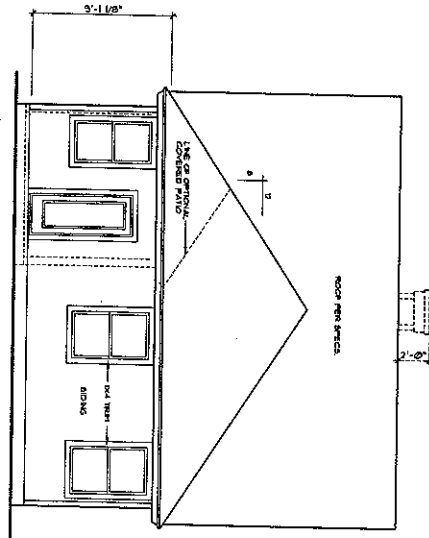
SECOND LEVEL ELECTRICAL PLAN SCALE 1/8" = 1'-0"

NOTES:
1. ALL NEW ELECTRICAL WORK TO BE INSTALLED IN ACCORDANCE WITH THE 2017 NATIONAL ELECTRICAL CODE (NEC) AND THE 2017 CALIFORNIA ELECTRICAL CODE (CEC).
2. ALL NEW ELECTRICAL WORK TO BE INSTALLED IN ACCORDANCE WITH THE 2017 NATIONAL ELECTRICAL CODE (NEC) AND THE 2017 CALIFORNIA ELECTRICAL CODE (CEC).
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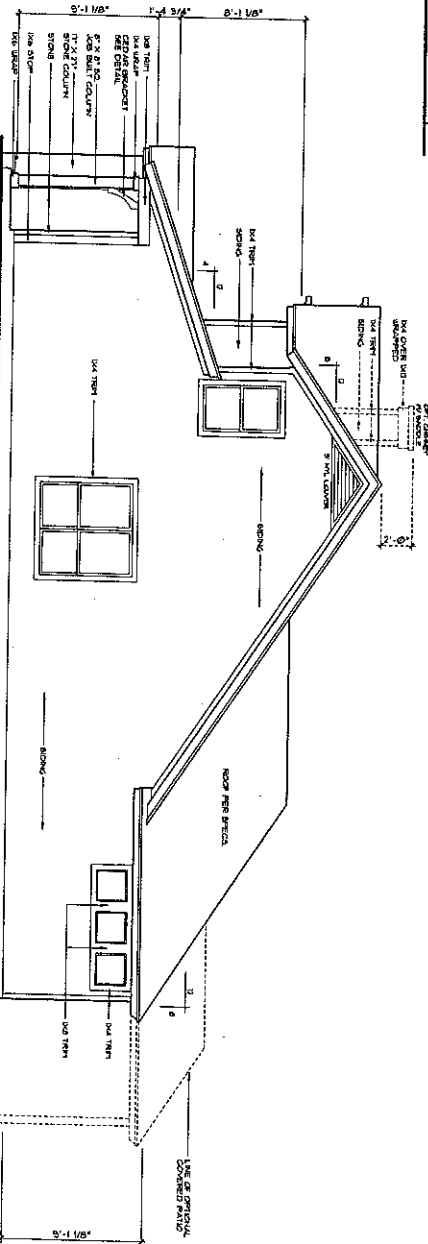
RECEIVED LIVING ROOMS TO BE INSTALLED IN ACCORDANCE WITH THE 2017 NATIONAL ELECTRICAL CODE (NEC) AND THE 2017 CALIFORNIA ELECTRICAL CODE (CEC).
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PLAN 1471 LP



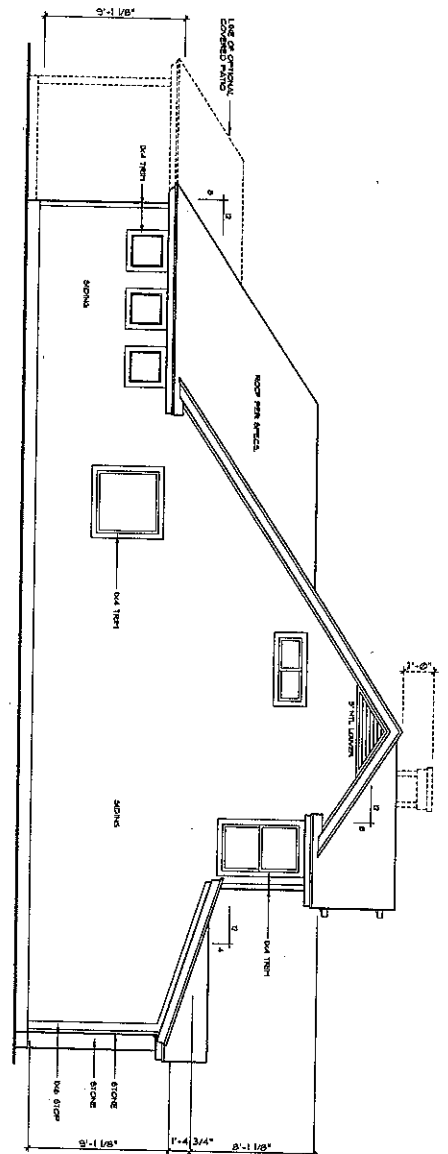
REAR ELEVATION
SCALE 1/8"=1'-0"



LEFT ELEVATION
SCALE 1/8"=1'-0"

LEFT ELEVATION
SCALE 1/8"=1'-0"

NOTES:
1. ALL ROOF PITCHES TO BE 12/12 UNLESS OTHERWISE NOTED.
2. ALL ROOF FLASHINGS TO BE 3" MIN. OVER THE ROOF LINE.
3. ALL ROOF FLASHINGS TO BE 3" MIN. OVER THE ROOF LINE.
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RIGHT ELEVATION
SCALE 1/8"=1'-0"

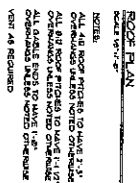
PLAN 1471 LTB

09/08/09
5/13/17
7/20/17

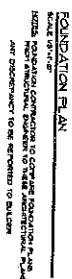
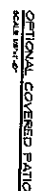
KIPP FLORES ARCHITECTS

For a complete construction manual and details in construction methods, all drawings and specifications are approximate and may vary per job. Builder retains full responsibility.

GRASON COMMUNITIES LTD



Date 5/13/
 Sheet 8 of 1

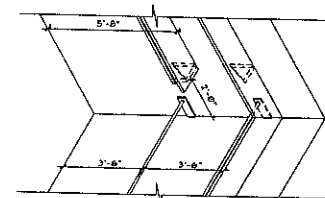
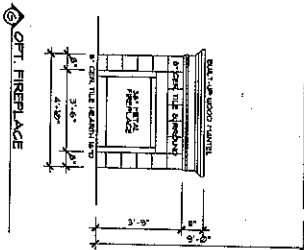
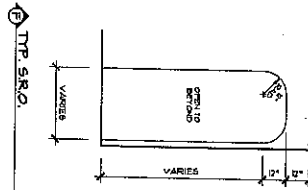
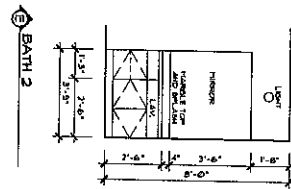
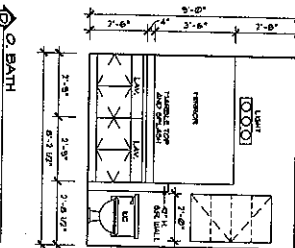
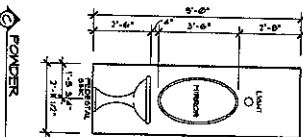
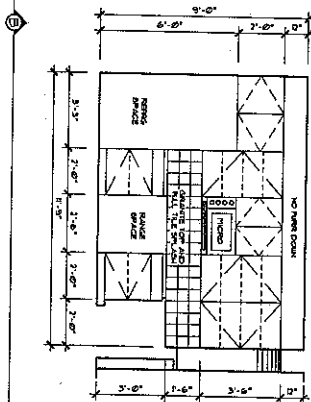
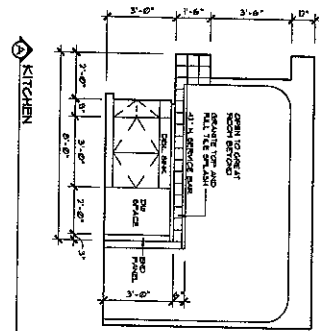


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Date 5/13/00
 Sheet 10 of 11



GRASON COMMUNITIES, LTD



NOTES:
1. ALL DIMENSIONS ARE IN FEET AND INCHES.
2. DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
3. FINISHES ARE TO BE DETERMINED BY THE ARCHITECT.
4. SEE SCHEDULE FOR MATERIALS AND METHODS.

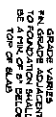
CABINET ELEVATIONS
PLAN 1471 LF

5/18/76
Sheet
3a of 1

KIPP FLORES ARCHITECTS

GRASON COMMUNITIES, LTD

SCALE 3/8" = 1'-0"
REFER TO PLANS & ELEVS. FOR ROOF PITCHES



SCALE 3/4"=1'-0"



5b of 1



**Residential Design Compatibility Commission
MINUTES (Revised)**

**REGULAR MEETING
January 5, 2011**

The Residential Design Compatibility Commission convened in a regular meeting on January 5, 2011, City Hall, Boards and Commission Room, 301 West 2nd Street in Austin, Texas.

William Burkhardt called the Commission Meeting to order at 6:00 p.m.

Commissioners in Attendance: William Burkhardt, Karen McGraw, Beth Engelland, Keith Jackson, Lucy Katz, Chuck Mains, Jean Stevens

City Staff: Sylvia Benavidez

A. CITIZEN COMMUNICATION: GENERAL

The first 4 speakers signed up prior to the meeting being called to order will each be allowed a three-minute allotment to address their concerns regarding items not posted on the agenda.

No Speakers

B. APPROVAL OF MINUTES (December 1, 2010)

The motion for the minutes from December 1, 2010 was approved without objections.

**C. RESIDENTIAL DESIGN AND COMPATIBILITY STANDARD
POSTPONEMENT**

**C-1 10-104084RA Leslie Hoard
4212 Ramsey Avenue**

The applicant has requested a modification to allow a F.A.R. increase from the maximum development permitted in Chapter 25-2 of the Land Development Code, Section 2.1 Subchapter F: Residential Design and Compatibility Standards from the allowable 40% (2700) to 46.1% (3110) square feet to allow a 410 sq foot two story addition to an existing two story single family residence.

The public hearing was closed on Board Member Jean Stevens motion to **POSTPONE TO February 2, 2011** requesting additional information, Board Member Keith Jackson second on a 7-0 vote; **POSTPONED TO February 2, 2011.**

side wall articulation requirement from the maximum development permitted in Chapter 25-2 of the Land Development Code, Section 2.8.1 A & B Subchapter F: Residential Design and Compatibility Standards to continue building on the remainder 22 single family lots using the design criteria they have used on the existing single family homes allowing for compatibility through the entire 42 lots in a SF6-C/O zoning district in the Salem Center Subdivision.

The public hearing was closed on Board Member Karen McGraw motion to Grant to approve an increase of up to 25% in the 1) maximum floor to area ratio or maximum square footage of gross floor area, 2) Maximum linear feet of gables or dormers protruding from the setback plane; Waive or modify the side wall articulation; Board Member Beth Engelland second on a 7-0 vote; GRANTED.

RDCC Case #10-106755PR

Case #10-106757PR

Plan Name	Plan #	Total Elevation A with Masonry	Total Elevation B With Masonry	# of Flrs.
Treaty Oak Homes	1299 RF	1712 sf optional garage ext. 26 sf	1712 sf optional garage ext. 26 sf	2
Treaty Oak Homes	1930 RF	2524 with tandem garage optional covd patio 103 sf	2546 with tandem garage optional covd patio 103 sf	2
Treaty Oak Homes	1706 RF	2112 sf optional 24 sq ft garage extension optional loft-media- bedrm-gmroom 298 sf	2091 sf optional 24 sq ft garage extension optional loft-media- bedrm-gmroom 298 sf	2
Treaty Oak Homes	1179	1580 sf optional 26 sq ft garage extension	1606 sf optional 26 sq ft garage extension	2
Treaty Oak Homes	1471	1774 sf optional 25 sq ft garage extension optional covd patio 83 sf	1778 sf optional 25 sf garage extension optional cvd patio 83 sf	2
Treaty Oak Homes	2077- I and II	2494 sf plan I	2,599 s.f. Plan II	2

DISCUSSION ITEMS:

1. Commissioner William Burkhardt recommended to all commissioners that late support material would be given up to 15 minutes for review at the beginning of each meeting.

The recommendation was supported unanimously.

ADJOURNMENT

The City of Austin is committed to compliance with the American with Disabilities Act. Reasonable modifications and equal access to communications will be provided upon request. Meeting locations are planned with wheelchair access. If requiring Sign Language Interpreters or alternative formats, please give notice at least 4 days before the meeting date. Please call Sylvia Benavidez at Planning and Development Review Department, at 512-974-2522, sylvia.benavidez@ci.austin.tx.us, for additional information; TTY users route through Relay Texas at 711.

Revised:

ORDINANCE NO. 20100624-143

AN ORDINANCE REPEALING AND REPLACING ARTICLE 1 OF CITY CODE CHAPTER 25-12 TO ADOPT THE 2009 INTERNATIONAL BUILDING CODE AND LOCAL AMENDMENTS; AND AMENDING CITY CODE CHAPTER 25-12 TO ADD NEW SECTIONS 25-12-266, 25-12-267, 25-12-268, 25-12-269, AND 25-12-270 RELATING TO PERMIT APPLICATIONS AND EXPIRATION.

[Applies to all Technical Codes]

PART 2. City Code Chapter 25-12, Article 13 (*Administration of Technical Codes*) is amended to add new Sections 25-12-266, 25-12-267, 25-12-268, 25-12-269, and 25-12-270 to read as follows:

§ 25-12-266 TIME LIMITATION OF APPLICATION.

An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless a permit has been issued; except that the building official is authorized to grant one extension of time for an additional period not to exceed 180 days. The extension shall be requested in writing before the application expires and justifiable cause demonstrated.

§ 25-12-267 EXPIRATION.

Except as provided in Section 25-12-268 (*Extension*) and Section 25-12-269 (*Reactivation*), a permit expires on the 181st day:

1. after the date that the permit is issued, if the project has received no inspections as required under this code; or
2. after the date of the last scheduled inspection if that inspection is scheduled before the 181st day and once performed, shows progress towards completion of the project.

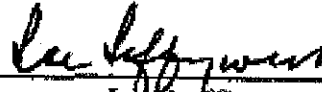
PART 3. This ordinance takes effect on October 1, 2010.

PASSED AND APPROVED

June 24

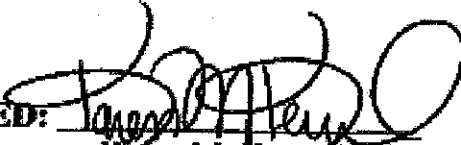
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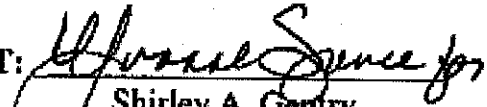


Lee Leffingwell
Mayor

APPROVED:


Karen M. Kennard
Acting City Attorney

ATTEST:


Shirley A. Gentry
City Clerk

ORDINANCE NO. 020829-29

AN ORDINANCE REZONING AND CHANGING THE ZONING MAP FOR THE PROPERTY LOCATED AT 1100 WEST STASSNEY LANE FROM NEIGHBORHOOD COMMERCIAL (LR) DISTRICT, MULTIFAMILY RESIDENCE LOW DENSITY (MF-2) DISTRICT, MULTIFAMILY RESIDENCE MEDIUM DENSITY (MF-3) DISTRICT AND COMMUNITY COMMERCIAL (GR) DISTRICT TO TOWNHOUSE AND CONDOMINIUM RESIDENCE-CONDITIONAL OVERLAY (SF-6-CO) COMBINING DISTRICT.

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF AUSTIN:

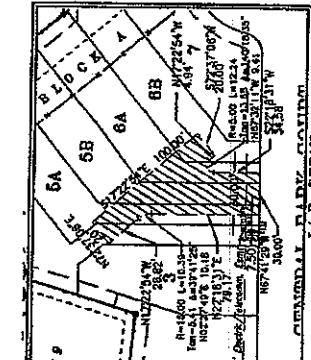
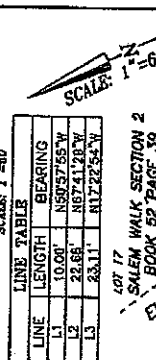
PART 1. The zoning map established by Section 25-2-191 of the City Code is amended to change the base district from neighborhood commercial (LR) district, multifamily residence low density (MF-2) district, multifamily residence medium density (MF-3) district and community commercial (GR) district to townhouse and condominium residence-conditional overlay (SF-6-CO) combining district on the property described in Zoning Case No. C14-02-0005, on file at the Neighborhood Planning and Zoning Department, as follows:

Lot B-2, Salem Center Subdivision, a subdivision in the City of Austin, Travis County, Texas, according to the map or plat of record in Plat Book 83, Pages 144B-144C, of the Plat Records of Travis County, Texas, (the "Property")

locally known as 1100 West Stassney Lane, in the City of Austin, Travis County, Texas, and generally identified in the map attached as Exhibit "A".

PART 2. The Property within the boundaries of the conditional overlay combining district established by this ordinance is subject to the following conditions:

1. The maximum height is 15 feet for a structure or a portion of a structure constructed within 50 feet of the north property line.
2. Development of the Property may not exceed 40 percent impervious coverage.
3. Development of the Property may not exceed 44 residential units.
4. A building may not contain more than one residential unit.

[illegible]

NOTE: THIS LOT IS SUBJECT TO BLANKET TYPE ELECTRIC EASE, RECORDED IN VOLUME 8563, PAGE 819, & VOLUME 8643, PAGE 474.

LOT 6 LOT 5 LOT 4 LOT 3 LOT 2 LOT 1

OAKS VILLAGE SECTION 1

GOOSE DRIVE

BEARING BASIS - TEXAS STATE PLANE COORDINATE SYSTEM, NAD 83 (GEOID), CENTRAL ZONE, BASED ON G.P.S. OBSERVATIONS.

ELEVATION BASIS - CITY OF AUSTIN HYDROGRAPHIC FRAMEWORK ON CURB HIGHPOINT, THAMES STREET CORNER OF SALEM HILL DRIVE AND FOREST DRIVE, PLOT C.O.A. F.B. 3648, PG. 43. ELEV. M. 631.92'

STREET NAME	ROW	PAVEMENT (FOG TO FOG)
CENTRAL PARK COURT	50'	30' - 2" CURB & GUTTER
SALEM PARK COURT	50'	30' - 2" CURB & GUTTER

OWNER:
GRASON COMMUNITIES, LLC.
7171 HWY & NORTH, SUITE 100
HOUSTON, TX 77085

STANISWAY LANE (R.O.W. VARIOUS)

MARANATHA BAPTIST TEMPLE
DOC. 20000312610

LEGEND

- EXISTING SIDEWALK
- PROPOSED SIDEWALK
- LOT LINE
- EASEMENT
- 6' MOOD FENCE
- 1/2" IRON ROD W/ PLASTIC CAP SET
- 1/2" IRON ROD FOUND
- CONCRETE MONUMENT SET
- UTILITY EASEMENT
- UTILITY EASEMENT
- ADJACENT EASEMENT
- JOINT ACCESS EASEMENT
- J.A.E.
- B.A.L.
- BUILDING LINE
- BENCH MARK

UTILITY SERVICE EASEMENT

1" = 30'

LENZ & ASSOCIATES, INC.

COMPLETE PROFESSIONAL LAND SURVEYING SERVICES
(512) 443-1174
1714 FORT NEW RD., SUITE 101
AUSTIN, TEXAS 78704

CANVERBURY COMMONS CONDOMINIUMS

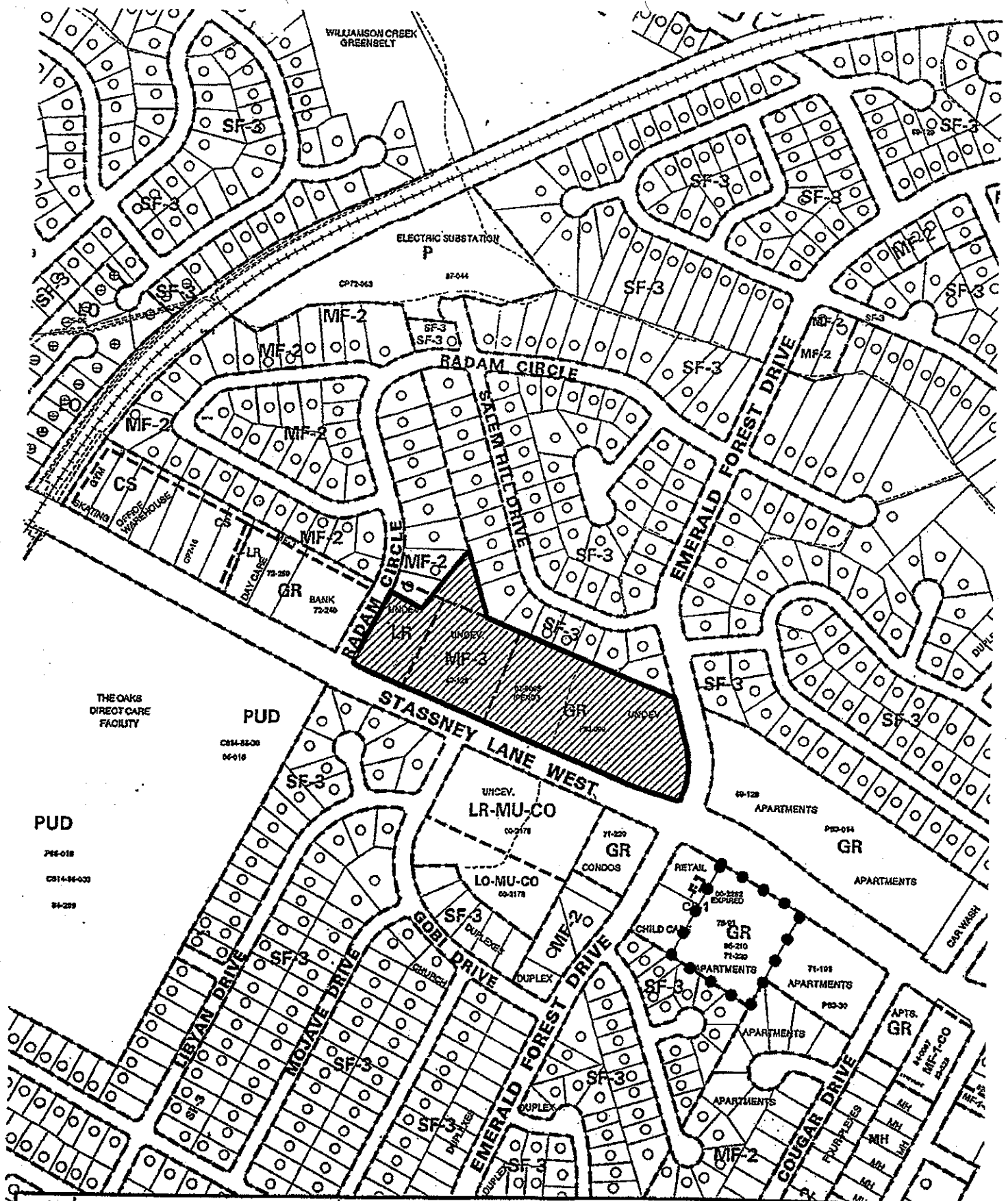
RESUBDIVISION OF
LOT B-1 OF SALEM CENTER

HOWARD ENGINEERS, INC.
4509 Russell Drive
Austin, Texas 78704
Phone: (512) 448-0881
Fax: (512) 448-0889
www.howardengineers.com

CB-08-0102.1A
CASE NO:
CLIPPING DATE:
NOVEMBER 2006

SHEET 2 OF 2

Downloaded from <http://www.jstor.org/stable/2346124> Wed, 21 Jun 2017 12:02:00 UTC



SUBJECT TRACT
PENDING CASE
ZONING BOUNDARY
CASE MGR: W. WALSH



CASE #: C14-02-0005
ADDRESS: 1100 W STASSNEY LANE
SUBJECT AREA (acres): 8.195

ZONING EXHIBIT A

DATE: 02-01

INTLS: SM

CITY GRID
REFERENCE
NUMBER
G17

CONSTRUCTION

PLAN TYPE 1471



Me 23

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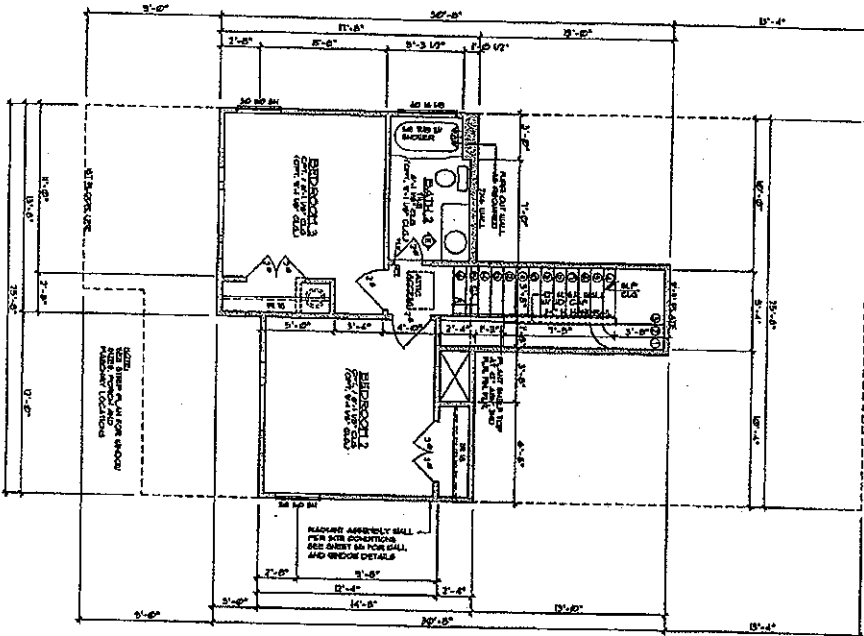
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[illegible]

Source: Postage Card		Elevation 74	
	PAVING	W/THICKNESS	
1 ST. PAVING	89.7	812	386
2 ND. PAVING	308		386
TOTAL LIVING	1446	1471	
CLASSED	325		346
POSSIBLE	57		57
TOTAL	1827	1744	
GR. COND.	83		83
GR. 2			25
GRADING EXP.	24		

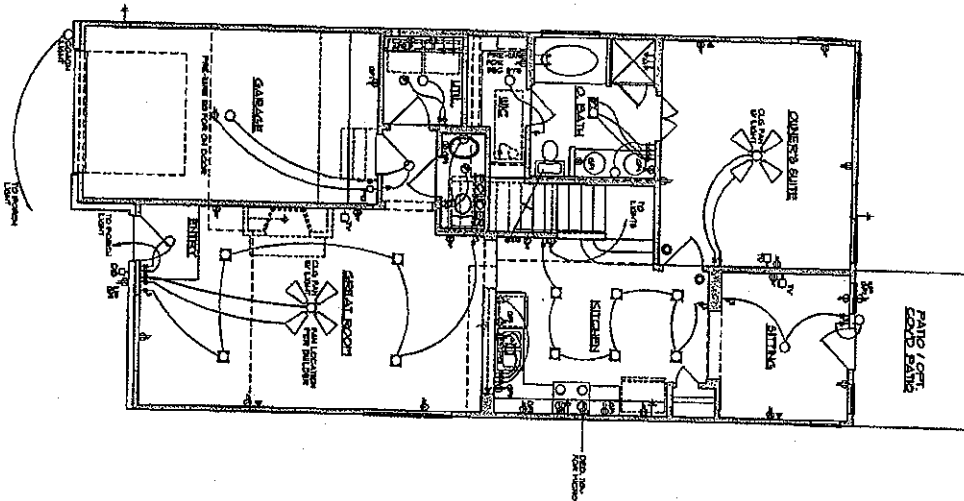
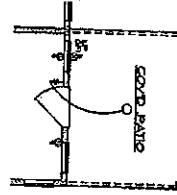
Square Footage Chart			
Elevation 15			
	Feet	W/ H	W/ H
1st FLOOR	36x1		12x2
2nd FLOOR	36x2		24x2
TOTAL LIVING	72x2		36x2
CLIMATE	24x2		12x1
CLIMATE	24x2		24x2
PORCH	61		61
TOTAL	104x2		77x2
GR. COVER			
PAVING	23		23
PAVING			23
GRASS	24		24



PROFESSOR THOMAS D. ALLEN
OF THE UNIVERSITY OF
MICHIGAN, HAS BEEN
NAMED TO THE
POSITION OF
PROFESSOR OF
PHYSICS AND
ASTRONOMY AT
THE UNIVERSITY OF
MICHIGAN, ANN ARBOR.
HE WILL BE
REPLACING
PROFESSOR
JAMES H. HARRIS,
WHO IS
RETIRED.

DEFENSE ATTORNEYS AND COUNSELORS AT LAW THE FEDERAL BUREAU OF INVESTIGATION DEPARTMENT OF JUSTICE			
Mr. Tolson Mr. Boardman Mr. Nichols Mr. Belmont Mr. Mohr Mr. DeLoach Mr. Casper Mr. Callahan Mr. Conrad Mr. Felt Mr. Gale Mr. Rosen Mr. Sullivan Mr. Tavel Mr. Trotter Tele. Room Mr. Holmes Miss Gandy	Room 5634 and 5636 Federal Bureau of Investigation Department of Justice Washington, D.C. 20535	Room 5634 and 5636 Federal Bureau of Investigation Department of Justice Washington, D.C. 20535	Room 5634 and 5636 Federal Bureau of Investigation Department of Justice Washington, D.C. 20535
FOR PERSONS WHO DO NOT HAVE A MAILING ADDRESS			
Mr. Tolson Mr. Boardman Mr. Nichols Mr. Belmont Mr. Mohr Mr. DeLoach Mr. Casper Mr. Callahan Mr. Conrad Mr. Felt Mr. Gale Mr. Rosen Mr. Sullivan Mr. Tavel Mr. Trotter Tele. Room Mr. Holmes Miss Gandy	Room 5634 and 5636 Federal Bureau of Investigation Department of Justice Washington, D.C. 20535	Room 5634 and 5636 Federal Bureau of Investigation Department of Justice Washington, D.C. 20535	Room 5634 and 5636 Federal Bureau of Investigation Department of Justice Washington, D.C. 20535

SECTIONAL COVERED PATIO
ELEVATION

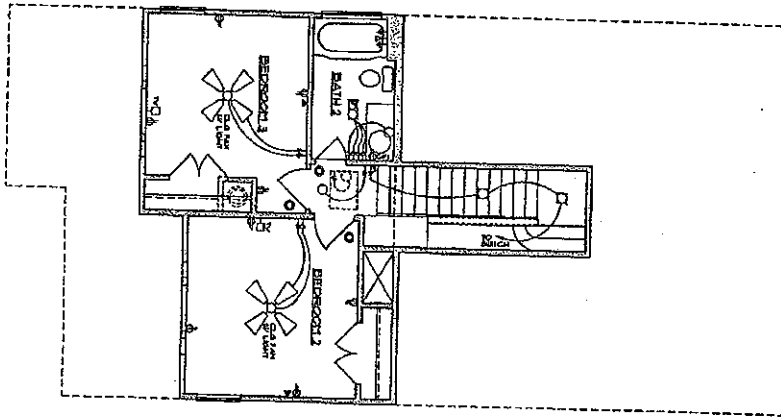
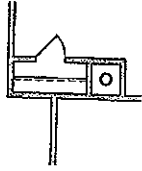


FIRST LEVEL ELECTRICAL PLAN

ELECTRICAL LEGEND	
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NO. 30 AMP	NO. 30 AMP
NO. 40 AMP	NO. 40 AMP
NO. 50 AMP	NO. 50 AMP
NO. 60 AMP	NO. 60 AMP
NO. 70 AMP	NO. 70 AMP
NO. 80 AMP	NO. 80 AMP
NO. 90 AMP	NO. 90 AMP
NO. 100 AMP	NO. 100 AMP
NO. 110 AMP	NO. 110 AMP
NO. 120 AMP	NO. 120 AMP
NO. 130 AMP	NO. 130 AMP
NO. 140 AMP	NO. 140 AMP
NO. 150 AMP	NO. 150 AMP
NO. 160 AMP	NO. 160 AMP
NO. 170 AMP	NO. 170 AMP
NO. 180 AMP	NO. 180 AMP
NO. 190 AMP	NO. 190 AMP
NO. 200 AMP	NO. 200 AMP
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NO. 390 AMP	NO. 390 AMP
NO. 400 AMP	NO. 400 AMP
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NO. 820 AMP	NO. 820 AMP
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NO. 890 AMP	NO. 890 AMP
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NO. 910 AMP	NO. 910 AMP
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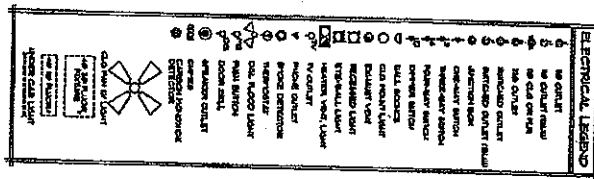
NOTES:
1. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) CODES.
2. ALL ELECTRICAL WORK SHALL BE DONE BY A LICENSED ELECTRICIAN.
3. ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH THE LOCAL ORDINANCES.
4. ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH THE STATE REQUIREMENTS.
5. ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH THE FEDERAL REQUIREMENTS.
6. ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH THE INTERNATIONAL REQUIREMENTS.
7. ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH THE AMERICAN REQUIREMENTS.
8. ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH THE CANADIAN REQUIREMENTS.
9. ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH THE MEXICAN REQUIREMENTS.
10. ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH THE EUROPEAN REQUIREMENTS.
11. ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH THE AFRICAN REQUIREMENTS.
12. ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH THE ASIAN REQUIREMENTS.
13. ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH THE OCEANIC REQUIREMENTS.
14. ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH THE ANTARCTIC REQUIREMENTS.
15. ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH THE ARCTIC REQUIREMENTS.

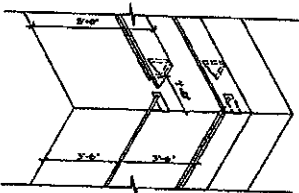
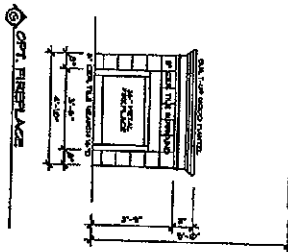
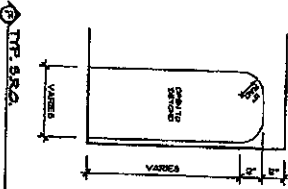
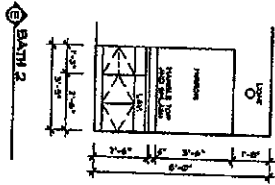
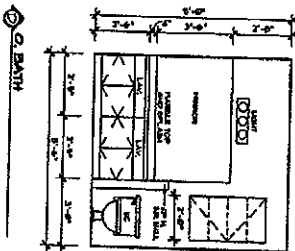
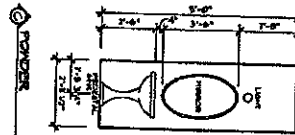
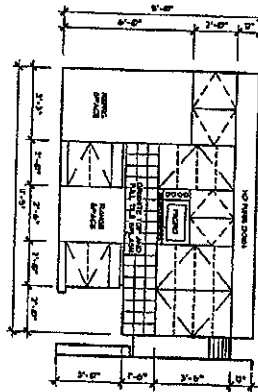
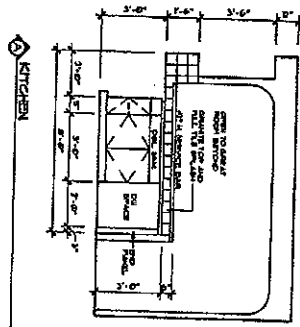
BEDROOM 3 CLOSET
BATH
KITCHEN



SECOND LEVEL ELECTRICAL PLAN

NOTES:
1. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND THE CITY OF CHICAGO ELECTRICAL CODE.
2. ALL ELECTRICAL WORK SHALL BE DONE BY A LICENSED ELECTRICIAN.
3. ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF CHICAGO ELECTRICAL CODE.
4. ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF CHICAGO ELECTRICAL CODE.
5. ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF CHICAGO ELECTRICAL CODE.





1. BATH CLOSET ROD & SHELF DETAIL

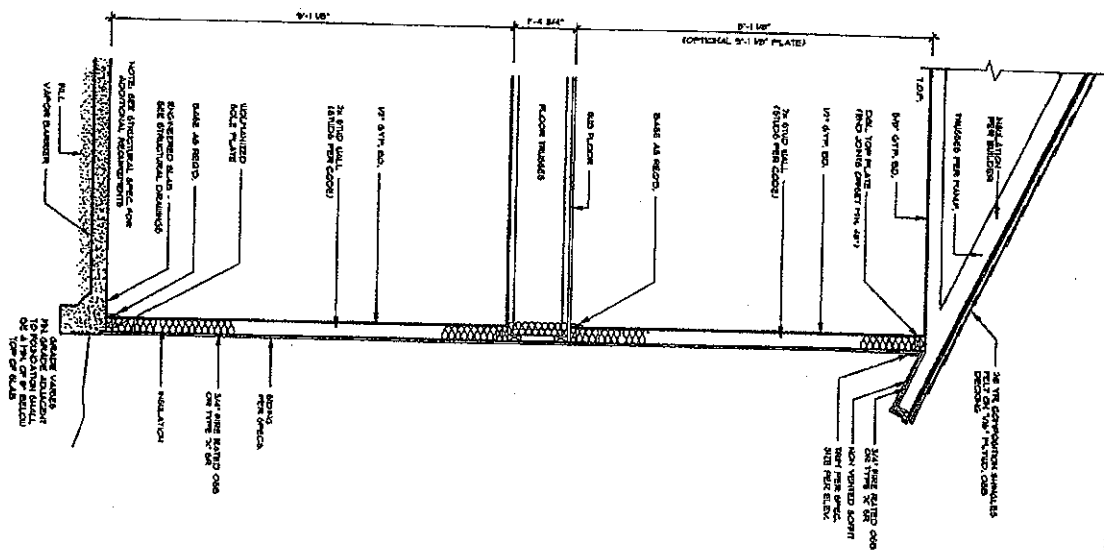
ROD: 1/2" DIA. X 6'-0" LONG

SHELF: 1/2" THICK X 6'-0" LONG

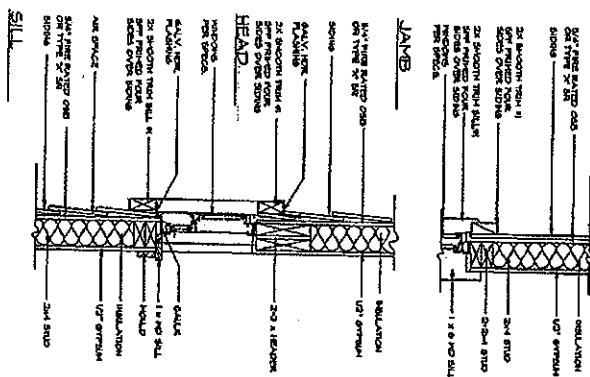
ROD & SHELF TO BE ALIGNED ON BATH WALL

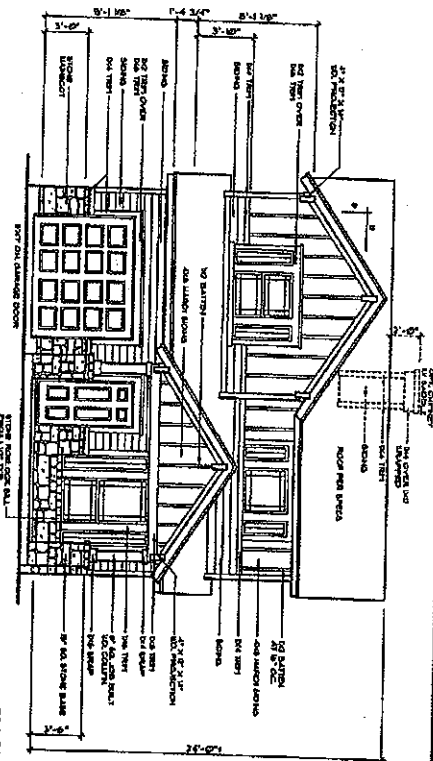
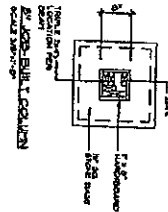
ROD & SHELF TO BE INSTALLED ON BATH WALL

LOCALS 300" x 30"
REFER TO PLANS & ELEV. FOR ROOF PITCHES



1 TYPICAL FIRE-RATED / RADIANT ASSEMBLY
EXTERIOR WINDOW DETAIL W/ SLIDING
SCALE 3/4"=1'-0"





FRONT ELEVATION

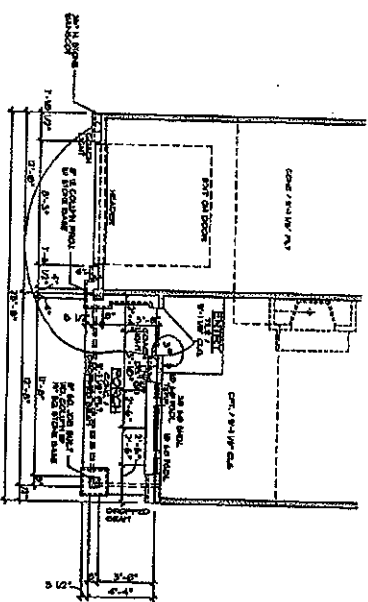
GLAZING SCHEDULE			
NO.	DESCRIPTION	QTY	REMARKS
1	1/2" GLASS	100	FOR FRONT ELEVATION
2	1/4" GLASS	50	FOR SIDE ELEVATION
3	1/8" GLASS	20	FOR REAR ELEVATION
4	1/2" GLASS	150	FOR ROOF GLAZING
5	1/4" GLASS	75	FOR PORCH GLAZING
6	1/8" GLASS	30	FOR TERRACE GLAZING
7	1/2" GLASS	120	FOR BALCONY GLAZING
8	1/4" GLASS	60	FOR STAIR GLAZING
9	1/8" GLASS	25	FOR HALL GLAZING
10	1/2" GLASS	180	FOR TOTAL GLAZING

NO.	DESCRIPTION	QTY	REMARKS
1	1/2" GLASS	100	FOR FRONT ELEVATION
2	1/4" GLASS	50	FOR SIDE ELEVATION
3	1/8" GLASS	20	FOR REAR ELEVATION
4	1/2" GLASS	150	FOR ROOF GLAZING
5	1/4" GLASS	75	FOR PORCH GLAZING
6	1/8" GLASS	30	FOR TERRACE GLAZING
7	1/2" GLASS	120	FOR BALCONY GLAZING
8	1/4" GLASS	60	FOR STAIR GLAZING
9	1/8" GLASS	25	FOR HALL GLAZING
10	1/2" GLASS	180	FOR TOTAL GLAZING

NO.	DESCRIPTION	QTY	REMARKS
1	1/2" GLASS	100	FOR FRONT ELEVATION
2	1/4" GLASS	50	FOR SIDE ELEVATION
3	1/8" GLASS	20	FOR REAR ELEVATION
4	1/2" GLASS	150	FOR ROOF GLAZING
5	1/4" GLASS	75	FOR PORCH GLAZING
6	1/8" GLASS	30	FOR TERRACE GLAZING
7	1/2" GLASS	120	FOR BALCONY GLAZING
8	1/4" GLASS	60	FOR STAIR GLAZING
9	1/8" GLASS	25	FOR HALL GLAZING
10	1/2" GLASS	180	FOR TOTAL GLAZING

SECOND LEVEL, STAIR PLAN

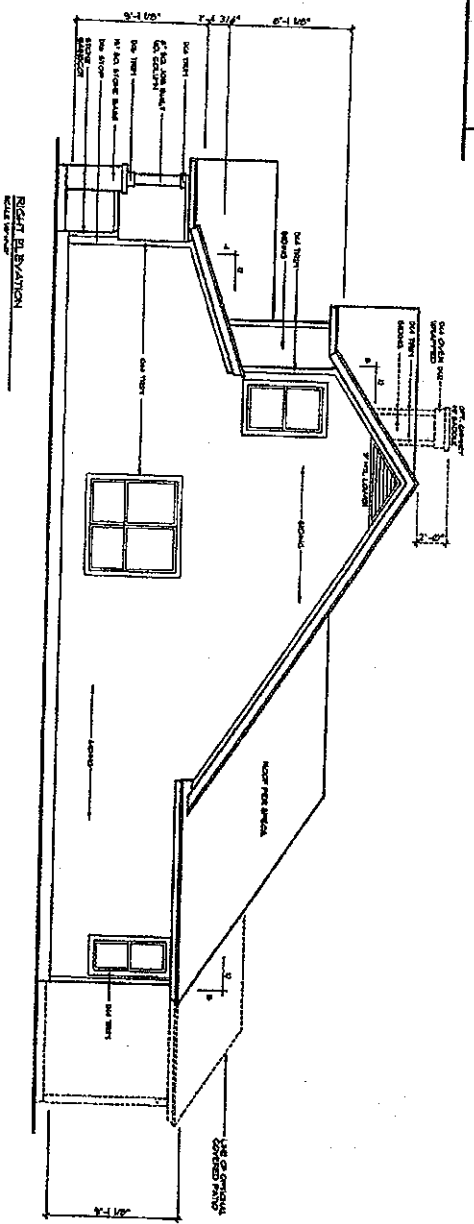
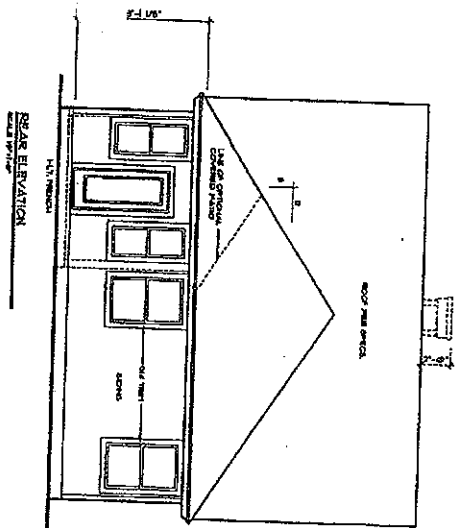
NO.	DESCRIPTION	QTY	REMARKS
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2	1/4" GLASS	50	FOR SIDE ELEVATION
3	1/8" GLASS	20	FOR REAR ELEVATION
4	1/2" GLASS	150	FOR ROOF GLAZING
5	1/4" GLASS	75	FOR PORCH GLAZING
6	1/8" GLASS	30	FOR TERRACE GLAZING
7	1/2" GLASS	120	FOR BALCONY GLAZING
8	1/4" GLASS	60	FOR STAIR GLAZING
9	1/8" GLASS	25	FOR HALL GLAZING
10	1/2" GLASS	180	FOR TOTAL GLAZING



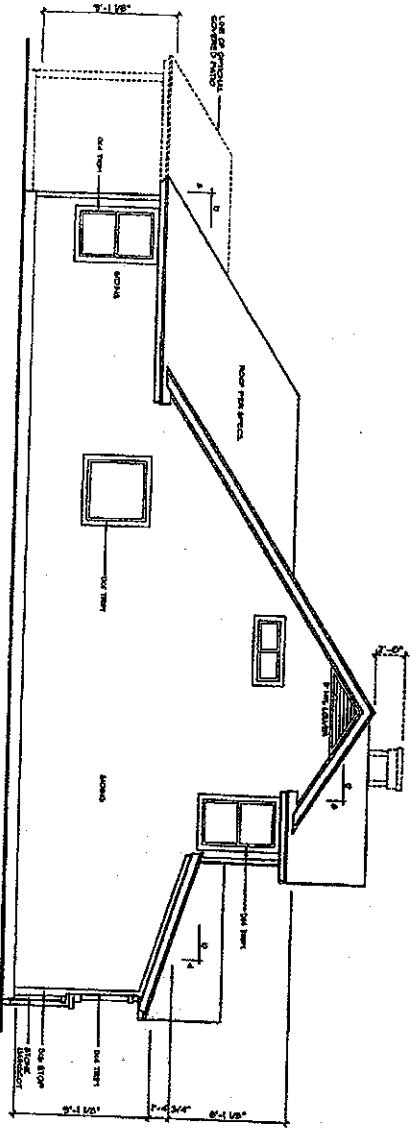
RIGHT LEVEL, STAIR PLAN

KIPP & FLORES ARCHITECTS
11770 JOLLYVILLE RD. SUITE 100 AUSTIN, TEXAS 78758

GRASON COMMUNITIES, LTD.



NOTES:
1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
2. FINISHES TO BE DETERMINED BY THE CLIENT.
3. MATERIALS TO BE DETERMINED BY THE CLIENT.
4. ROOF PITCH TO BE DETERMINED BY THE CLIENT.
5. FOUNDATION TO BE DETERMINED BY THE CLIENT.
6. ALL WORK TO BE DONE IN ACCORDANCE WITH THE CANADIAN NATIONAL BUILDING CODE.
7. ALL WORK TO BE DONE IN ACCORDANCE WITH THE CANADIAN NATIONAL ELECTRICAL CODE.
8. ALL WORK TO BE DONE IN ACCORDANCE WITH THE CANADIAN NATIONAL PLUMBING AND MECHANICAL CODE.
9. ALL WORK TO BE DONE IN ACCORDANCE WITH THE CANADIAN NATIONAL FIRE PROTECTION CODE.
10. ALL WORK TO BE DONE IN ACCORDANCE WITH THE CANADIAN NATIONAL ENVIRONMENTAL PROTECTION ACT.



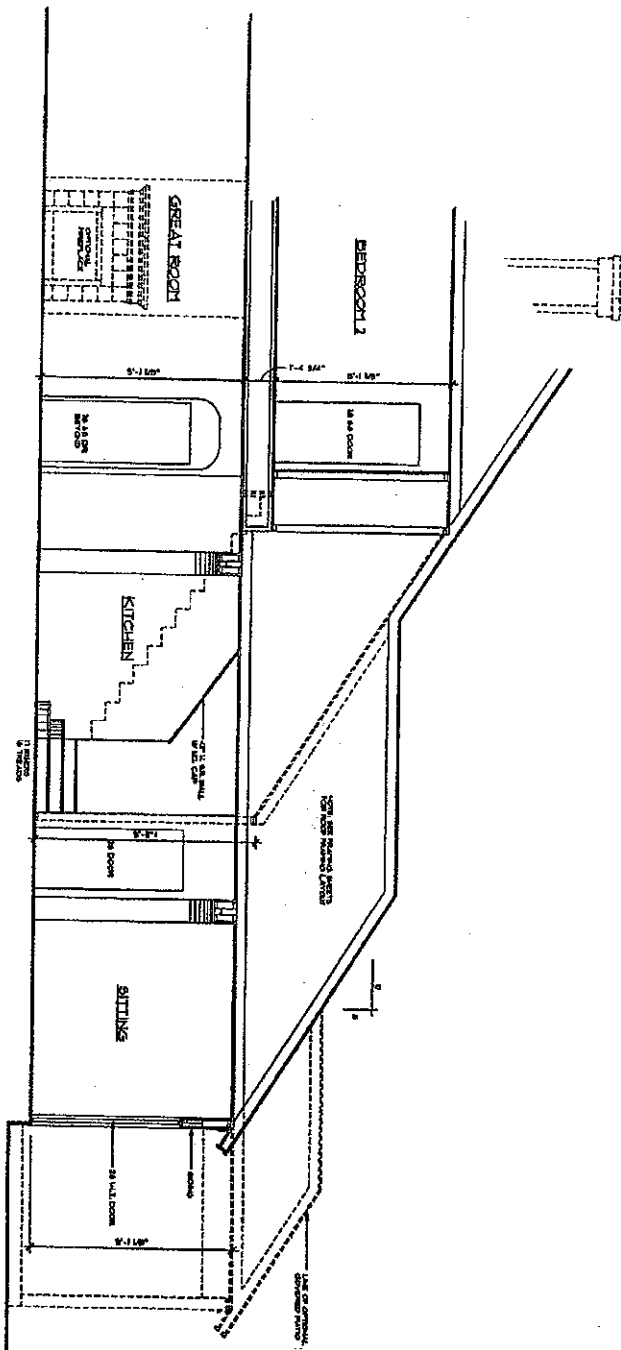
PLAN 1471 LEA

GRASON COMMUNITIES, LTD.

KIPP FLORES ARCHITECTS
 6 (416) 236-8477 Fax (416) 236-2852
 11776 Jollyville Rd. Suite 100 Austin, Texas 78759

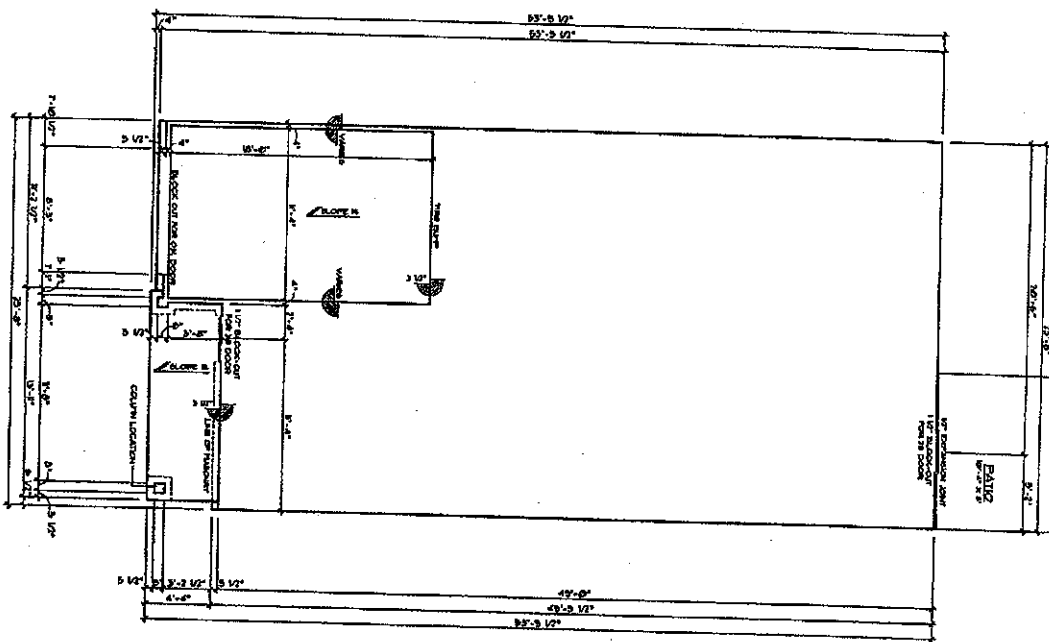
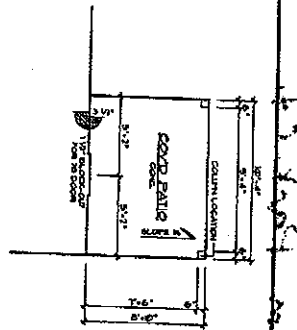
For a complete list of services and a copy of our brochure, please contact us at (416) 236-8477. We are happy to provide you with all the information you need to make the best decision for your project.

5/13/02
 Sheet
 7A-10



CROSS SECTION
 1. DO NOT SCALE THESE DIMENSIONS IN THE CASE OF DISCREPANCY BETWEEN DIMENSIONS OF DRAWING AND DIMENSIONS OF BUILDING.
 2. ALL DIMENSIONS TO FACE UNLESS OTHERWISE NOTED.
 3. ALL DIMENSIONS TO FACE UNLESS OTHERWISE NOTED.
 4. ALL DIMENSIONS TO FACE UNLESS OTHERWISE NOTED.

SECTIONAL COVERED PATIO



FOUNDATION PLAN

NOTES: FOUNDATION IS TO BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL BUILDING DEPARTMENT. SEE FOUNDATION PLAN FOR DETAILS.

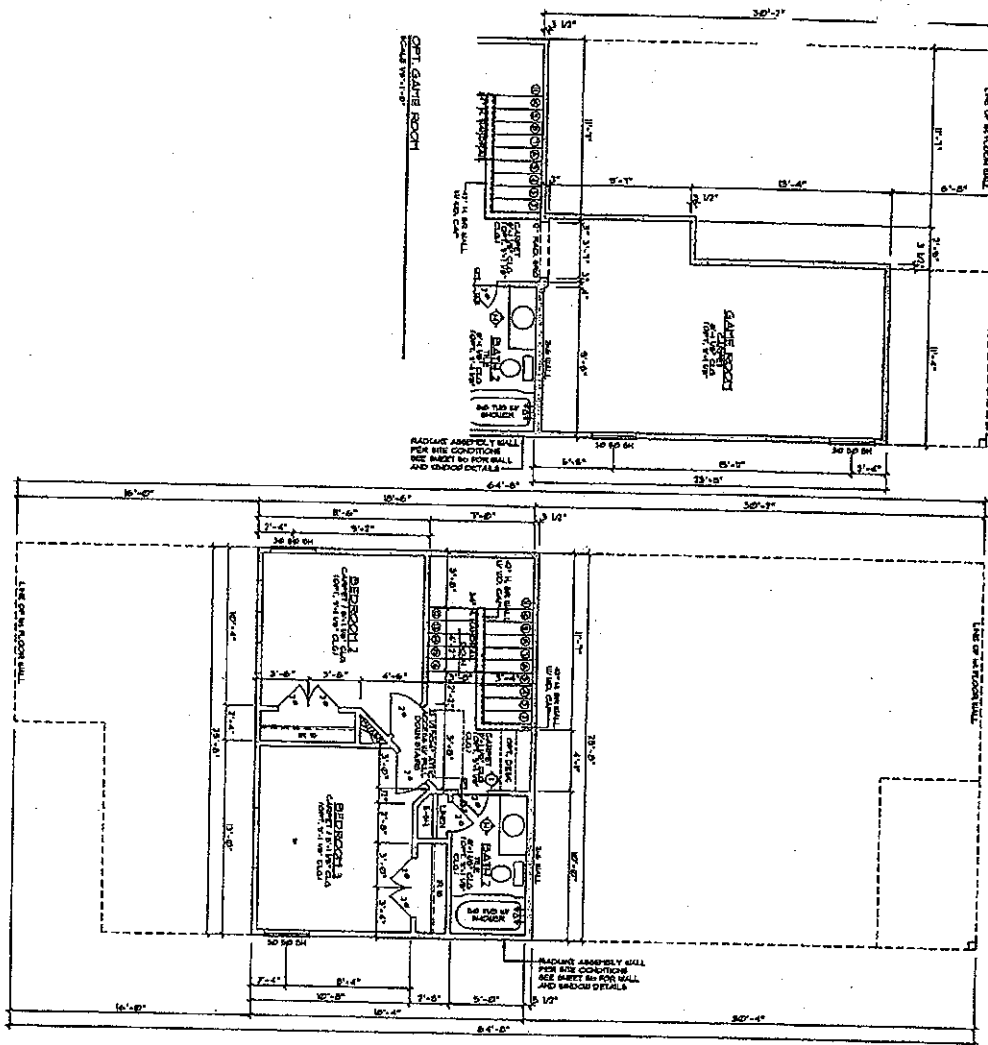
KIPP FLORES ARCHITECTS
 11770 Juncosville Rd., Suite 100, Austin, Texas 78740
 Tel: (512) 259-6477 Fax: (512) 259-6662

Due to weather conditions, we have modified the schedule of construction. All dates and times are approximate and may vary. Please refer to the schedule for details. We are not responsible for any delays or changes in the schedule. Please refer to the schedule for details.

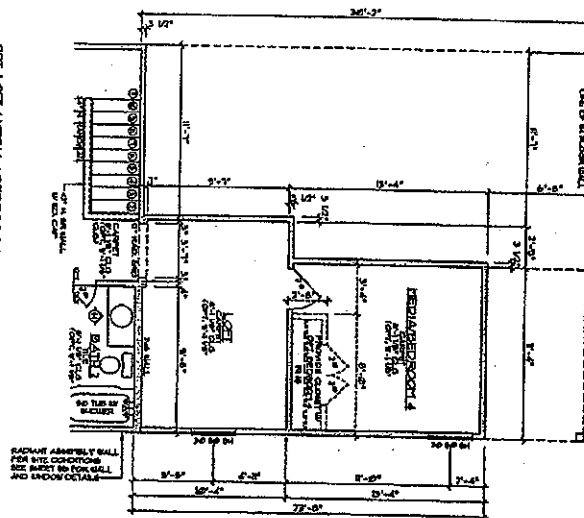
GRASON COMMUNITIES, LTD.

CONSTRUCTION

PLAN TYPE 1706

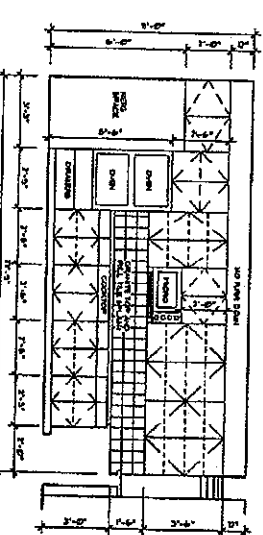
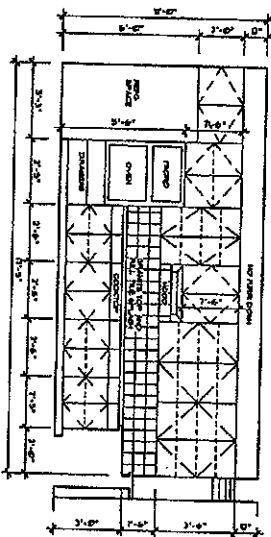
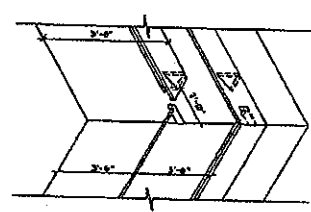
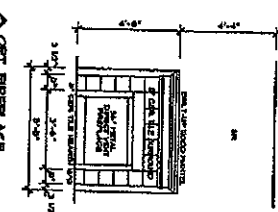
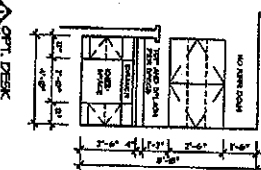
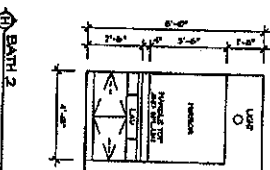
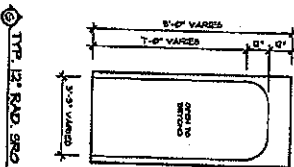
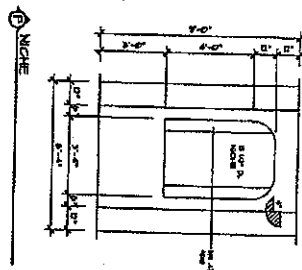
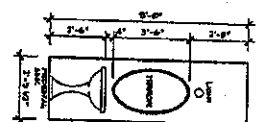
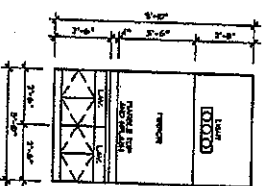
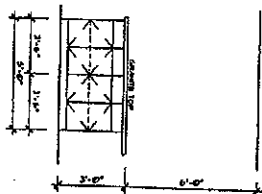
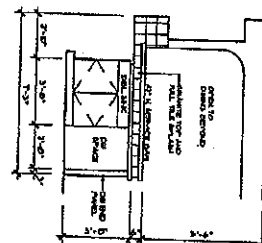
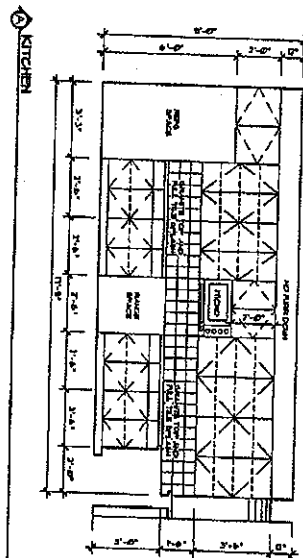


OPT. LOFT / MEDIA / BEDROOM 4



SECOND LEVEL FLOOR PLAN

NOTES:
1. ALL DIMENSIONS ARE IN FEET AND INCHES.
2. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
3. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
4. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
5. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
6. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
7. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
8. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
9. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
10. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.



H. BORDA CLOSET ROD & SHELF DETAIL
SCALE 1/8" = 1'-0"

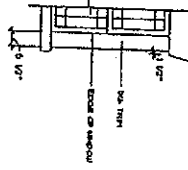
Due to variations in construction materials and density in construction methods, all dimensions and drawings are approximate and may vary per plan. Builders accept full responsibility for checking plans to ensure conformity with local codes. Should any changes be made to these plans by holder or its representatives, holder assumes full liability for associated plans and specifications.

GRASON COMMUNITIES, LTD.

PLAN 1706 LF

Date 5-16-09
 Sheet 5a of 10

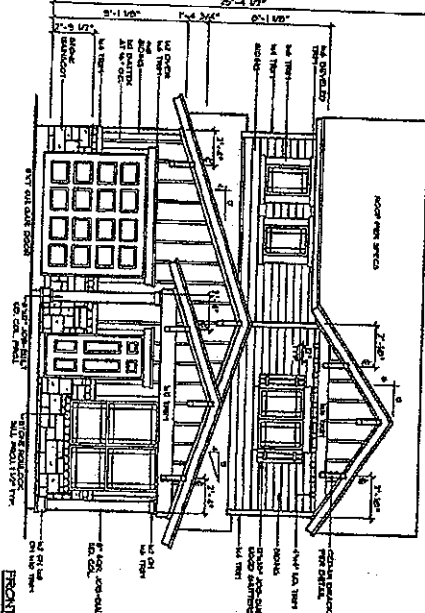
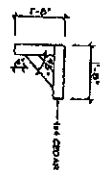
WINDOW TRIM DETAIL



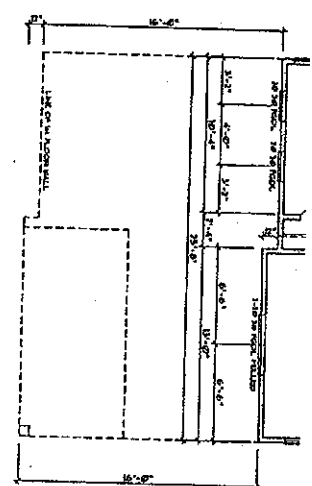
8" JOB-BUILT COLUMN



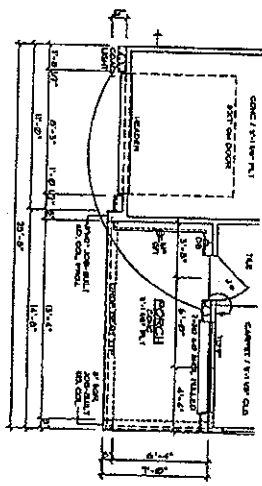
CEDAR BRACKET



FRONT ELEVATION



SECOND LEVEL STRIP PLAN



FIRST LEVEL STRIP PLAN

GLAZING PERCENTAGE			
AREA OF GLAZING	GLAZING PERCENTAGE	AREA OF GLAZING	GLAZING PERCENTAGE
1st FLOOR	1.58	1.58	2.0%
2nd FLOOR	3.51	3.51	4.5%
TOTAL	5.09	5.09	6.5%

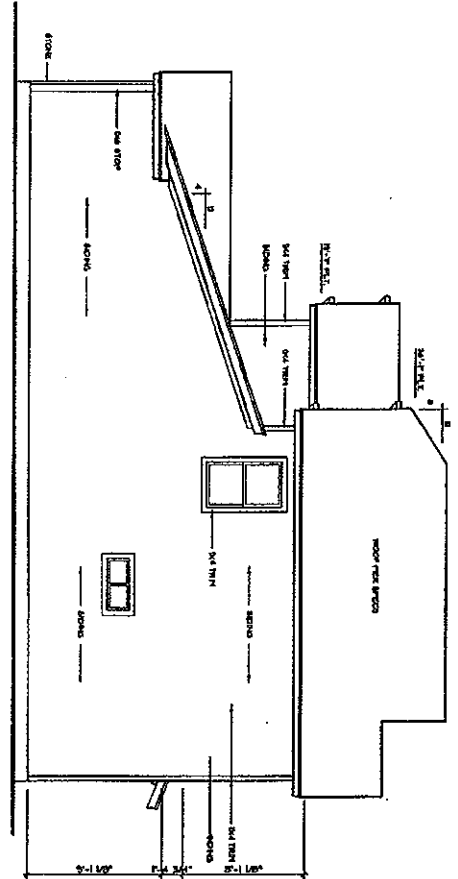
GLAZING PERCENTAGE			
AREA OF GLAZING	GLAZING PERCENTAGE	AREA OF GLAZING	GLAZING PERCENTAGE
1st FLOOR	1.58	1.58	2.0%
2nd FLOOR	3.51	3.51	4.5%
TOTAL	5.09	5.09	6.5%

GLAZING PERCENTAGE			
AREA OF GLAZING	GLAZING PERCENTAGE	AREA OF GLAZING	GLAZING PERCENTAGE
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TOTAL	5.09	5.09	6.5%

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AREA OF GLAZING	GLAZING PERCENTAGE	AREA OF GLAZING	GLAZING PERCENTAGE
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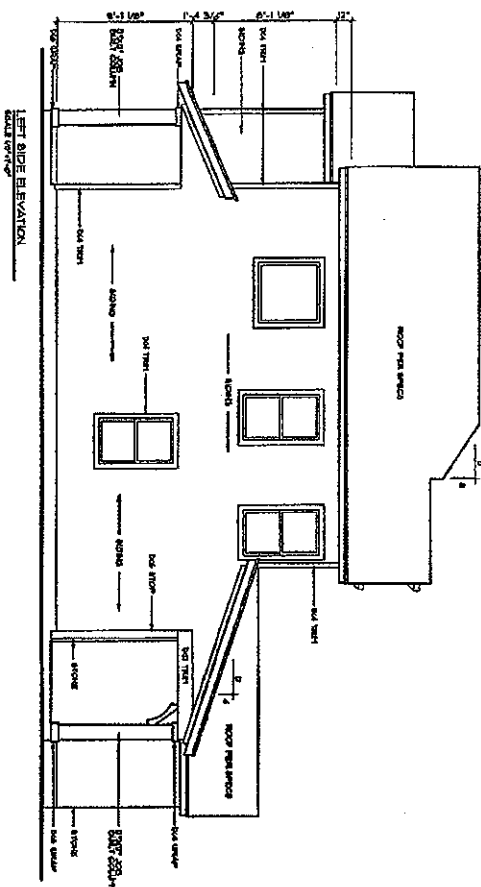
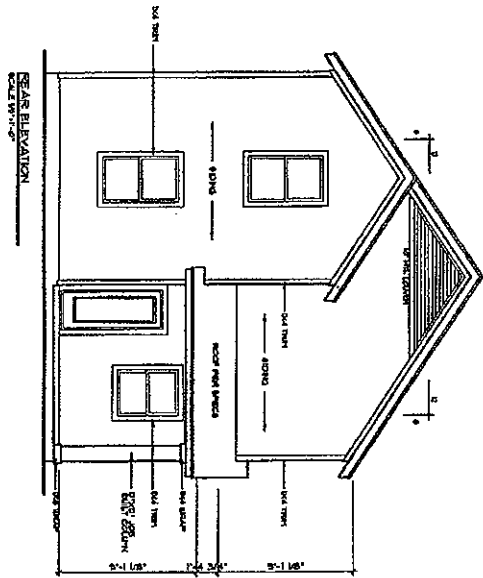
GRASON COMMUNITIES, LTD.

KIPP FLORES ARCHITECTS



FRONT SIDE ELEVATION
SCALE 1/8" = 1'-0"

Notes:
1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
2. FINISHES ARE TO BE DETERMINED BY THE ARCHITECT.
3. MATERIALS TO BE DETERMINED BY THE ARCHITECT.
4. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE 2006 INTERNATIONAL RESIDENTIAL CODE AND THE 2006 INTERNATIONAL ENERGY EFFICIENCY CODE.
5. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE DIMENSIONS SHOWN ON THIS DRAWING.



PLAN 1298 RTB

CEMA-0010-103.DWG 12/26/10

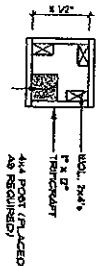
11/28/10
Sheet
7B-10

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778 Jollyville Rd., Suite 100 Austin, Texas 78758

See to ensure is construction meeting and design is construction meeting.
If changes are required, the architect will be responsible for the design and the contractor will be responsible for the construction.
The architect is not responsible for the accuracy of the dimensions shown on this drawing.

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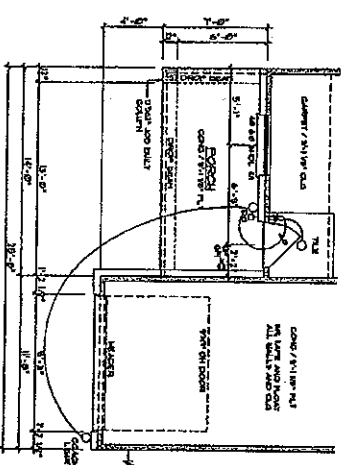
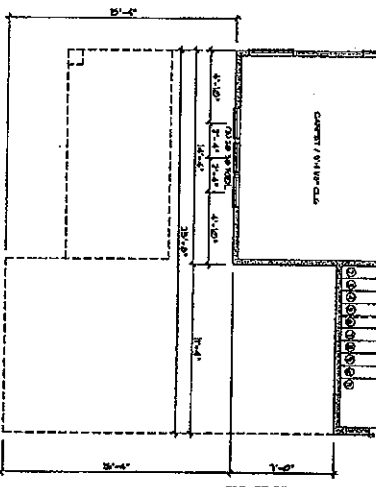
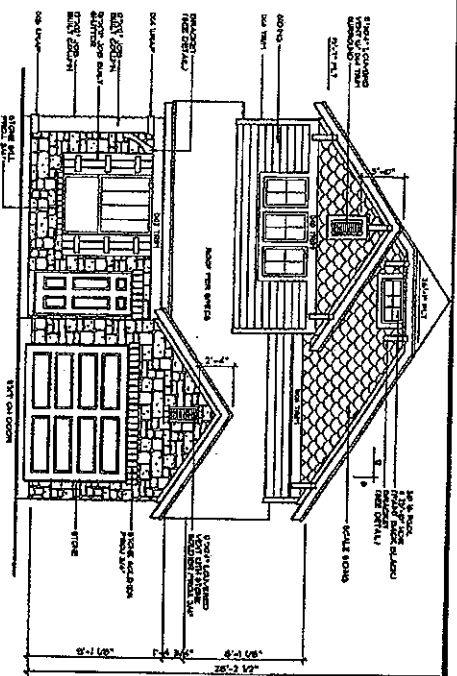
17" JOB BUILT COLUMN DETAIL
SCALE: 1/4" = 1'-0"



BRACKET DETAIL AT GABLES
SCALE: 1/4" = 1'-0"



BRACKET DETAIL AT PORCH
SCALE: 1/4" = 1'-0"



NOTE: THIS CHART DOES NOT REFLECT ANY PLAN OPTIONS OFFERED.

NOTE: MASONRY PERMITS ARE CALCULATED USING NET WALL AREA. MASONRY DOES NOT INCLUDE PORCH AND DOOR AREA.

ITEM	QUANTITY	UNIT PRICE	TOTAL
FOUNDATION	1	100.00	100.00
1ST FLOOR	1	100.00	100.00
2ND FLOOR	1	100.00	100.00
ROOF	1	100.00	100.00
PAINT	1	100.00	100.00
LANDSCAPE	1	100.00	100.00
TOTAL			500.00

PERMITS REQUIRED FOR THIS PROJECT

PERMIT	STATUS	DATE
FOUNDATION	APPROVED	11/15/10
1ST FLOOR	APPROVED	11/15/10
2ND FLOOR	APPROVED	11/15/10
ROOF	APPROVED	11/15/10
PAINT	APPROVED	11/15/10
LANDSCAPE	APPROVED	11/15/10

PERMITS REQUIRED FOR THIS PROJECT

PERMIT	STATUS	DATE
FOUNDATION	APPROVED	11/15/10
1ST FLOOR	APPROVED	11/15/10
2ND FLOOR	APPROVED	11/15/10
ROOF	APPROVED	11/15/10
PAINT	APPROVED	11/15/10
LANDSCAPE	APPROVED	11/15/10

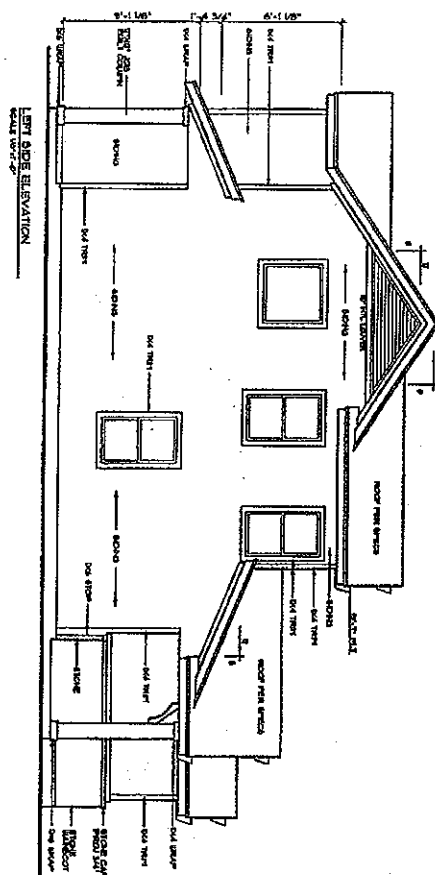
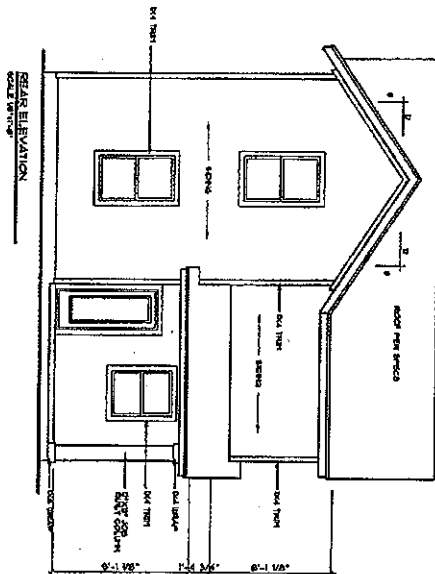
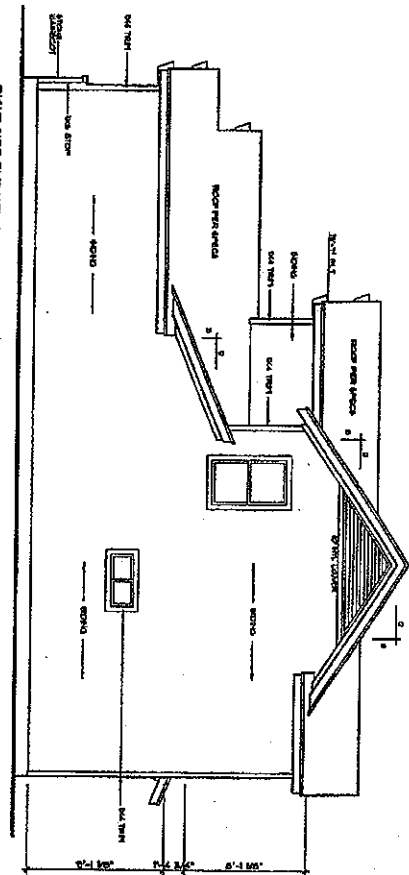
PLAN 1298 RFB

11/28/10
8:54:10

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2010 204-2027
74 Jollyville Rd. Suite 100 Austin, Texas 78760

For a complete construction schedule and details for construction schedule, please contact the architect or engineer. All drawings are subject to change without notice. The contractor shall be responsible for obtaining all necessary permits and for obtaining all necessary approvals. The contractor shall be responsible for obtaining all necessary permits and for obtaining all necessary approvals.

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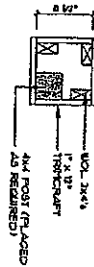
PLAN 1298 RFA

001-000-103.000 12/05/10
 11/20/10
 Sheet
 2A010

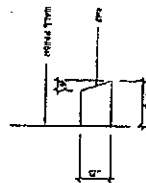
KIPP FLORES ARCHITECTS
 0120 805-5477 Fax 0112 805-0852
 6 Jodyville Rd., Suite 100 Austin, Texas 78728

Due to weather, construction methods and delays in construction, materials, and all drawings are subject to change and may vary from plan. Builder accepts all responsibility for checking dimensions and materials on the ground. Builder may change to match to local plans by holder to the specifications. Builder makes all liability for materials, price and quantities.

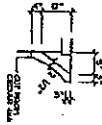
CRASON COMMUNITIES, LTD.



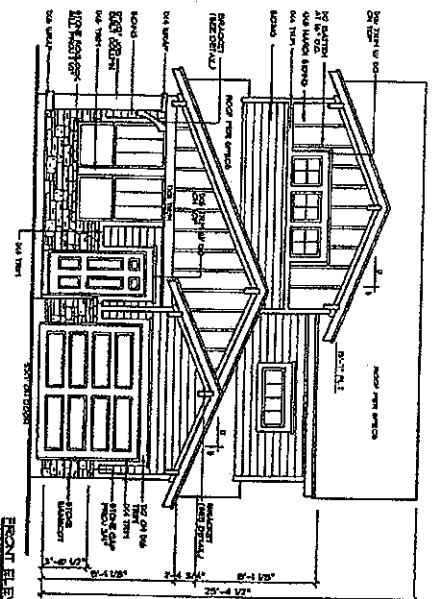
12" JOB BUILT COLUMN DETAIL
SCALE: N/A



BRACKET DETAIL
SCALE: N/A

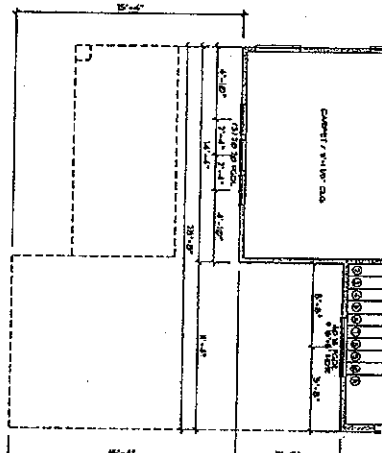


BRACKET DETAIL
SCALE: N/A

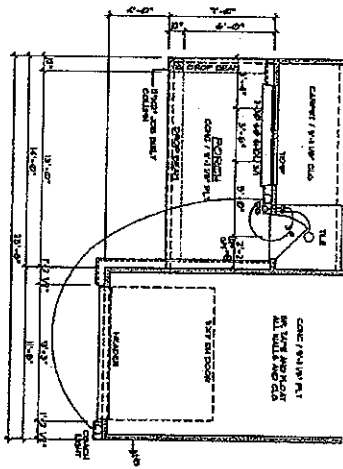


FRONT ELEVATION
SCALE: 1/8" = 1'-0"

NOTES:
1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
2. FINISHES ARE TO BE AS SHOWN ON SHEET 1209-10.
3. MATERIALS AND METHODS OF CONSTRUCTION ARE TO BE AS SHOWN ON SHEET 1209-10.
4. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND STANDARDS.
5. THE OWNER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE.
6. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY MATERIALS AND LABOR.
7. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.
8. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING LANDSCAPE AND PLANTING.



SECOND LEVEL STRIP PLAN
SCALE: 1/8" = 1'-0"



FIRST LEVEL STRIP PLAN
SCALE: 1/8" = 1'-0"

GENERAL NOTES			
1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.			
2. FINISHES ARE TO BE AS SHOWN ON SHEET 1209-10.			
3. MATERIALS AND METHODS OF CONSTRUCTION ARE TO BE AS SHOWN ON SHEET 1209-10.			
4. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND STANDARDS.			
5. THE OWNER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE.			
6. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY MATERIALS AND LABOR.			
7. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.			
8. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING LANDSCAPE AND PLANTING.			

GENERAL NOTES	
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6. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY MATERIALS AND LABOR.	
7. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.	
8. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING LANDSCAPE AND PLANTING.	

GENERAL NOTES	
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8. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING LANDSCAPE AND PLANTING.	

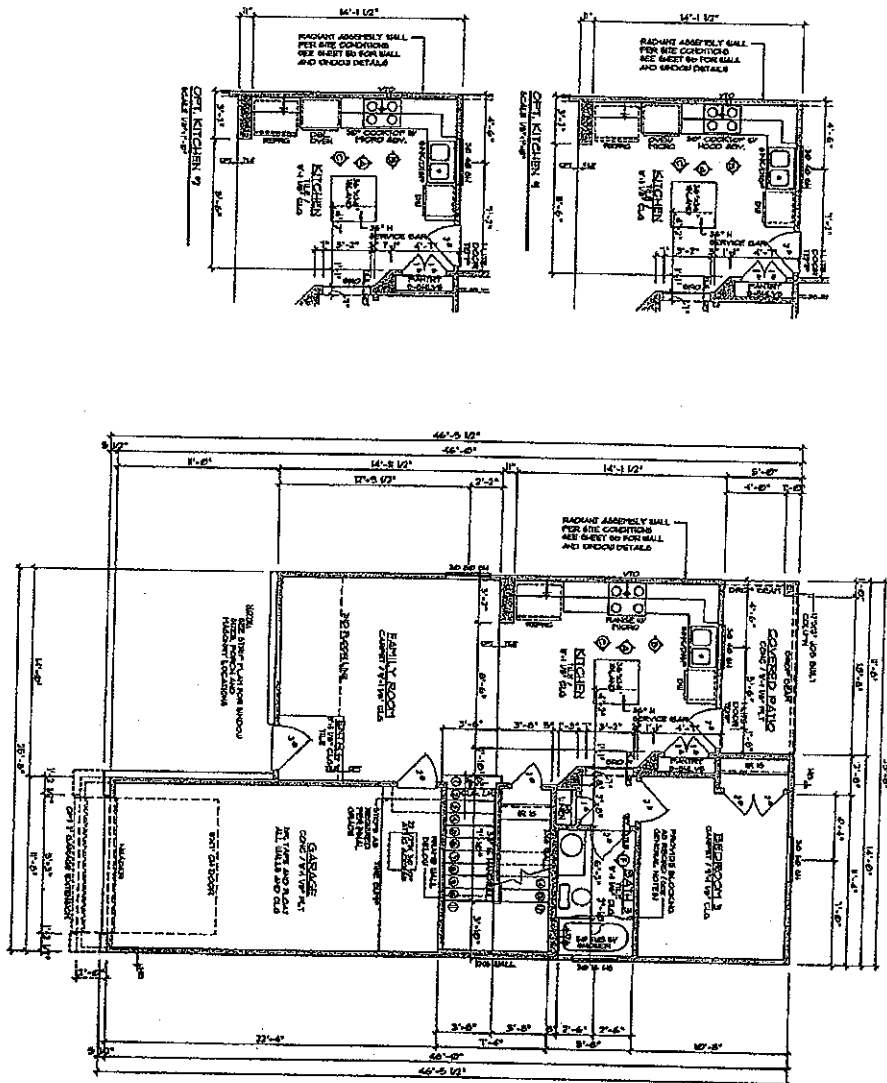
NOTE: THE SHOWN DOOR IS NOT A DOOR
ANY PLAN OPTIONS ARE NOTED
NOTE: MASSING PERCENTAGES CALCULATED USING NET WALL AREA
FLOOR DOES NOT INCLUDE WINDOW AND DOOR AREA

PLAN 1209 RPA

12/09/10
11/30/10
9A-10

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110 235-4477 Fax 212 235-4477
110 235-4477 Fax 212 235-4477
110 235-4477 Fax 212 235-4477

MASON COMMUNITIES, LTD.



1ST FLOOR PLAN
 PLANS ARE COMPLIANT W/ 2006 IRC
 NOTES:
 1. ALL DIMENSIONS ARE IN FEET AND INCHES.
 2. ALL WALLS ARE 1/2" THICK UNLESS NOTED OTHERWISE.
 3. ALL DOORS ARE 2'0" WIDE UNLESS NOTED OTHERWISE.
 4. ALL WINDOWS ARE 4'0" WIDE UNLESS NOTED OTHERWISE.
 5. ALL FLOORS ARE 4" THICK UNLESS NOTED OTHERWISE.
 6. ALL ROOFS ARE 12/12 UNLESS NOTED OTHERWISE.
 7. ALL CEILING ARE 8'0" HIGH UNLESS NOTED OTHERWISE.
 8. ALL STAIRS ARE 3'0" WIDE UNLESS NOTED OTHERWISE.
 9. ALL BATHS ARE 5'0" WIDE UNLESS NOTED OTHERWISE.
 10. ALL KITCHENS ARE 10'0" WIDE UNLESS NOTED OTHERWISE.
 11. ALL LIVING ROOMS ARE 12'0" WIDE UNLESS NOTED OTHERWISE.
 12. ALL DINING ROOMS ARE 10'0" WIDE UNLESS NOTED OTHERWISE.
 13. ALL BEDROOMS ARE 12'0" WIDE UNLESS NOTED OTHERWISE.
 14. ALL GARAGES ARE 12'0" WIDE UNLESS NOTED OTHERWISE.
 15. ALL PORCHES ARE 4'0" WIDE UNLESS NOTED OTHERWISE.
 16. ALL PATIOS ARE 4'0" WIDE UNLESS NOTED OTHERWISE.
 17. ALL DECKS ARE 4'0" WIDE UNLESS NOTED OTHERWISE.
 18. ALL RAMPWAYS ARE 4'0" WIDE UNLESS NOTED OTHERWISE.
 19. ALL STAIRWAYS ARE 4'0" WIDE UNLESS NOTED OTHERWISE.
 20. ALL HALLWAYS ARE 4'0" WIDE UNLESS NOTED OTHERWISE.

FLOOR AREA RATIO BY	
FLOOR	W/ HALLWAY
1ST FLOOR	78
2ND FLOOR	78
GARAGE	78
TOTAL	234

Square Footage Chart	
Elevation	Area
1ST FLOOR	78
2ND FLOOR	78
GARAGE	78
TOTAL LIVING	234
TOTAL	234

Square Footage Chart	
Elevation	Area
1ST FLOOR	78
2ND FLOOR	78
GARAGE	78
TOTAL LIVING	234
TOTAL	234

PERMITS REQUIRED	
TYPE OF PERMIT	REQUIRED
1. BUILDING PERMIT	YES
2. ELECTRICAL PERMIT	YES
3. MECHANICAL PERMIT	YES
4. PLUMBING PERMIT	YES
5. FIRE DEPARTMENT PERMIT	YES
6. HEALTH DEPARTMENT PERMIT	YES
7. ENVIRONMENTAL PERMIT	YES
8. ZONING PERMIT	YES
9. OTHER PERMIT	YES

PLAN 1898
 1 8/10

KIPP FLORES ARCHITECTS
 6125 520-0477 6125 520-0477
 6125 520-0477 6125 520-0477

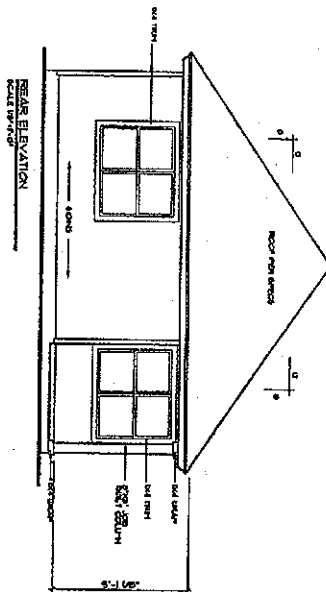
KIPP FLORES ARCHITECTS
 6125 520-0477 6125 520-0477
 6125 520-0477 6125 520-0477

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CONSTRUCTION

PLAN TYPE 1299



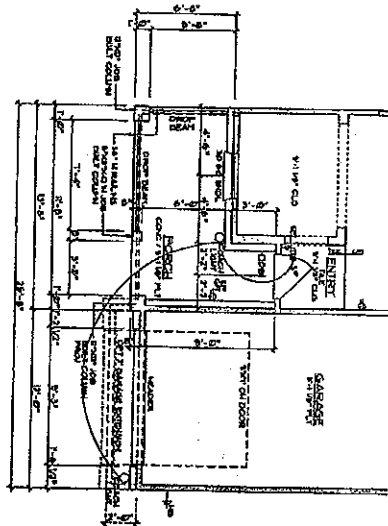
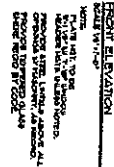
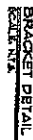
BRIDE ELEVATION

RIGHT SIDE ELEVATION

REAR ELEVATION

[illegible]

PLAN 1178 RFB



GLAZING PERCENTAGE	
AREA OF GLAZING	147
GROSS AIR CONDITIONED WALL AREA	1464
GLAZING PERCENTAGE	12.44%

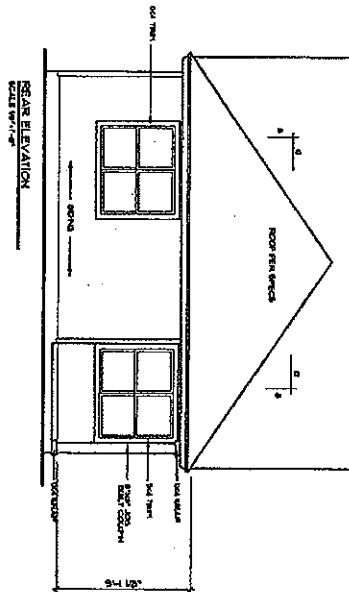
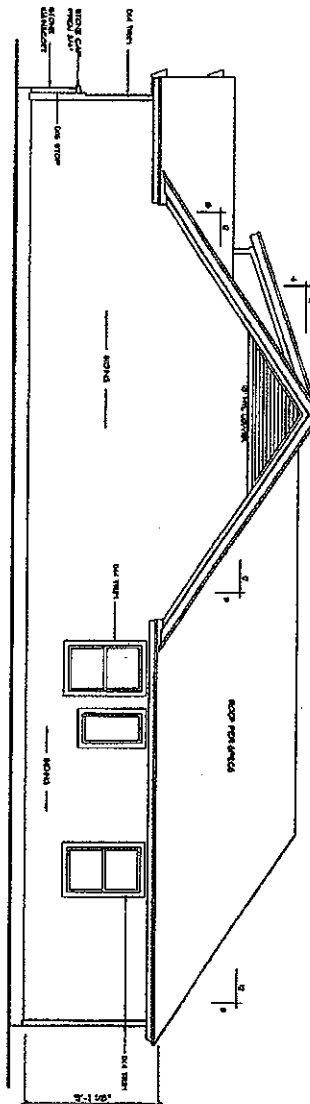
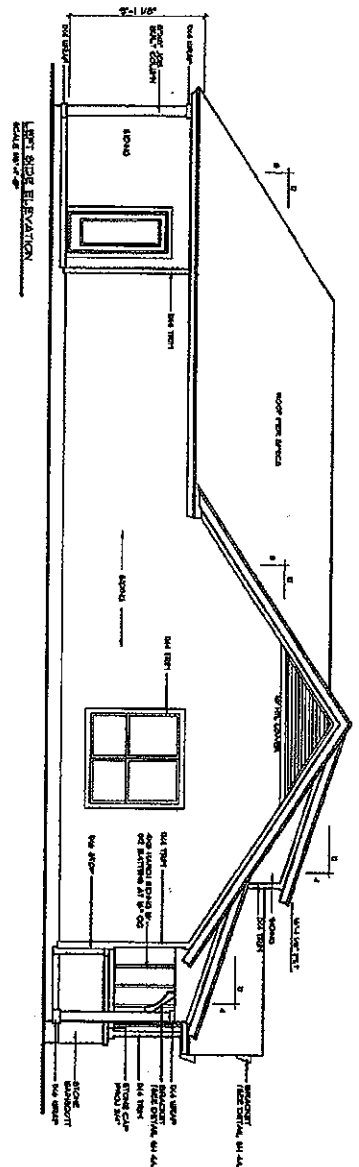
*NOTE: THESE CHARTS DO NOT INCLUDE

MAJOR PREFERENCE #1				MAJOR PREFERENCE #2		MAJOR PREFERENCE #3	
	INT. EXT. WILD AREA	AREA OF GROUND DRAINING	MASSWATER	WATER	AREA OF DRAINING	PERCENTAGE	PERCENTAGE
PROB1	307	103	202	86	67%		
RIGHT	41	0	0	461	0%		
LEFT	327	36	0	327	0%		
WATER	307	70	0	307	0%		
TOTAL	1415	235	202	1213	14%		

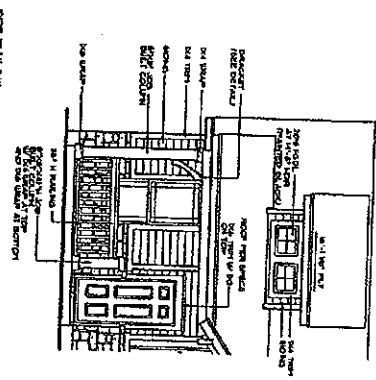
*NOTE: THIS CHART DOES NOT REFLECT ANY PLAN OPTIONS OFFERED.

*NOTE: MAJORITRY PERCENTAGES CALCULATED USING NET VUL AREA WHICH DOES NOT INCLUDE WILSON AND DOER AREA.

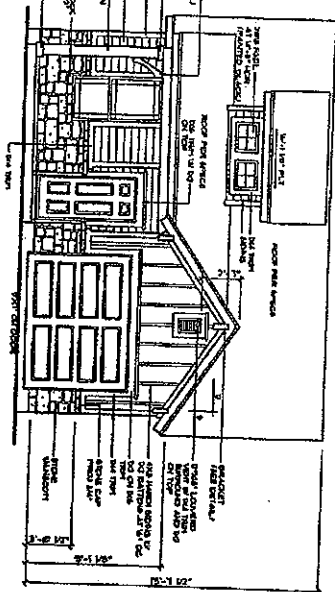
PLAN 1178 RFB



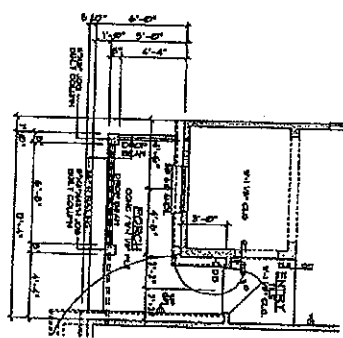
PLAN 1178 RFA



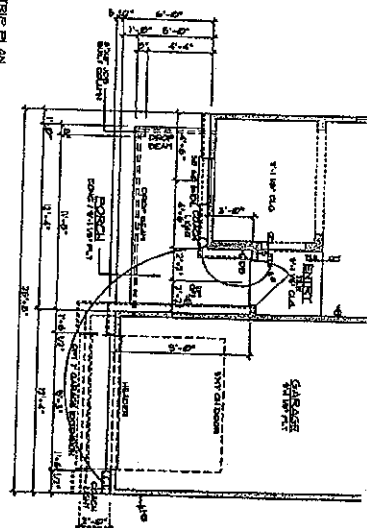
FRONT ELEVATION
SCALE 1/8" = 1'-0"



SIDE ELEVATION
SCALE 1/8" = 1'-0"



REAR ELEVATION
SCALE 1/8" = 1'-0"



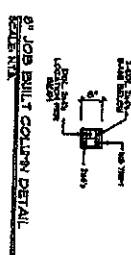
SIDE ELEVATION
SCALE 1/8" = 1'-0"

GLAZING PERCENTAGE			
GLAZING AREA	GLAZING PERCENTAGE	GLAZING PERCENTAGE	GLAZING PERCENTAGE
1.00	1.00	1.00	1.00
2.00	2.00	2.00	2.00
3.00	3.00	3.00	3.00
4.00	4.00	4.00	4.00
5.00	5.00	5.00	5.00
6.00	6.00	6.00	6.00
7.00	7.00	7.00	7.00
8.00	8.00	8.00	8.00
9.00	9.00	9.00	9.00
10.00	10.00	10.00	10.00

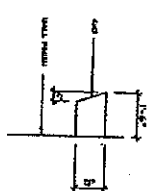
GLAZING PERCENTAGE	
GLAZING AREA	GLAZING PERCENTAGE
1.00	1.00
2.00	2.00
3.00	3.00
4.00	4.00
5.00	5.00
6.00	6.00
7.00	7.00
8.00	8.00
9.00	9.00
10.00	10.00

GLAZING PERCENTAGE	
GLAZING AREA	GLAZING PERCENTAGE
1.00	1.00
2.00	2.00
3.00	3.00
4.00	4.00
5.00	5.00
6.00	6.00
7.00	7.00
8.00	8.00
9.00	9.00
10.00	10.00

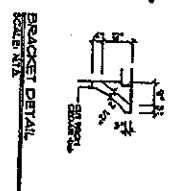
GLAZING PERCENTAGE	
GLAZING AREA	GLAZING PERCENTAGE
1.00	1.00
2.00	2.00
3.00	3.00
4.00	4.00
5.00	5.00
6.00	6.00
7.00	7.00
8.00	8.00
9.00	9.00
10.00	10.00



JOB BUILT COLUMN DETAIL
SCALE 1/4" = 1'-0"



BRACKET DETAIL
SCALE 1/4" = 1'-0"



BRACKET DETAIL
SCALE 1/4" = 1'-0"

PLAN 1179 RPA

KIPP FLORES ARCHITECTS
© (512) 335-5477 fax (512) 335-5472
11778 Jollyville Rd. Suite 100 Austin, Texas 78759

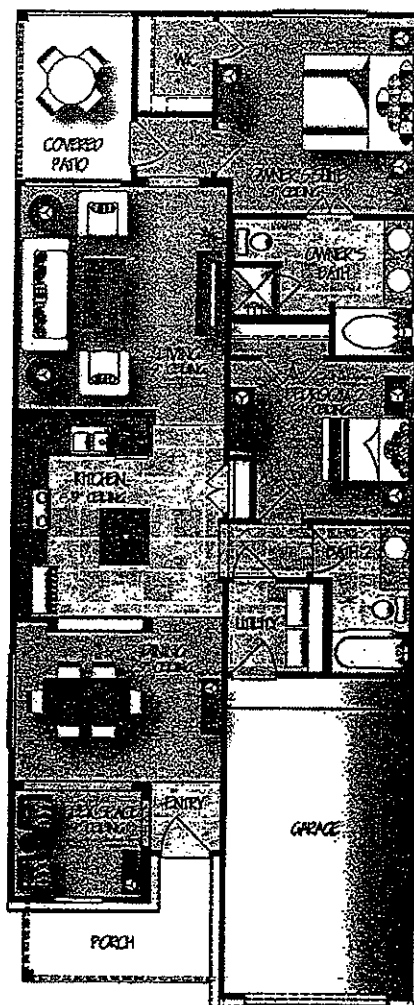
GRASON COMMUNITIES, LTD.



Elevation A



Elevation B



1173 Approximate Living



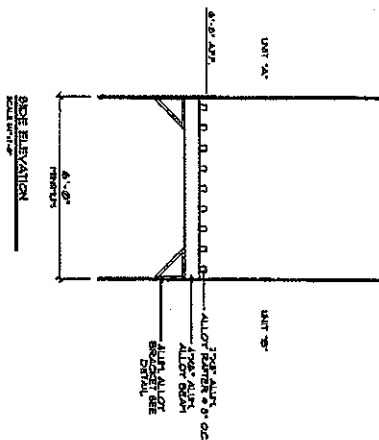
*Prices, floorplans, and features are subject to change anytime without notice. Square footages are approximate and may vary upon elevations and/or options selected. Elevations and floorplans are artist's concepts. Please consult your sales representative for current information. © 2005 Kipp Flores Architects.

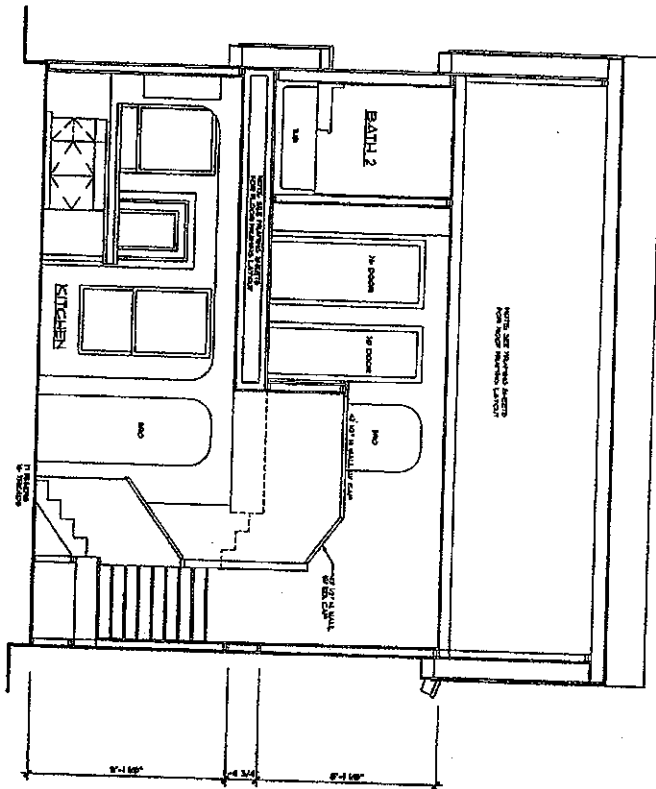
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HOMES**

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C O N S T R U C T I O N

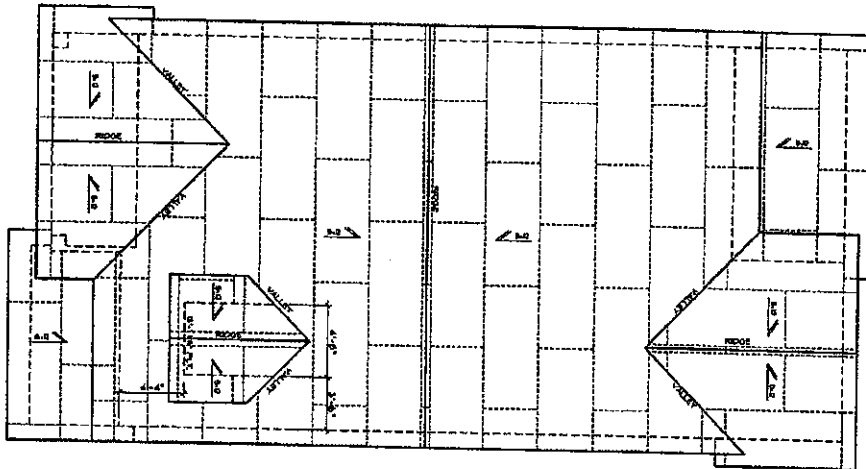
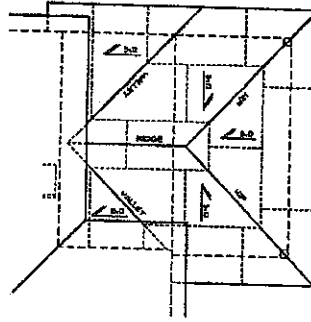
P L A N T Y P E 1 1 7 9





GROSS SECTION
 1. TO NOT SCALE. DIMENSIONS IN THE SHOWN
 OR APPROXIMATE.
 2. ALL DIMENSIONS TO CENTER OF WALL UNLESS
 AND LOCAL FIELD SPECIFICATIONS.
 3. SHOW ANY MODIFICATIONS TO BUILDING PERMIT.

SECTIONAL CORNER PATIO



ROOF PLAN

NOTES

1. ALL ROOF FINISHES TO HAVE A 1/2" MIN. DRAINAGE SLOPE TO THE OUTSIDE. ALL ROOF FINISHES TO HAVE A 1/2" MIN. DRAINAGE SLOPE TO THE OUTSIDE. ALL ROOF FINISHES TO HAVE A 1/2" MIN. DRAINAGE SLOPE TO THE OUTSIDE.

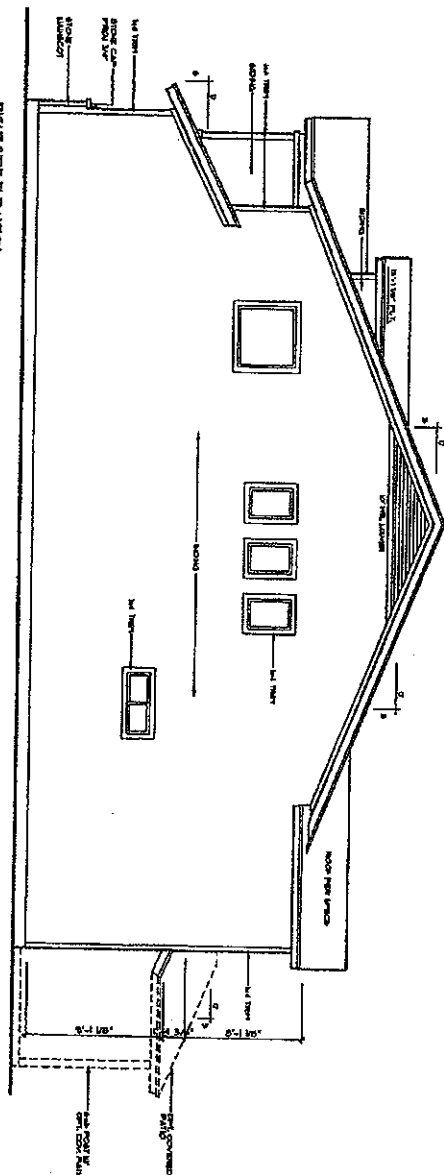
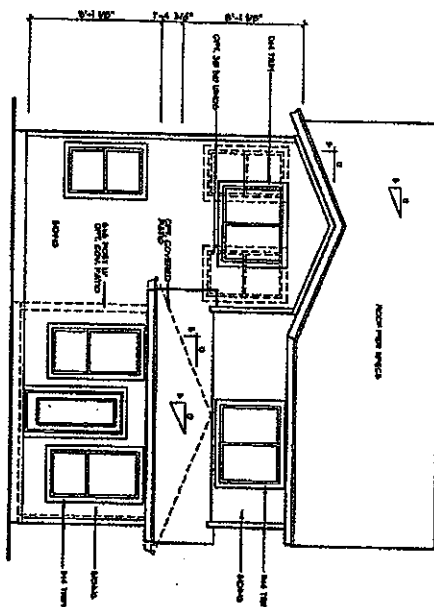
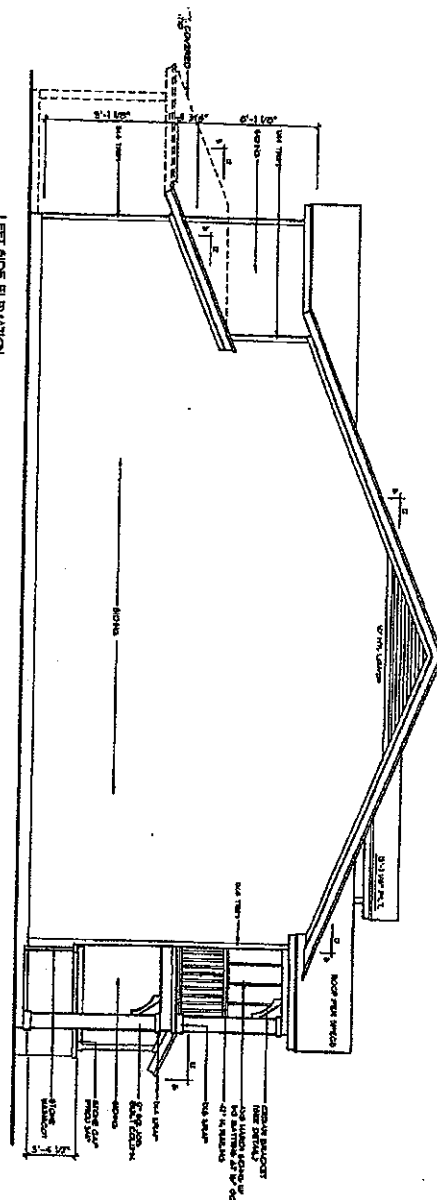
PLAN 2077 RFA

Sheet
B-20-08
B-20-08

KIPP*FLORES ARCHITECTS
6 (512) 335-5477 Fax: (512) 335-5482
11776 Jollyville Pk. Suite 100 Austin, Texas 78758

Be to indicate in particular methods and details in particular materials, of duration and duration are appropriate and any way to plan. After receipt and responsibility for checking plans to ensure accuracy of all field notes. Shall any changes be made to these plans by holder or its representative, holder assumes full liability for accuracy of all specifications.

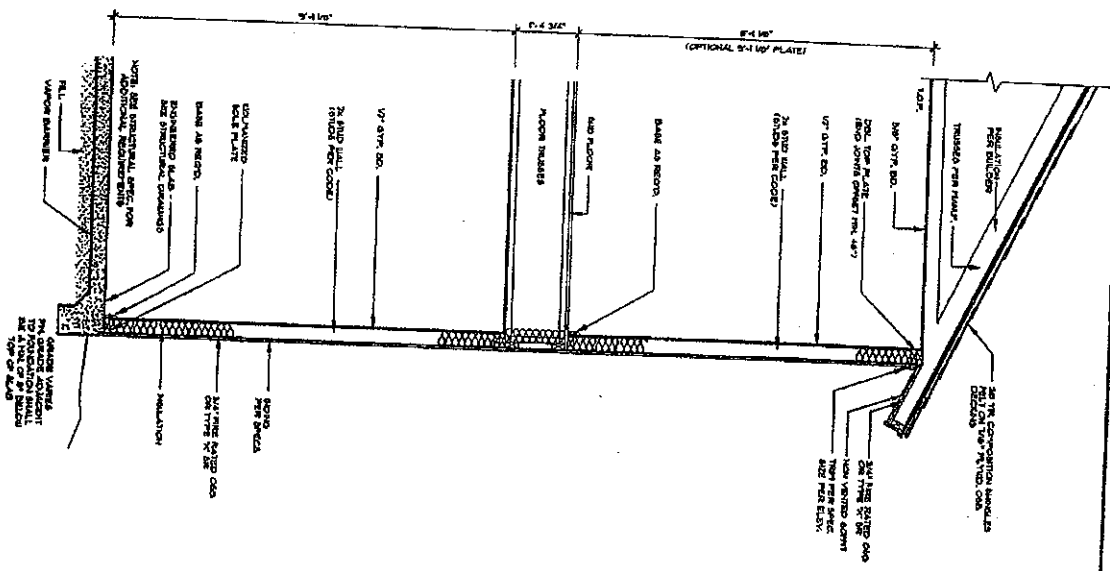
GRASON COMMUNITIES, LTD.



1

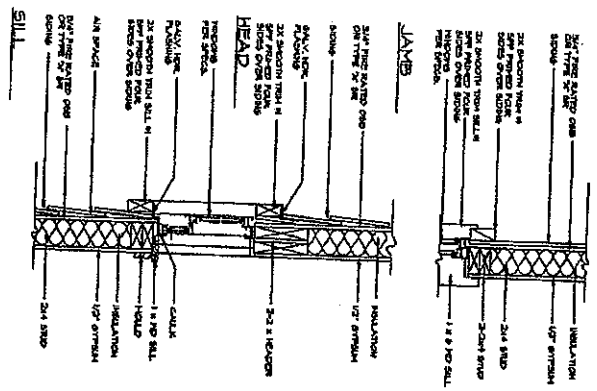
TYPICAL FIRE RATED / RADIANT ASSEMBLY
2 STORY EXTERIOR WALL SECTION W/ SIDING

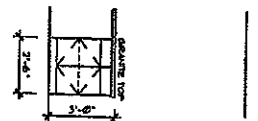
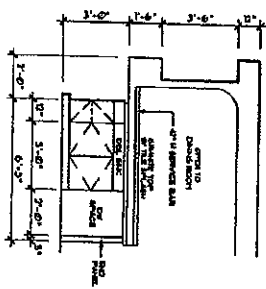
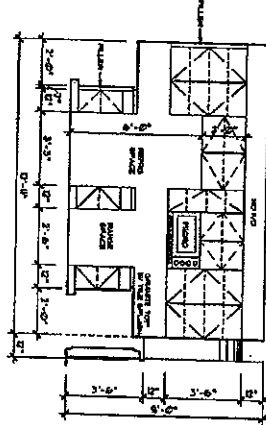
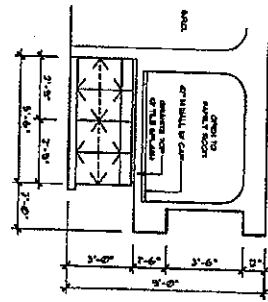
REFER TO PLAN 1: ELEVATION FOR WINDOW FINISHES



1
TYPICAL FIRE RATED / RADIANT ASSEMBLY
EXTERIOR WINDOW DETAIL W/ SIDING

SCALE: 3/8\"/>





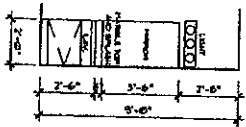
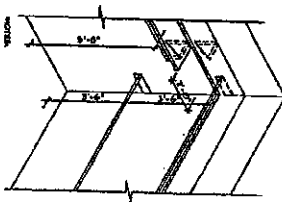
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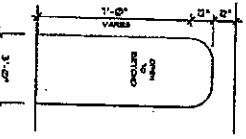
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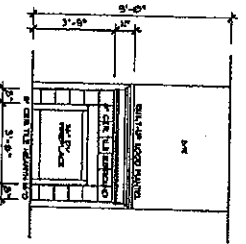
MASTER CLOSET ROOF & SHELF DETAIL



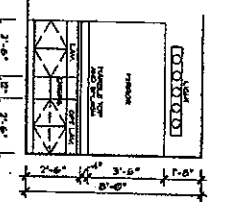
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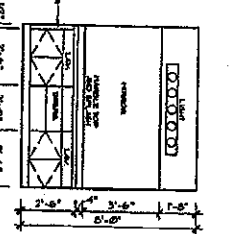
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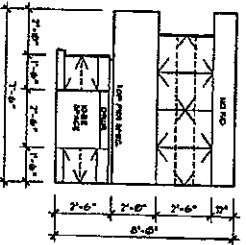
OPT. FINISHES



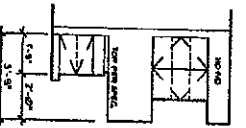
BATH 2



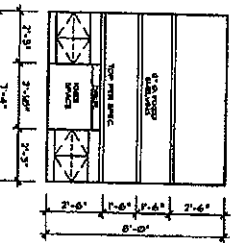
OWNERS BATH



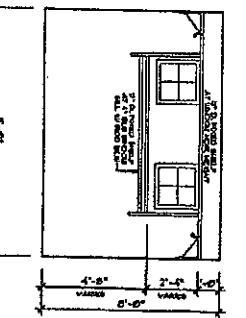
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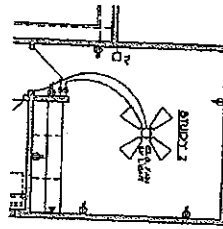


DESK AT OPT. STUDY 2

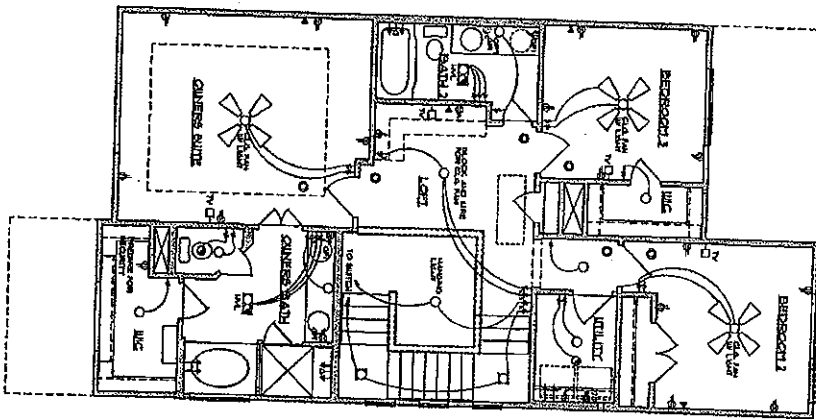


MASTER CLOSET

CABINET ELEVATIONS



2ND FLOOR PLAN

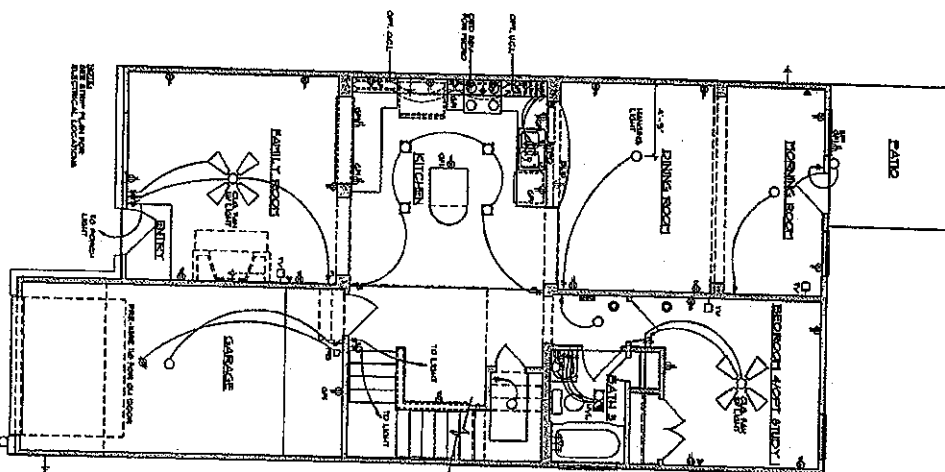


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	980 AMP OUTLET
	990 AMP OUTLET
	1000 AMP OUTLET

SECOND FLOOR ELECTRICAL PLAN

NOTES:
1. ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) STANDARDS.
2. ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH THE LOCAL ELECTRICAL CODES AND ORDINANCES.
3. ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
4. ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH THE ELECTRICAL CONTRACTOR'S SPECIFICATIONS.

REVISIONS:
1. ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) STANDARDS.
2. ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH THE LOCAL ELECTRICAL CODES AND ORDINANCES.
3. ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
4. ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH THE ELECTRICAL CONTRACTOR'S SPECIFICATIONS.



HIGHEST LEVEL, ELECTRICAL PLAN

NOTES

FOR HYPERLIPIDEMIA AND IN RECENT
FIBROCYTES FROM AND BLOOD

For more information, call 1-800-368-2746.

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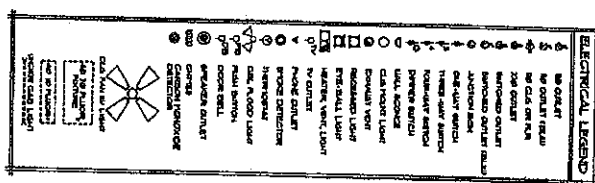
check claims to be installed by battery backup in accordance

WE WELCOMED YOU TO THE
ACTIVATION OF OUR ALUMNI CLUB.
FORWARD ALL OUR LOVE

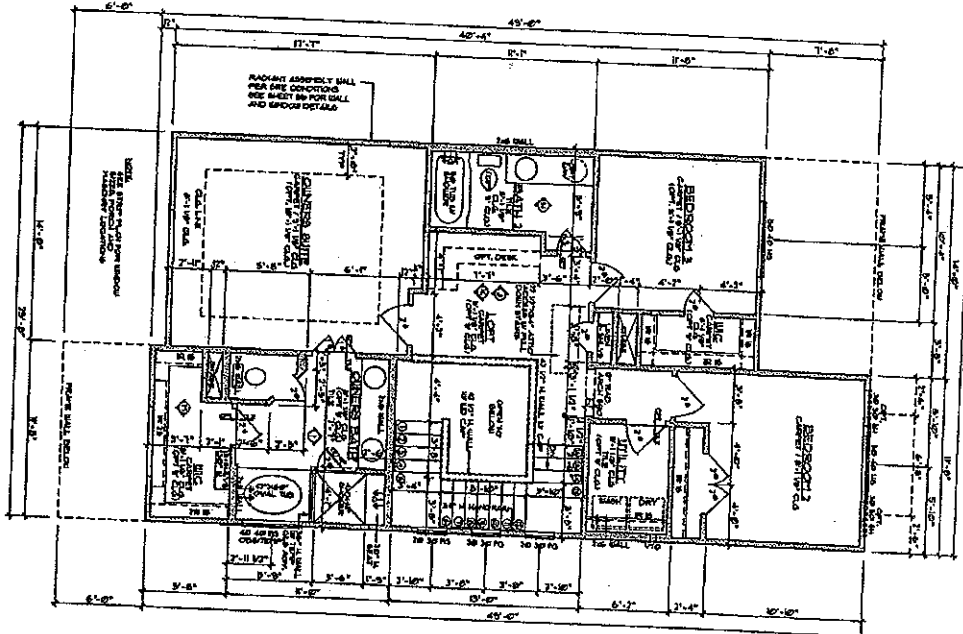
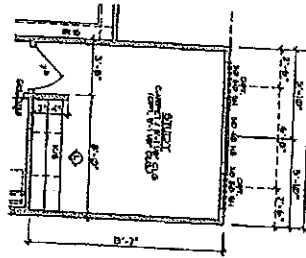
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AND BEING (ALSO) IN THE

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PLUMB LITHON 25-10-1967 AC
COCKBURN UNIT



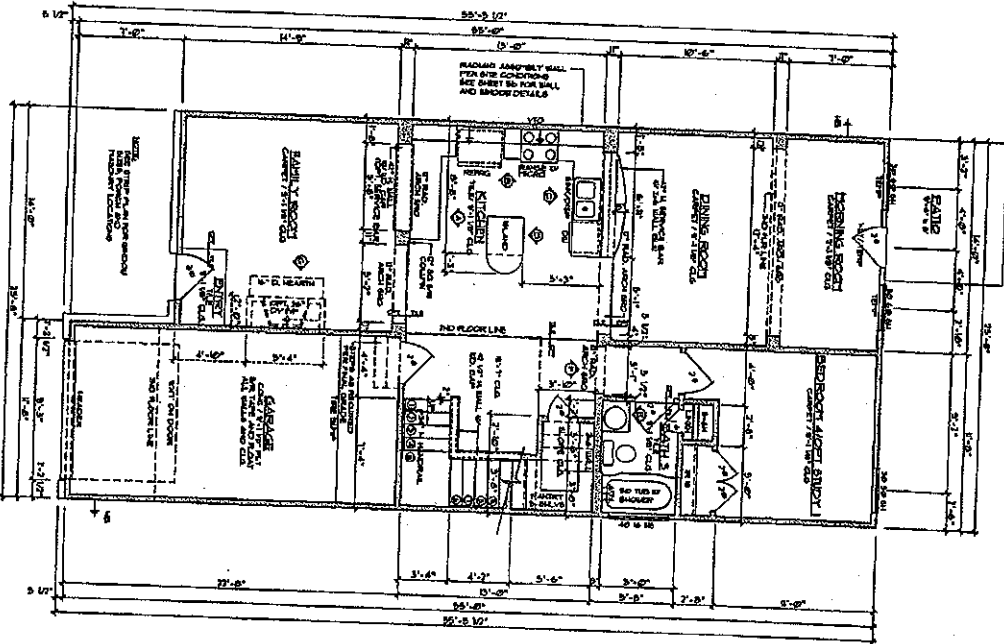
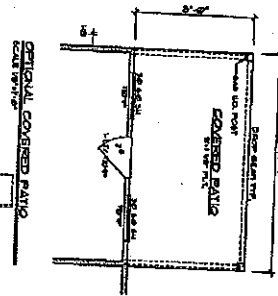
ONE STUDY



SECOND LEVEL FLOOR PLAN

NOTES:
 1. ALL ROOMS TO BE FINISHED WITH CARPET.
 2. ALL WALLS TO BE PAINTED.
 3. ALL FLOORS TO BE POLISHED.
 4. ALL CEILING TO BE POP.
 5. ALL LIGHTING TO BE INSTALLED.
 6. ALL VENTILATION TO BE INSTALLED.
 7. ALL DOORS TO BE INSTALLED.
 8. ALL WINDOWS TO BE INSTALLED.
 9. ALL BATHS TO BE INSTALLED.
 10. ALL KITCHENS TO BE INSTALLED.
 11. ALL LIVING AREAS TO BE INSTALLED.
 12. ALL BEDROOMS TO BE INSTALLED.
 13. ALL STUDIES TO BE INSTALLED.
 14. ALL HALLWAYS TO BE INSTALLED.
 15. ALL STAIRS TO BE INSTALLED.
 16. ALL PORCHES TO BE INSTALLED.
 17. ALL PATIOS TO BE INSTALLED.
 18. ALL DRIVEWAYS TO BE INSTALLED.
 19. ALL GARAGES TO BE INSTALLED.
 20. ALL PORCHES AND PATIOS TO BE INSTALLED.

BUILDING INFORMATION			
PROJECT NAME	GRASON COMMUNITIES, LTD.	PROJECT NO.	2077
OWNER	GRASON COMMUNITIES, LTD.	ARCHITECT	KIPP & FLORES ARCHITECTS
DATE	10/1/00	SCALE	1/8" = 1'-0"
ROOM INFORMATION			
ROOM NO.	ROOM NAME	ROOM AREA	ROOM FINISHES
101	BEDROOM 1	11'-0" x 11'-0"	CARPET, WALL, CEILING
102	BEDROOM 2	11'-0" x 11'-0"	CARPET, WALL, CEILING
103	BATH	5'-0" x 7'-0"	CARPET, WALL, CEILING
104	KITCHEN	10'-0" x 10'-0"	CARPET, WALL, CEILING
105	LIVING AREA	12'-0" x 12'-0"	CARPET, WALL, CEILING
106	STUDY	11'-0" x 11'-0"	CARPET, WALL, CEILING
107	HALLWAY	4'-0" x 10'-0"	CARPET, WALL, CEILING
108	PORCH	10'-0" x 10'-0"	CARPET, WALL, CEILING
109	PATIO	10'-0" x 10'-0"	CARPET, WALL, CEILING
110	DRIVEWAY	10'-0" x 10'-0"	CARPET, WALL, CEILING
111	GARAGE	10'-0" x 10'-0"	CARPET, WALL, CEILING



NOTES:
1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
2. FINISHES ARE TO BE DETERMINED BY THE ARCHITECT.
3. ALL MATERIALS ARE TO BE OF THE HIGHEST QUALITY.
4. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES.
5. ALL ELECTRICAL AND PLUMBING WORK IS TO BE DONE BY LICENSED PROFESSIONALS.
6. ALL MECHANICAL SYSTEMS ARE TO BE DESIGNED AND INSTALLED BY A LICENSED MECHANICAL ENGINEER.
7. ALL EXTERIOR FINISHES ARE TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES.
8. ALL INTERIOR FINISHES ARE TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES.
9. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES.
10. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES.

SQUARE FOOTAGE SUMMARY			
Room	Area (sq. ft.)	Perimeter (ft.)	Volume (cu. ft.)
Living Room	1,200	120	12,000
Dining Room	800	80	8,000
Kitchen	600	60	6,000
Bedroom 1	1,000	100	10,000
Bedroom 2	800	80	8,000
Bathroom	400	40	4,000
Hallway	200	20	2,000
Deck	1,000	100	10,000
Total	6,000	600	60,000

SQUARE FOOTAGE SUMMARY			
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Dining Room	800	80	8,000
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Bedroom 1	1,000	100	10,000
Bedroom 2	800	80	8,000
Bathroom	400	40	4,000
Hallway	200	20	2,000
Deck	1,000	100	10,000
Total	6,000	600	60,000

PLAN 2077 RP

KIPP*FLORES ARCHITECTS
 6 (510) 885-6477 Fax (510) 885-6882
 11776 Jodyville Rd. Suite 100 Austin, Texas 78758

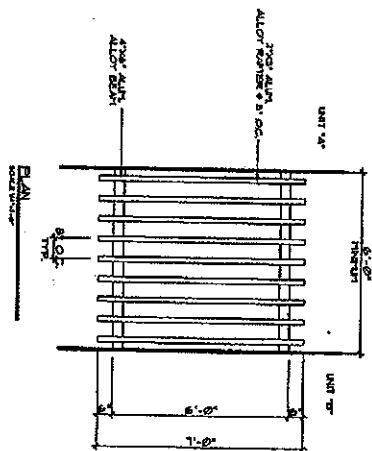
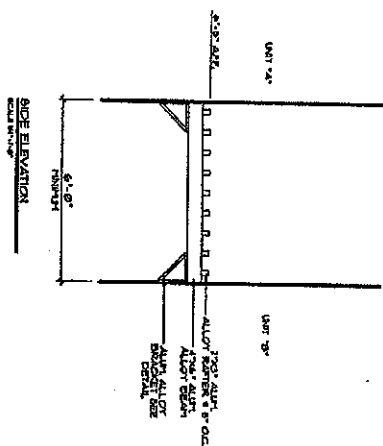
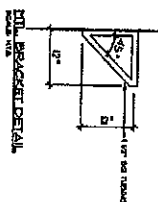
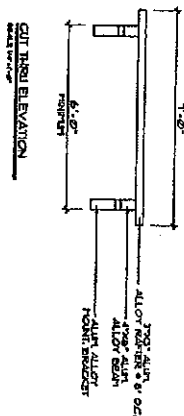
Due to variations in construction methods and materials, all dimensions and quantities are approximate and may vary on site. Kipp Flores Architects is not responsible for checking or verifying any dimensions or quantities shown on this plan. All dimensions and quantities are to be checked and verified by the contractor.

GRASON COMMUNITIES, LTD.

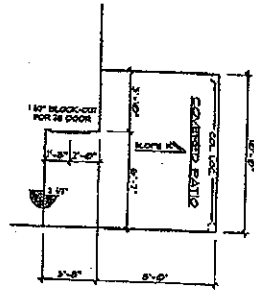
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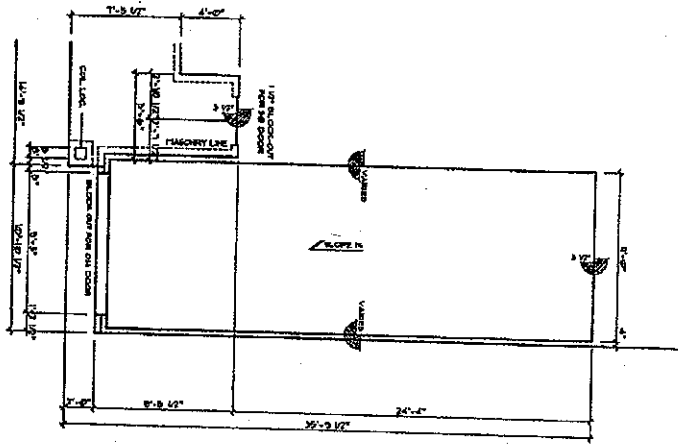
PLAN TYPE 2077



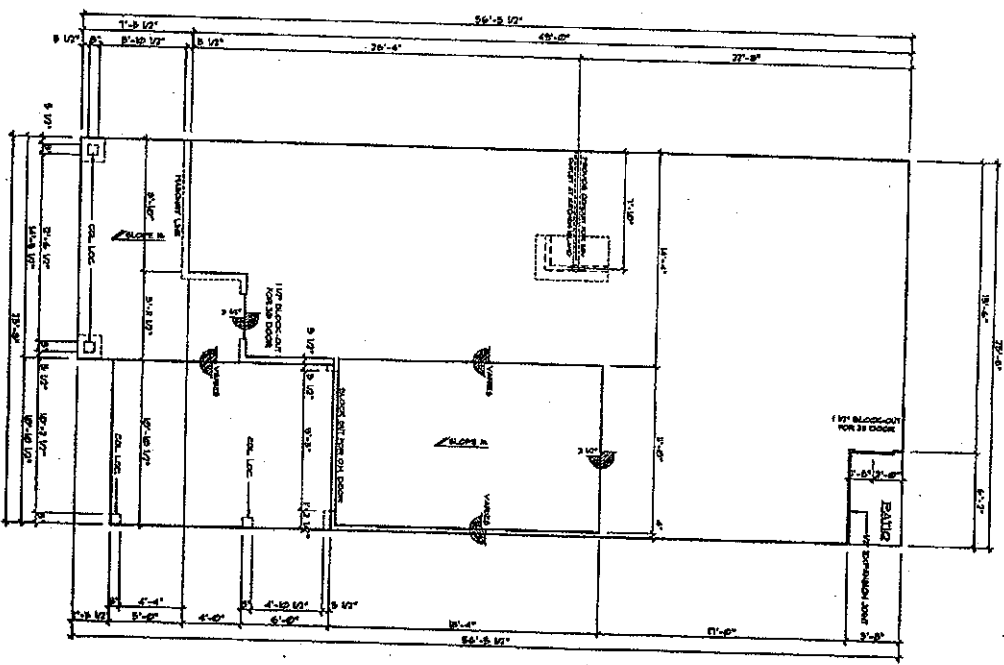
OPTIONAL FINISHED PATIO



OPTIONAL FINISHED GARAGE



FOUNDATION PLAN

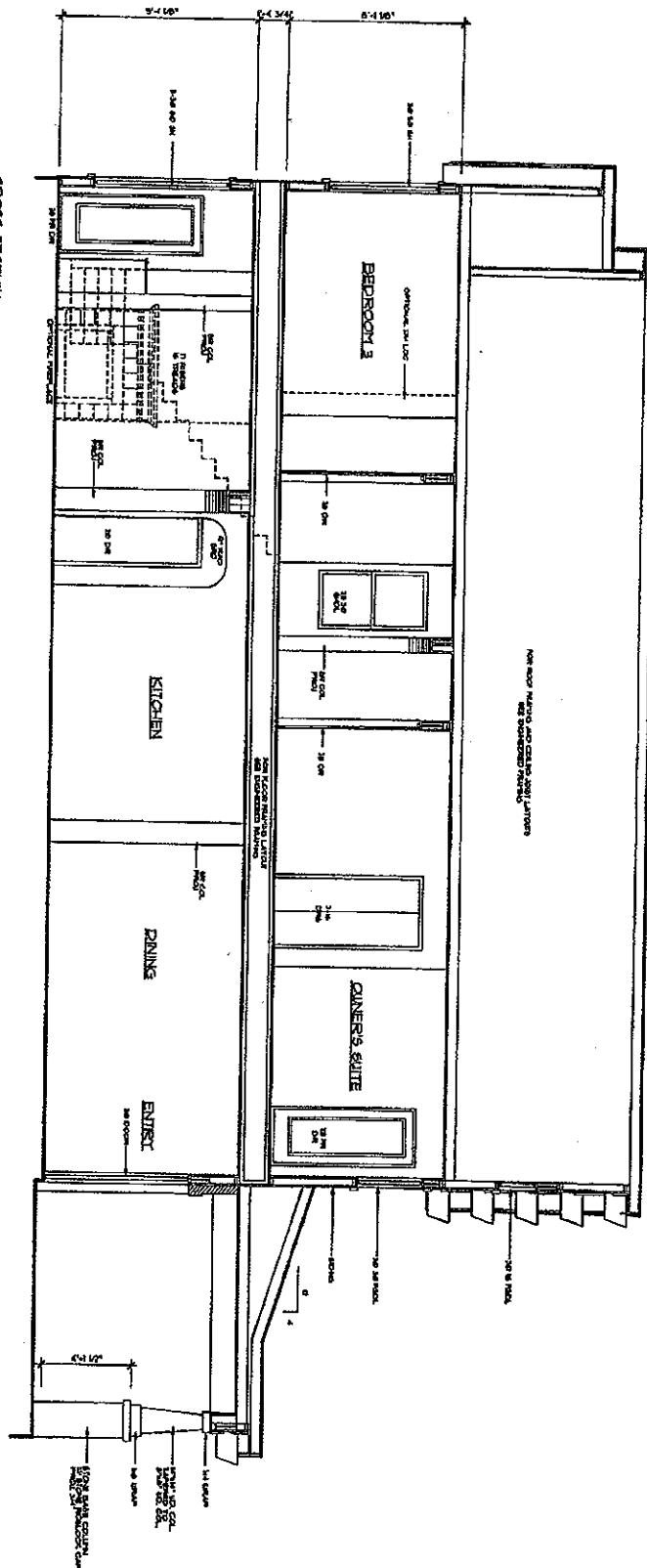


REVISIONS: 01-01-01 ADJUST FLOORING LINES TO MATCH FLOOR PLAN
 01-01-02 ADJUST FLOORING LINES TO MATCH FLOOR PLAN
 01-01-03 ADJUST FLOORING LINES TO MATCH FLOOR PLAN

KIPP FLORES ARCHITECTS
 11778-Johnson Rd. Suite 100 Austin, Texas 78759
 (512) 335-5477 Fax: (512) 335-5478
 05-01-01 05-01-02 05-01-03

We warrant in construction methods and details to construction standards of materials and workmanship and we warrant that the building shall be completed in accordance with the plans and specifications. We warrant that the building shall be completed in accordance with the plans and specifications. We warrant that the building shall be completed in accordance with the plans and specifications.

GRASON COMMUNITIES, LTD.



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GRASS COMMUNITIES, LTD.

Architectural floor plan of a building. The plan includes a large central hall, several smaller rooms, and a kitchen area. Dimensions are provided for many of the spaces. A note "VENT AS RECORD" is present near a circular feature in the central hall. The drawing is a black and white line drawing with dashed lines indicating walls and solid lines indicating openings or furniture.

KIPP*FLORES
ARCHITECTS
P (813) 395-6477 Fax (512) 895-8802
11775 Jollyville Rd. Suite 100 Austin, Texas 78758

Due to confusion in translation, efforts are currently underway to identify all documents and documents on appropriate and may vary by year. Further efforts are required to identify plans in more consistency with local units. Such an attempt is made to meet plans by holder or the organization. Further efforts are being made by concerned

GRASON COMMUNITIES, LTD.

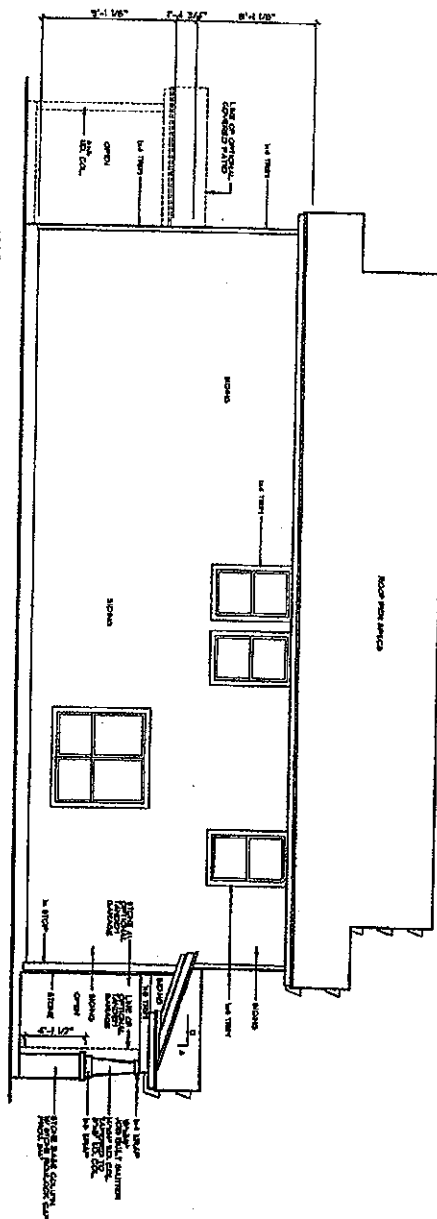
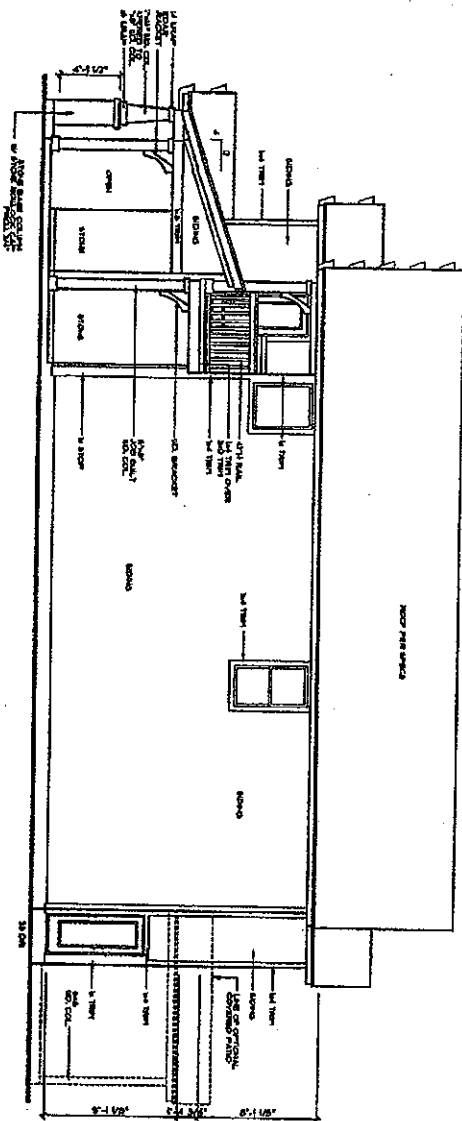
05-26-02
Sheet
98011

Architectural floor plan of a room with a sloped roof and a chimney. The plan shows a rectangular room with a sloped roof on the right side. A chimney is located on the right wall. There are two windows: a large one on the left wall and a smaller one on the right wall. Dimensions are provided for the walls, roof, and chimney.

Dimensions (in inches):

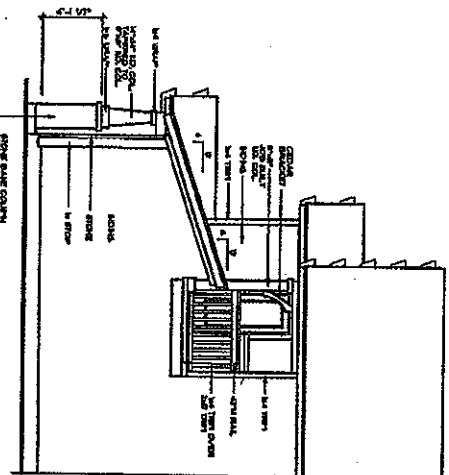
- Left wall: 11' 0" (top), 11' 0" (bottom)
- Right wall: 11' 0" (top), 11' 0" (bottom)
- Roof slope: 12' 0" (horizontal), 12' 0" (vertical)
- Chimney: 12' 0" (horizontal), 12' 0" (vertical)
- Window (left): 11' 0" (width), 11' 0" (height)
- Window (right): 11' 0" (width), 11' 0" (height)

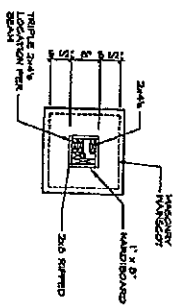
[illegible]



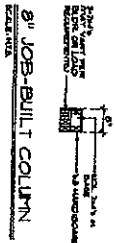
LEFT ELEVATION
SCALE 1/4"=1'-0"

NOTES
1. 11' FROM EXIST. NORTH TO BE
2. 11' FROM EXIST. SOUTH TO BE
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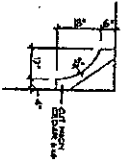




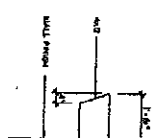
8 1/2" JOB BUILT COL. OVER 18" X 18" SQ. MASONRY BASE
SCALE 3/8" = 1'-0"



8" JOB-BUILT COLUMN
SCALE 3/8" = 1'-0"

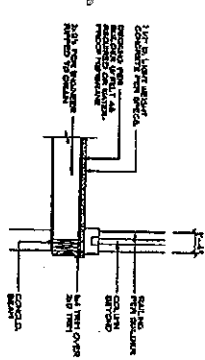


CEDAR PORCH BRACKET DETAIL
SCALE 3/8" = 1'-0"

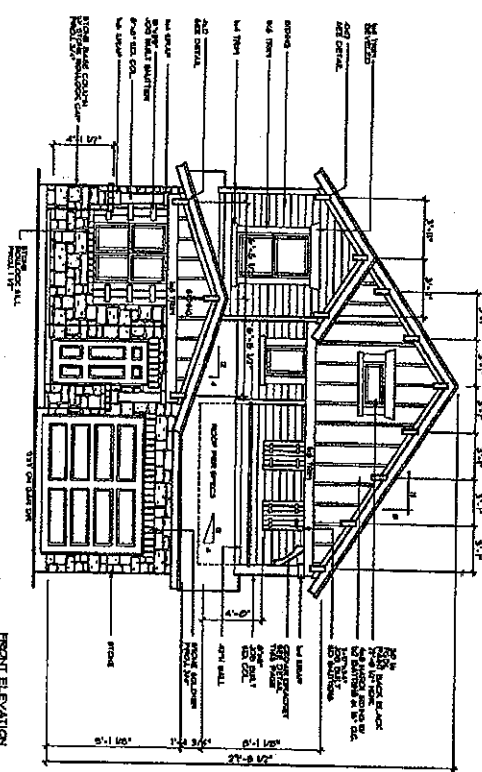


BUILT-IN BENCH
SCALE 3/8" = 1'-0"

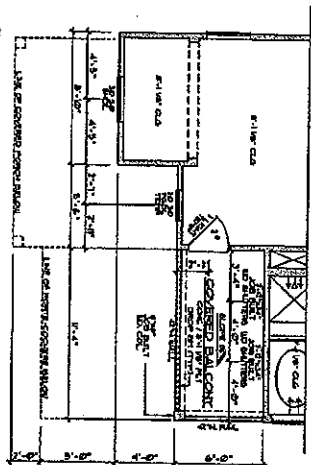
BRACKET DETAIL
SCALE 3/8" = 1'-0"



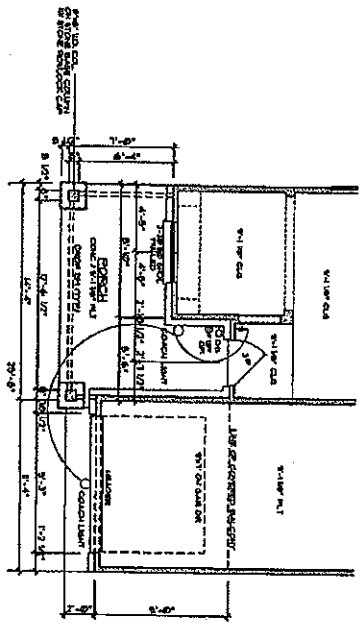
LIGHTWEIGHT CONCRETE DECK DETAIL
SCALE 3/8" = 1'-0"



FIRST LEVEL FLOOR PLAN
SCALE 1/8" = 1'-0"



SECOND LEVEL FLOOR PLAN
SCALE 1/8" = 1'-0"



THIRD LEVEL FLOOR PLAN
SCALE 1/8" = 1'-0"

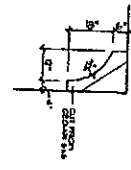
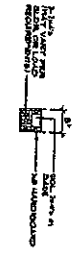
MEASUREMENTS FOR FINISHES			
FINISH	AREA	QUANTITY	UNIT
CEILING	1,200.00	1,200.00	SQ. FT.
FLOOR	1,200.00	1,200.00	SQ. FT.
WALL	1,200.00	1,200.00	SQ. FT.
DOOR	1,200.00	1,200.00	SQ. FT.
WINDOW	1,200.00	1,200.00	SQ. FT.
TOTAL	1,200.00	1,200.00	SQ. FT.

MEASUREMENTS FOR FINISHES			
FINISH	AREA	QUANTITY	UNIT
CEILING	1,200.00	1,200.00	SQ. FT.
FLOOR	1,200.00	1,200.00	SQ. FT.
WALL	1,200.00	1,200.00	SQ. FT.
DOOR	1,200.00	1,200.00	SQ. FT.
WINDOW	1,200.00	1,200.00	SQ. FT.
TOTAL	1,200.00	1,200.00	SQ. FT.

MEASUREMENTS FOR FINISHES			
FINISH	AREA	QUANTITY	UNIT
CEILING	1,200.00	1,200.00	SQ. FT.
FLOOR	1,200.00	1,200.00	SQ. FT.
WALL	1,200.00	1,200.00	SQ. FT.
DOOR	1,200.00	1,200.00	SQ. FT.
WINDOW	1,200.00	1,200.00	SQ. FT.
TOTAL	1,200.00	1,200.00	SQ. FT.

GLAZING PERCENTAGE			
GLAZING	AREA	PERCENTAGE	UNIT
CEILING	1,200.00	1,200.00	SQ. FT.
FLOOR	1,200.00	1,200.00	SQ. FT.
WALL	1,200.00	1,200.00	SQ. FT.
DOOR	1,200.00	1,200.00	SQ. FT.
WINDOW	1,200.00	1,200.00	SQ. FT.
TOTAL	1,200.00	1,200.00	SQ. FT.

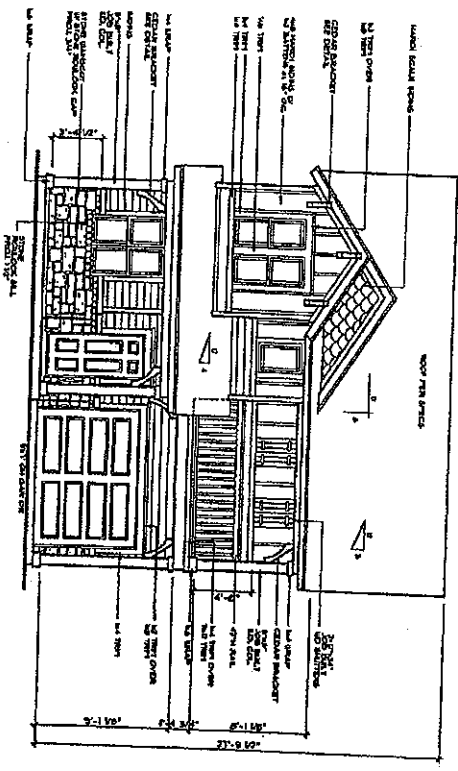
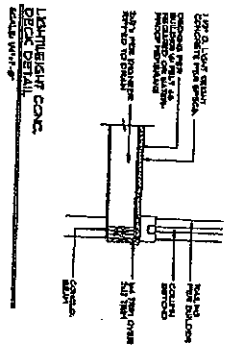
8" JOB-BUILT COLUMN



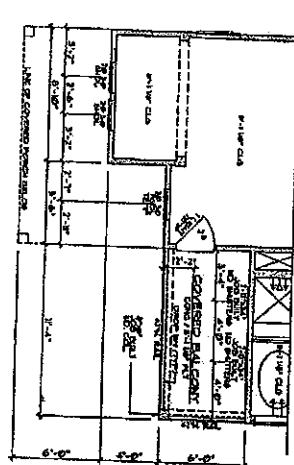
CEDAR PORCH BRACKET DETAIL



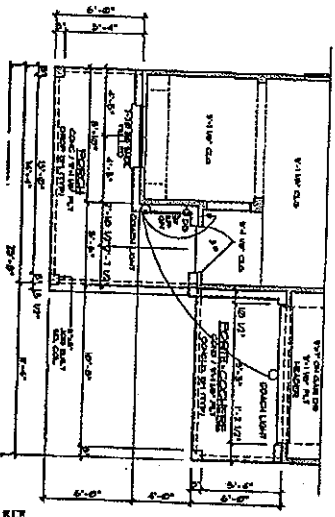
BRACKET DETAIL



FRONT ELEVATION



SECOND LEVEL STRIP PLAN



FIRST LEVEL STRIP PLAN

GLAZING PERCENTAGE

FLOOR	GLAZING AREA	GLAZING PERCENTAGE
1ST FLOOR	119	100
2ND FLOOR	119	100
TOTAL	238	100

GLAZING PERCENTAGE

FLOOR	GLAZING AREA	GLAZING PERCENTAGE
1ST FLOOR	119	100
2ND FLOOR	119	100
TOTAL	238	100

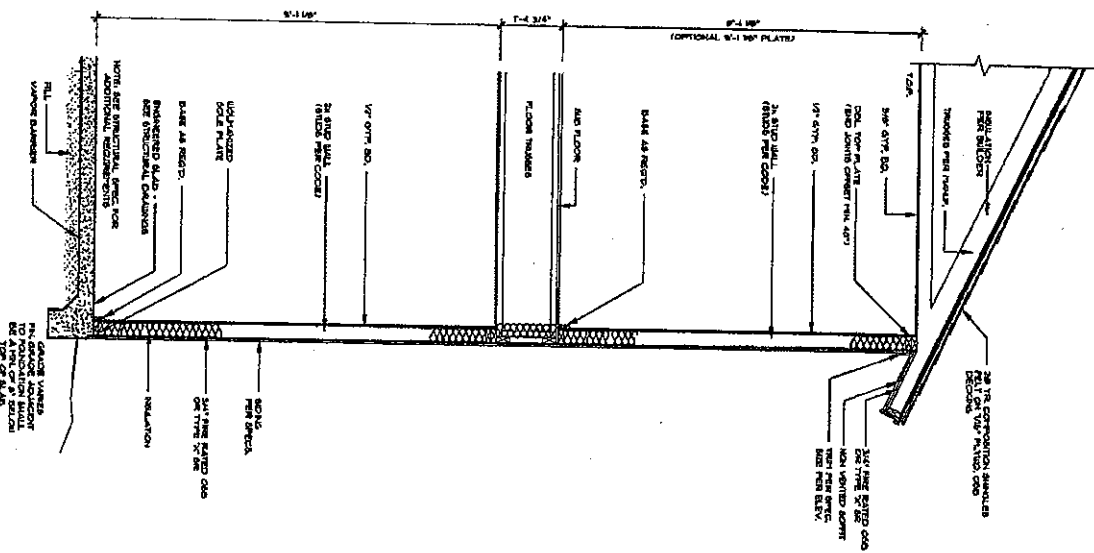
GLAZING PERCENTAGE

FLOOR	GLAZING AREA	GLAZING PERCENTAGE
1ST FLOOR	119	100
2ND FLOOR	119	100
TOTAL	238	100

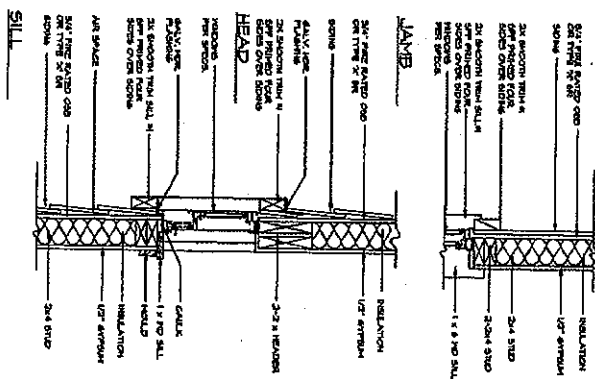
GRASON COMMUNITIES, LTD.

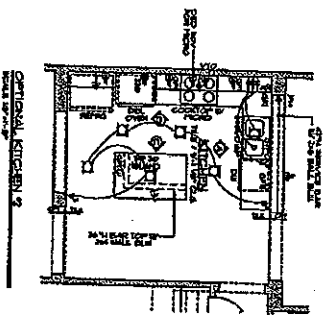
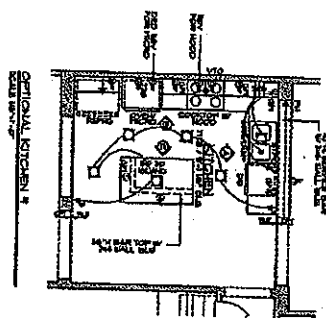
KIPP FLORES ARCHITECTS

1 TYPICAL FIRE RATED / RADIANT ASSEMBLY
2 STORY EXTERIOR WALL SECTION W/ SLIDING
SCALE 3/8" = 1'-0"
REFER TO PLANS & ELEVATIONS FOR DOOR PLACEMENT



① TYPICAL FLIRATED / RADIANT ASSEMBLY
EXTERIOR WINDOW DETAIL W/ SIDING
SCALE 3/4"=1'-0"



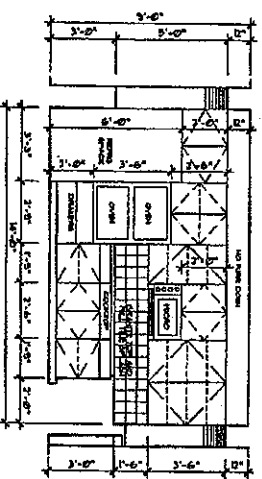
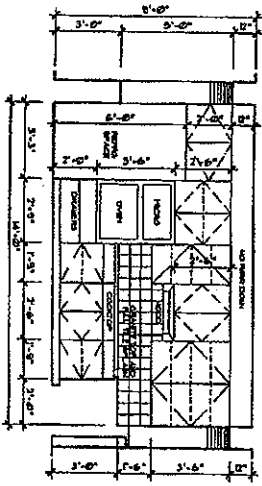
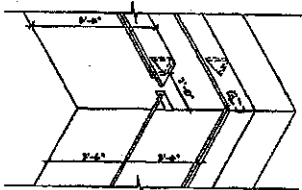
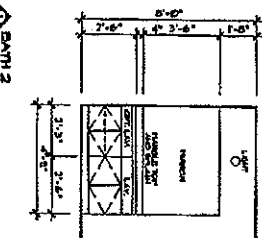
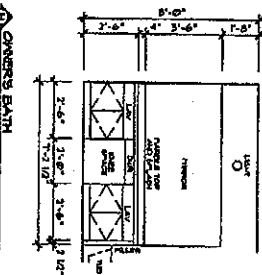
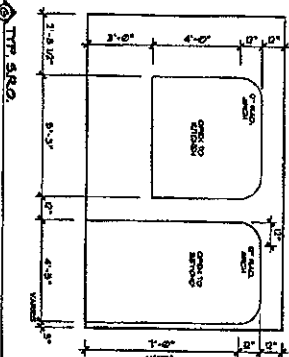
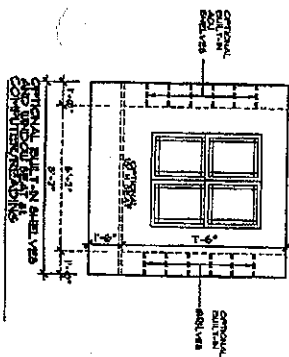
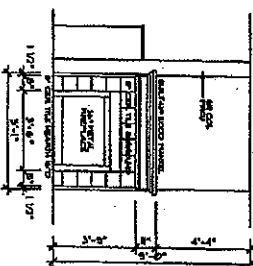
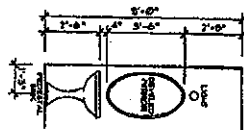
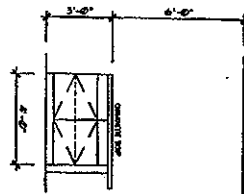
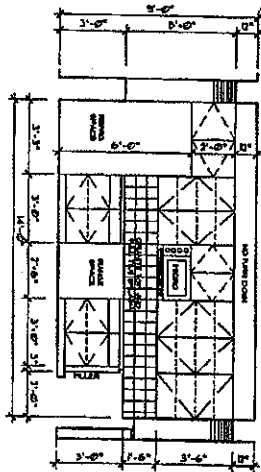
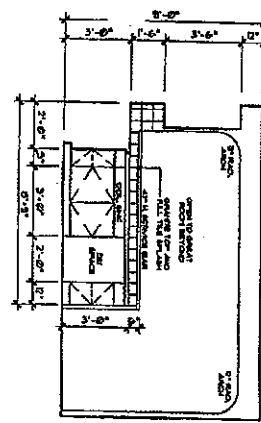


OPTIONAL
PLAN 1030 RF

KIPP FLORES ARCHITECTS
 © 2010 2011 2012
 11170 Jodyway Rd. Suite 100 Austin, Texas 78738

See to whom is indicated on each sheet and clearly to indicate which, if any, of the sheets are to be used in the construction of the building. All sheets are to be used in the construction of the building. All sheets are to be used in the construction of the building. All sheets are to be used in the construction of the building.

GRASON COMMUNITIES, LTD.



M. EDWIN CHASE ET PROP. & SHARE DETAIL
6024 3RD ST. S.W.

Due to emphasis on construction methods and assembly in construction schools, all drawings and dimensions are approximate and may vary per plan. Builder accepts full responsibility for checking plans to ensure conformity with local codes. Check any changes to made to these plans by builder or his representatives. Builders assumes full liability for damaged plans and specifications.

GRASON COMMUNITIES, LTD.

CABINET EVALUATIONS
SCALE 14-17
PLAN 1930 RP

Model 2

Model 2

Software:

INVESTIGATION OF THE EFFECTS OF THE
ATMOSPHERIC POLLUTION ON THE
GROWTH OF THE PLANT SPECIES

REPRODUCED FROM THE ORIGINAL

FOR BUILDING AND LEADERSHIP IN THE FUTURE OF THE NATION

...and we have had the best of both worlds.

1. **Introduction**
 2. **Background**
 3. **Methodology**
 4. **Results**
 5. **Conclusion**
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 7. **Appendix**
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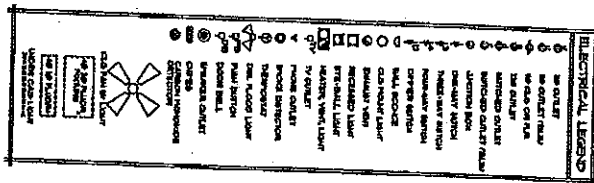
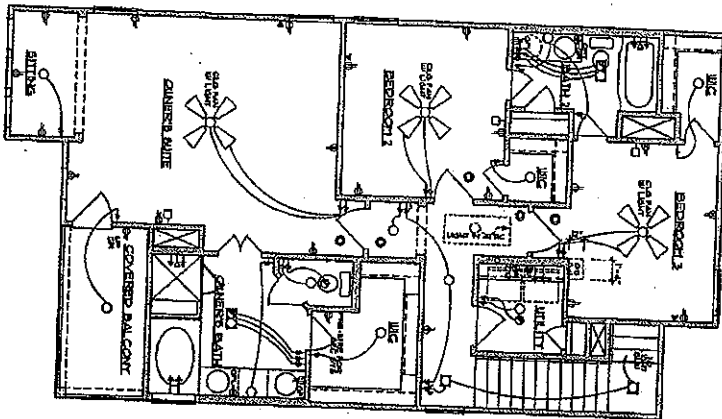
ALBERT ELLI, ADVISORY BOARD MEMBER

RECORDED LOCATIONS PORTUGAL TO BE NOTIFIED AS
OTHERS ARE NOTIFIED

[illegible]

DESIGNED TO REMOVE URIN FLUID WITHIN 20' AFTER AC COMPLETION

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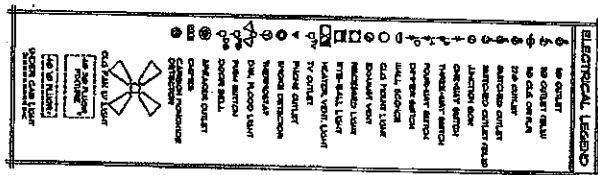
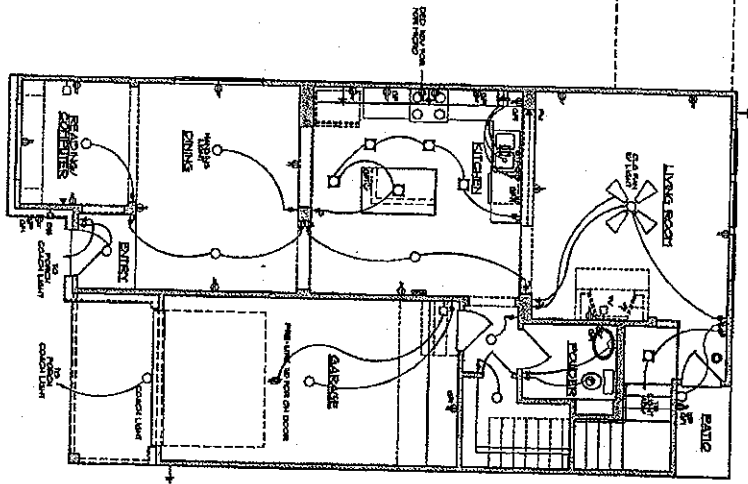
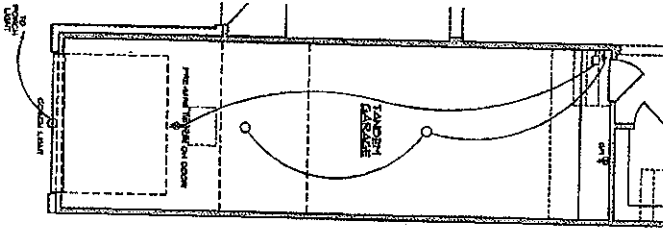
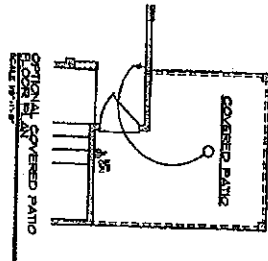


REVISED 05-07-09 AGENT FLORENCE LANE IN 0204 (ZAF)
REVISED 06-04-09 / REVENUE (TUM)
REVISED 08-02-09 / SET (SOL) (TUM)

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We're confident in our product quality and strongly in our customer service, all of which are essential to our success. We're confident in our ability to deliver the products and services you need, when you need them. We're confident in our ability to deliver the products and services you need, when you need them. We're confident in our ability to deliver the products and services you need, when you need them.

KIPP*FLORES
ARCHITECTS
• (512) 333-5477 fax (512) 336-5852
17728 Jollyville Rd. Suite 108 Austin, Texas 78758



OPTIONAL GARAGE
FLOOR PLAN

FIRST LEVEL ELECTRICAL PLAN

NOTES:

1. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND THE TEXAS ELECTRICAL CODE (TEC).

2. ALL ELECTRICAL WORK SHALL BE DONE BY A LICENSED ELECTRICIAN.

3. ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.

4. ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF HOUSTON ELECTRICAL CODE.

5. ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH THE HOUSTON ELECTRICAL CODE.

6. ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH THE HOUSTON ELECTRICAL CODE.

7. ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH THE HOUSTON ELECTRICAL CODE.

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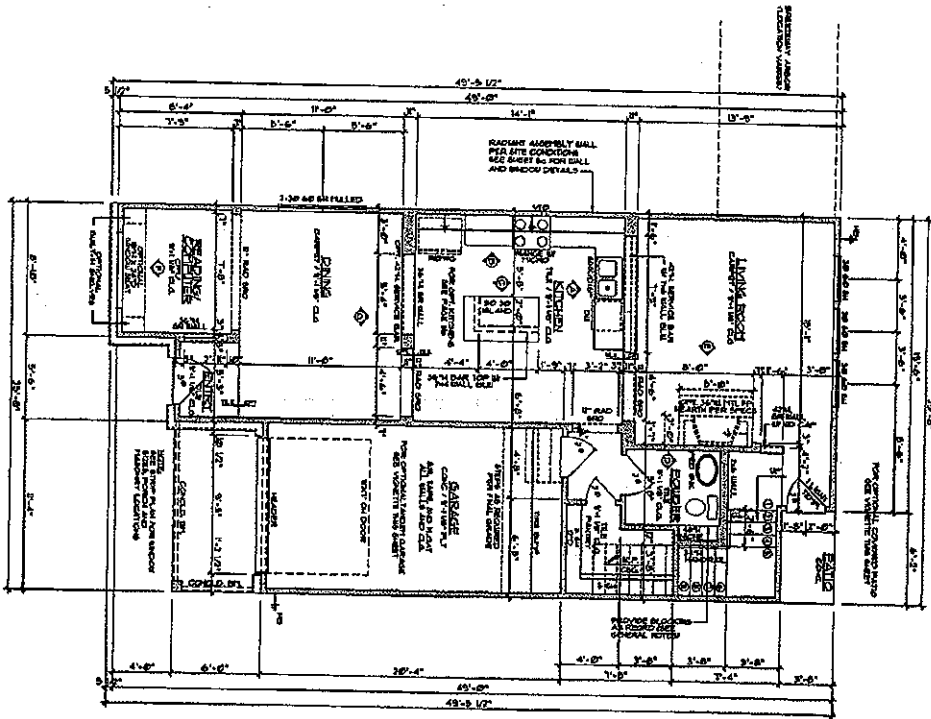
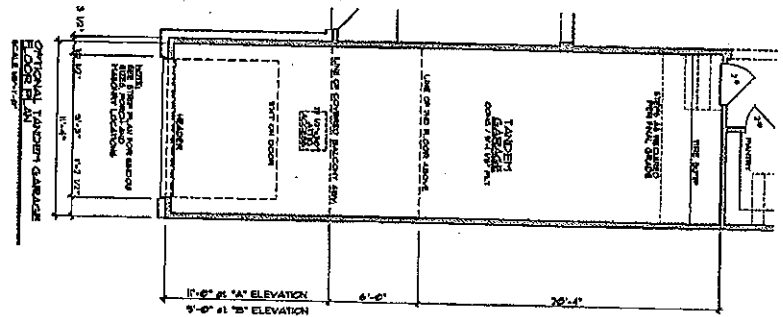
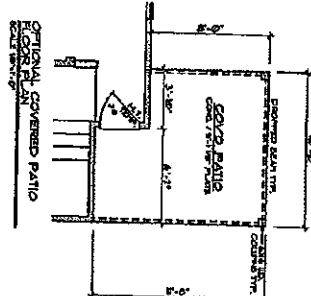
10. ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH THE HOUSTON ELECTRICAL CODE.

REVISED 07-08-08 ADJUST ROOMS LINES MATCHING PLANS
REVISED 07-08-08 ADJUST ROOMS LINES MATCHING PLANS
REVISED 07-08-08 ADJUST ROOMS LINES MATCHING PLANS

GRASON COMMUNITIES, LTD.

KIPP FLORES ARCHITECTS
• 618 335-0477 • Fax 618 335-0802
11778 Jollyville Rd. Suite 100 Austin, Texas 78758

See to submit a construction schedule and details to construction schedule, all drawings and specifications are subject to change without notice. The client accepts all responsibility for the accuracy of the information provided. The client shall be responsible for the accuracy of the information provided. The client shall be responsible for the accuracy of the information provided.



FIRST LEVEL FLOOR PLAN

NOTES:

1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
2. ALL WALLS ARE 12" THICK UNLESS NOTED OTHERWISE.
3. ALL FLOORS ARE 4" THICK UNLESS NOTED OTHERWISE.
4. ALL CEILING ARE 8' HIGH UNLESS NOTED OTHERWISE.
5. ALL DOORS ARE 3'0" WIDE UNLESS NOTED OTHERWISE.
6. ALL WINDOWS ARE 6'0" WIDE UNLESS NOTED OTHERWISE.
7. ALL STAIRS ARE 3'0" WIDE UNLESS NOTED OTHERWISE.
8. ALL HALLWAYS ARE 4'0" WIDE UNLESS NOTED OTHERWISE.
9. ALL CLOSETS ARE 4'0" WIDE UNLESS NOTED OTHERWISE.
10. ALL BATHROOMS ARE 5'0" WIDE UNLESS NOTED OTHERWISE.
11. ALL KITCHENS ARE 10'0" WIDE UNLESS NOTED OTHERWISE.
12. ALL DINING AREAS ARE 10'0" WIDE UNLESS NOTED OTHERWISE.
13. ALL LIVING AREAS ARE 10'0" WIDE UNLESS NOTED OTHERWISE.
14. ALL BEDROOMS ARE 10'0" WIDE UNLESS NOTED OTHERWISE.
15. ALL GARAGES ARE 10'0" WIDE UNLESS NOTED OTHERWISE.

B' Square Footage Chart

Room	Area	Volume
1st Floor	444	444
2nd Floor	444	444
Garage	444	444
Total Living	1332	1332
Garage	444	444
Total Living	1332	1332
Garage	444	444
Total Living	1332	1332

B' Square Footage Chart with TARDEN GARAGE

Room	Area	Volume
1st Floor	444	444
2nd Floor	444	444
Garage	444	444
Total Living	1332	1332
Garage	444	444
Total Living	1332	1332
Garage	444	444
Total Living	1332	1332

A' Square Footage Chart

Room	Area	Volume
1st Floor	444	444
2nd Floor	444	444
Garage	444	444
Total Living	1332	1332
Garage	444	444
Total Living	1332	1332
Garage	444	444
Total Living	1332	1332

A' Square Footage Chart with TARDEN GARAGE

Room	Area	Volume
1st Floor	444	444
2nd Floor	444	444
Garage	444	444
Total Living	1332	1332
Garage	444	444
Total Living	1332	1332
Garage	444	444
Total Living	1332	1332

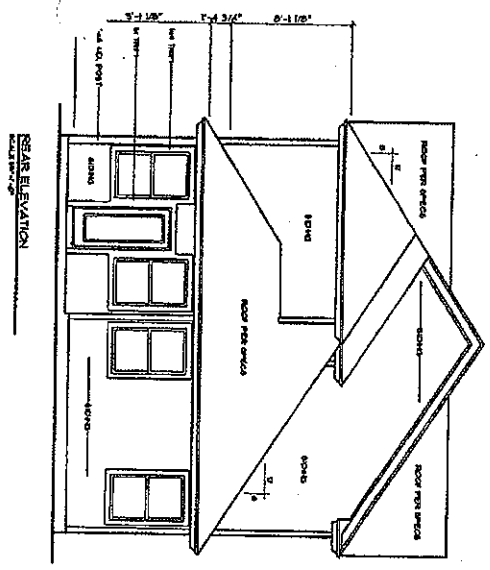
OPTIONAL COVERED PATIO FLOOR PLAN

Room	Area	Volume
1st Floor	444	444
2nd Floor	444	444
Garage	444	444
Total Living	1332	1332
Garage	444	444
Total Living	1332	1332
Garage	444	444
Total Living	1332	1332

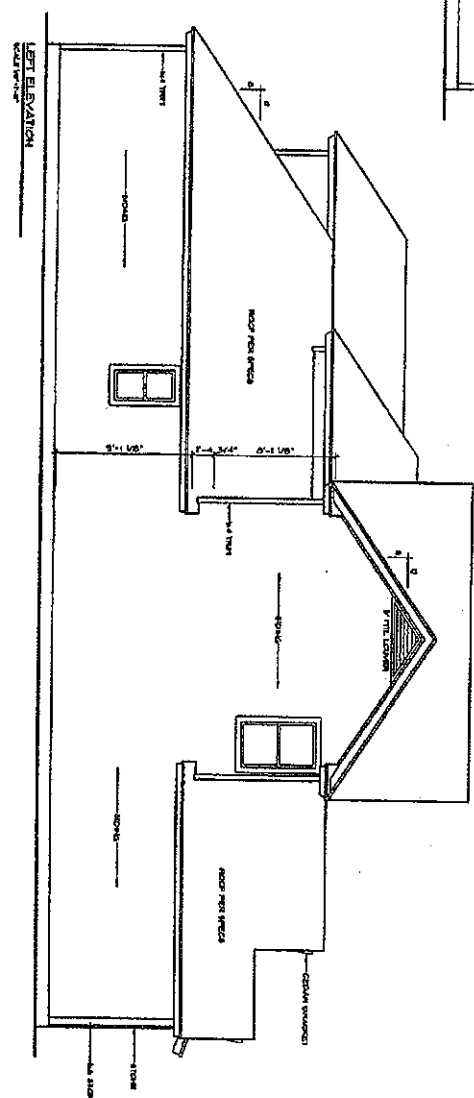
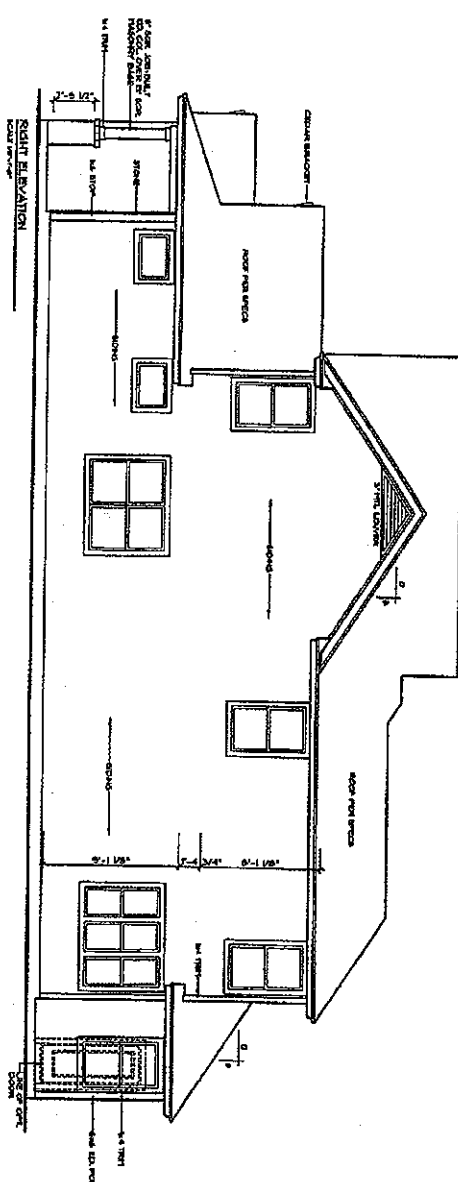
REVISED 02-28-02 TO ADD GARAGE FLOOR PLAN IN KITCHEN DRAWING
REVISED 02-28-02 TO ADD GARAGE FLOOR PLAN IN KITCHEN DRAWING
REVISED 02-28-02 TO ADD GARAGE FLOOR PLAN IN KITCHEN DRAWING

CONSTRUCTION

PLAN TYPE 1930



NOTES:
1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
2. FINISHES ARE TO BE DETERMINED BY THE OWNER.
3. ALL ROOFING IS TO BE 12/12 PITCH UNLESS NOTED OTHERWISE.
4. ALL WINDOWS AND DOORS ARE TO BE 1/2" MIN. CLEARANCE.
5. ALL ROOFING IS TO BE 12/12 PITCH UNLESS NOTED OTHERWISE.
6. ALL ROOFING IS TO BE 12/12 PITCH UNLESS NOTED OTHERWISE.
7. ALL ROOFING IS TO BE 12/12 PITCH UNLESS NOTED OTHERWISE.
8. ALL ROOFING IS TO BE 12/12 PITCH UNLESS NOTED OTHERWISE.
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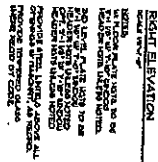
OPT. LOFT/MEDIA/
BEDROOM 4/GAME ROOM
PLAN 1706 LFB

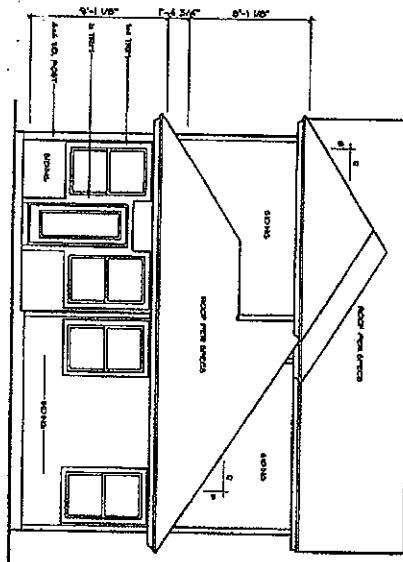
03A-000-000-001 2ND FLOOR PLAN 02/04/02

KIPP FLORES ARCHITECTS
 (512) 235-5577 Fax (512) 235-5582
 11178 Jollyville Rd. Suite 100 Austin, Texas 78758

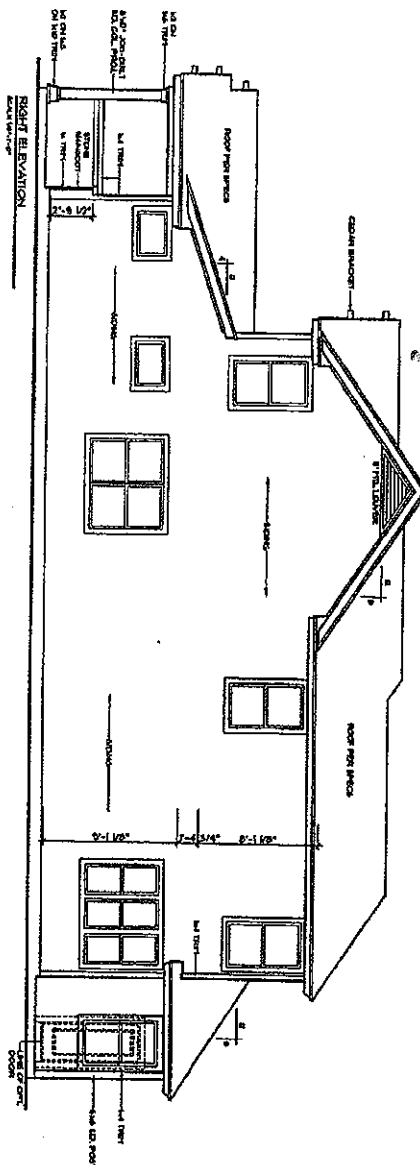
Our drawings are prepared and issued on the basis of the information provided by the client. We do not warrant the accuracy or completeness of the information provided by the client. We do not warrant the accuracy or completeness of the information provided by the client. We do not warrant the accuracy or completeness of the information provided by the client.

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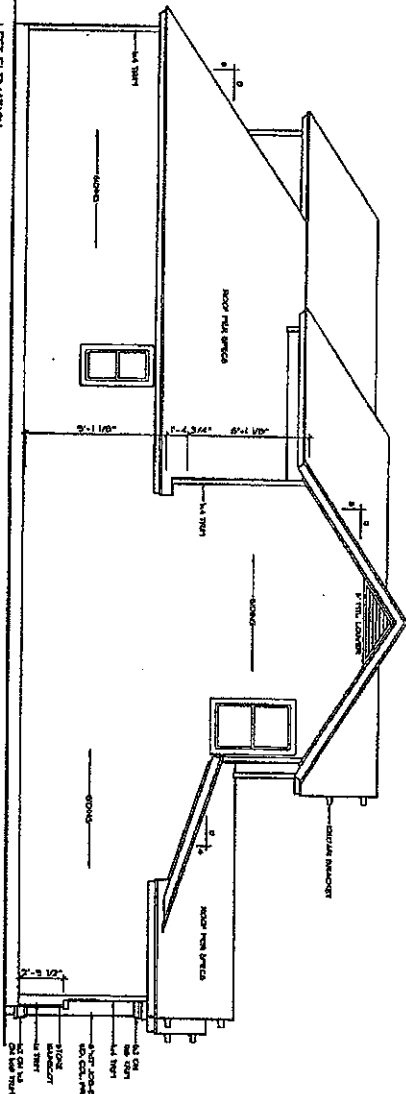




REAR ELEVATION



RIGHT ELEVATION



LEFT ELEVATION

OPT. LOFT/MEDIA/
BEDROOM 4/GARAGE ROOM
PLAN 1706 LPA

KIPP FLORES ARCHITECTS
11770 JORDAN RD. SUITE 100 AUSTIN, TEXAS 78758
512-330-5477 FAX 512-330-0682

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