

**HISTORIC LANDMARK COMMISSION
JANUARY 23, 2012
CERTIFICATE OF APPROPRIATENESS
LHD-2011-0024
3813 Avenue F
Hyde Park Local Historic District**

PROPOSAL

Construct two additions totaling approximately 1,000 sq. ft. at the rear of a c. 1949 single-family residence.

PROJECT SPECIFICATIONS

The existing c. 1949 house is a one-story, red brick, ranch house with a side gabled roof, and a cross gabled front facing garage. The windows are multi-paned, aluminum frame. On the front elevation there is one large picture window with casement windows on either side, as well as a single, double-casement window. The small concrete front porch has a flat roof supported by decorative metal columns that appear to be original.

The applicant proposes to construct two rear additions of approximately 650 sq. ft and 350 sq. ft. Both additions will have nearly flat roofs, stucco siding, and a combination of wood-framed fixed, casement and awning windows. Some windows will have metal baffles painted in primary colors. Both additions will have connectors that are inset from the side walls of the existing house to provide a transition from the original to the new construction.

Windows on the south wall of the original house will be changed out to smaller dimension windows to accommodate relocating two bathrooms to that part of the house. Brick taken from the demolition of the rear wall will be used to fill in the reduced size of those openings. The original house will be re-roofed using light colored, asphalt shingles.

STANDARDS FOR REVIEW

The house is a contributing property in the Hyde Park Local Historic District.

The Hyde Park Local Historic District Design Standards applicable to this review state:

1. General Standards***1.2: Retention of Historic Style***

Respect the historic style of existing structures and retain their historic features, including character-defining elements and building scale. Avoid alterations to the existing fabric of historic buildings.

2. Residential Standards: Single Family and Contributing Multifamily - Preservation and Restoration***2.1: Front of Houses***

Houses in Hyde Park uniformly face the front street with a generally centered front door, and have windows facing the front yard and street. The front is the front wall of the living space and the porch is at the front of the houses.

Retain the original front facade of a house. Make no changes that would compromise the status of the house as a contributing or potentially contributing resource in the Hyde Park Local Historic District. Repair damaged exterior wall materials to the greatest extent possible.

Doorways on the primary facade are considered an important architectural feature. Do not enlarge, alter, or relocate them. Retain original entry doors. In cases where replacement of an entry door is the only option, choose a door that is close to the original door in design and materials, based on other historic houses of similar age and style in the neighborhood. Retain the glazing (window or glass) in its original configuration on doors that contain windows.

Rainwater collection systems that are visible from the public street must use traditional materials such as metal and wood; use of PVC containers or piping is not permitted within the public view.

2.2: Windows

Original fenestration is character-defining for a building. In Hyde Park, most old windows are old-growth pine or cypress and are 50 to 100 years old. Original steel-casement and other types of windows are also still extant in Hyde Park. With proper restoration, these units will likely outlast many modern products.

Maintain, repair, and restore, if necessary, the original placement, style, design, materials, and glass of windows.

2.3: Porches

Porches are an integral part of the character of homes in Hyde Park. Different porch styles are appropriate to different house styles.

Maintain original front and street-side porches. Do not enclose open front and street-side porches. Other porches, including second floor front porches, may have screening over the original openings.

2.4: Lighting

Exterior lighting has traditionally been located on the ceilings of porches (thus minimizing light pollution and emphasizing the entry) or on the wall adjacent to the entry.

Retain the original location and fixture style of exterior lighting.

2.5: Roofs

The most common roof forms in Hyde Park are hipped roofs, gabled roofs, and combinations of hipped and gabled roofs. Roofs are generally more complex for Queen Anne styles and of a simple form for twentieth century buildings. Roofs often included dormers. There are examples in Hyde Park of flat roofs, but those are not typical of the roofs of the primary structures for contributing residences in the neighborhood. Traditional roof materials were wood shingles for main roofs and corrugated metal for outbuildings. There are also examples in Hyde Park of metal shingles. Occasional Nineteenth Century residences had metals roofs, but during the Twentieth Century, metal roofs were not considered appropriate for residences. Wood shingles were replaced by asphalt shingles in the early to

mid-Twentieth Century. Metal roofs returned in popularity as an energy saving approach in the last 20 years of the Twentieth century.

Retain the original roof pitches of the building. Avoid changes to roofs on the fronts of buildings. Avoid adding to the eave height of original roofs, especially at the front of structures. Retain historic dormers. In replacing roof material, first use either the original material, second, use a product that resembles the original material, third, use metal. Do not use shaped, scalloped or diamond shingles unless they were original to the building. Preserve original gable/attic vents and roof brackets.

Photovoltaic and solar thermal installations on existing contributing buildings must be designed to be in scale with the existing structure's roofline, and must not damage historical architectural features of materials. These roof systems must be on the same plane as the roof. The colors of the panels must be compatible with surrounding roof materials.

Recommendation: Consider replacing any dormers that can be documented when roof work is done.

2.6: Chimneys

Maintain existing chimneys.

2.7: Garages

Garages have traditionally been located to the rear of the lot and separate structures. They are constructed in a simple but complementary design to the main building. Most garages are front gabled regardless of the style of the house.

Retain original materials and roof pitch. Maintain the historic siding of the garage.

Recommendation: New doors to garages should be of an appropriate style.

3. Residential Standards: Single Family and Contributing Multifamily - New Construction

3.2: Additions

Items of most concern are finished floor height, floor-to-floor heights, roof heights and pitches, fenestration pattern, porch size and location, setbacks, and an overall scale that reflects neighborhood patterns.

An addition shall not require the removal of significant portions of the existing house. The front façade shall remain intact.

Recommendation: Changes should not compromise a house's status as potentially contributing.

Design additions to existing residential buildings to reflect the form and style of the existing house. Design an addition to be subordinate to the original house in terms of size, scale, and massing.

Locate new additions and alterations to the rear or rear side of the building so that they will be less visible from the street. Extend the existing roof line in the rear of the house to accommodate an addition wherever possible. Match the pitch and height of the roof of the

addition to that of the existing house. On an addition, make windows visible from the street compatible with the main house in terms of sash configuration, proportion, spacing and placement. Make the exterior siding material and profile of an addition match or be compatible with that of the existing house.

Construct one-story additions to one-story houses when possible. Considerations of impervious cover may provide an exception. Design additions to have the same floor-to-ceiling height as the existing house. Locate second story additions at least 15' setback from the front house wall. Design additions so that they do not overwhelm the original building.

Recommendation: Wherever possible, build additions in existing attic space without raising the roof height. Consider the construction of attic dormers opening to the side or rear of the house to open underused attic space.

Design side wall heights on second floor additions to be in scale and proportion to the original house.

Recommendation: Where attic heights are adequate to support second floor living space, dormers or rear additions that do not exceed the original roof ridge height are preferable, as are side walls that maintain the same proportions.

COMMITTEE RECOMMENDATION

Do not paint the brick. Install light colored asphalt shingles on the roof of existing house. Reuse existing windows from rear elevation that is being demolished or install new windows on the side elevation that will be altered.

STAFF RECOMMENDATION

The project as proposed meets the requirements of the Hyde Park Historic District Design Standards. Approve the Certificate of Appropriateness as presented, however recommend that the applicants reuse windows removed from the rear for the new window openings on the side of the original house.

PHOTOS



Existing front facade



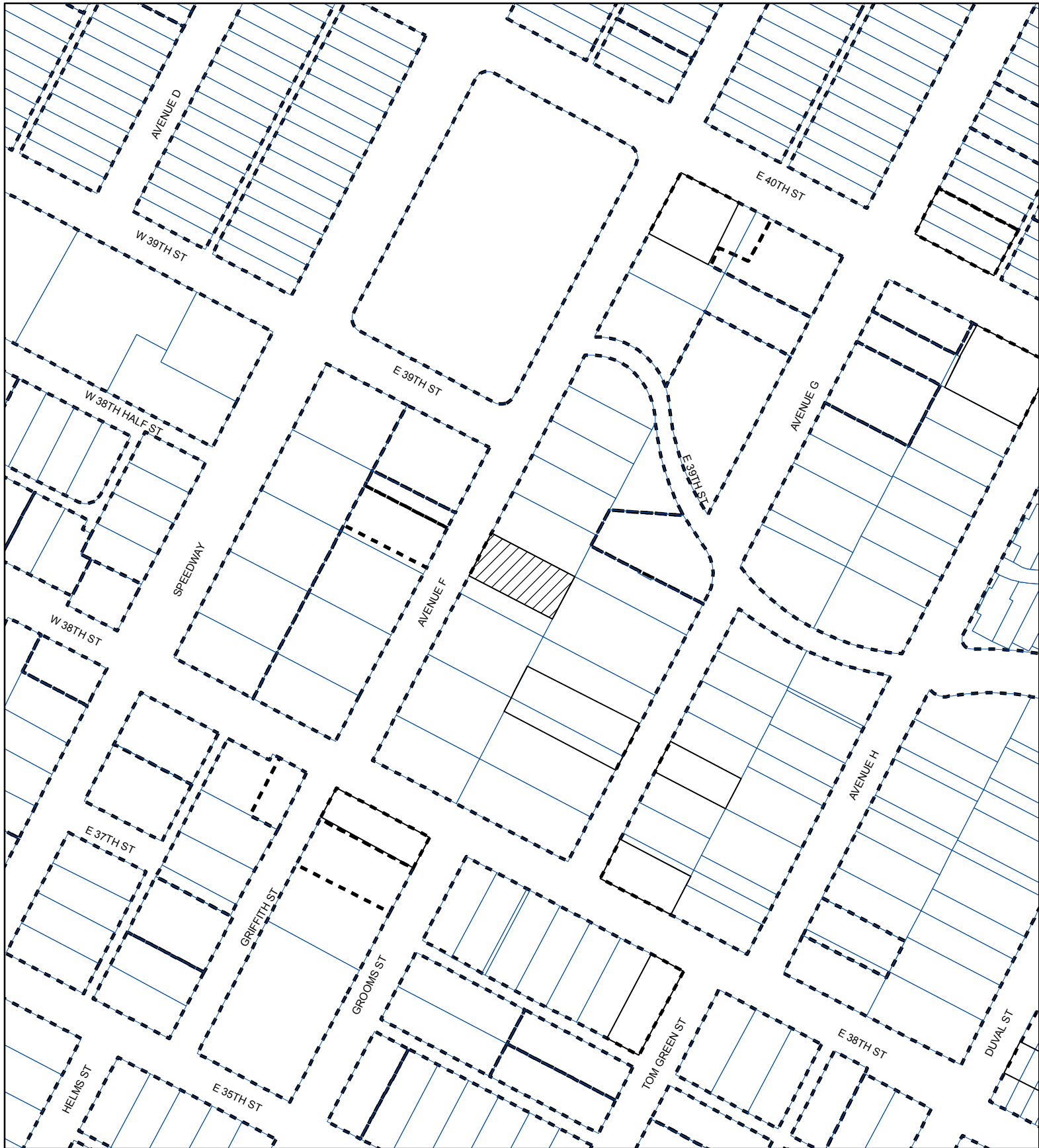
Existing front façade



Existing rear elevation



Existing casement window



SUBJECT TRACT



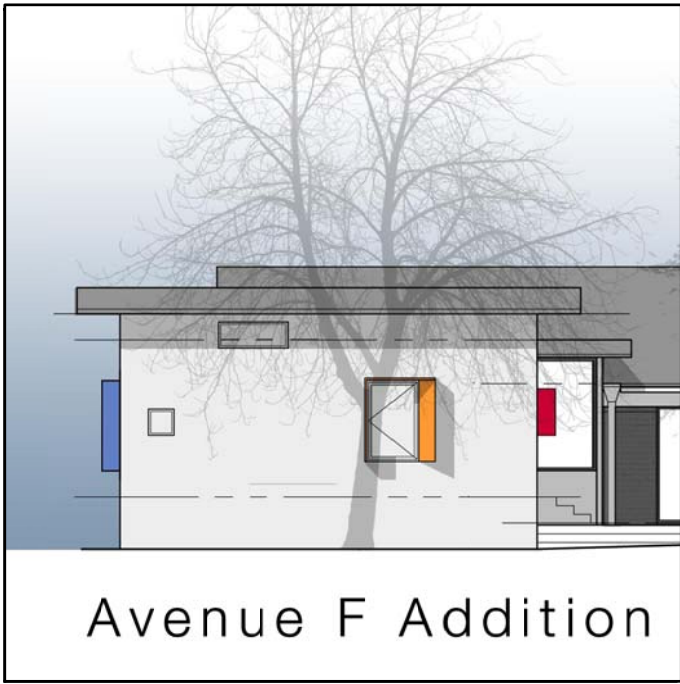
ZONING BOUNDARY

CASE#: LHD-2011-0024
LOCATION: 3813 Avenue F

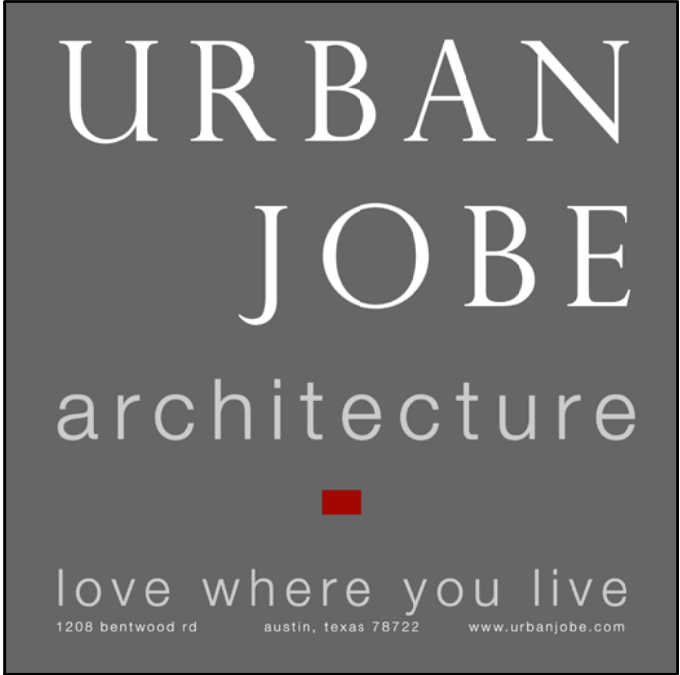


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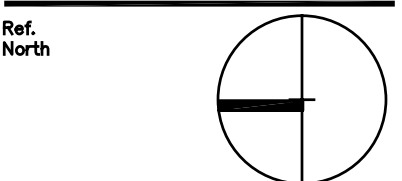
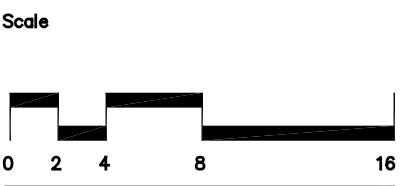
Avenue F Addition



Structural XXX
XXX
TX 78XXX (XXX) XXX-XXXX
(XXX) XXX-XXXX

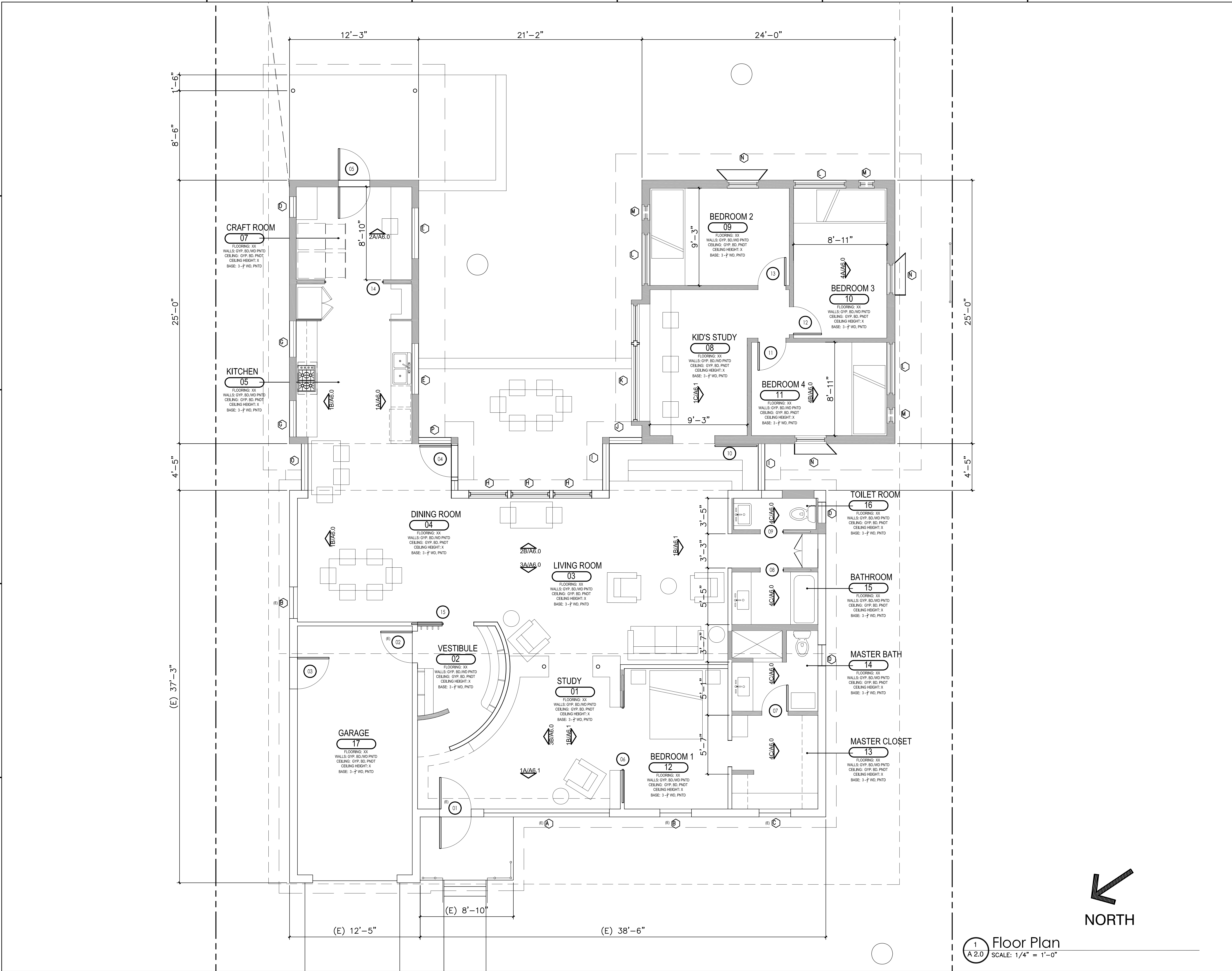
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01/10/12		PRELIMINARY PRICING	CJ	XXX

Project Name
Avenue F Addition
3813 Avenue F
Austin, TX 78705
Project Number
1103
Description
Floor Plan



Sheet
A 2.0

or
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1 Floor Plan
A 2.0 SCALE: 1/4" = 1'-0"



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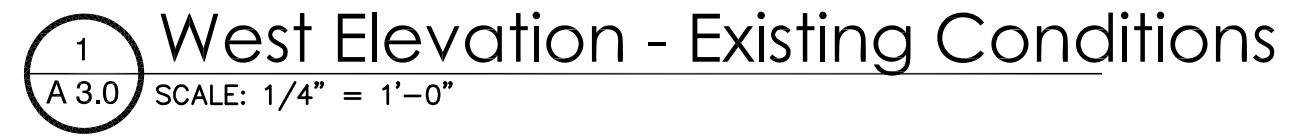
The drawing shows a building elevation with a gabled roof and a central entrance. To the left is a circular seal for the Registered Architect, Caville U. Morse, State of Texas, established in 1854. Below the drawing is a scale bar marked 0, 2, 4, 8, and 16 feet. To the right of the scale bar is a north arrow pointing upwards, labeled 'Ref. North'.

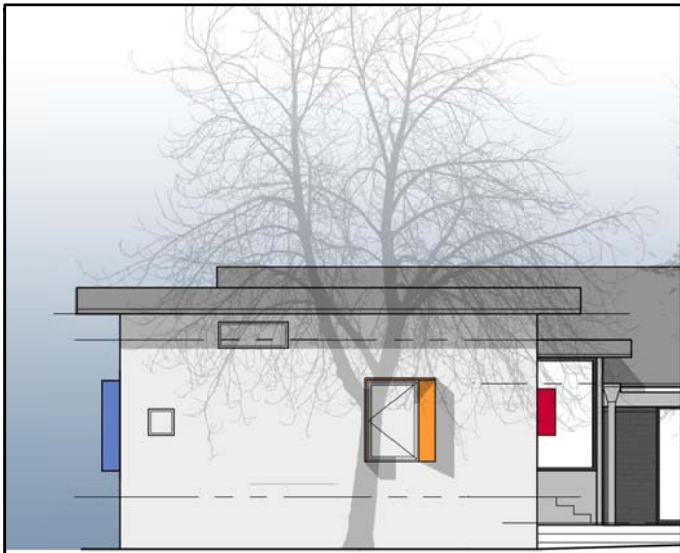
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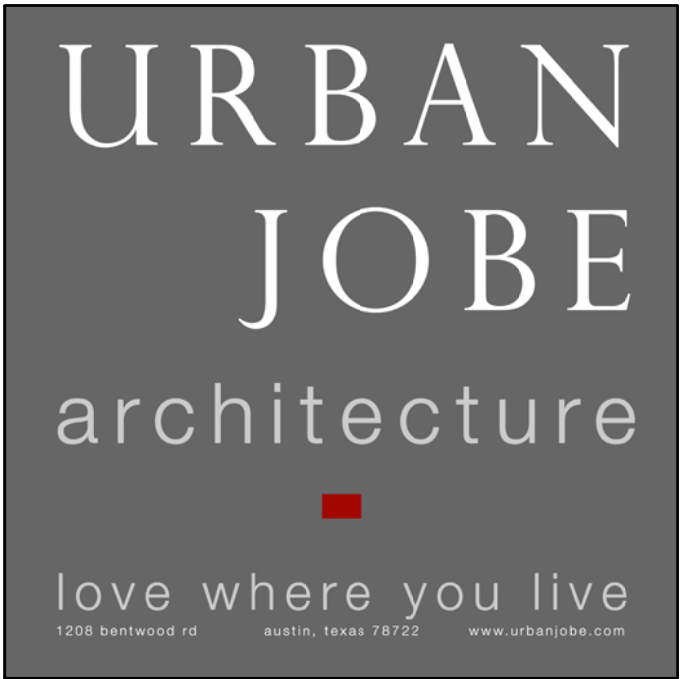
A 3.0

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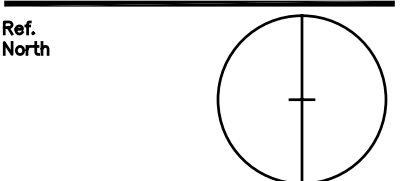
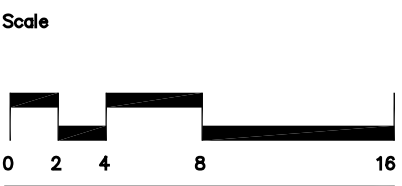
Avenue F Addition



Structural XXX
XXX
TX 78XXX (XXX) XXX-XXXX
(XXX) XXX-XXXX

No.	Date	Issues and Revisions	By	Check
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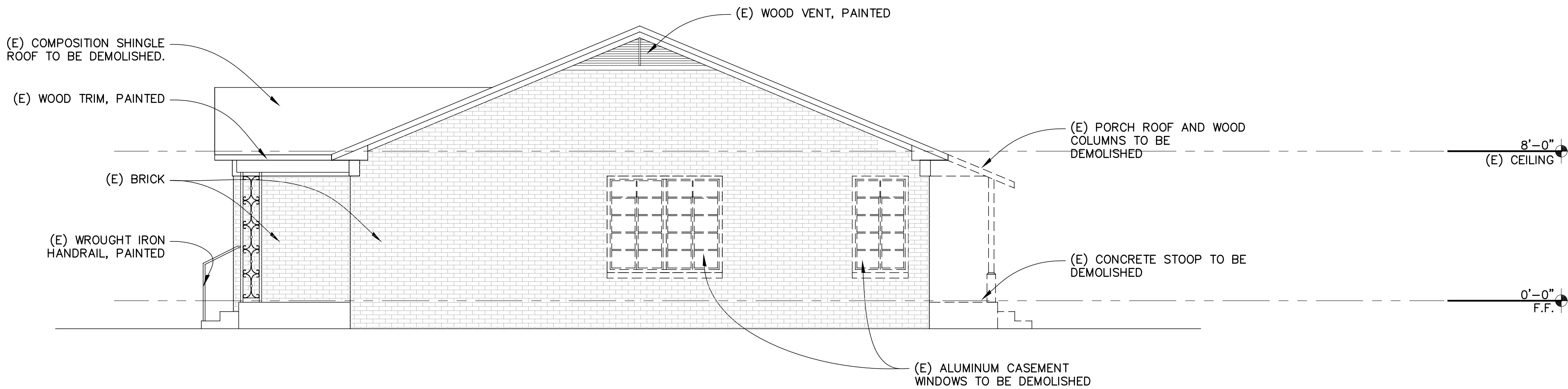
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Avenue F Addition
3813 Avenue F
Austin, TX 78705
Project Number
1103
Description
South Elevation



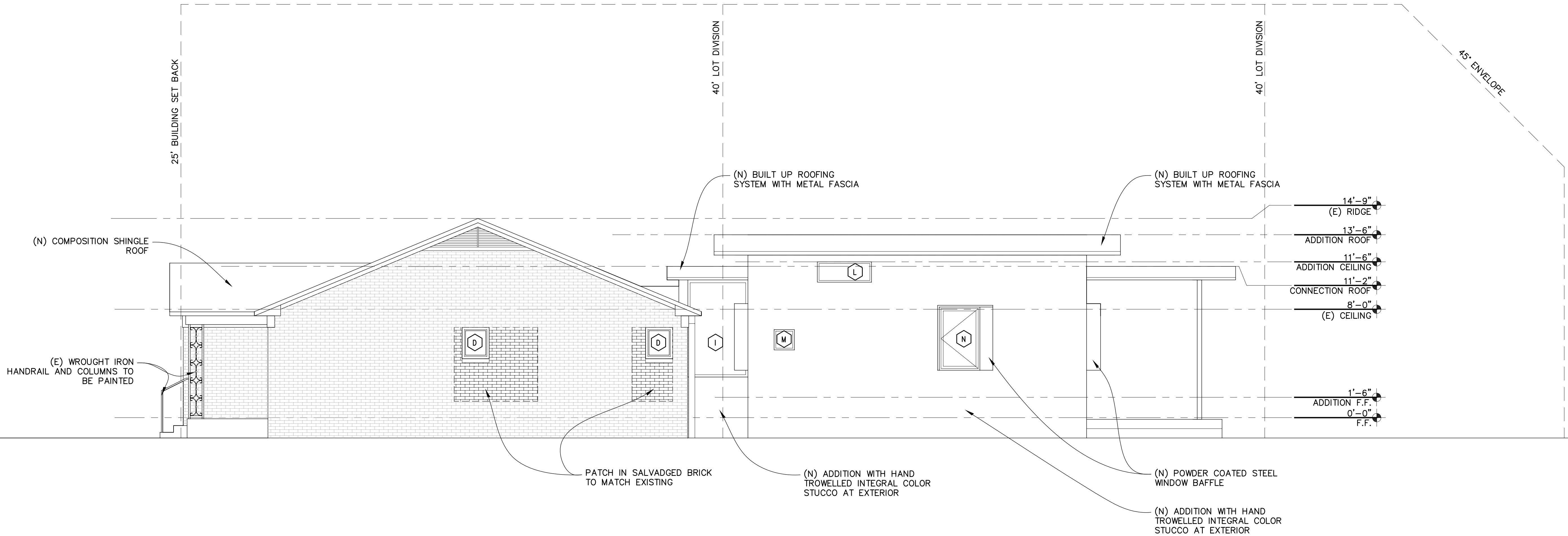
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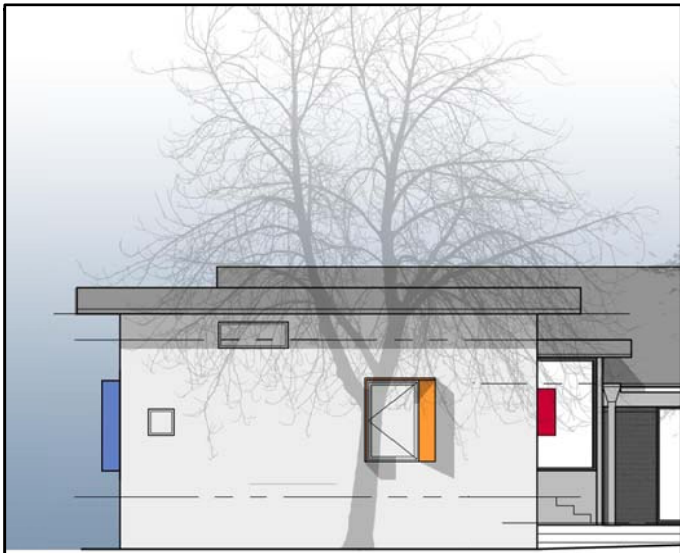
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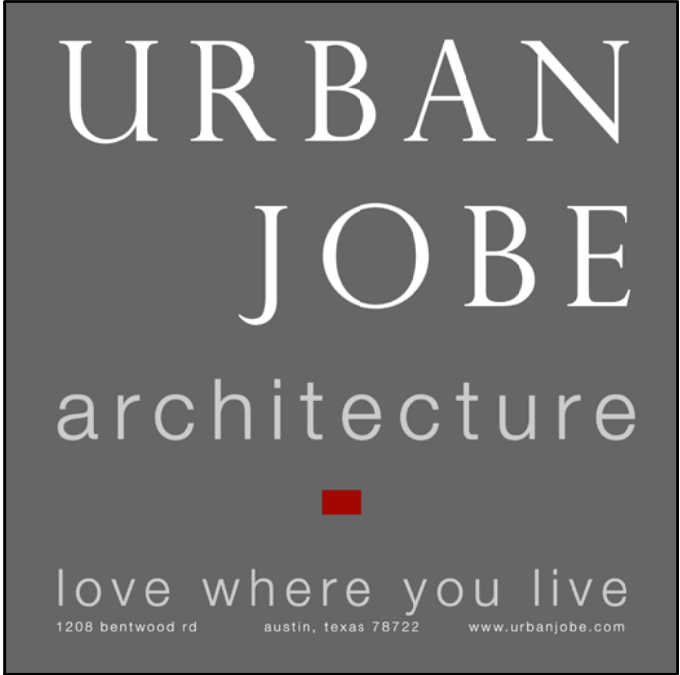
1 South Elevation - Existing Conditions
A 3.1 SCALE: 1/4" = 1'-0"



2 South Elevation - New Work
A 3.1 SCALE: 1/4" = 1'-0"



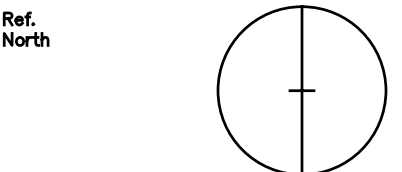
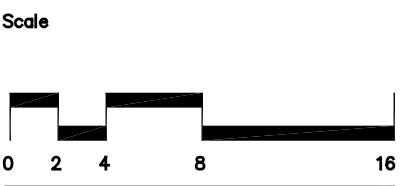
Avenue F Addition



Structural XXX
XXX
TX 78XXX (XXX) XXX-XXXX
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01/10/12		PRELIMINARY PRICING	CJ	XXX

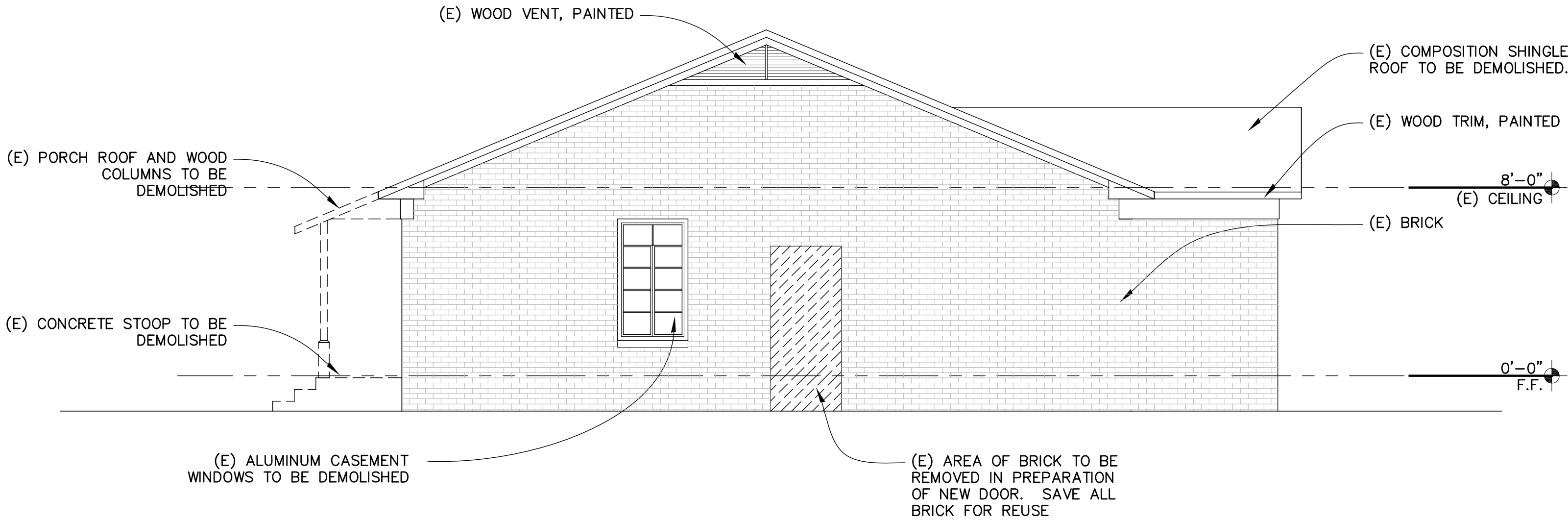
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Avenue F Addition
3813 Avenue F
Austin, TX 78705
Project Number
1103
Description
East Elevation



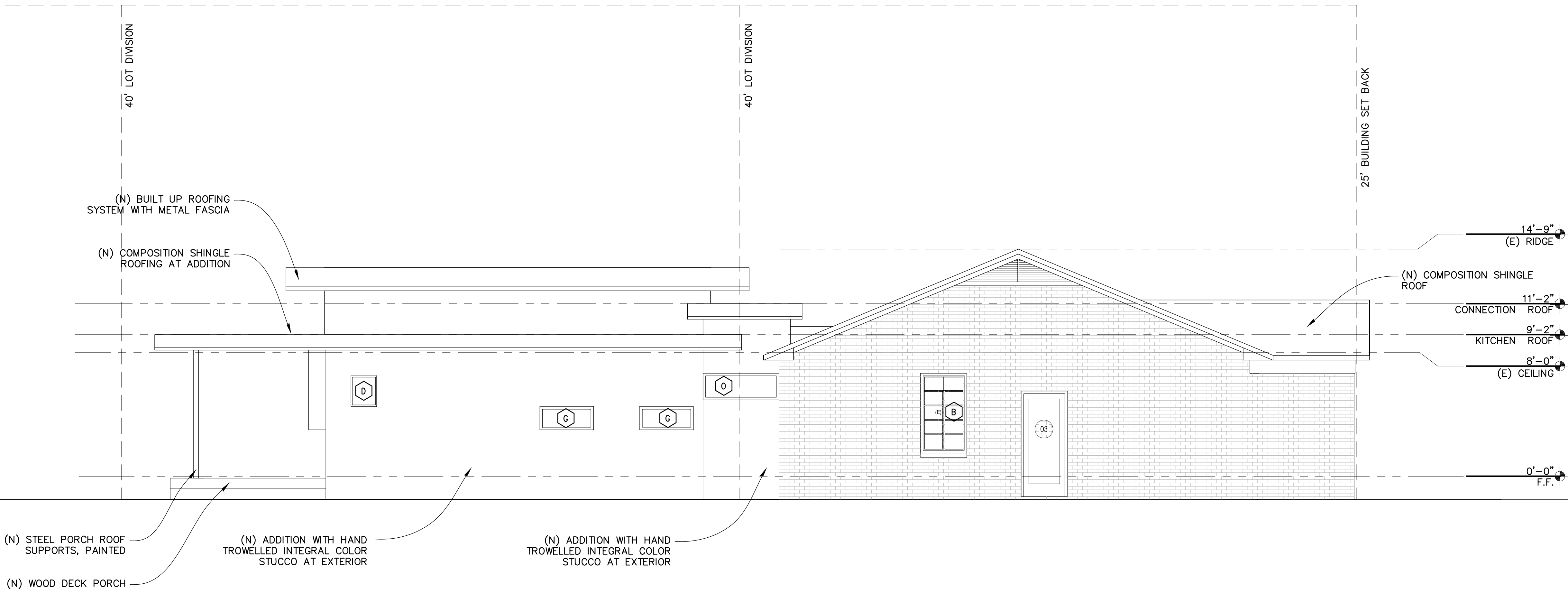
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A 3.2

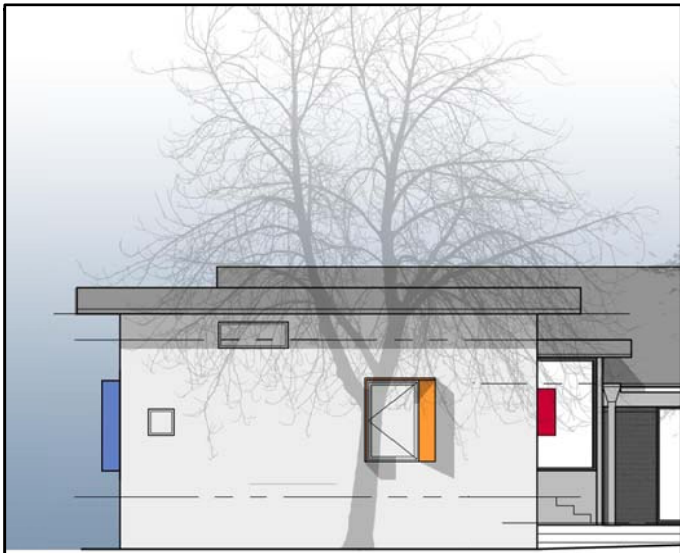
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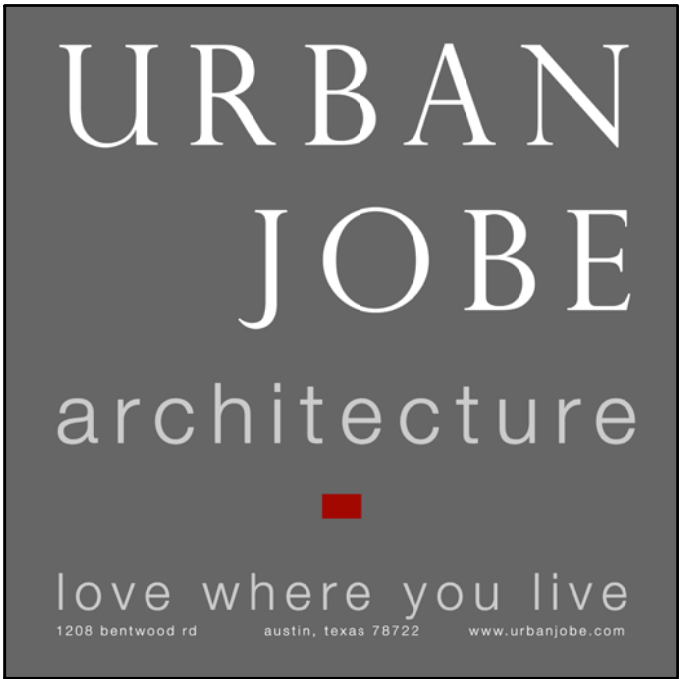
1 East Elevation - Existing Conditions
A 3.2 SCALE: 1/4" = 1'-0"



2 East Elevation - New Work
A 3.2 SCALE: 1/4" = 1'-0"



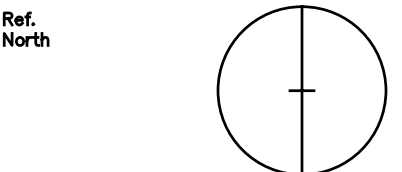
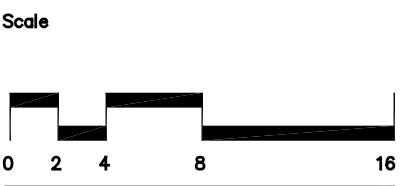
Avenue F Addition



Structural XXX
XXX
TX 78XXX (XXX) XXX-XXXX
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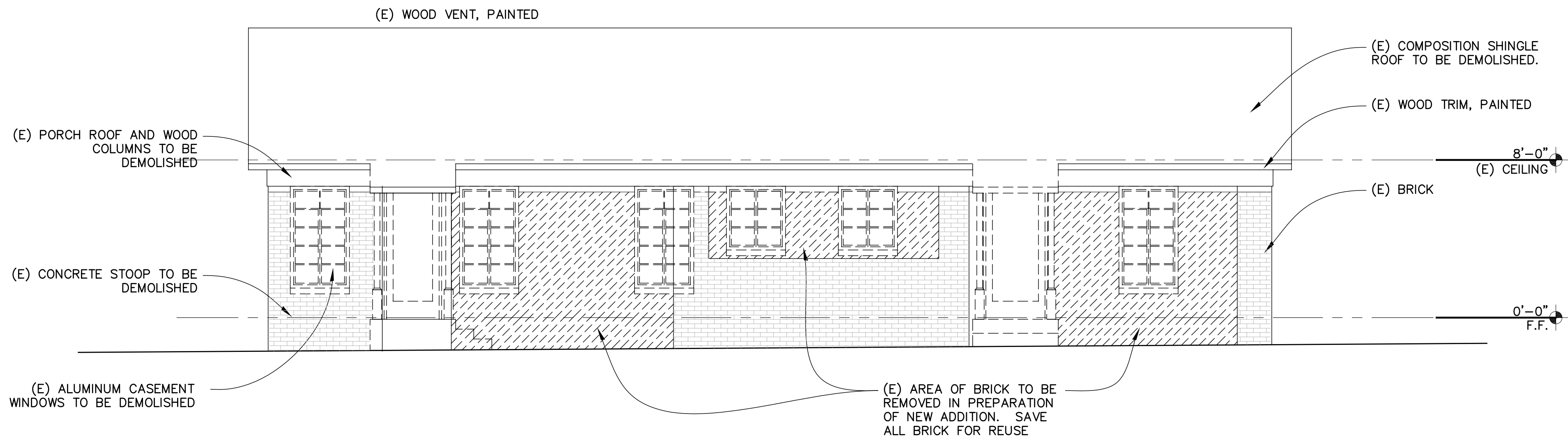
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Avenue F Addition
3813 Avenue F
Austin, TX 78705
Project Number
1103
Description
North Elevation



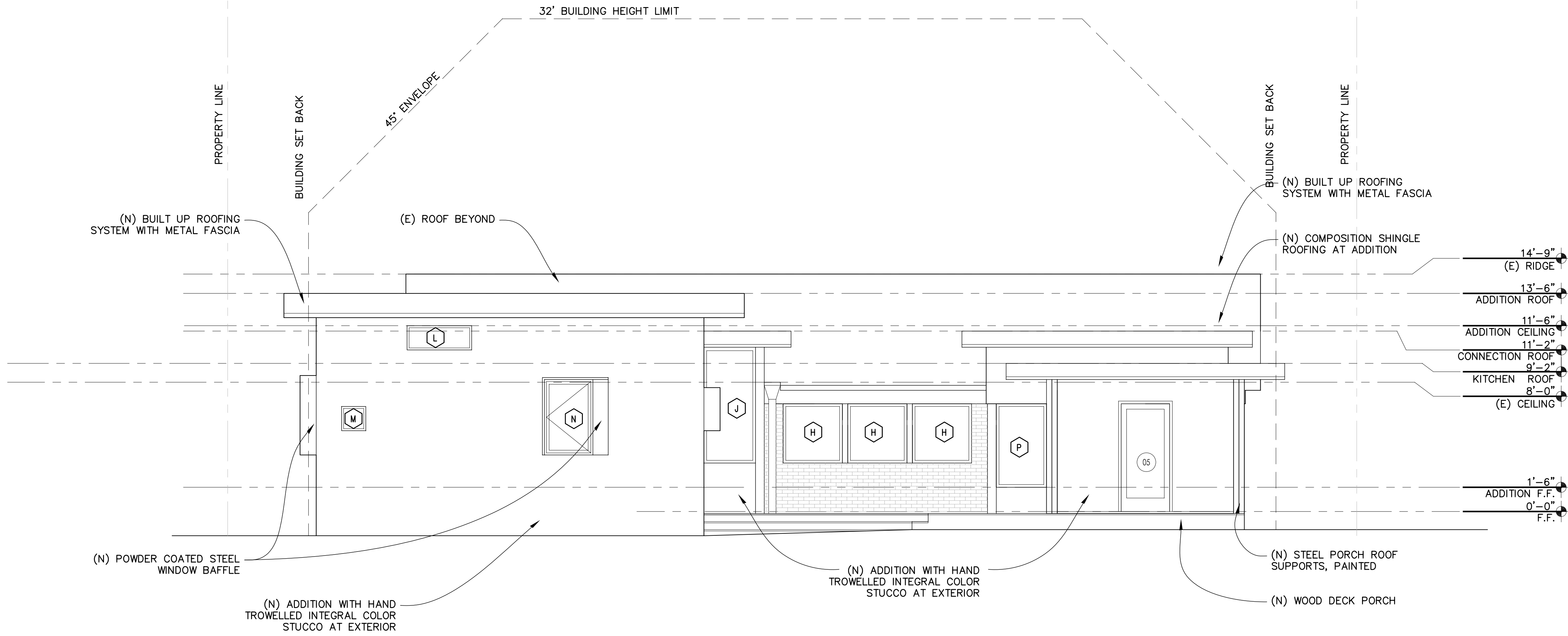
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A 3.3

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1 North Elevation - Existing Conditions
A 3.3 SCALE: 1/4" = 1'-0"



2 North Elevation - New Work
A 3.3 SCALE: 1/4" = 1'-0"

