

**Historic Landmark Commission  
January 23, 2012  
Permits in National Register Historic Districts  
NRD-2011-0114  
Old West Austin  
1713 Wethersfield Road**

**PROPOSAL**

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Construct a 2<sup>nd</sup> story rear addition to a 1935 residence.

**PROJECT SPECIFICATIONS**

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The existing residence, built in 1935, is a 1,393 sq. ft., one-story brick bungalow with minimal Tudor Revival elements located on a corner lot. The house has a gabled, moderate pitch roof with a hip roofed rear wing. The front entry porch has a gabled roof supported by brick columns. There are symmetrical pairs of double-hung windows with 3:2 upper sashes on either side of the front elevation. The side elevation facing the street has multiple double-hung windows with 3:2 upper sashes. The street facing elevation has a brick chimney with patterned brickwork. The roof has shallow eaves with a prominent fascia trim board below.

The applicant proposes to construct a second story addition to the rear of the house. The addition will raise the existing roof ridge by approximately 5 feet. The higher pitched roof will be inset from the side elevations by approximately 18". The roof have a rear facing gable with large dormers with side irregular pitched gables. The revised roof line maintains the form of the existing side gable wall facing the street. There will be no other changes to the existing exterior walls or features facing the streets.

The applicant also proposes an open-sided carport at the rear of the property.

**STAFF COMMENTS**

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The house is listed as a contributing structure in the Old West Austin National Register Historic District. Applicable general design review guidelines for National Register Districts state:

- The distinguishing original qualities or character of a property and its environment shall not be destroyed. Removal or alteration of any historic material or distinctive architectural features should be avoided.
- All properties shall be recognized as products of their own time. Alterations which have no historical basis and which seek to create an earlier appearance shall be discouraged.
- Changes, which have taken place in the course of time may have acquired significance in their own right, and shall be recognized and respected.
- Distinctive stylistic features or examples of skilled craftsmanship, which characterize a property, shall be treated with sensitivity.
- Deteriorated architectural features shall be repaired rather than replaced whenever possible. In the event replacement is necessary, the new material should match the

material being replaced in composition, design, color, texture, and other visual qualities. Repair or replacement of missing architectural features should be based on an accurate duplication of features, substantiated by historical, physical, or pictorial evidence.

- Surface cleaning of structure shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the historic building materials shall not be undertaken.
- Contemporary designs for alterations and additions to existing properties are appropriate when such alterations and additions do not destroy significant historic, architectural, or cultural material and are compatible with the size, scale, color, material, and character of the property, neighborhood, or environment.
- Whenever possible, new additions or alterations to structures shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the structure would not be impaired.
- The installation of protective or code-required mechanical systems shall be concealed whenever possible so as not to intrude upon or detract from the property's aesthetic and historical qualities except where concealment would result in the alteration or destruction of historically significant materials or spaces.
- Reconstruction of a part or all of a property shall be undertaken only when such work is essential to reproduce a significant missing feature in a historic district, and documentation exists to ensure an accurate reproduction of the original.

The scale and materials proposed are in keeping with the National Register Historic District, however the significant increase in the roof height adversely impacts the historic integrity of the front and side elevations.

#### **STAFF RECOMMENDATION**

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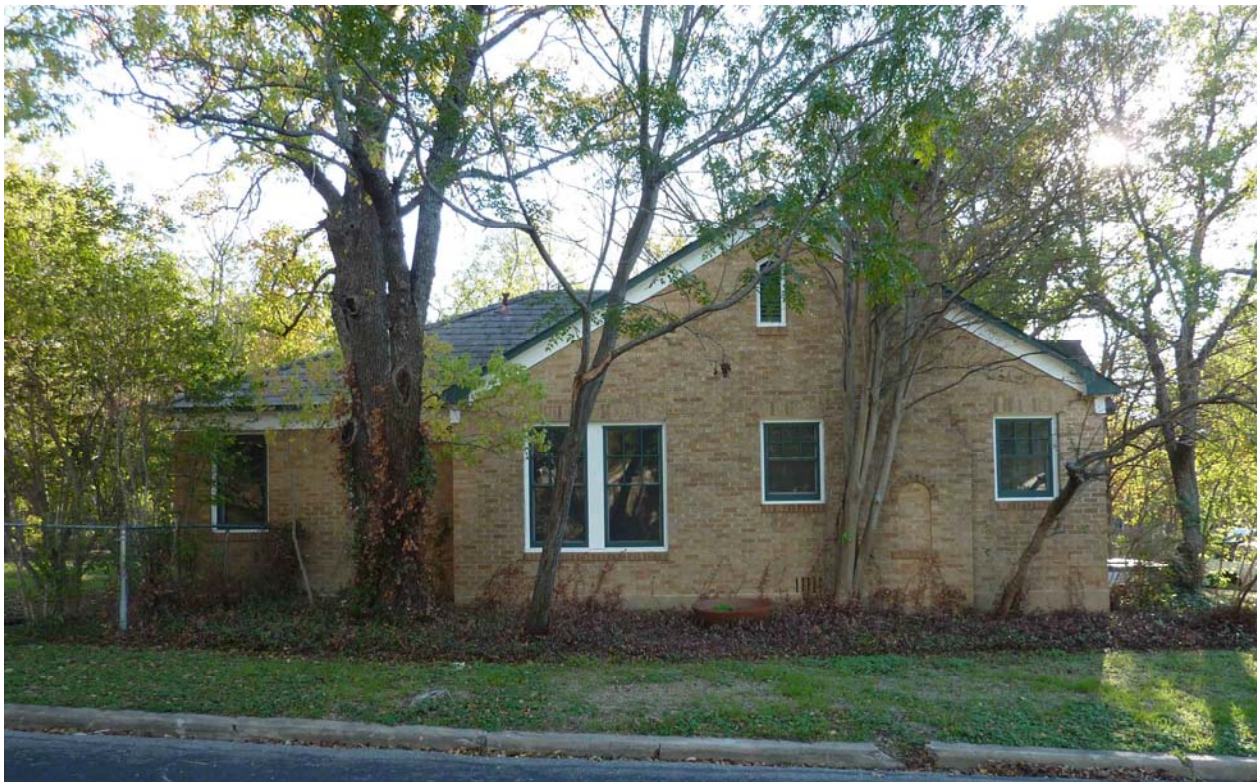
Staff requests that the owner consider revising the plans to retain the roof height on the front elevation to minimize the adverse impact to the historic integrity of the property.



PHOTOS



Existing front façade



Side elevation – Niles Street





Existing rear elevation



SUBJECT TRACT



ZONING BOUNDARY

CASE#: NRD-2011-0114  
LOCATION: 1713 Wethersfield



This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

This product has been produced by the Planning and Development Review Department for the sole purpose of geographic reference. No warranty is made by the City of Austin regarding specific accuracy or completeness.

GENERAL NOTES

All drawings and notes are complimentary. Verify all systems, specifications, quantities and locations with owner.

The Architect will neither have control over or charge of, nor be responsible for structural or mechanical engineering, or detailing including but not limited to waterproofing .The Architect will neither have control over or charge of, nor be responsible for, the construction means, methods, techniques, sequences or procedures, or for the safety precautions and programs in connections with the Work, since these are solely the Contractor's rights and responsibilities. The Architect will not have control over or charge of and will not be responsible for acts or omissions of the Contractor, Subcontractors, or their agents or employees, or any other persons or entities performing portions of the work.

Prior to construction, discrepancies between the architectural and engineering drawings should be reported to the architect.

The Contractor shall be responsible for providing all materials and workmanship in accordance with the applicable building code, handicap access code and all applicable ordinances, including state and local building codes and requirements.

These plans indicate the general extent of demolition and new construction necessary for the work, but are not intended to be all-inclusive. All demolition and all new work necessary to allow for a finished job in accordance with the intention of these documents shall be included regardless of whether shown on the drawings or in the notes. Do not demolish any items that appear structural without prior review and written approval by the Structural Engineer.

Any errors, omissions, and conflicts found in these construction documents shall be brought to the attention of the architect and owner for clarification before proceeding with work.

All dimensions are to face of finish unless noted otherwise. All dimensions shall be verified.

The Contractor shall verify that no conflicts exist in the location of any and all mechanical, electrical, telephone, lighting, plumbing and fire sprinkler work (including piping, ductwork, and conduit), and that all clearances for installation and maintenance are provided.

Verify all architectural details and coordinate drawings with structural and MEP drawings before initiation of any related work.

These plans indicate the general extent of demolition and new construction necessary for the work, but are not intended to be all-inclusive. All demolition and all new work necessary to allow for a finished job in accordance with the intention of these documents shall be included regardless of whether shown on the drawings or in the notes. Do not demolish any items that appear structural without prior review and written approval by the Structural Engineer.

All work pertaining to or affected by this contract shall conform to applicable building code.

The Contractor shall take care not to damage existing construction and shall be responsible for replacing all damages cause by contractor and sub-contractors.

PROJECT DATA

ADDRESS:  
1713 WETHERSFIELD  
AUSTIN, TX 78703

SHEET INDEX

ARCHITECTURAL

- A1.0 INFO/ SITE PLAN/  
A1.2 DEMO PLAN / ROOF PLAN /GARAGE PLAN  
A2.1 FLOOR PLANS/ BUILDING SECTIONS  
A5.1 EXTERIOR ELEVATIONS

a parallel architecture  
LLC

803 1/2 WEST AVE  
AUSTIN, TX 78701  
512.464.1199

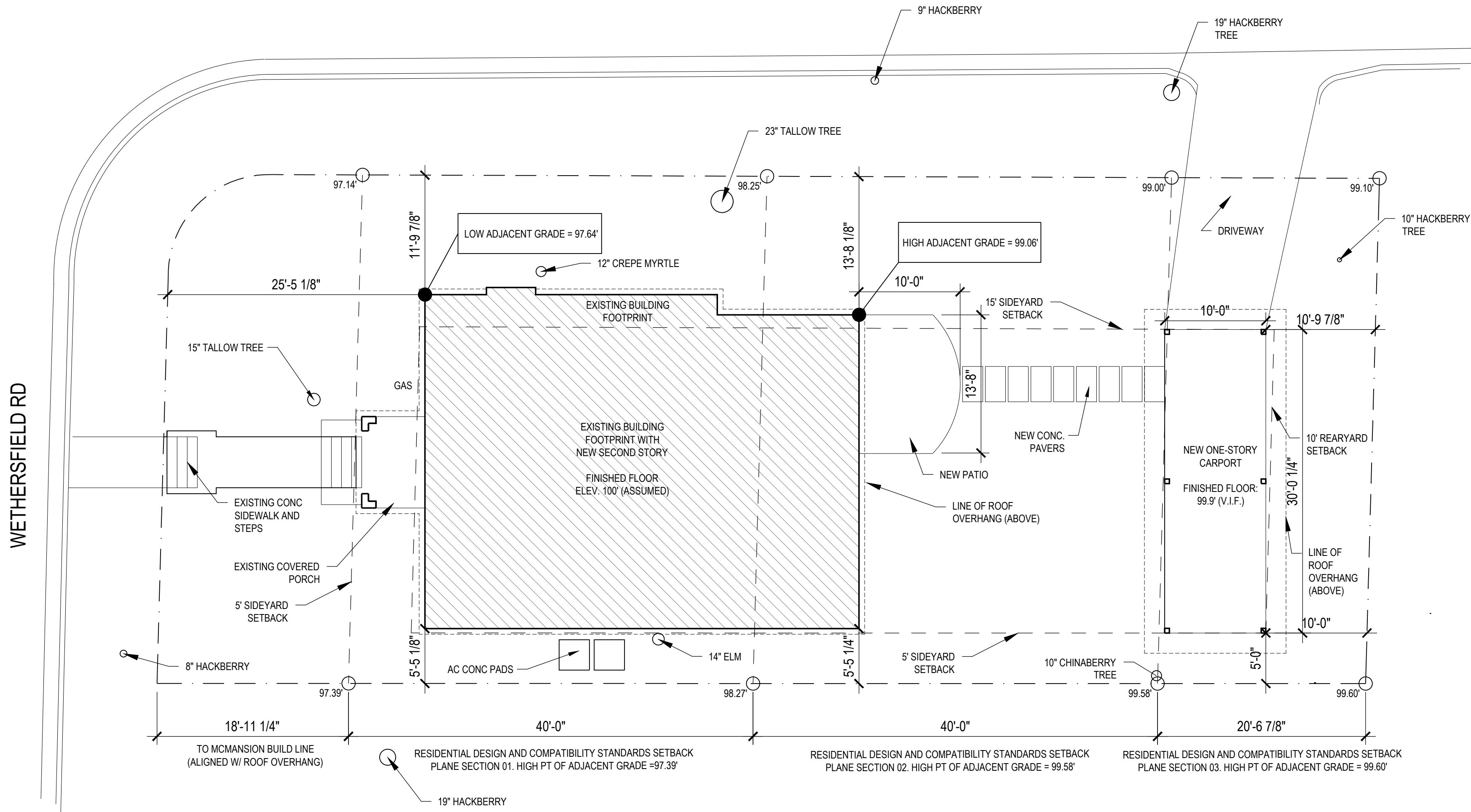
AREA CALCULATIONS

EXISTING LOT AREA:	5976	
ZONING	SF-3	
ALLOWABLE DEVELOPMENT @ 40% (SQ FT)	2390	
ALLOWABLE BUILDING COVERAGE @ 40% (SQ FT)	2390	
ALLOWABLE IMPERVIOUS COVERAGE @ 45% (SQ FT)	2689	
BUILDING COVERAGE	EXISTING	NEW
a.) 1ST FLOOR CONDITIONED AREA	1393	0
b.) 2ND FLOOR CONDITIONED AREA	0	733
c.) 3RD FLOOR CONDITIONED AREA	0	0
d.) BASEMENT	0	0
e.) GARAGE (DETACHED)	0	0
f.) WOOD DECKS	0	0
g.) BREEZEWAYS	0	0
h.) COVERED PATIOS	0	0
i.) COVERED PORCHES	56	0
j.) BALCONIES	0	0
k.) SWIMMING POOLS	0	0
l.) OTHER BUILDINGS (SPECIFY)	0	0
TOTAL BUILDING AREA (a. through l.)	1449	733
TOTAL BUILDING COVERAGE ON LOT (subtract b, c, d, k, and f if applicable)		1499 24.2%
IMPERVIOUS COVERAGE		
a.) TOTAL BUILDING COVERAGE ON LOT (see above)		1499
b.) DRIVEWAY AREA ON PRIVATE PROPERTY		160
c.) SIDEWALK/ WALKWAYS ON PRIVATE PROPERTY		169
d.) UNCOVERED PATIOS		125
e.) UNCOVERED WOOD DECKS (@ 50%)		0
f.) AIR CONDITIONER PADS		18
g.) CONCRETE DECKS		0
h.) OTHER (SPECIFY) CARPORT		300
TOTAL IMPERVIOUS COVERAGE		2221 (37.2%)
GROSS FLOOR AREA AND FLOOR AREA RATIO		
1ST FLOOR AREA	1393	0
1ST FLOOR AREA WITH CEILING HEIGHT OVER 15FT	0	9.5
2ND FLOOR GROSS AREA	0	733
2ND FLOOR AREA WITH CEILING HEIGHT OVER 15FT	0	0
3RD FLOOR AREA	0	0
3RD FLOOR AREA WITH CEILING HEIGHT OVER 15FT	0	0
BASEMENT AREA	0	0
DETACHED GARAGE (LESS 450SF)	0	0
CARPORT	0	0
TOTAL GROSS FLOOR AREA		2135
GROSS AREA OF LOT		5976
FLOOR AREA RATIO		35.7%

SITE PLAN

0 4'-0" 8'-0" 16'-0" SCALE= 1/8" = 1'-0"

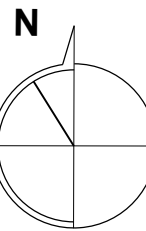
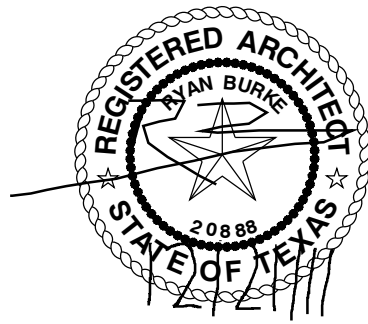
NILES RD



WETHERSFIELD

1713 WETHERSFIELD  
AUSTIN, TX 78703

JOB:	1113
DRAWN:	RB/EB
SCALE:	AS NOTED
PERMIT:	12.22.11



A1.0  
INFO / SITE PLAN

01

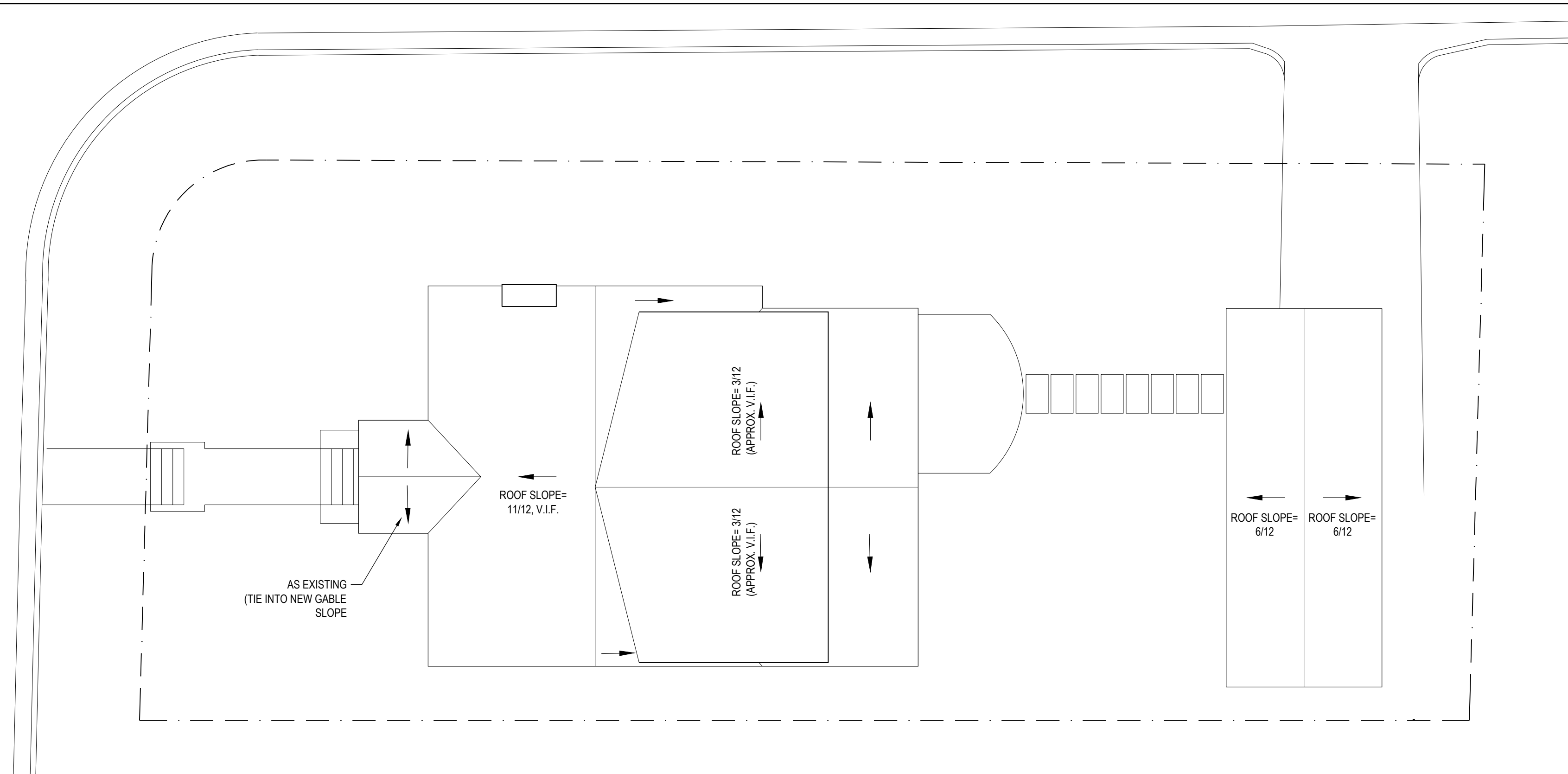
PLAN NOTES

- 1.) All dimensions to face of finish unless noted otherwise.
- 2.) All drawings and notes are complementary. Verify all systems, specifications, quantities and locations with owner.
- 3.) The Architect will neither have control over or charge of, nor be responsible for structural or mechanical engineering, or detailing including but not limited to waterproofing. The Architect will neither have control over or charge of, nor be responsible for, the construction means, methods, techniques, sequences or procedures, or for the safety precautions and programs in connections with the Work, since these are solely the Contractor's rights and responsibilities. The Architect will not have control over or charge of and will not be responsible for acts or omissions of the Contractor, Subcontractors, or their agents or employees, or any other persons or entities performing portions of the work.

DEMOLITION NOTES

- 1.) CONTRACTOR TO SALVAGE ANY ORIGINAL SIDING, WINDOW AND DOORS FOR POSSIBLE REUSE
- 2.) CONTRACTOR TO VERIFY TEMPORARY STRUCTURAL SUPPORTS PRIOR TO DEMOLITION
- 3.) ALL EXISTING TREES AND ROOT SYSTEMS TO BE PROTECTED THROUGHOUT DEMOLITION AND CNST.

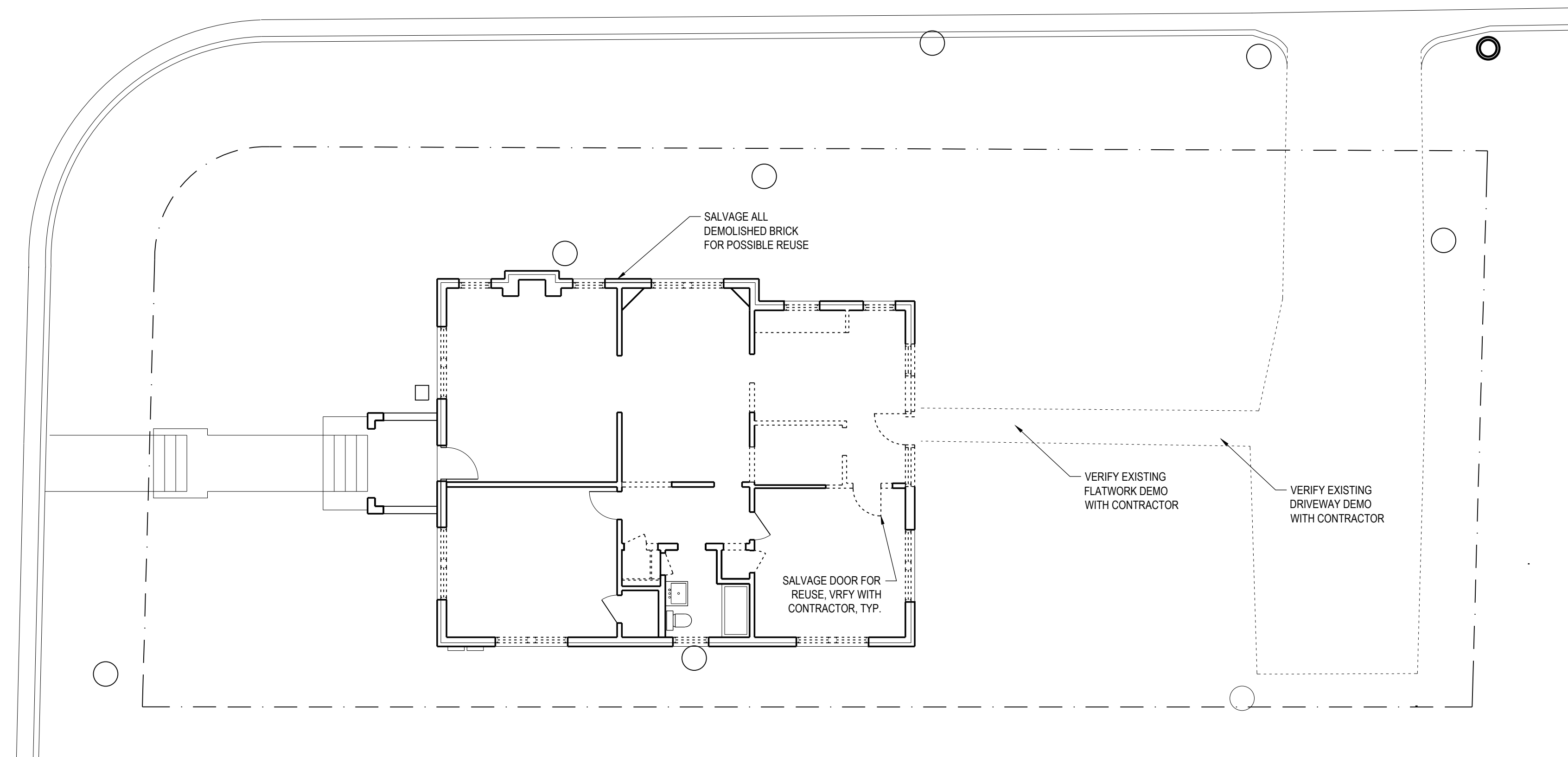
----- ELEMENT TO BE DEMOLISHED  
————— ELEMENT TO REMAIN



ROOF PLAN

0 4'-0" 8'-0" 16'-0" SCALE= 1/8" = 1'-0"

02  
-



DEMOLITION PLAN

0 4'-0" 8'-0" 16'-0" SCALE= 1/8" = 1'-0"

01  
-

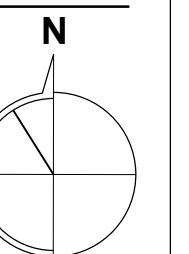
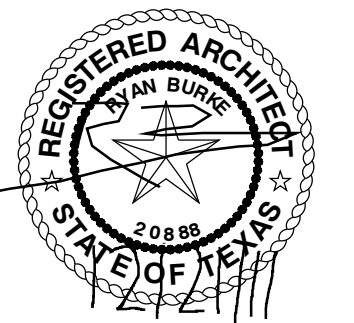
a parallel architecture  
LLC

803 1/2 WEST AVE  
AUSTIN, TX 78701  
512.464.1199

WETHERSFIELD

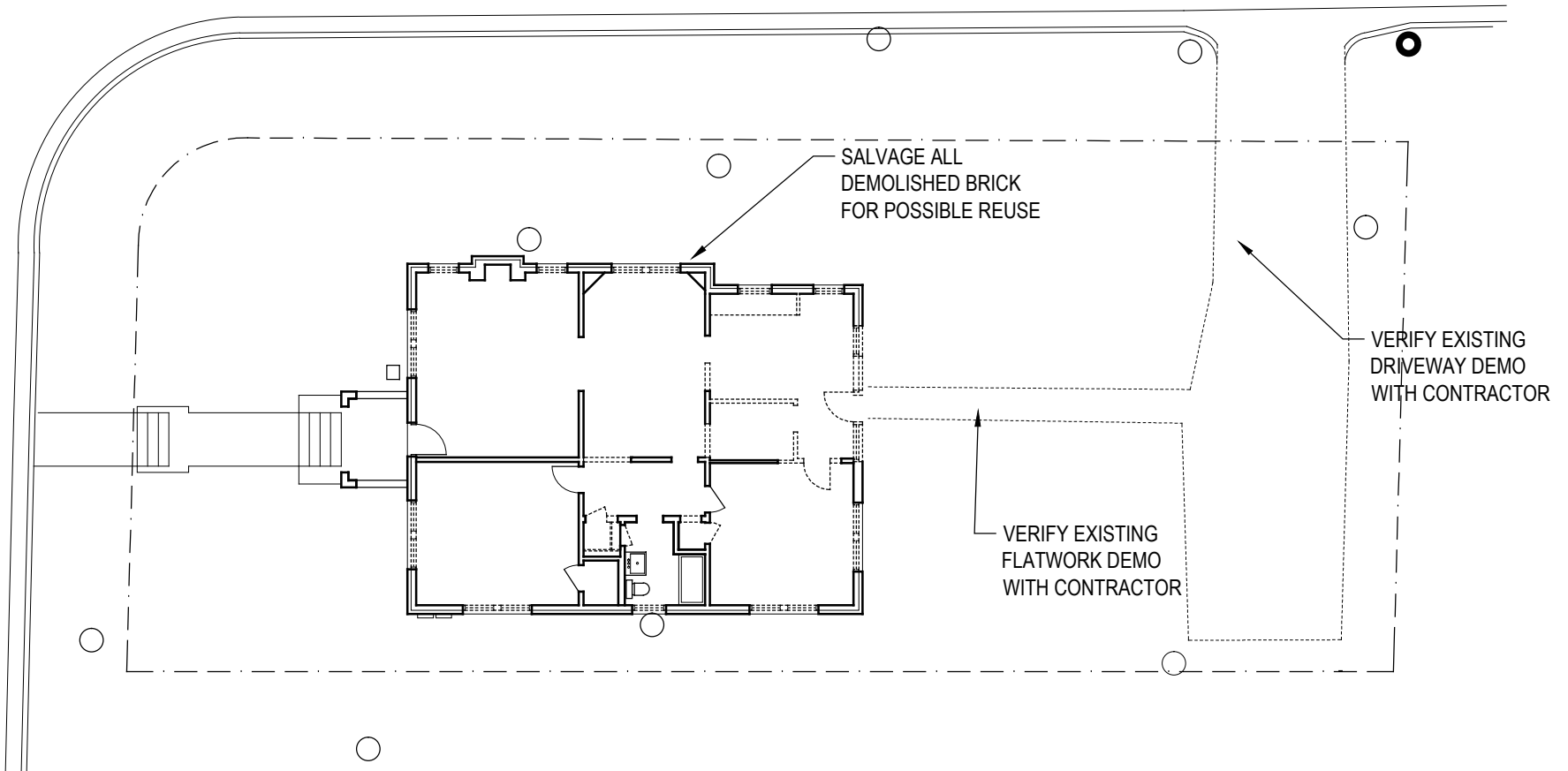
1713 WETHERSFIELD  
AUSTIN, TX 78703

JOB: 1113  
DRAWN: RB/EB  
SCALE: AS NOTED  
PERMIT: 12.22.11



A1.2

DEMO PLAN/ GARAGE PLAN

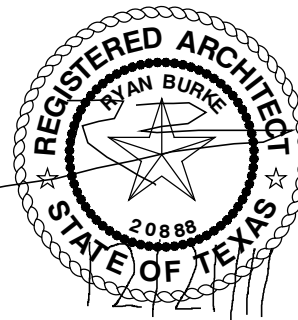


SCALE =  $\frac{1}{16}" = 1'-0"$

#### DEMOLITION NOTES

- 1.) SEE OUTLINE SPECIFICATIONS, A11.1 - DIVISION 2
- 2.) CONTRACTOR TO SALVAGE ANY ORIGINAL WINDOWS OR DOORS FOR REUSE.
- 3.) CONTRACTOR TO SALVAGE ANY FIXTURES AND APPLIANCES FOR POSSIBLE REUSE, VERIFY WITH OWNER.
- 4.) ALL EXISTING TREES AND ROOT SYSTEMS TO BE PROTECTED THROUGHOUT DEMOLITION AND CNST.

----- ELEMENT TO BE DEMOLISHED  
 \_\_\_\_\_ ELEMENT TO REMAIN



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803 1/2 WEST AVE  
AUSTIN, TX 78701  
512.464.1199

**1713 WETHERSFIELD**

1713 WETHERSFIELD  
AUSTIN TEXAS 78703

SCALE: 1/16" - 1'-0"

DATE: 12/21/2011

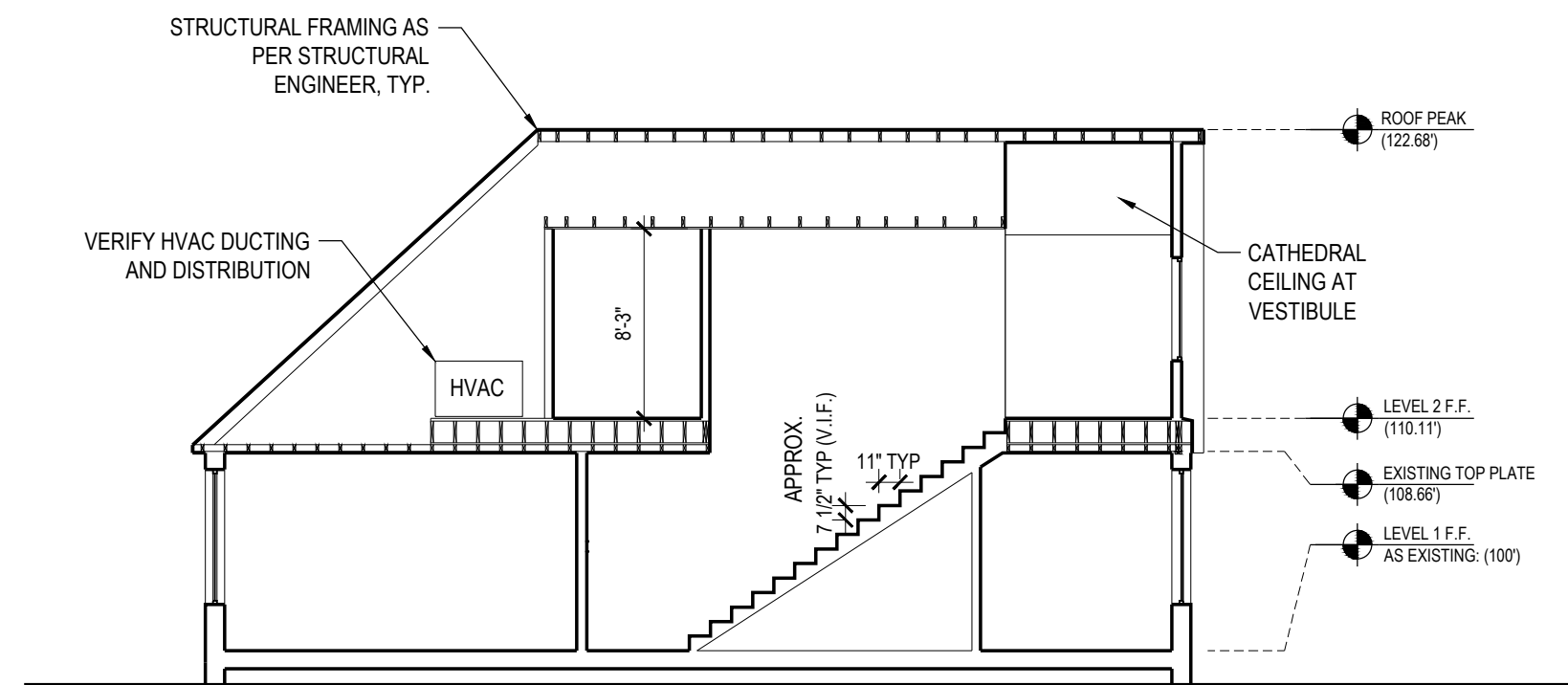
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**DEMO PLAN**



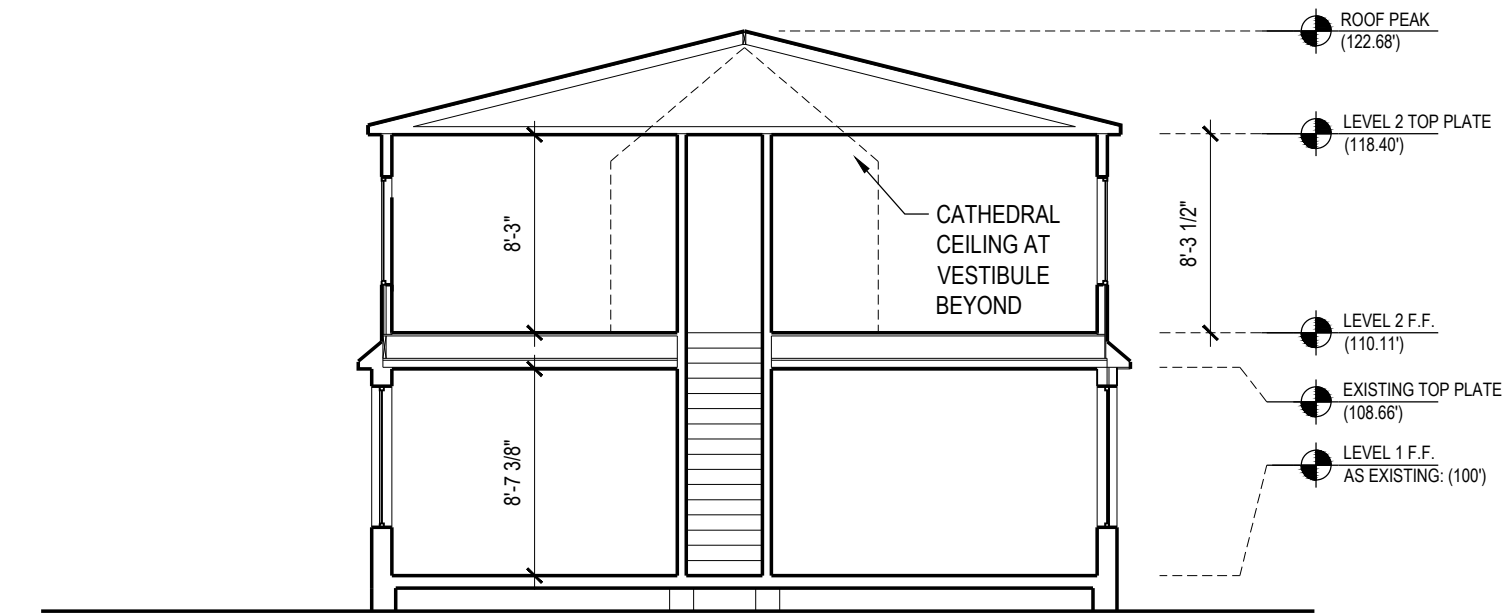
PLAN NOTES

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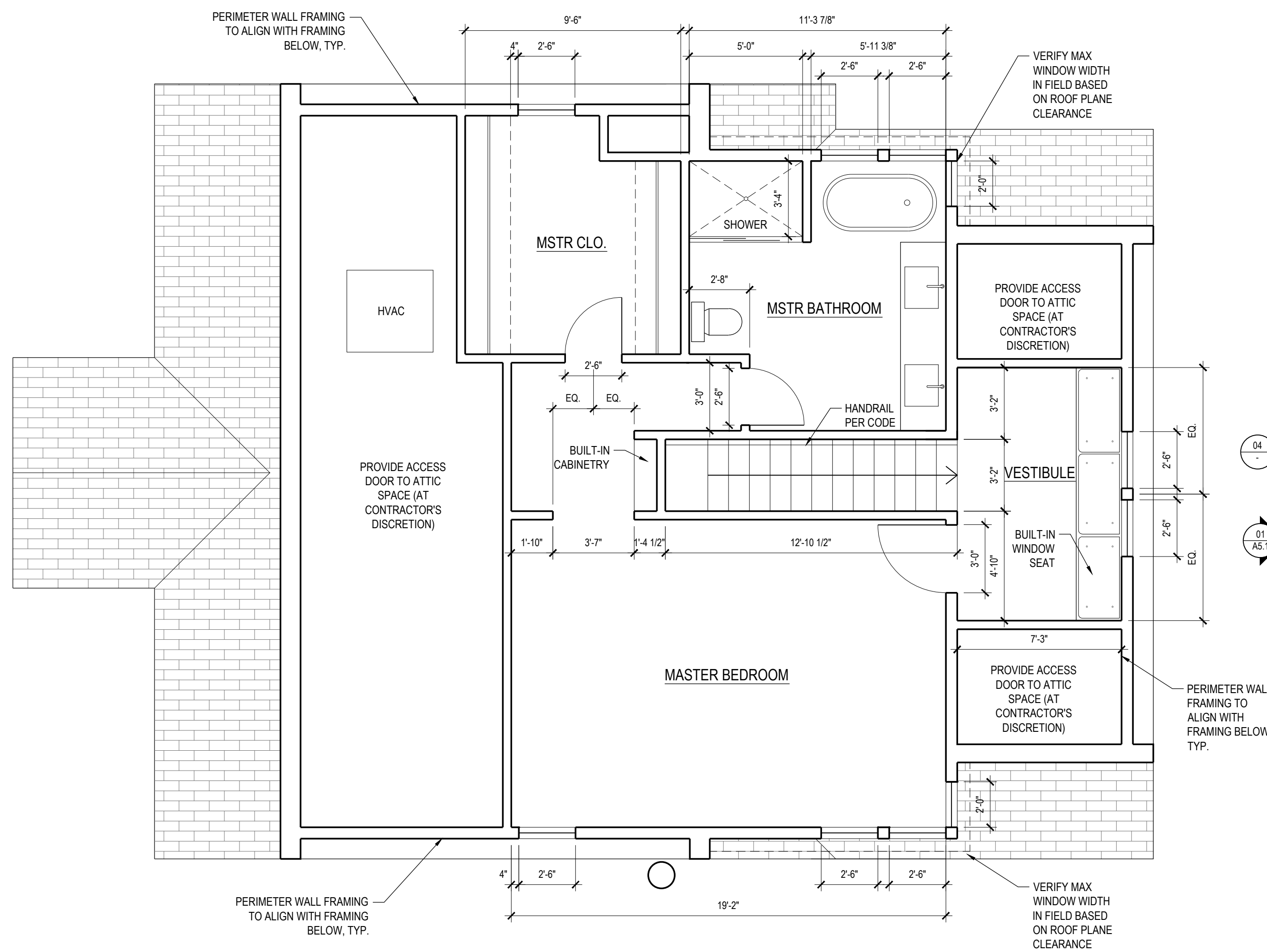
LONG SECTION THROUGH STAIR

0 4'-0" 8'-0" 16'-0" SCALE= 1/8" = 1'-0"



CROSS SECTION THROUGH STAIR

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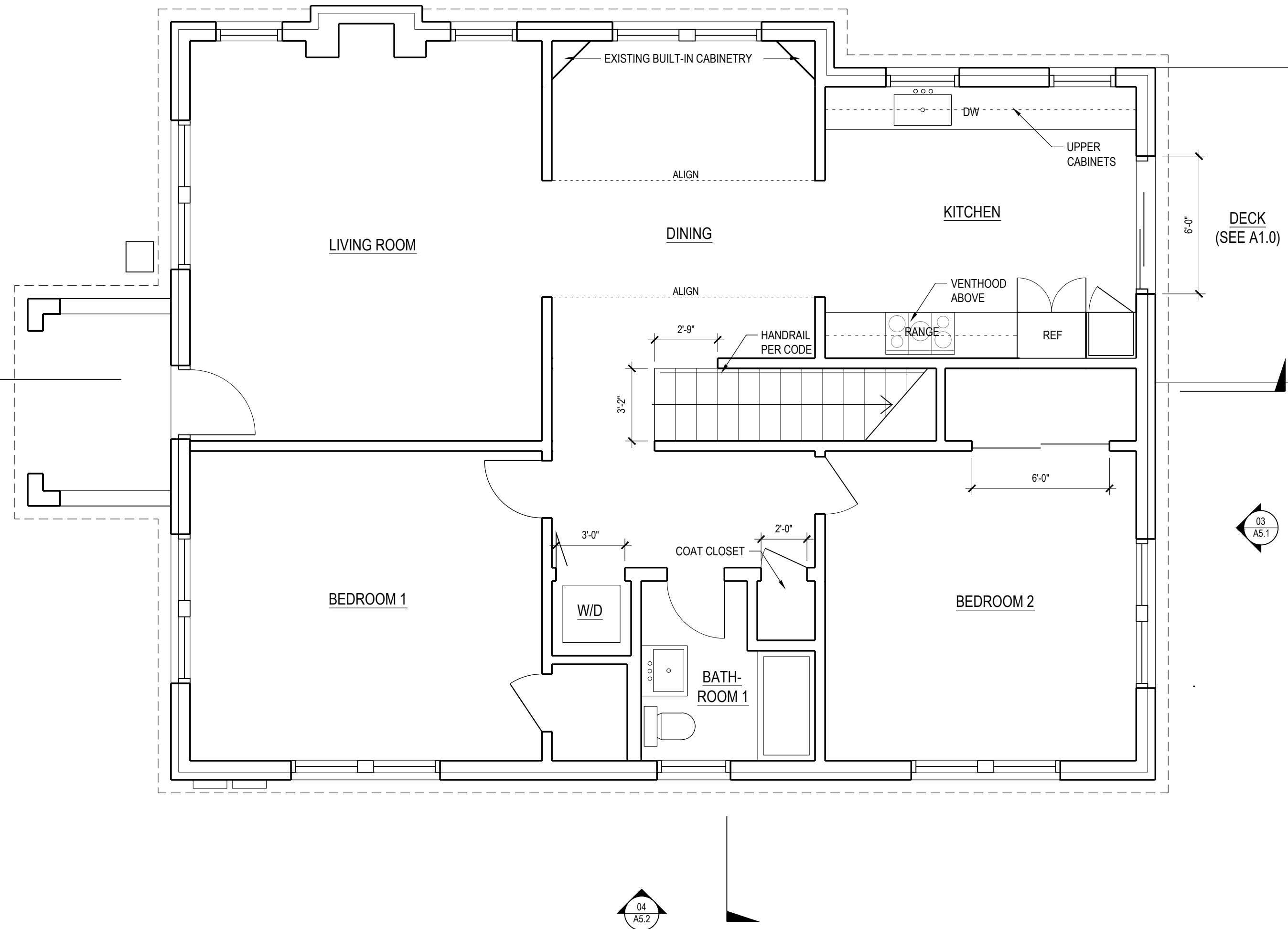


LEVEL 2 FLOOR PLAN

0 2'-0" 4'-0" 8'-0" SCALE= 1/4" = 1'-0"

LEVEL 1 FLOOR PLAN

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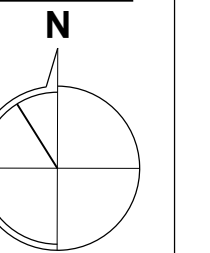
a parallel architecture  
LLC

803 1/2 WEST AVE  
AUSTIN, TX 78701  
512.464.1199

WETHERSFIELD

1713 WETHERSFIELD  
AUSTIN, TX 78703

JOB: 1113  
DRAWN: RB/EB  
SCALE: AS NOTED  
PERMIT: 12.22.11



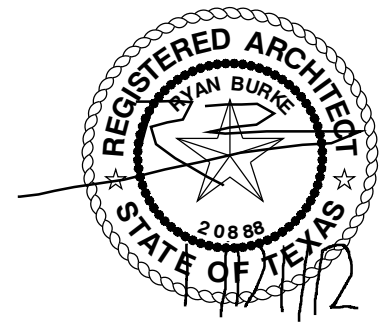
A2.1

FLOOR PLANS/SECTIONS

WETHERSFIELD

1713 WETHERSFIELD  
AUSTIN, TX 78703

JOB:	1113
DRAWN:	RB/EB
SCALE:	AS NOTED
PERMIT:	12.22.11
REVISED	01/17/12



EAST ELEVATION EXISTING

0 4'-0" 8'-0" 16'-0" SCALE= 1/8" = 1'-0"

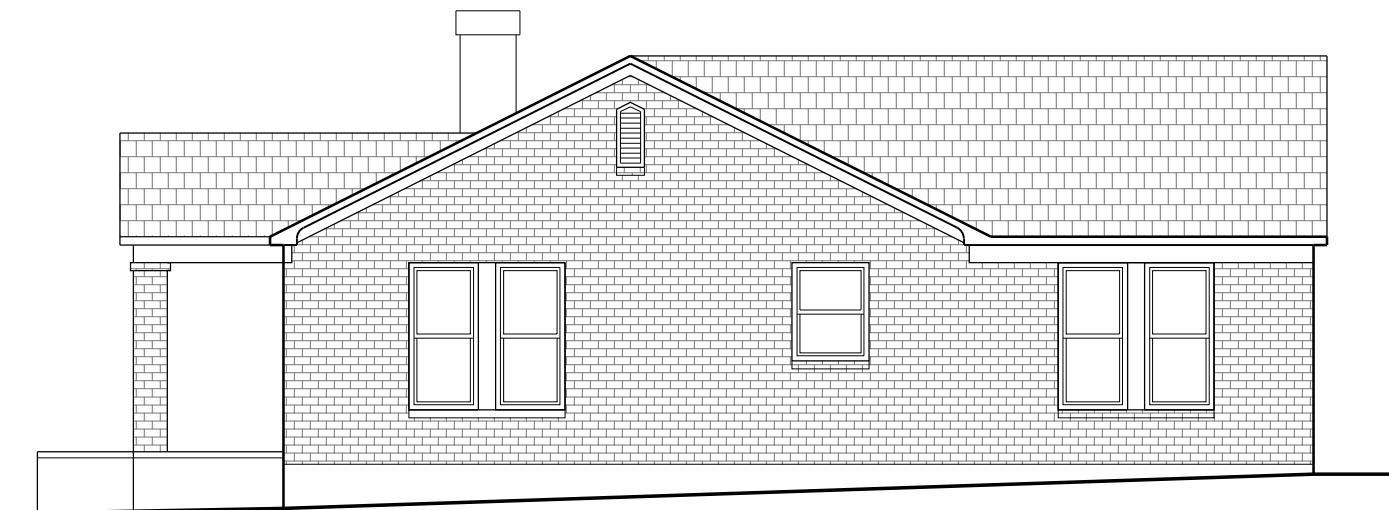
09  
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WEST ELEVATION EXISTING

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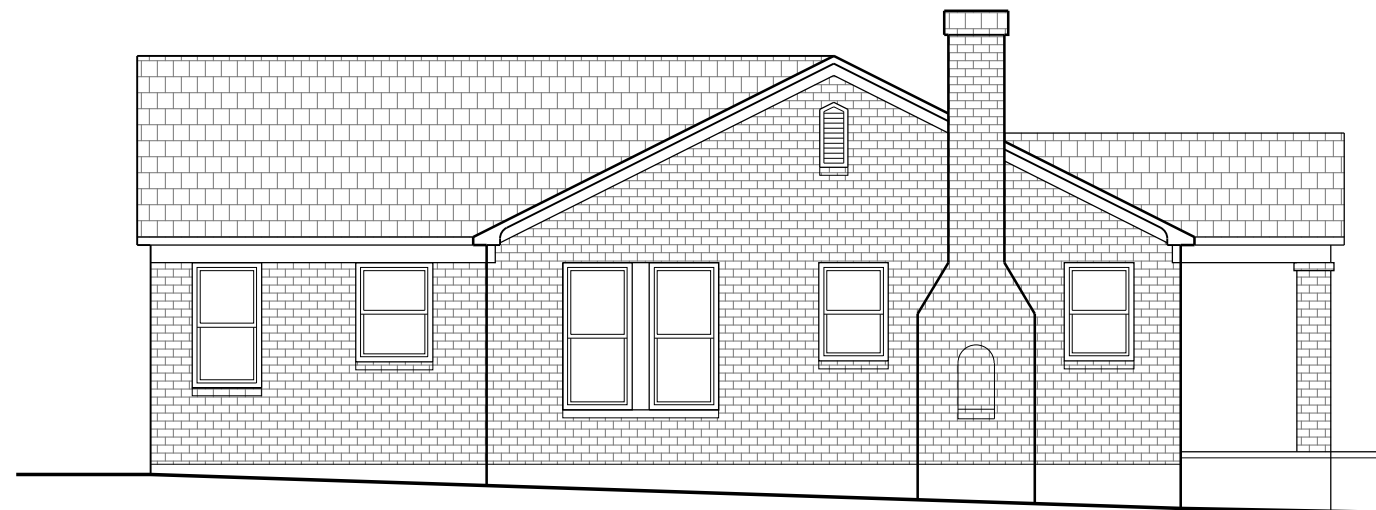
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SOUTH ELEVATION EXISTING

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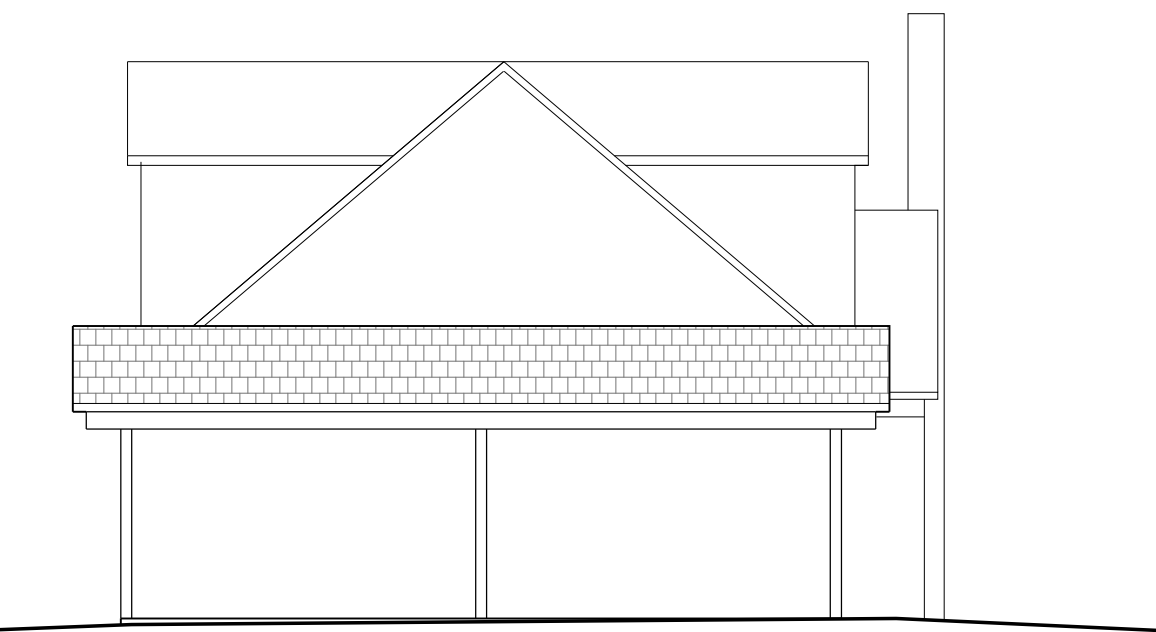
07  
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NORTH ELEVATION EXISTING

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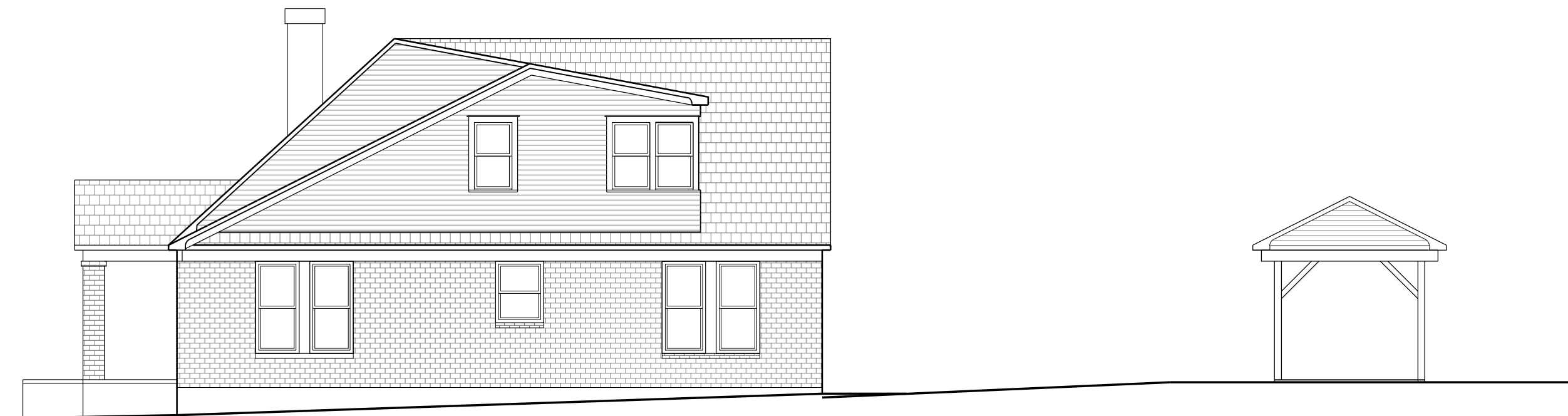
06  
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EAST CARPORT ELEVATION

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05  
-



SOUTH ELEVATION

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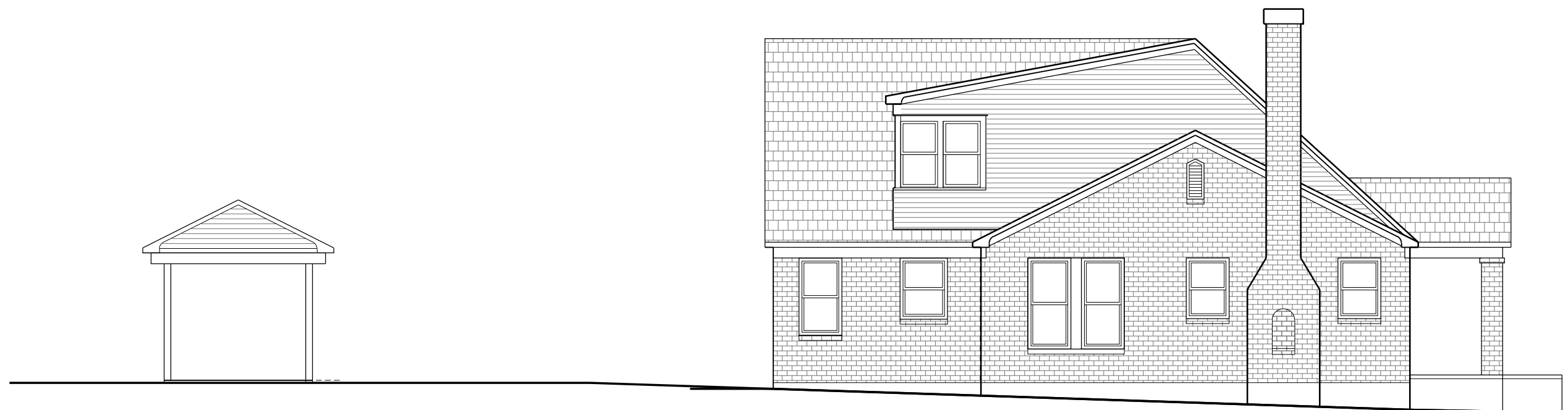
04  
-



EAST ELEVATION

0 4'-0" 8'-0" 16'-0" SCALE= 1/8" = 1'-0"

03  
-



NORTH ELEVATION

0 4'-0" 8'-0" 16'-0" SCALE= 1/8" = 1'-0"

02  
-



WEST ELEVATION

0 4'-0" 8'-0" 16'-0" SCALE= 1/8" = 1'-0"

01  
-