

IN=Inspected NI=Not Inspected NP=Not Present D=Deficiency				Inspection Items
IN	NI	NP	D	



F. Picture 8

☒ ☐ ☐ ☒ G. Doors (Interior & Exterior) - Comments:

Cosmetic items and obvious holes are not included in this report. It is common in the course of climate changes that some doors may bind mildly or the latches may need adjustment.

☒ All exit doors to exterior to be made fire rated.

There should be illuminated exit signs viewable from exiting all rooms.

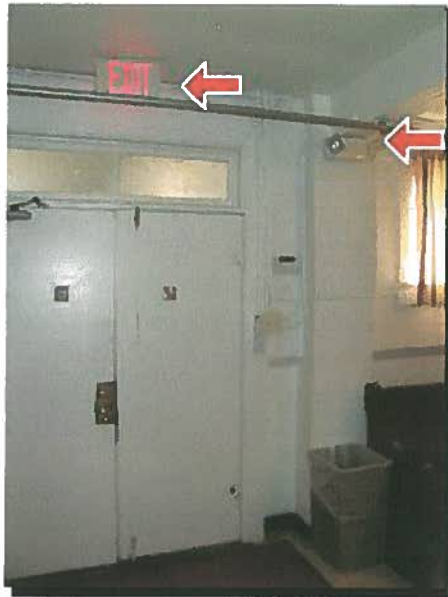


G. Picture 1 Not fire rated, no illuminated exit sign or emergency lighting.



G. Picture 2 Missing signage, illumination.

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G. Picture 3 Properly done with appropriate signage and illumination.



G. Picture 4 Signage, but no emergency illumination.



G. Picture 5 Not fire rated.

☒ Exterior doors, frames and thresholds are deteriorated. Require replacement.

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G. Picture 6

☒ ☐ ☐ ☒ H. Windows - Comments:

Double pane window seals may be broken without having a visible amount of condensation built up between the panes. Obviously fogged windows are noted when observed but complete inspection is not possible due to light conditions, installed screens, dirt on surfaces and rain at time of inspection. Windows that are blocked by occupant storage/furnishings are not lifted

☒ Windows are all in disrepair, rotted. Frames are deteriorated and require replacement.



H. Picture 1



H. Picture 2 Glass falling out.



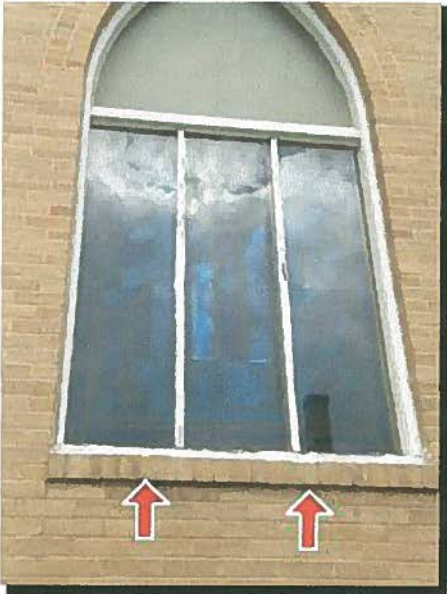
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H. Picture 3 7 arched, 7 basement windows per side require replacement.



H. Picture 4 Rotted.



H. Picture 5 Frames failing.

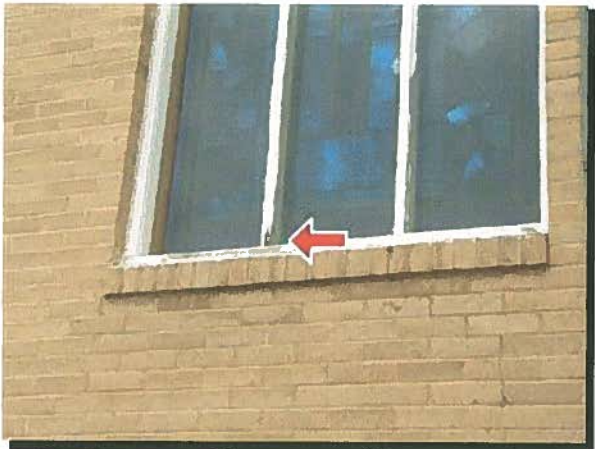


H. Picture 6 Rotted.

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H. Picture 7 All frames and glazing should be replaced.



H. Picture 8 At rear of building..



H. Picture 9 Frames failing, glass falling outward.

☒ Windows not safety rated in required areas. Plexiglass has been inserted in most lower level windows. These should be replaced with properly rated safety glass.

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H. Picture 10 Improper glazing.



H. Picture 11 Plexiglass.



H. Picture 12 Almost entire lower section is plastic/ plexiglass.



H. Picture 13

☒ ☐ ☐ ☒ I. Stairways (Interior & Exterior) - Comments:

☒ Graspable handrails missing in interior locations. Where rails are present they are too wide to grip. Most interior rails are loose. All interior railings should be updated to conform to current standards :graspable; 36 inches in height; where open to fall balusters to be spaced no greater than 4 3/8 apart; able to withstand 200lb load vertical and horizontal.



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I. Picture 1



I. Picture 2



I. Picture 3

☐ ☐ ☒ ☐ J. Fireplace / Chimney - Comments:

The inspection does not include the adequacy of draft or condition of flue tiles.

☒ ☐ ☐ ☒ K. Porches, Balconies, Decks and Carports - Comments:

The inspector does not determine the existence or adequacy of flashing at the attachment to the house.

☒ Rails are loose at posts, walls. Stonework is deteriorated in areas and does not support posts and railing as required (200 lb vertical and lateral). Additional support needed. Masonry/stone may be

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required to be replaced. A qualified mason should evaluate and repair. (harder, more dense and durable stone may be advised).

Railings to be installed per current standards of 36 inches in height, baluster spacing no more than 4 3/8 inches apart, support 200 lb load vertically and laterally, graspable.



K. Picture 1



K. Picture 2



K. Picture 3 Not repairable; replace.



K. Picture 4 Not repairable, replace stone.



K. Picture 5



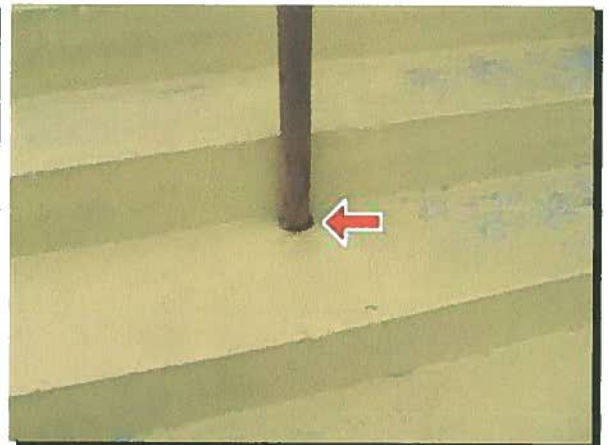
K. Picture 6



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K. Picture 7



K. Picture 8



K. Picture 9



K. Picture 10 Deteriorated stone.



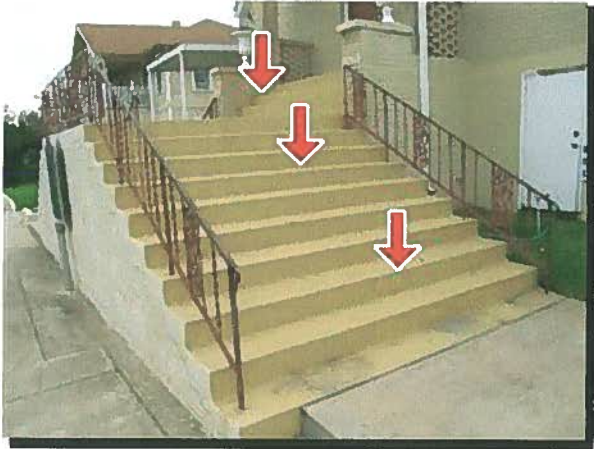
K. Picture 11

☒ Exterior railings are improper height, not rated for required weight load (200 lb vertical, lateral), baluster spacing is greater than required max of 4 3/8 inches. These railings should be updated to current standards for safety concerns.

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K. Picture 12



K. Picture 13 Missing here. Lockable and removable rails may be necessary to accommodate large loads being walked into church for services.



K. Picture 14

☒ Exterior retaining walls are cracked, shifted and deteriorating in areas. Subterranean tie back method unknown. These areas should be excavated for repair.



K. Picture 15



K. Picture 16



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K. Picture 17



K. Picture 18

☒ Rear staircase has signs of rust and beginning corrosion. Recommend removal of rust and heavy application of rust prohibitive paint.



K. Picture 19



K. Picture 20



K. Picture 21



K. Picture 22

☒ ☐ ☐ ☒ L. Other - Comments:



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☒ Posts or parking stops are needed to prevent impact to building walls, windows and drainage systems at west location.



L. Picture 1

## II. ELECTRICAL SYSTEMS

### ☒ ☐ ☐ ☒ A. Service Entrance and Panels

**Electrical Service Conductors:** Overhead service, Copper

Extra Info : 400 volts

**Sub-Panel Capacity:** 125 AMP, (inadequate)

**Panel Type:** Circuit breakers

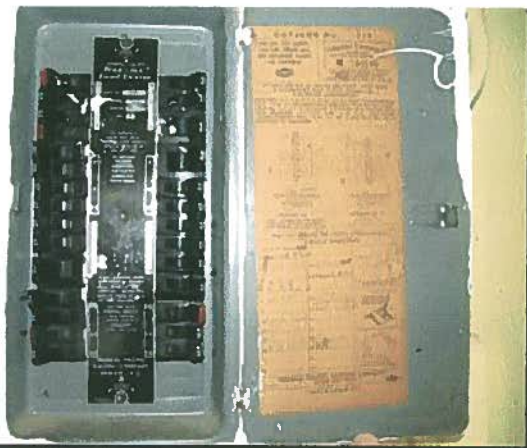
**Electric Panel Manufacturer:** FEDERAL PACIFIC

**Ground System:** Driven Ground Rod

*Comments:*

Ancillary wiring items not inspected include but are not limited to: telephone, cable, speaker, computer, photocells, low voltage, hard wiring on smoke detectors, electric gates and doors, yard and tree lighting. Intercom systems are not inspected.

☒ Main service panel manufactured by Federal Pacific Electric (FPE). These panels have documented trip hazards and are no longer manufactured. Replacement of the panel or further evaluation by a licensed electrician is required.

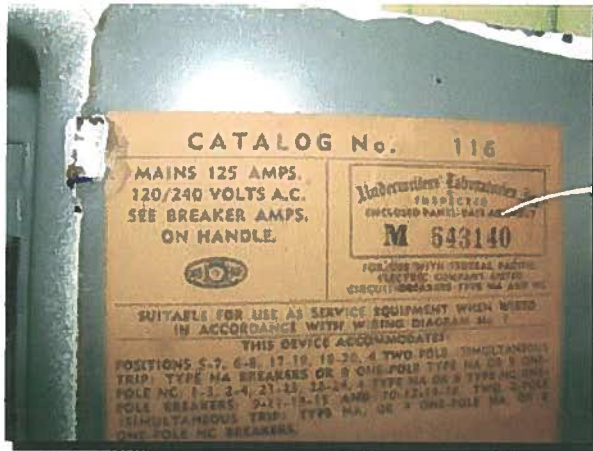


A. Picture 1



A. Picture 2

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A. Picture 3

☒ Sub panel is overloaded. Evaluation by licensed electrician required.

☒ There are no Arc Fault Interrupt (AFI) breakers present as called for by recent TREC reporting standards. AFI breakers are used to protect living area branch circuits that are not GFI (Ground Fault Interrupt) protected.

☒ ☐ ☐ ☒ B. Branch Circuits - Connected Devices, and Fixtures

Type of Branch Circuit Wiring: Copper

Type of Wiring: Romex

Extra Info : Some areas not visible, knob and tube suspected but not confirmed

Comments:

The inspector does not check 220-volt outlets. Random testing of electrical outlets only; not all outlets are tested. In the event aluminum wiring is reported it should be reviewed by a licensed electrician. We do not report copper clad aluminum wiring unless clearly labeled so at the electrical panel. Only light fixtures that appear to have been improperly installed are tested for proper operation. Burnt bulbs are not reported. Light fixtures with daylight sensors or that are on timers can not be tested for proper operation

☒ Exposed connections, open boxes.

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B. Picture 1 Under east tower staircase.



B. Picture 2

- ☒ There are no GFI (Ground Fault Interrupt) protected outlets in locations called for by today's standards (all kitchen, baths, non dedicated garage below 6', laundry, and exterior outlets)
- ☒ Smoke alarms not in all required locations. No carbon monoxide detector present. Recommend updating to current standards.

### III. HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS

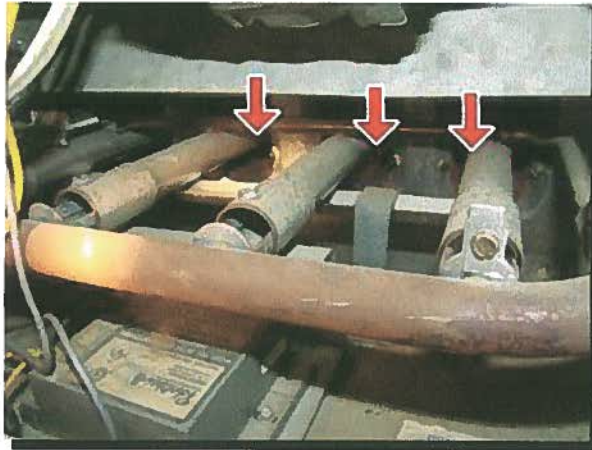
- ☒ ☐ ☐ ☒ A. Heating Equipment  
**Type of System (Heating):** Forced Air  
**Energy Source:** Gas  
**Number of Heat Systems (excluding wood):** Four  
**Comments:**

Full evaluation of gas heat exchangers requires dismantling of furnace and is beyond the scope of this inspection. Heat pump systems are not tested when ambient temperatures are above 80 degrees Fahrenheit to avoid damage to system.

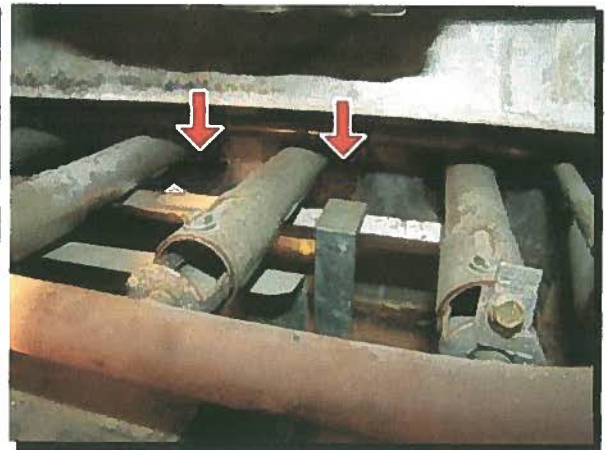
- ☒ Heat exchangers located kitchen area were highly corroded, do not appear safe. A licensed HVAC technician should evaluate for replacement.



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A. Picture 1



A. Picture 2

☒ Combustion air deficient. Current standards call for furnace combustion air to be provided from attic or exterior. Air vents from attic (2) should extend 12" from ceiling and 12" above base of closet floor for proper air circulation and supply.



A. Picture 3

☐ ☒ ☐ ☐ B. Cooling Equipment

**Type of System (Cooling):** Central air conditioner unit

**Temperature Differential::** Unknown (below safe operating temperature, 60 degrees)

**Number of Cooling Systems:** Four

**Comments:**

The inspector does not determine the adequacy (tonnage/manual load calculation) or efficiency of the system. Humidifiers, motorized dampers, electronic air filters and programmable thermostats are not inspected. Window air conditioning and possible mismatched central units are not checked. An accurate central air conditioning cooling differential test is not possible when the ambient temperature is below 55 degrees Fahrenheit.

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☐ The inspector does not determine the adequacy or efficiency of the system. Humidifiers, motorized dampers, electronic air filters and programmable thermostats are not inspected.

At time of inspection the ambient temperature was 49 degrees. Accurate air conditioning system testing is not possible when temperatures are below 60 degrees fahrenheit. System did properly cycle on/off and appeared to produce sufficiently chilled air during limited test

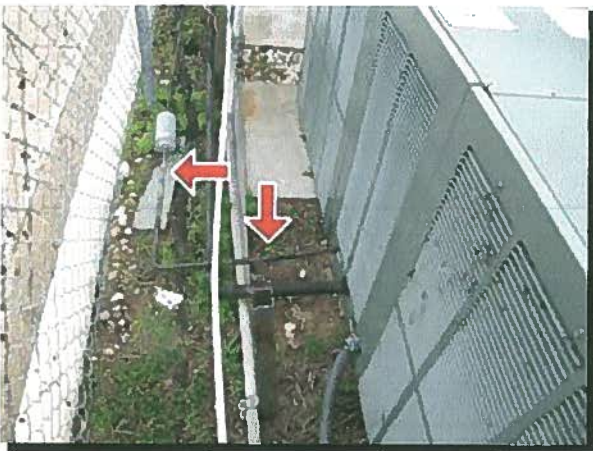
☒ Repair/replace insulation on refrigerant lines between building and condenser.



B. Picture 1



B. Picture 2



B. Picture 3

☒ Loose conduit at units. In need of repair.

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B. Picture 4

☒ Electrician should remove/repair hazardous connections made up inside emergency pull breaker panels at condenser units.



B. Picture 5

☐ Not required, but relocating HVAC units over to asphalt slab, away from pedestrian areas is recommended. This would allow units to be enclosed in protective cages to prevent from high incidence of theft of late. This would also make units more accessible and allow for removal of deteriorated scaffolding that is currently resting on coolant lines.



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B. Picture 6

- ☐ ☒ ☐ ☐ C. **Duct System, Chases, and Vents**  
**Ductwork:** Insulated, Metal, Insulated Flex Duct  
**Comments:**

Inspecting the interior condition of the HVAC supply and return ducts would require vent removal and/or dismantling the equipment plenums and is beyond the scope of this inspection

#### IV. PLUMBING SYSTEM

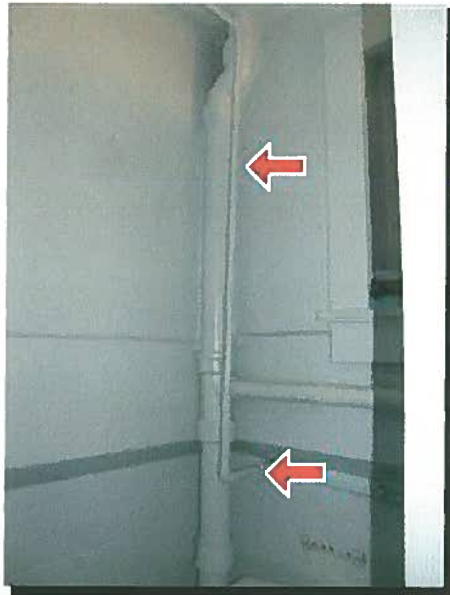
- ☒ ☐ ☐ ☒ A. **Water Supply System and Fixtures**  
**Location of water meter:** Unknown: Could Not Locate  
**Location of main water supply valve:** Not found  
**Static water pressure reading:** N/A (Complex)  
**Comments:**

The inspection does not include gas lines or condition of plumbing lines in walls, floors, attic, ground or foundation. Water wells, water-conditioning systems, solar water heating systems, freestanding appliances, and the potability of any water supply are excluded from inspection. Clothes washing machine and icemaker hose bibs are not tested.

Plumbing and fixtures functional.

☒ Galvanized pipes observed in bath areas. These are known to corrode and clog over time, leading to failure. A licensed plumber should replace as needed.

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A. Picture 1

☒ ☐ ☐ ☒ B. Drains, Waste, and Vents - Comments:

The following systems, items, or components are excluded from this inspection: 1.) Drain line for clothes washing machine, or water conditioning systems; 2.) Drain pumps or water ejection pumps, sewer clean-outs, anti-siphon devices, components that are not visible or accessible, exterior plumbing components, and fire sprinkler systems. Drains are tested by flushing water through the system only. Vacant home drain problems may not be detectable until the home is placed back into normal occupancy use.

☒ The building has a combination of original cast iron and PVC drain lines. Note; cast iron drain lines are known to clog/leak overtime and may require periodic clean-out. No blockage noted at time of inspection.

A hydrostatic leak test is recommended to determine the presence of any subterranean leaks.



B. Picture 1

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☒ ☐ ☐ ☒ C. Water Heating Equipment  
 Energy source (Water Heater): Electric, Gas  
 Comments:

Water recirculation pumps and electric timers are not tested



C. Picture 1

Unit was functioning normally at time of inspection.

- ☒ The Hot Water heater abuts to an interior wall and there is no emergency leak catch pan installed. Today's standards now require a catch pan that is plumbed to the exterior in locations where tank leaks could cause interior water penetration.
- ☒ Hot Water Heater is not elevated 18" above the basement floor as called for by today's standards
- ☒ Water supply lines are not properly insulated in the water heater closet.
- ☒ The hot water heater flue is not secured (sheet metal screwed) to the combustible draft bonnet
- ☒ Combustion air deficient. For interior installation of furnace type appliances, adequate combustion air should be supplied from exterior or attic spaces. Recommend weather strip appliance door, install air vents. Call Randal @ 922-5097 for information regarding standards, codes.

☐ ☐ ☒ ☐ D. Hydro-Massage Therapy Equipment - Comments:

In-Line water heaters are not tested.

## V. APPLIANCES

☐ ☒ ☐ ☐ A. Dishwasher - Comments:

☐ ☒ ☐ ☐ B. Food Waste Disposer - Comments:

☒ ☐ ☐ ☒ C. Range Exhaust Vent - Comments:

- ☒ No hood vent present as required, venting to exterior. Window to be sealed over, vent hood installed venting directly to exterior.



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C. Picture 1

No automatic fire prevention devices installed as required by current standards.



C. Picture 2

☒ ☐ ☐ ☐ **D. Ranges, Cooktops and Ovens - Comments:**

The inspector does not test self-cleaning, self-bake or broiler functions on ovens.

Cooktop and oven functioning normally.

☐ ☒ ☐ ☐ **E. Microwave Oven - Comments:**

The inspector does not test for radiation leakage.

☐ ☐ ☒ ☐ **F. Trash Compactor - Comments:**

☒ ☐ ☐ ☐ **G. Mechanical Exhaust Vents and Bathroom Heaters - Comments:**

☐ ☐ ☒ ☐ **H. Garage Door Operator(s) - Comments:**

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☐ ☐ ☒ ☐ I. **Doorbell and Chimes - Comments:**

☐ ☐ ☒ ☐ J. **Dryer Vents - Comments:**

Dryer vents should be cleaned every 6 months to prevent lint buildup, improve efficiency and to reduce possible fire hazards.

## VI. OPTIONAL SYSTEMS

☐ ☐ ☒ ☐ A. **Lawn and Garden Sprinkler System - Comments:**

If the sprinkler system is inspected as part of this inspection, it is tested in manual mode only. Unless obvious underground water leaks are not inspected for.

☐ ☐ ☒ ☐ B. **Swimming Pools, Spas, Hot Tubs, and Equipment - Comments:**

If the swimming pool is inspected as part of this inspection only components readily accessible are inspected. Timers, freeze guards, automatic chlorinators or ozonator's if present are not inspected. Underground leaks or seepage (unless obvious) can not be detected.

☐ ☐ ☒ ☐ C. **Outbuildings - Comments:**

☐ ☐ ☒ ☐ D. **Outdoor Cooking Equipment - Comments:**

☒ ☐ ☐ ☐ E. **Gas Supply System - Comments:**

Unless there are obvious indications, gas supply leaks are not inspected for or reported on

No leaks detected at time of inspection.

☐ ☐ ☒ ☐ F. **Private Water Wells (A coliform analysis is recommended) - Comments:**

☐ ☐ ☒ ☐ G. **Private Sewage Disposal (Septic) System - Comments:**

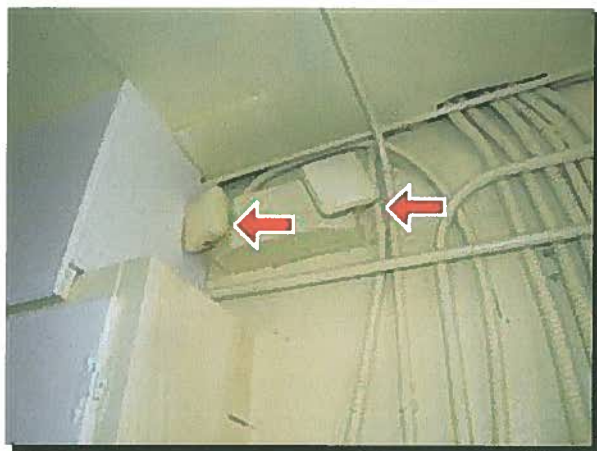
Limited scope inspection only. Complete inspection of the underground tank system would require excavation and is beyond the scope of this inspection.

☐ ☐ ☒ ☐ H. **Whole-House Vacuum Systems - Comments:**

☒ ☐ ☐ ☒ I. **Other Built-in Appliances - Comments:**

☒ Some basement emergency lights had been painted over. These require replacement.

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I. Picture 1