

**Historic Landmark Commission  
February 27, 2012  
National Register Historic Districts  
NRD-2012-0013  
Old West Austin  
2604 Wooldridge Drive**

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**PROPOSAL**

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Construct a 2-story addition on a c. 1955 house.

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**PROJECT SPECIFICATIONS**

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The existing building is a blond brick, one-story house with a two story wing to one side. The house has a front-facing garage set back from the front façade, and two rear projecting wings. The house is a mid-century ranch design with full height 4:3 double-hung windows with shutters, and hipped roofs.

The applicant proposes to demolish the existing garage and a rear wing (approximately 960 sq. ft.) and construct a new garage, with second story above, to provide for an additional 2,000 sq. ft. of living space.

The applicant proposes to side the first story of the addition with brick to match the existing house, but is requesting consideration of two options for siding the second story. The first option is to use brick to match the existing, and the alternate is to use horizontal hardiboard siding. Windows on the new addition will be of similar pattern and dimension as the existing windows.

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**STAFF COMMENTS**

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The house is list as non-contributing to the Old West Austin National Register Historic District. The Old West Austin National Register Historic District has no design guidelines for new construction. Applicable general design review guidelines state:

- The distinguishing original qualities or character of a property and its environment shall not be destroyed. Removal or alteration of any historic material or distinctive architectural features should be avoided.
- All properties shall be recognized as products of their own time. Alterations which have no historical basis and which seek to create an earlier appearance shall be discouraged.
- Changes, which have taken place in the course of time may have acquired significance in their own right, and shall be recognized and respected.
- Distinctive stylistic features or examples of skilled craftsmanship, which characterize a property, shall be treated with sensitivity.
- Contemporary designs for alterations and additions to existing properties are appropriate when such alterations and additions do not destroy significant historic, architectural, or cultural material and are compatible with the size, scale, color, material, and character of the property, neighborhood, or environment.

- Whenever possible, new additions or alterations to structures shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the structure would not be impaired.

The scale and style of the addition and the façade changes are compatible with the architectural character of the National Register District.

**STAFF RECOMMENDATION**

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Staff recommends approving release of the permit with use of either brick or horizontal hardiboard siding at the second level addition.

PHOTOS

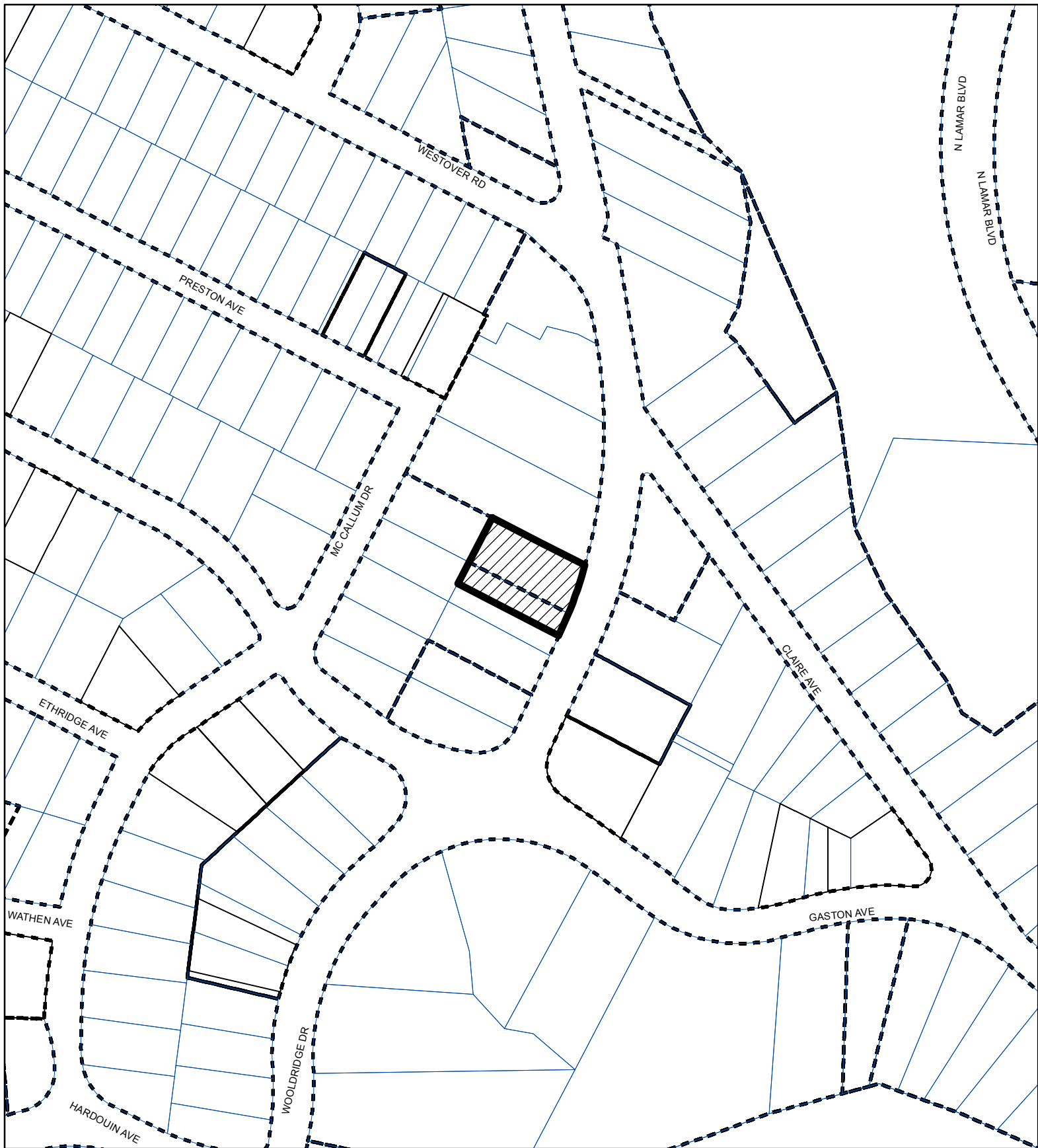
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Front façade of 2604 Wooldridge



Front façade of 2604 Wooldridge



SUBJECT TRACT



ZONING BOUNDARY

CASE#: NRD-2012-0013  
LOCATION: 2604 Wooldridge Drive



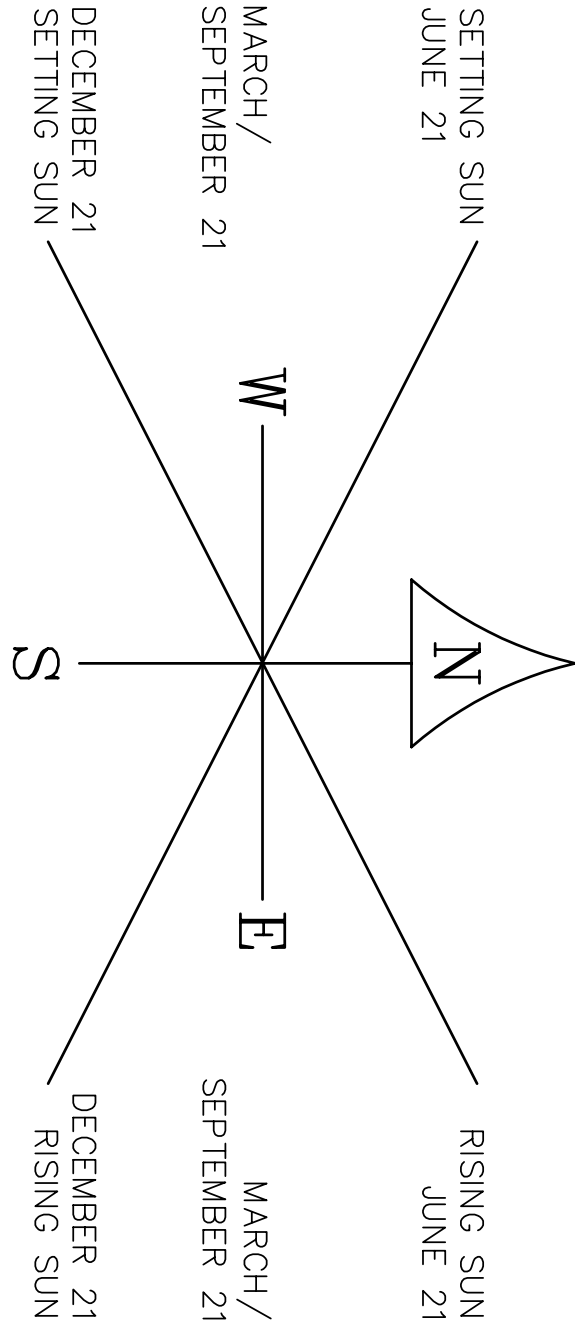
This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

This product has been produced by the Planning and Development Review Department for the sole purpose of geographic reference. No warranty is made by the City of Austin regarding specific accuracy or completeness.



LEGAL DESCRIPTION:  
Being all of Lot 21 and the North 45 feet of Lot 23, Block 17, Pemberton Heights, Section Eight (8), Austin, Travis County, Texas according to the plat recorded in Book 4, Page 29 of the Plat Records of Travis County, Texas.

The contours and elevations shown hereon were calculated from an on-the-ground survey and are based upon interpolating a 600' contour picked off of the U.S.G.S. Quadrangle Map of West Austin .



total lot  
0.455 Acres.  
19814 Sq.ft.

Impervious Cover Calculations:

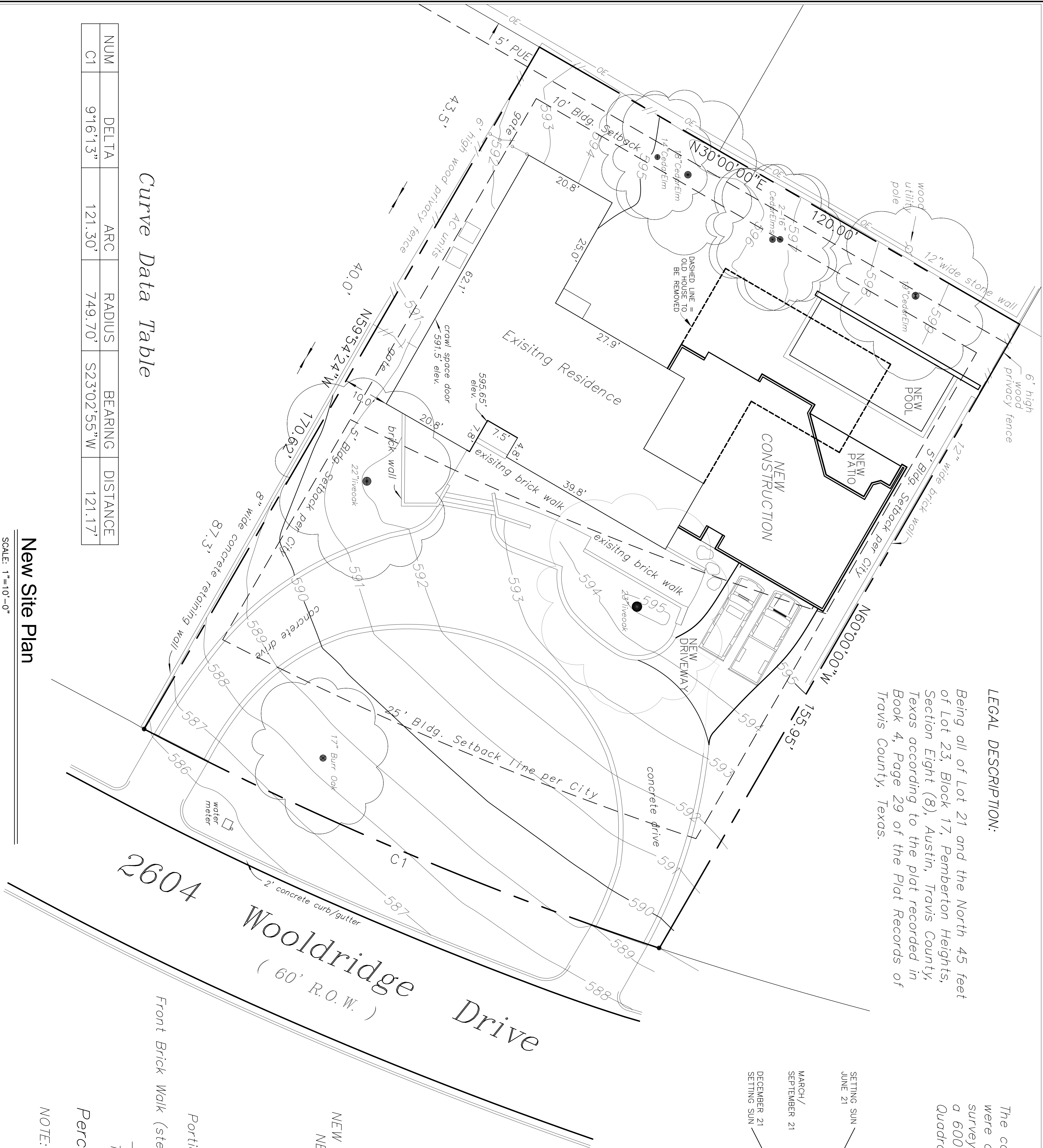
Lot Total = 19,833 S.F.

- NEW Lower level House = -3,525 S.F.
- NEW Rear Covid Patio = -159 S.F.
- NEW Garage = -629 S.F.
- NEW Conc. Stoop= 25 S.F.
- NEW Driveway = 621 S.F.
- NEW Retaining Wall = 41 S.F.
- NEW pool coping = 58 S.F.
- NEW Covid Entry = 16 S.F.
- Ret. Walls to remain = 121 S.F.
- Portion of Circular Drive = 3,034 S.F.
- Covered Entry = 40 S.F.
- Covered front door) = 539 S.F.
- AC pods = 24 S.F.

Total Impervious Cover = 8832 S.F.

Percentage of Total Lot = 44.5%

NOTE: Area calculated included only those sections within the actual Lot perimeter.



NUM	DELTA	ARC	RADIUS	BEARING	DISTANCE
C1	9°16'13"	121.30'	749.70'	S23°02'55"W	121.17'

Curve Data Table

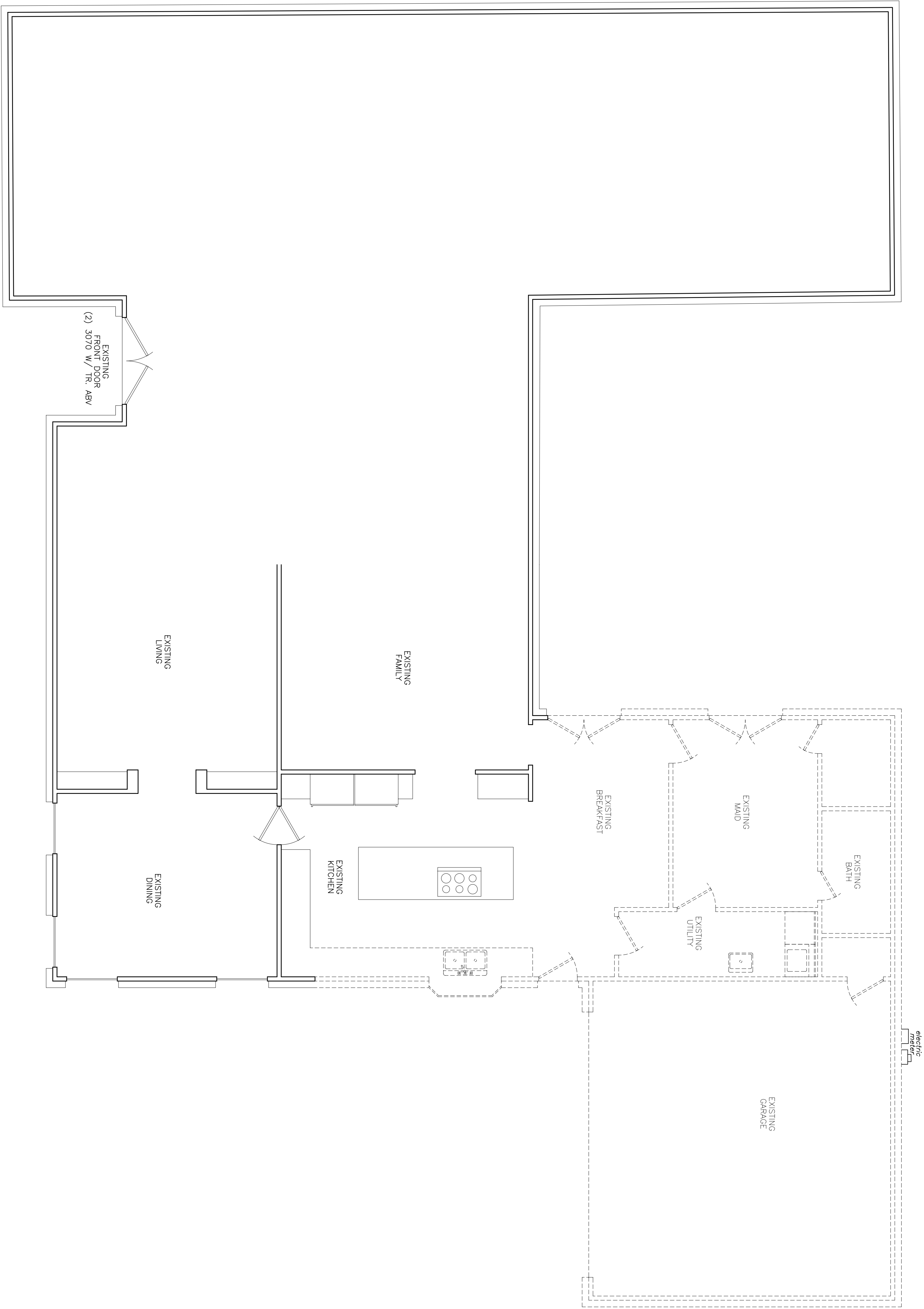
New Site Plan

SCALE: 1"=10'-0"

Thomas Bullion & Melissa Ferrell  
2604 Wooldridge Drive Austin, Texas 78703

SkyWest Builders

512 - 801 - 1536



Demolition Floor Plan

SCALE: 1/4"=1'-0"

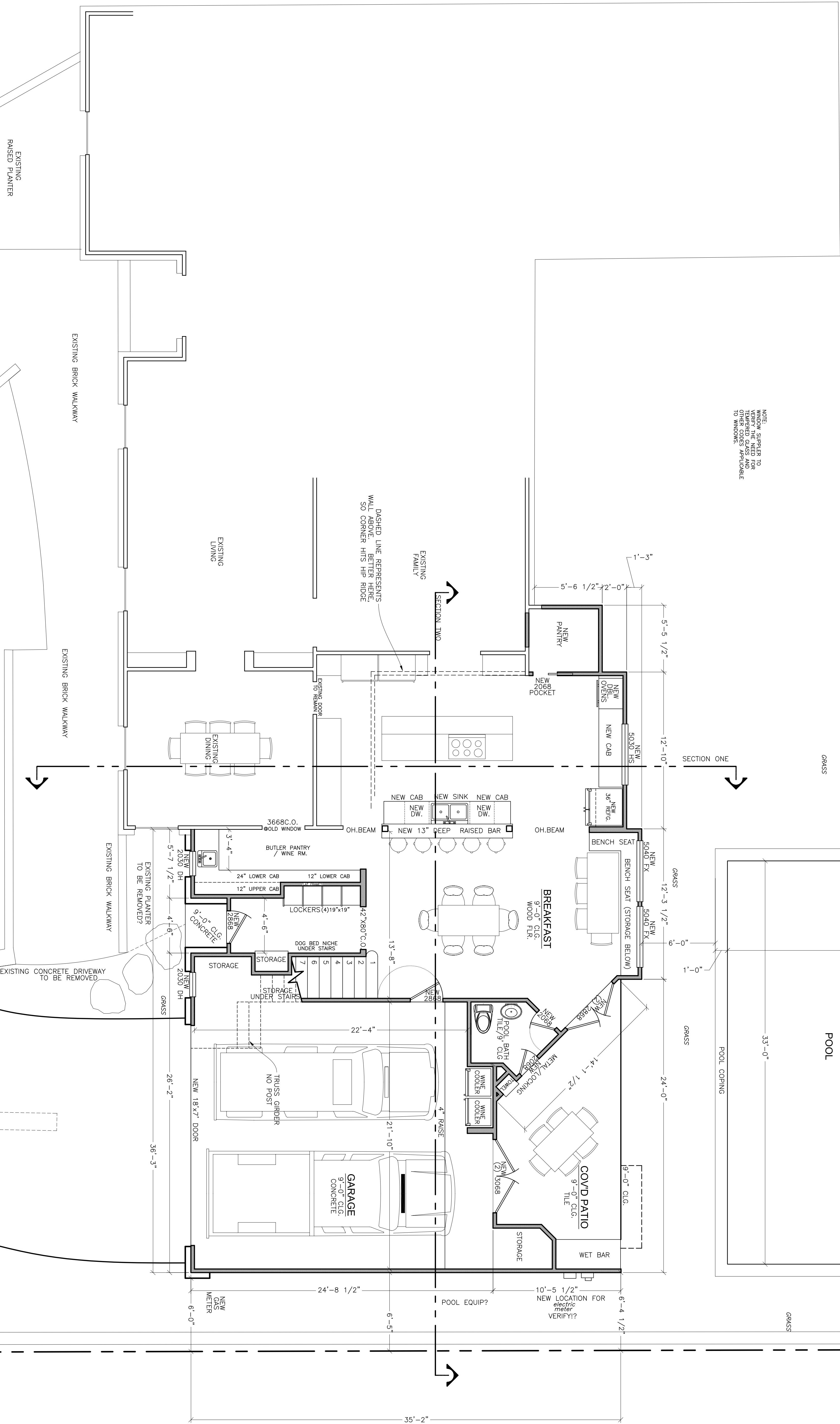
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OPTION ONE "MORE SIDING option"

NOTE:  
WINDOW SUPPLIER TO  
VERIFY ALL GLASS TO BE  
TEMPERED GLASS AND  
TO WINDOWS.



New Lower Floor Plan

SCALE: 1/4"=1'-0"

Thomas Bullion & Melissa Ferrell  
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SHEET  
**A-3**  
OF 2 SHT'S  
02/06/12 JDA

3'6" PLT. HT.

VAULTED CEILING

OPEN TO BELOW LADDER

LOCKABLE GATE

5'X5' OPENING

5' HEADER 3640' FX

VAULTED CEILING

VAULTED CEILING

36" HALF WALL

6'2" PLT. HT.

5' HEADER 3640' FX

OPEN TO GAME BELOW

SCALE: 1/4"=1'-0"

[illegible]

SCALE: 1/4"=1'-0"

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SHEET

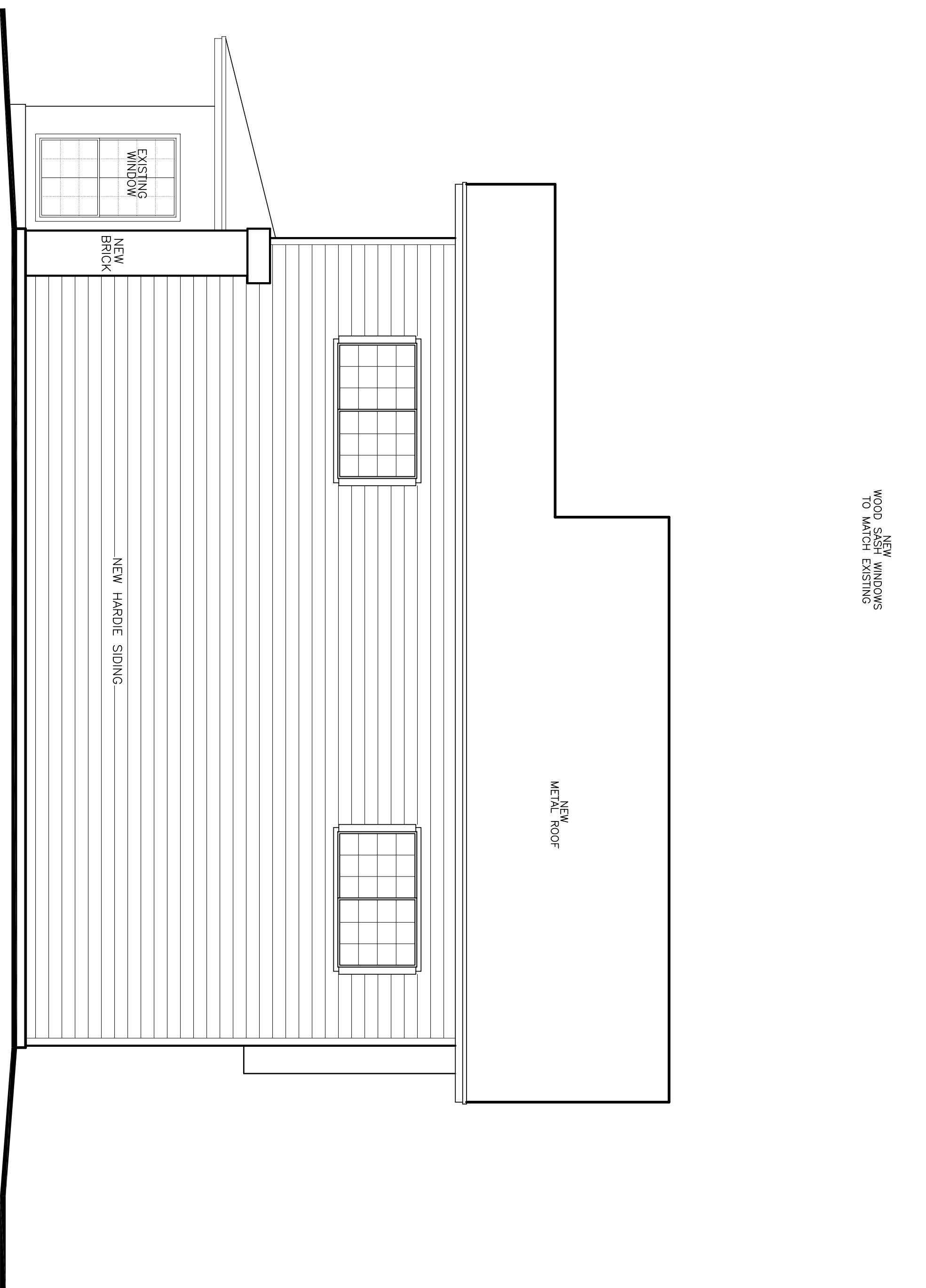
**A-4**

OF \_\_\_\_\_ SHT'S

02/06/12 JDA

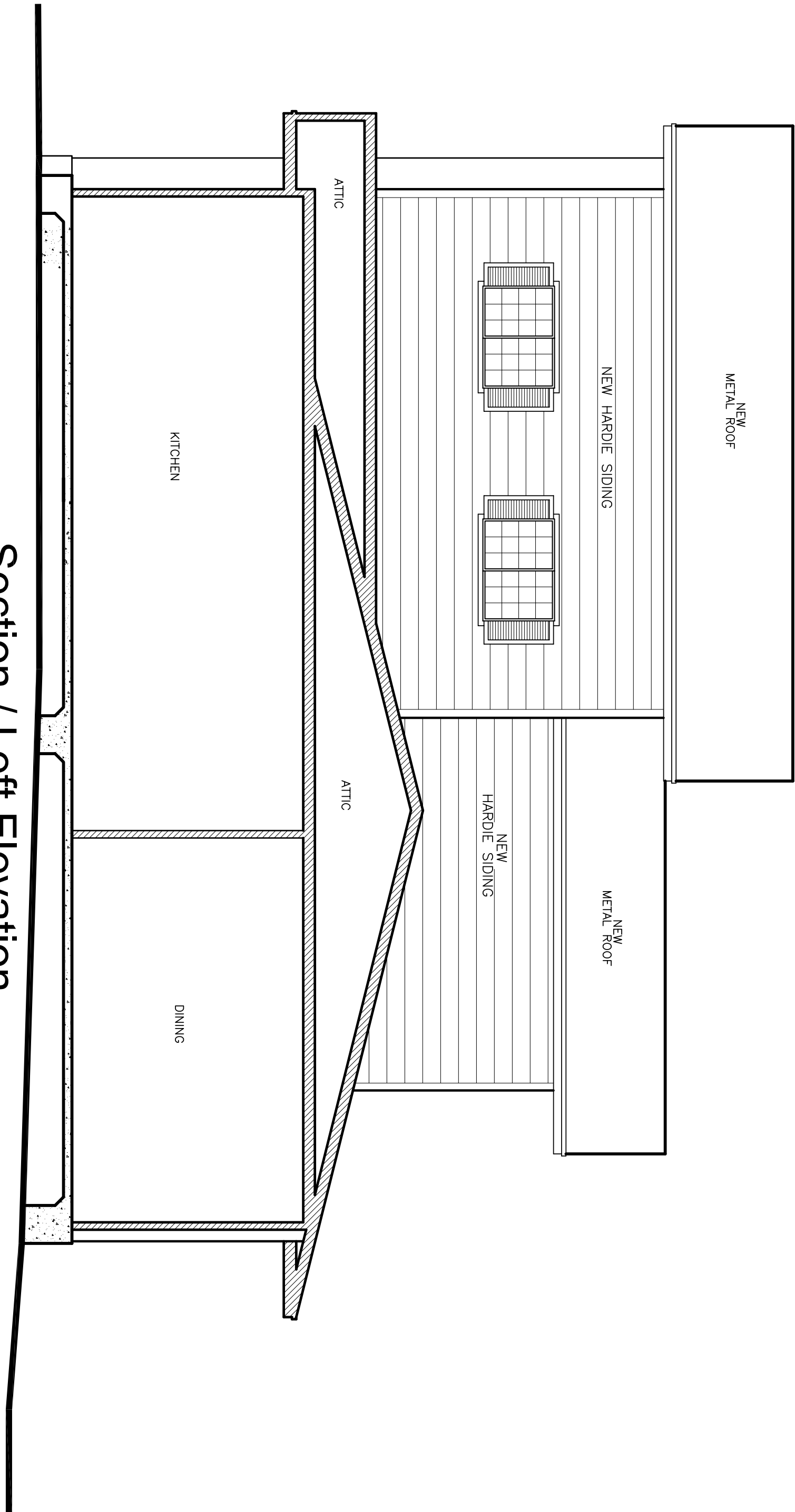






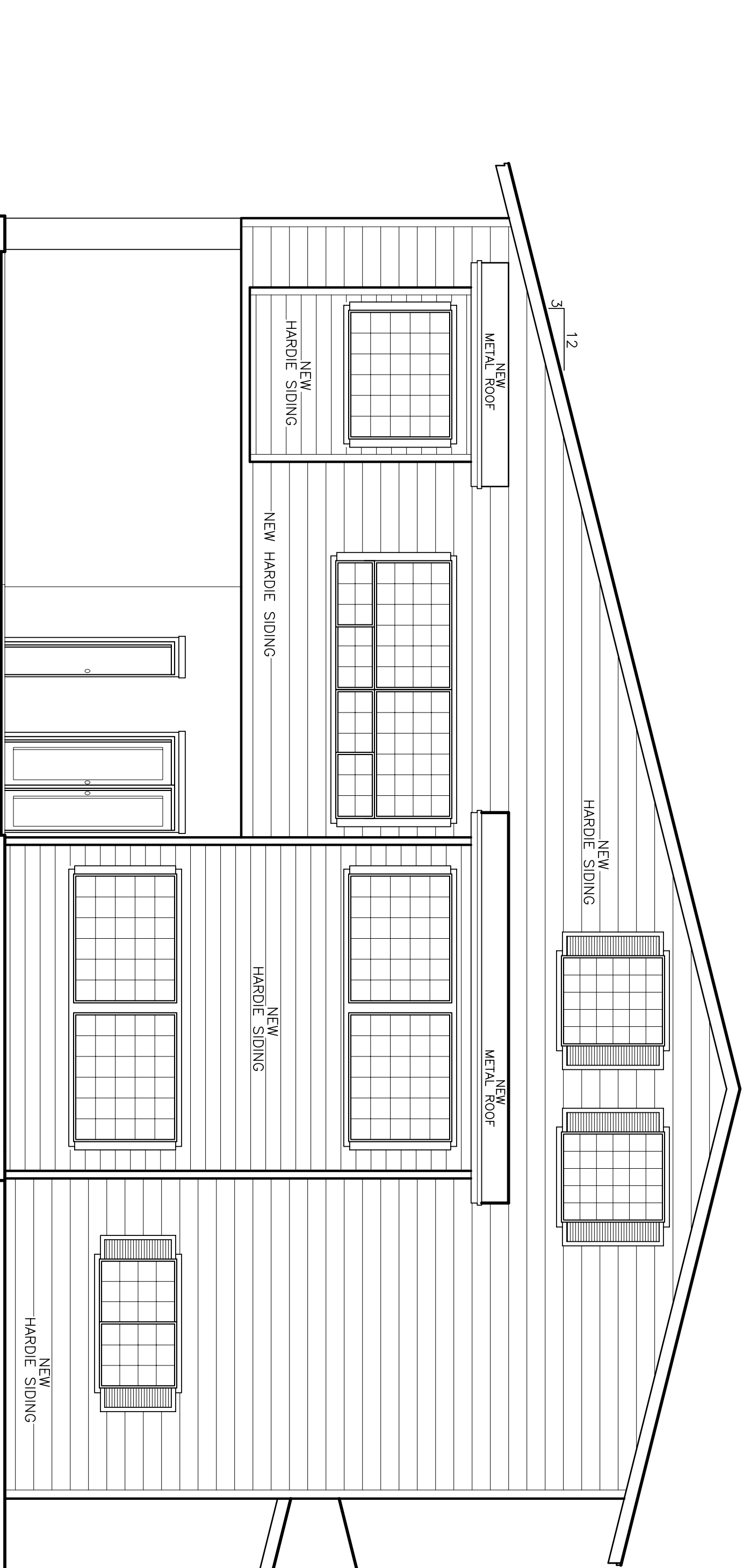
Right Elevation

SCALE: 1/4"=1'-0"



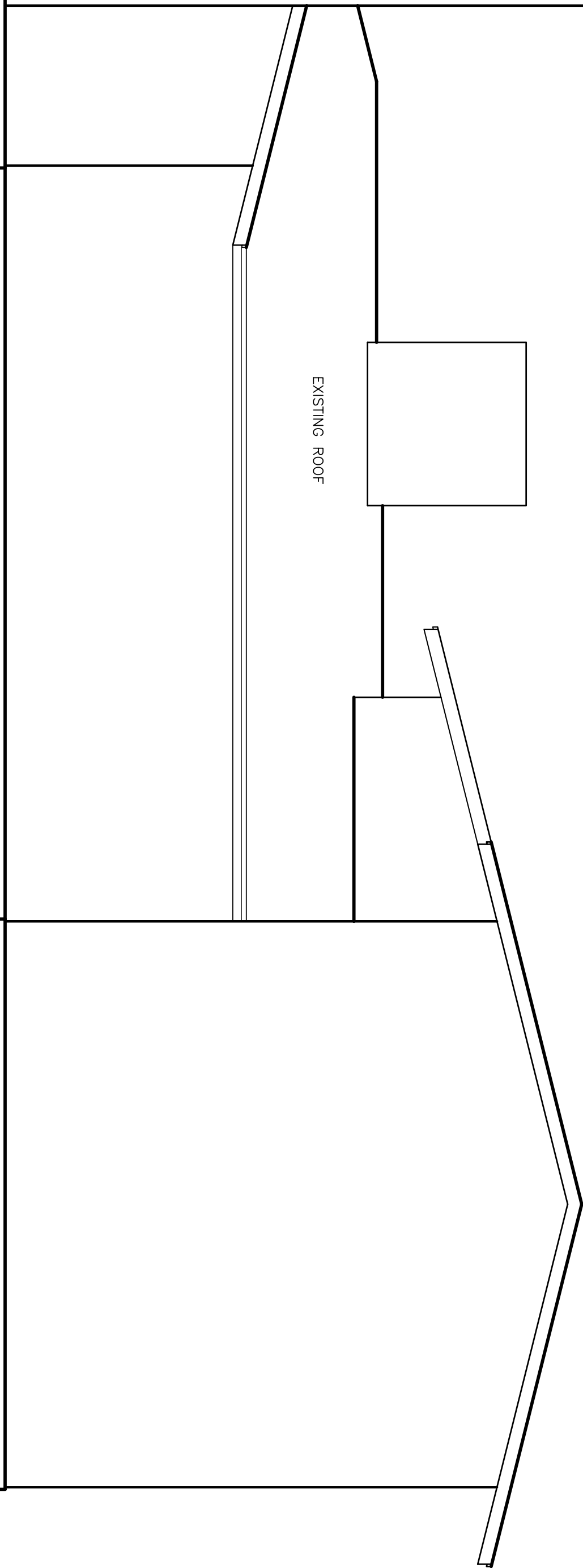
Section / Left Elevation

SCALE: 1/4"=1'-0"



Rear Elevation

SCALE: 1/4"=1'-0"



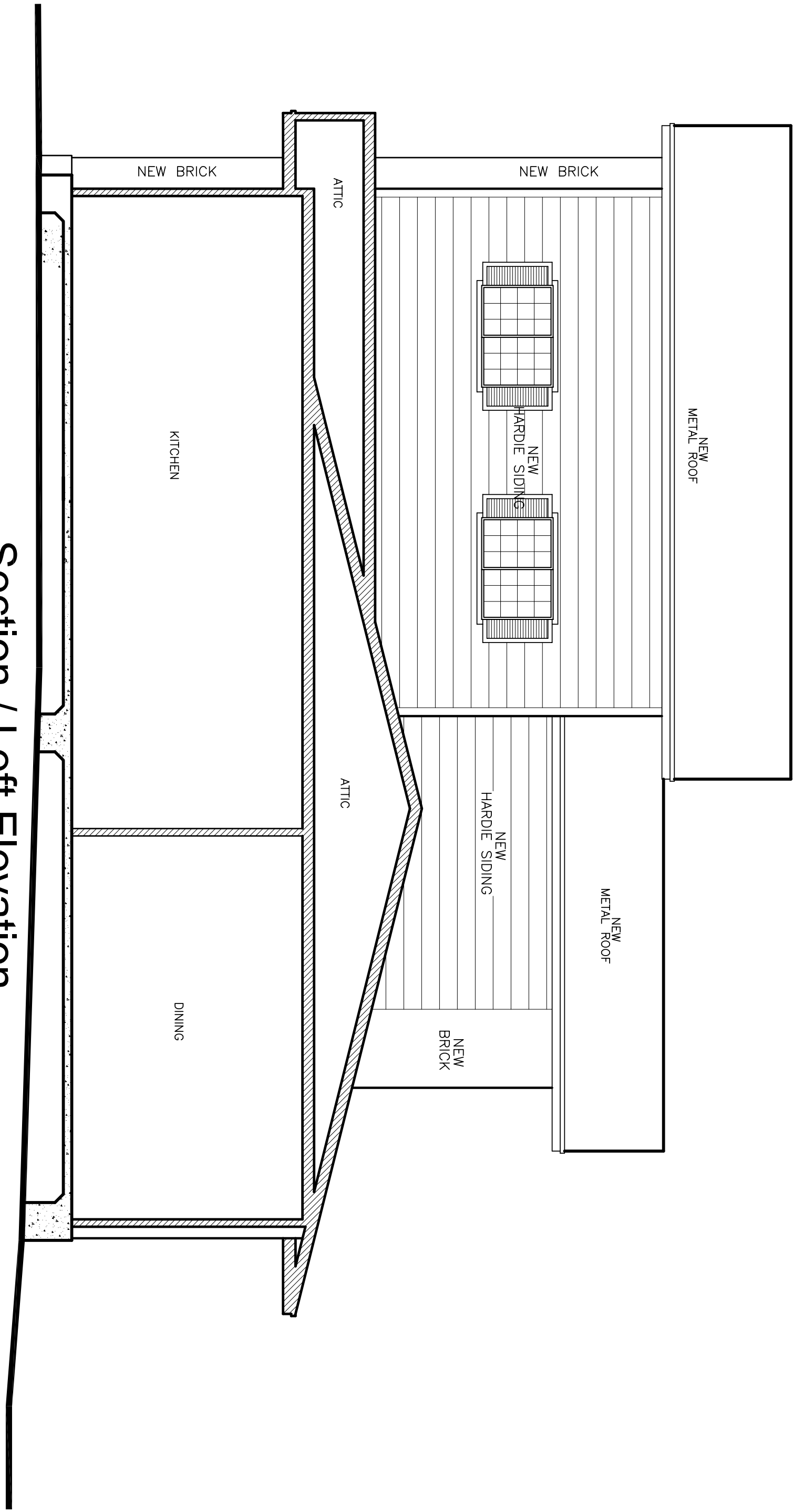
OPTION ONE "MORE SIDING option"





Right Elevation

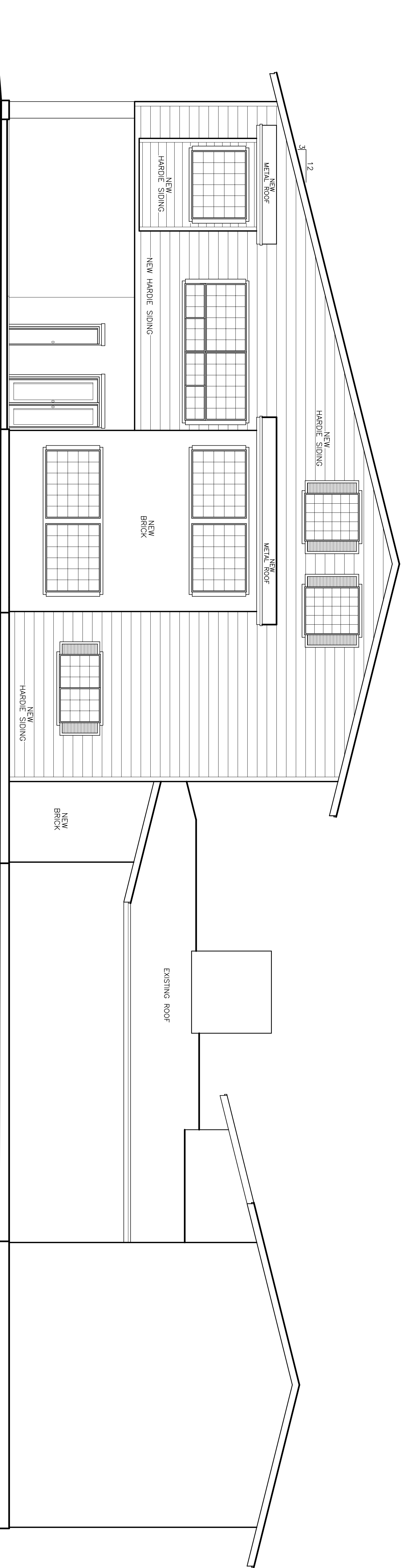
SCALE: 1/4"=1'-0"



Section / Left Elevation

SCALE: 1/4"=1'-0"

OPTION TWO "brick option"



Rear Elevation

SCALE: 1/4"=1'-0"