

IN=Inspected    NI=Not Inspected    NP=Not Present    D=Deficiency				Inspection Items
IN	NI	NP	D	



F. Picture 8

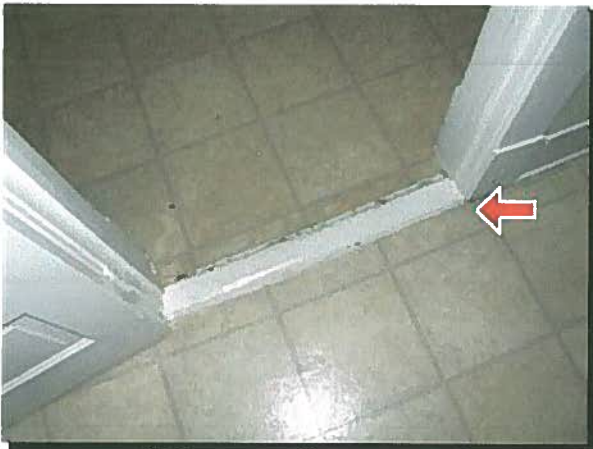
There are several trip hazards door thresholds. These transition areas should be made smooth, or gently ramped to their respective planes.



F. Picture 9 Lifted floor covering, raised threshold.



F. Picture 10



F. Picture 11



F. Picture 12

☒ ☐ ☐ ☒ G. Doors (Interior & Exterior) - Comments:

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Cosmetic items and obvious holes are not included in this report. It is common in the course of climate changes that some doors may bind mildly or the latches may need adjustment.

☒ Doors and frames should be sealed, made weather tight. Seals at front and rear entry doors are deficient and should be replaced.

☒ ☐ ☐ ☒ H. Windows - Comments:

Double pane window seals may be broken without having a visible amount of condensation built up between the panes. Obviously fogged windows are noted when observed but complete inspection is not possible due to light conditions, installed screens, dirt on surfaces and rain at time of inspection. Windows that are blocked by occupant storage/furnishings are not lifted

☒ Though some were functional, windows and frames are generally in a state of disrepair, deteriorating. Paint on frames tested present for lead. Replacement recommended. Double pane window replacements are available that match the current style, but will provide better energy efficiency.



H. Picture 1



H. Picture 2



H. Picture 3

☒ ☐ ☐ ☒ I. Stairways (Interior & Exterior) - Comments:

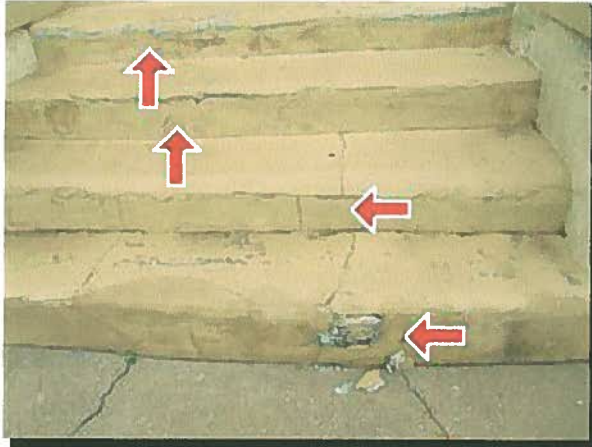
☒ Stair handrails missing, required at front entry.

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I. Picture 1

☒ Front step masonry is deteriorating(cement application over flag/limestone). Mason to repair.



I. Picture 2

☒ Interior staircase: treads near top of stairs are soft. Inspector could not access underneath staircase to observe support structure. Recommend contractor to access area to determine need for structural enhancements.



I. Picture 3



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☒ Grippable handrail needed at interior stairway.



I. Picture 4

Existing handrails at improper height. Current standard is minimum 34-36".



I. Picture 5

☐ ☒ ☐ ☐ J. Fireplace / Chimney - Comments:

The inspection does not include the adequacy of draft or condition of flue tiles.

☒ ☐ ☐ ☒ K. Porches, Balconies, Decks and Carports - Comments:

The inspector does not determine the existence or adequacy of flashing at the attachment to the house.

☒ Guard/handrails recommended at left side of front patio.

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K. Picture 1

☒ Deck balusters are improperly spaced greater then 4 inches apart as called for by today's child safety standards



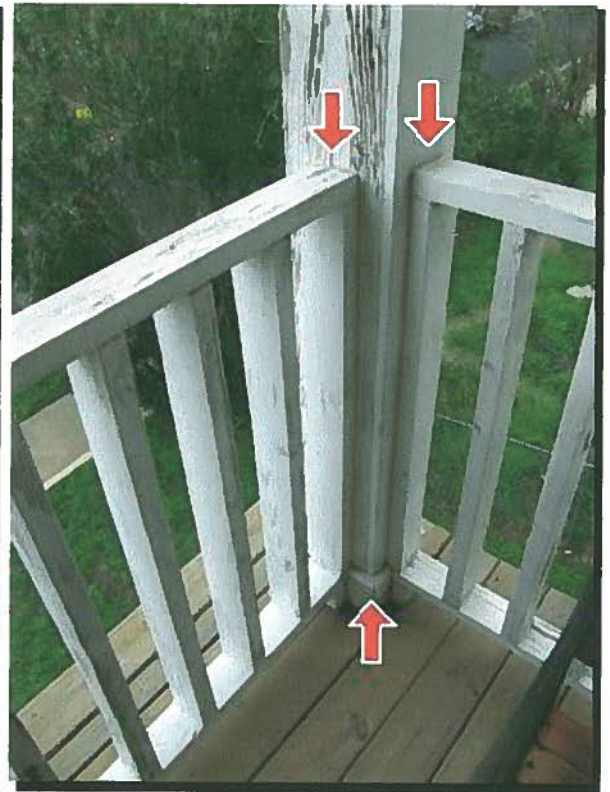
K. Picture 2

☒ Additional metal brackets/hangers recommended at handrail to post abutments for longevity, added safety.

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K. Picture 3



K. Picture 4

☒ Windows recommended for upstairs rear patio/deck. Walls do not appear to be properly constructed for window installation, and will require modification and upgrades. These could coincide with modification of roof slope (see roof covering section for clarification).



K. Picture 5



K. Picture 6

☐ ☒ ☐ ☐ L. Other - Comments:

Fences are not inspected unless a swimming pool is present. Retaining walls are only checked if failure would impede the homes structural integrity



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## II. ELECTRICAL SYSTEMS

☒ ☐ ☐ ☒

### A. Service Entrance and Panels

**Electrical Service Conductors:** Overhead service, Copper, 220 volts

**Sub-Panel Capacity:** 200 AMP

**Panel Type:** Circuit breakers

**Electric Panel Manufacturer:** GENERAL ELECTRIC

**Ground System:** Unknown

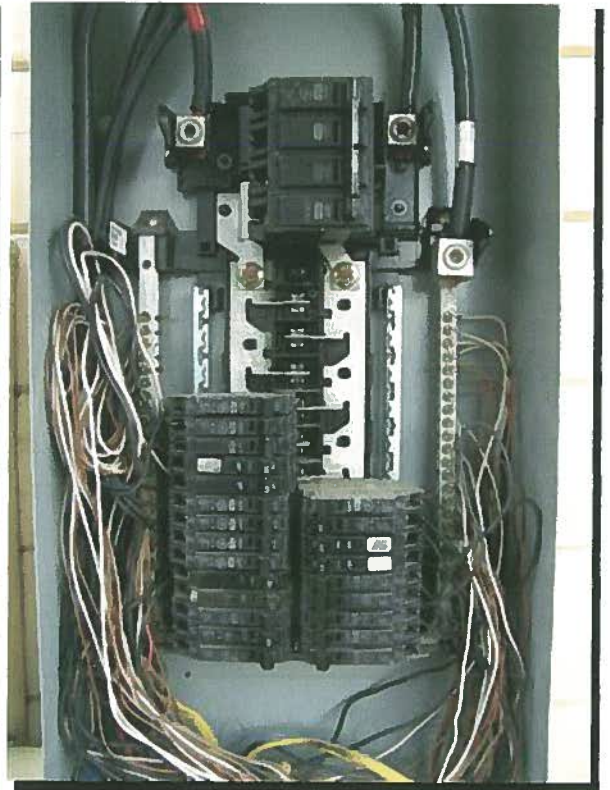
*Comments:*

Ancillary wiring items not inspected include but are not limited to: telephone, cable, speaker, computer, photocells, low voltage, hard wiring on smoke detectors, electric gates and doors, yard and tree lighting. Intercom systems are not inspected.

I could not locate the ground wire. The ground wire may not be present or could be hidden from view by construction materials. I recommend an electrician verify or install a ground wire.



A. Picture 1



A. Picture 2

☒ There are no Arc Fault Interrupt (AFI) breakers present as called for by recent TREC reporting standards. AFI breakers are used to protect living area branch circuits that are not GFI (Ground Fault Interrupt) protected.

☒ The electrical service conductors clearance (outside) from the ground is less than 18 feet. Line should be raised by a licensed electrician.

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A. Picture 3

☒ ☐ ☐ ☒ B. Branch Circuits - Connected Devices, and Fixtures

**Type of Branch Circuit Wiring:** Copper

**Type of Wiring:** Romex, Knob and Tube, Conduit

**Comments:**

The inspector does not check 220-volt outlets. Random testing of electrical outlets only; not all outlets are tested. In the event aluminum wiring is reported it should be reviewed by a licensed electrician. We do not report copper clad aluminum wiring unless clearly labeled so at the electrical panel. Only light fixtures that appear to have been improperly installed are tested for proper operation. Burnt bulbs are not reported. Light fixtures with daylight sensors or that are on timers can not be tested for proper operation

☒ The attic is insulated and "Knob and Tube" wiring is present. As a safety rule Knob and Tube wiring should never have insulation covering this wire or over heating can occur. This is a potential fire hazard and should be repaired. Replacement of old wiring to be performed.



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B. Picture 1



B. Picture 2



B. Picture 3



B. Picture 4 Completely covering bare conductors.

☒ Irregular splices/connections made up outside of rated boxes, into older knob and tube wiring. This is a hazard and should be repaired. Older conductors to be replaced. Licensed electrician to evaluate for repairs.



B. Picture 5



B. Picture 6

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B. Picture 7

☒ Open ground, ungrounded circuits observed in upstairs areas.



B. Picture 8



B. Picture 9

☒ There are no GFI (Ground Fault Interrupt) protected outlets in locations called for by today's standards (all kitchen, baths, non dedicated garage below 6', laundry, and exterior outlets)



B. Picture 10

☒ Several of the interior light fixtures are missing proper bulb protection (wire cages/glass globes)



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B. Picture 11

☒ There is no outlet found in bath. Recommend a duplex GFCI outlet be installed by a licensed electrician.



B. Picture 12

☒ There are no smoke detectors installed in some required areas. Today's standards now require smoke detectors in and directly outside of (hallways) all sleeping areas and on each level for multiple story structures. Additionally today's modern detectors are interconnected, so if one sounds they all sound

☒ Exposed connections/boxes in crawlspace. Repair.



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B. Picture 13

☒ Older cloth insulated branch circuitry observed in crawlspace. Recommend upgrading to current standard conductors (Romex) for safety.



B. Picture 14

### III. HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS

#### ☒ ☐ ☐ ☐ A. Heating Equipment

**Type of System (Heating):** Forced Air

**Energy Source:** Gas

**Number of Heat Systems (excluding wood):** Two

**Heat System Brand:** RHEEM

*Comments:*

Full evaluation of gas heat exchangers requires dismantling of furnace and is beyond the scope of this inspection. Heat pump systems are not tested when ambient temperatures are above 80 degrees Fahrenheit to avoid damage to system.

Unit functioning at time of inspection.

#### ☒ ☐ ☐ ☒ B. Cooling Equipment

**Type of System (Cooling):** Central air conditioner unit

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**Temperature Differential::** Unknown (below safe operating temperature, 60 degrees)

**Number of Cooling Systems:** Two

**Central Air Manufacturer:** RHEEM

*Comments:*

The inspector does not determine the adequacy (tonnage/manual load calculation) or efficiency of the system. Humidifiers, motorized dampers, electronic air filters and programmable thermostats are not inspected. Window air conditioning and possible mismatched central units are not checked. An accurate central air conditioning cooling differential test is not possible when the ambient temperature is below 55 degrees Fahrenheit.

☒ At time of inspection the ambient temperature was below 50 degrees. Accurate air conditioning system testing is not possible when temperatures are below 60 degrees fahrenheit. System did properly cycle on/off and appeared to produce sufficiently chilled air during limited test

☒ Remove debris from the secondary drain pans to prevent clogging of drain lines.



B. Picture 1

☒ Today's standards recommend insulating the primary condensation drain lines in attic installed AC systems to prevent condensation drips. Add insulation.

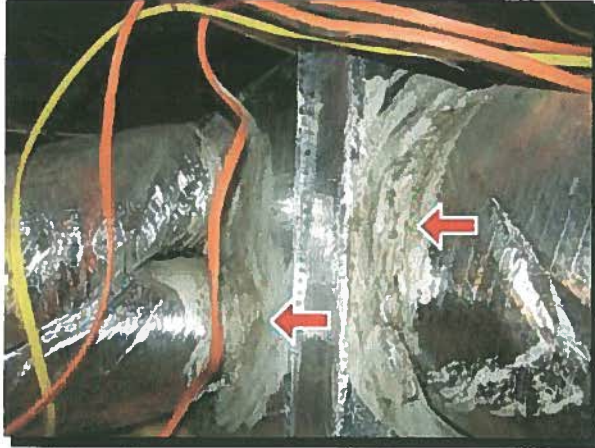
Repair disconnected pipe to exterior at attic penetration.



B. Picture 2

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☒ The cooling system plenum shows signs of past excessive moisture conditions (bio-growth stains). Ensure air flow is not restricted (dirty filters) and the condensation drain line is periodically flushed to prevent drain line blockage



B. Picture 3

☒ ☐ ☐ ☒ C. **Duct System, Chases, and Vents**

**Ductwork:** Insulated Flex Duct

**Comments:**

Inspecting the interior condition of the HVAC supply and return ducts would require vent removal and/or dismantling the equipment plenums and is beyond the scope of this inspection

☒ There are several duct runs that are not strapped up to the roof framing as called for by today's standards

☒ Ducts not stretched and made as straight as possible as required by current standards. Recommend balancing/tuning of ducts for increased efficiency.

Recommend balancing ducts for more even temperature distribution.

#### IV. PLUMBING SYSTEM

☒ ☐ ☐ ☒ A. **Water Supply System and Fixtures**

**Location of water meter:** Front

**Location of main water supply valve:** Front

**Static water pressure reading:**

Extra info : 78 psi

**Comments:**

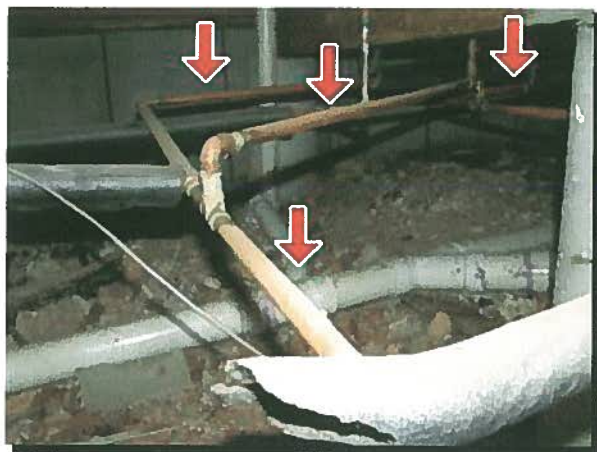
The inspection does not include gas lines or condition of plumbing lines in walls, floors, attic, ground or foundation. Water wells, water-conditioning systems, solar water heating systems, freestanding appliances, and the potability of any water supply are excluded from inspection. Clothes washing machine and Icemaker hose bibs are not tested.

Plumbing and fixtures functional.

☒ Supply pipes not insulated in crawlspace as required.



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A. Picture 1

☒ Galvanized pipes observed in crawlspace. These are known to corrode and fail over time. Plumber should evaluate for remaining pipes, replace as needed.

☒ ☐ ☐ ☒ **B. Drains, Waste, and Vents - Comments:**

The following systems, items, or components are excluded from this inspection: 1.) Drain line for clothes washing machine, or water conditioning systems; 2.) Drain pumps or water ejection pumps, sewer clean-outs, anti-siphon devices, components that are not visible or accessible, exterior plumbing components, and fire sprinkler systems. Drains are tested by flushing water through the system only. Vacant home drain problems may not be detectable until the home is placed back into normal occupancy use.

☒ Home has a combination of original galvanized cast iron and some new PVC drains and vents. Iron lines of this age are known to develop leaks and clogs overtime. Not all drain problems may be detectable. There was one drain line observed in the crawlspace that had collapsed in the soil. This should be evaluated by a licensed plumber for repair. New drain line installation is likely, and depending upon the material used to drain into the main city drain (if still cast iron), an upgrade from the house to the main city line may be necessary. Recommend pulling permits on this item from the City of Austin.



B. Picture 1



B. Picture 2

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B. Picture 3



B. Picture 4 Light removal of soil uncovered a collapsing drain pipe.

☐ ☒ ☐ ☐ C. Water Heating Equipment - Comments:

Water recirculation pumps and electric timers are not tested

☐ ☐ ☒ ☐ D. Hydro-Massage Therapy Equipment - Comments:

In-Line water heaters are not tested.

## V. APPLIANCES

☐ ☒ ☐ ☐ A. Dishwasher - Comments:

☐ ☒ ☐ ☐ B. Food Waste Disposer - Comments:

☒ ☐ ☐ ☒ C. Range Exhaust Vent - Comments:

☒ Hood vent is undersized for range. Recommend upgrade.

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C. Picture 1

☐ ☒ ☐ ☐ D. Ranges, Cooktops and Ovens - Comments:

The inspector does not test self-cleaning, self-bake or broiler functions on ovens.

☐ ☒ ☐ ☐ E. Microwave Oven - Comments:

The inspector does not test for radiation leakage.

☐ ☒ ☐ ☐ F. Trash Compactor - Comments:

☐ ☒ ☐ ☐ G. Mechanical Exhaust Vents and Bathroom Heaters - Comments:

☐ ☐ ☒ ☐ H. Garage Door Operator(s) - Comments:

☐ ☐ ☒ ☐ I. Doorbell and Chimes - Comments:

☐ ☒ ☐ ☐ J. Dryer Vents - Comments:

Dryer vents should be cleaned every 6 months to prevent lint buildup, improve efficiency and to reduce possible fire hazards.



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**VI. OPTIONAL SYSTEMS**☐ ☐ ☒ ☐ **A. Lawn and Garden Sprinkler System - Comments:**

If the sprinkler system is inspected as part of this inspection, it is tested in manual mode only. Unless obvious underground water leaks are not inspected for.

☐ ☐ ☒ ☐ **B. Swimming Pools, Spas, Hot Tubs, and Equipment - Comments:**

If the swimming pool is inspected as part of this inspection only components readily accessible are inspected. Timers, freeze guards, automatic chlorinators or ozonator's if present are not inspected. Underground leaks or seepage (unless obvious) can not be detected.

☐ ☐ ☒ ☐ **C. Outbuildings - Comments:**☐ ☐ ☒ ☐ **D. Outdoor Cooking Equipment - Comments:**☒ ☐ ☐ ☐ **E. Gas Supply System - Comments:**

Unless there are obvious indications, gas supply leaks are not inspected for or reported on

No leaks detected at time of inspection.

☒ Gas lines located in attic exposed to foot traffic in service areas should have structural supports encasing pipes so as to protect from being stepped on, loosened.

☐ ☐ ☒ ☐ **F. Private Water Wells (A coliform analysis is recommended) - Comments:**☐ ☐ ☒ ☐ **G. Private Sewage Disposal (Septic) System - Comments:**

Limited scope inspection only. Complete inspection of the underground tank system would require excavation and is beyond the scope of this inspection.

☐ ☐ ☒ ☐ **H. Whole-House Vacuum Systems - Comments:**☐ ☐ ☒ ☐ **I. Other Built-in Appliances - Comments:**