

**Historic Landmark Commission
February 27, 2012
Permits in National Register Historic Districts
NRD-2012-0004
Old West Austin
1706 Mohle Drive**

PROPOSAL

Construct an approximately 1,804 sq. ft. rear addition to existing house.

PROJECT SPECIFICATIONS

The existing residence, built in 1935, is a 1,222 sq. ft., one-story wood frame, Minimal Traditional style house with a cross gable roof. The house is sided with wide, horizontal lap siding. There are two pairs of double-hung windows on the front façade with inoperable shutters. There are concrete steps leading to the front door, which is covered with a striped, fabric awning.

The applicant proposes to demolish the rear wall of the house and construct an approximately 1,804 sq. ft. rear addition. The addition will be a contemporary, modern design with one portion having a roof that is an extension of the existing gable roof, and the other portion having a low slope roof. The existing siding will remain, and the additions will have a combination of smooth hardiboard and cypress siding. The additions will have numerous windows of various sizes.

The applicant also proposes to replace the existing front door and replace one pair of double-hung windows with a single plate glass window.

STAFF COMMENTS

The house is listed as contributing to the Old West Austin National Register Historic District. The Old West Austin National Register Historic District has no design guidelines for new construction. Applicable general design review guidelines state:

- The distinguishing original qualities or character of a property and its environment shall not be destroyed. Removal or alteration of any historic material or distinctive architectural features should be avoided.
- All properties shall be recognized as products of their own time. Alterations which have no historical basis and which seek to create an earlier appearance shall be discouraged.
- Changes, which have taken place in the course of time may have acquired significance in their own right, and shall be recognized and respected.
- Distinctive stylistic features or examples of skilled craftsmanship, which characterize a property, shall be treated with sensitivity.
- Contemporary designs for alterations and additions to existing properties are appropriate when such alterations and additions do not destroy significant historic, architectural, or cultural material and are compatible with the size, scale, color, material, and character of the property, neighborhood, or environment.

- Whenever possible, new additions or alterations to structures shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the structure would not be impaired.

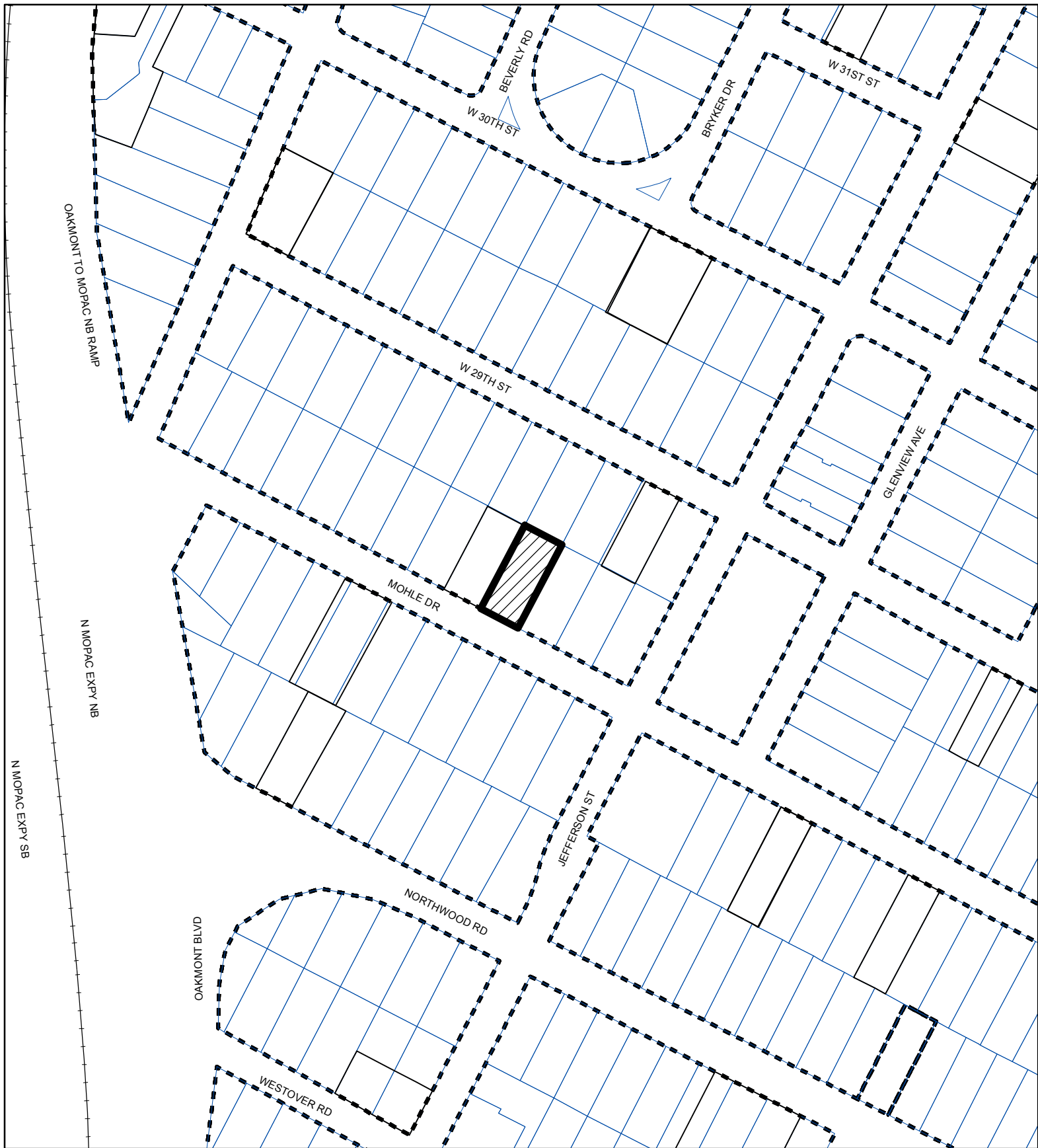
The project as proposed meets the general design guidelines. The additions are to the rear of the property and will be minimally visible from the street. The changes to the façade, however do have some impact to the architectural integrity of the house and should be avoided.

STAFF RECOMMENDATION

Staff recommends releasing the permit, but requests that the applicant consider retaining the existing window on the front façade to minimize the impact to the historical appearance of the house.

PHOTOS





SUBJECT TRACT



ZONING BOUNDARY

CASE#: NRD-2012-0004
LOCATION: 1706 Mohle Drive

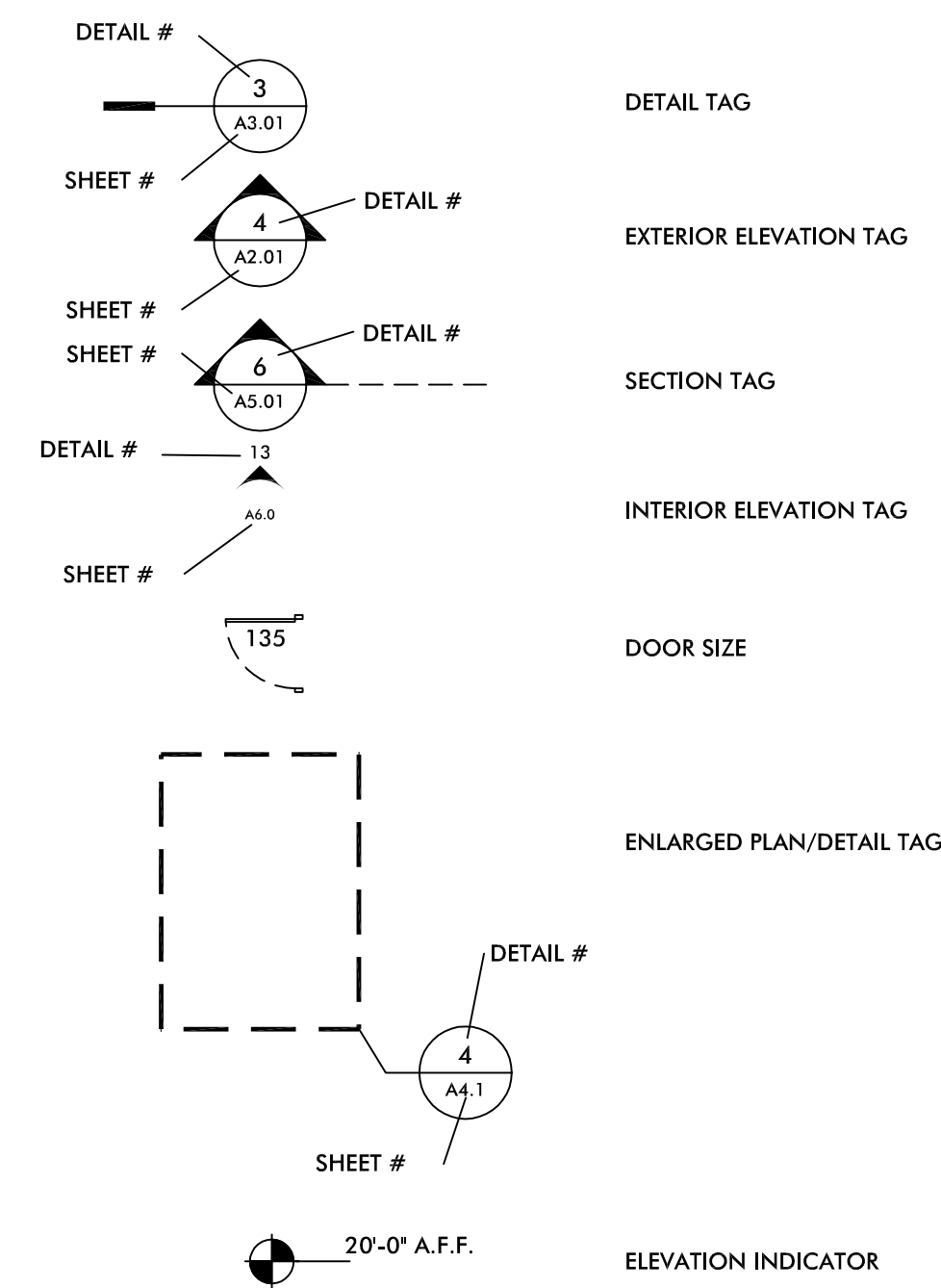


This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

This product has been produced by the Planning and Development Review Department for the sole purpose of geographic reference. No warranty is made by the City of Austin regarding specific accuracy or completeness.

REMODEL & ADDITION AT 1706 MOHLE

SYMBOLS LEGEND



PROJECT INFORMATION

OWNER
MR. JOSH MCJILTON & MRS. MARIE MCJILTON
1706 MOHLE ST.
AUSTIN, TX
JURISDICTION
CITY OF AUSTIN

SHEET INDEX

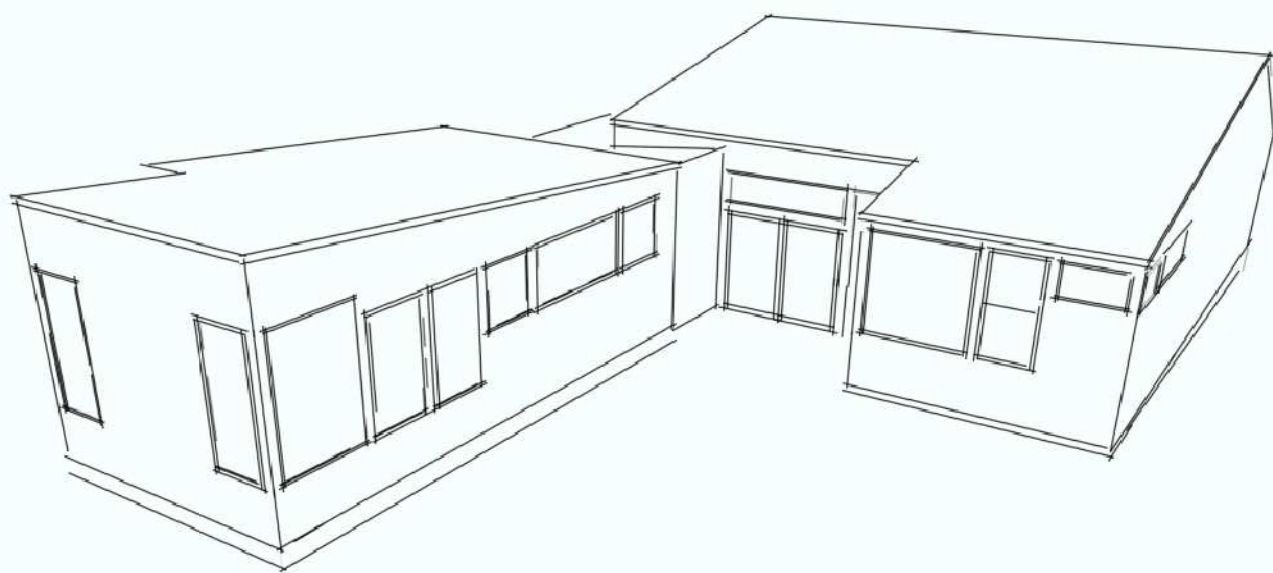
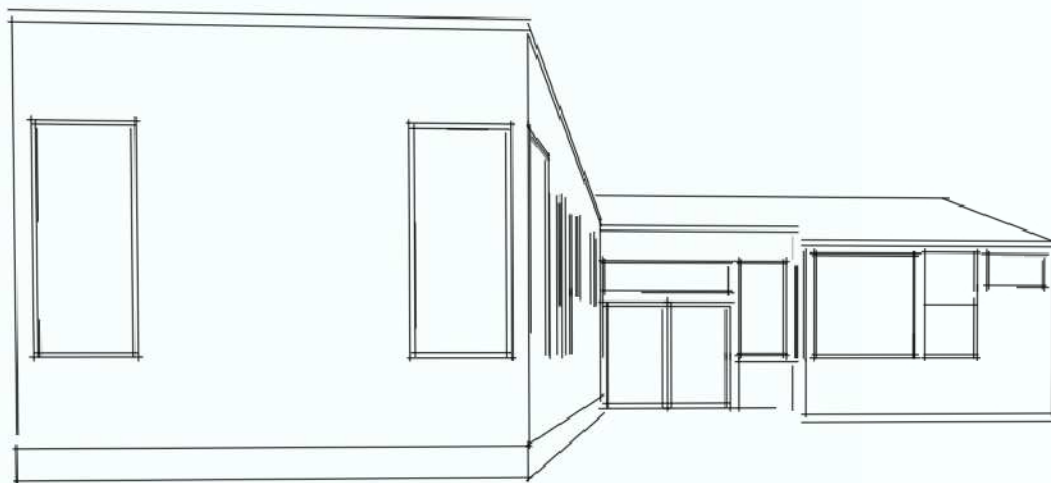
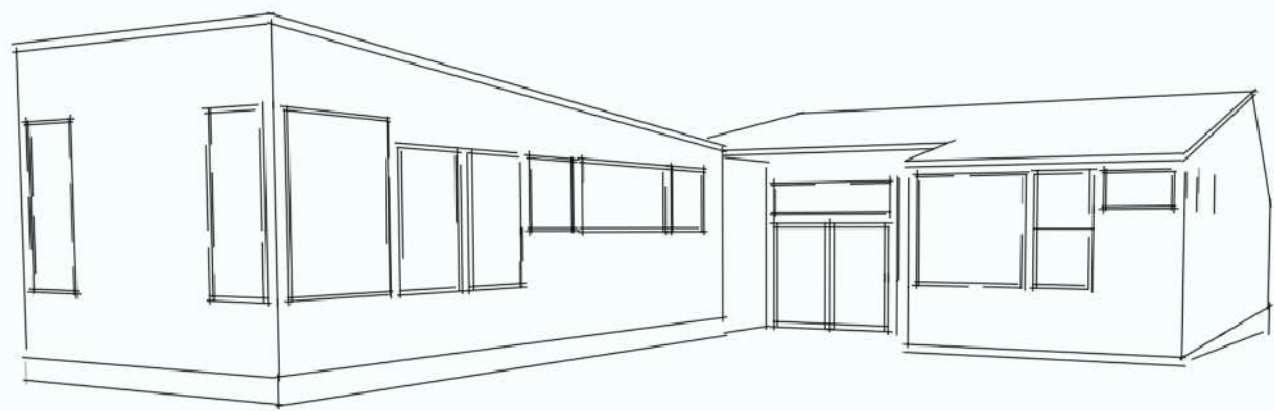
COVER
ARCHITECTURAL
A1.0 - SITE PLAN
A2.0 - FLOOR PLAN OWNER
A2.1 - ROOF PLAN
A3.0 - CEILING / ELECTRICAL LAYOUT
A4.0 - EXTERIOR ELEVATIONS
A5.0 - BUILDING SECTIONS
A6.0 - INTERIOR ELEVATIONS
A6.1 - INTERIOR ELEVATIONS
A7.0 - DETAILS
A7.1 - DETAILS
A7.2 - DETAILS
STRUCTURAL
S1 - FOUNDATION PLAN
S2 - FOUNDATION DETAILS
S3 - FRAMING PLAN & DETAILS

ALLOWANCES

1. NEW FRONT DOOR \$1,000
2. BACKYARD SHADE CANOPY \$10,000
3. LANDSCAPING \$5,000
OWNER SPECIFIED ITEMS
1. DATA CABLING
2. PLUMBING FIXTURES
3. LIGHT FIXTURES
4. APPLIANCES

PROJECT NOTES

1. CONTRACTOR SHALL PROVIDE ALL SAFETY PROTECTION ITEMS AS REQUIRED BY OSHA AND TEXAS STATUTES, AS PART OF THEIR BID.



ARCHITECT

Mr. Bob Shelton, AIA
6202 Wynona
Austin, TX 78757
P: (512) 589-5689

STRUCTURAL

Mr. Benjamin T. Feldt, P.E.
6101 W. Courtyard Dr. 2-100
Austin, Texas 78730
P: (512) 583-1399

Mr. and Mrs. McJilton
REMODEL & ADDITION AT 1706 MOHLE
Austin, Texas



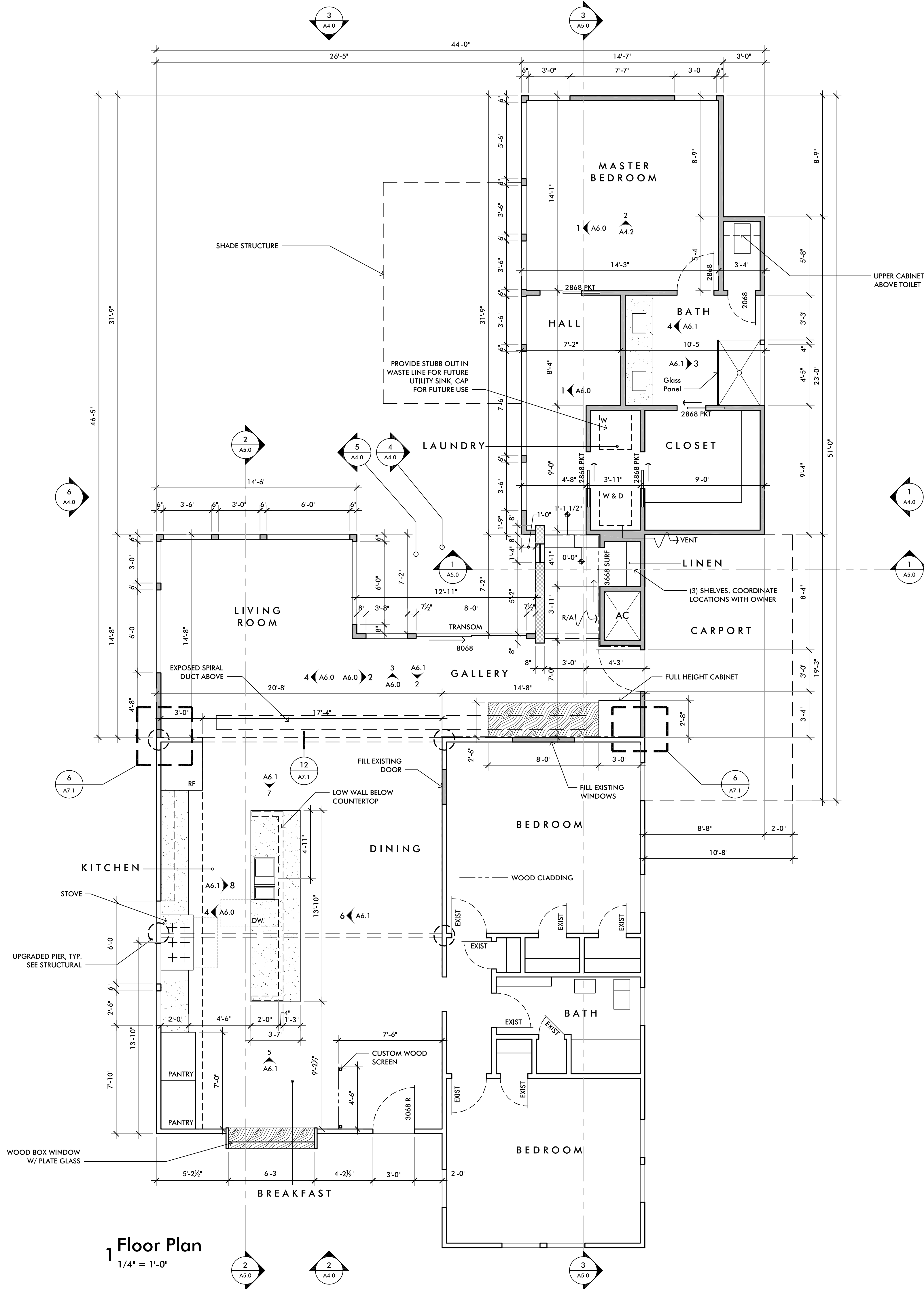
8/5/2010

Project Number
1001

Date:
8/5/2010

Sheet Number

COVER



1 Floor Plan
1/4" = 1'-0"



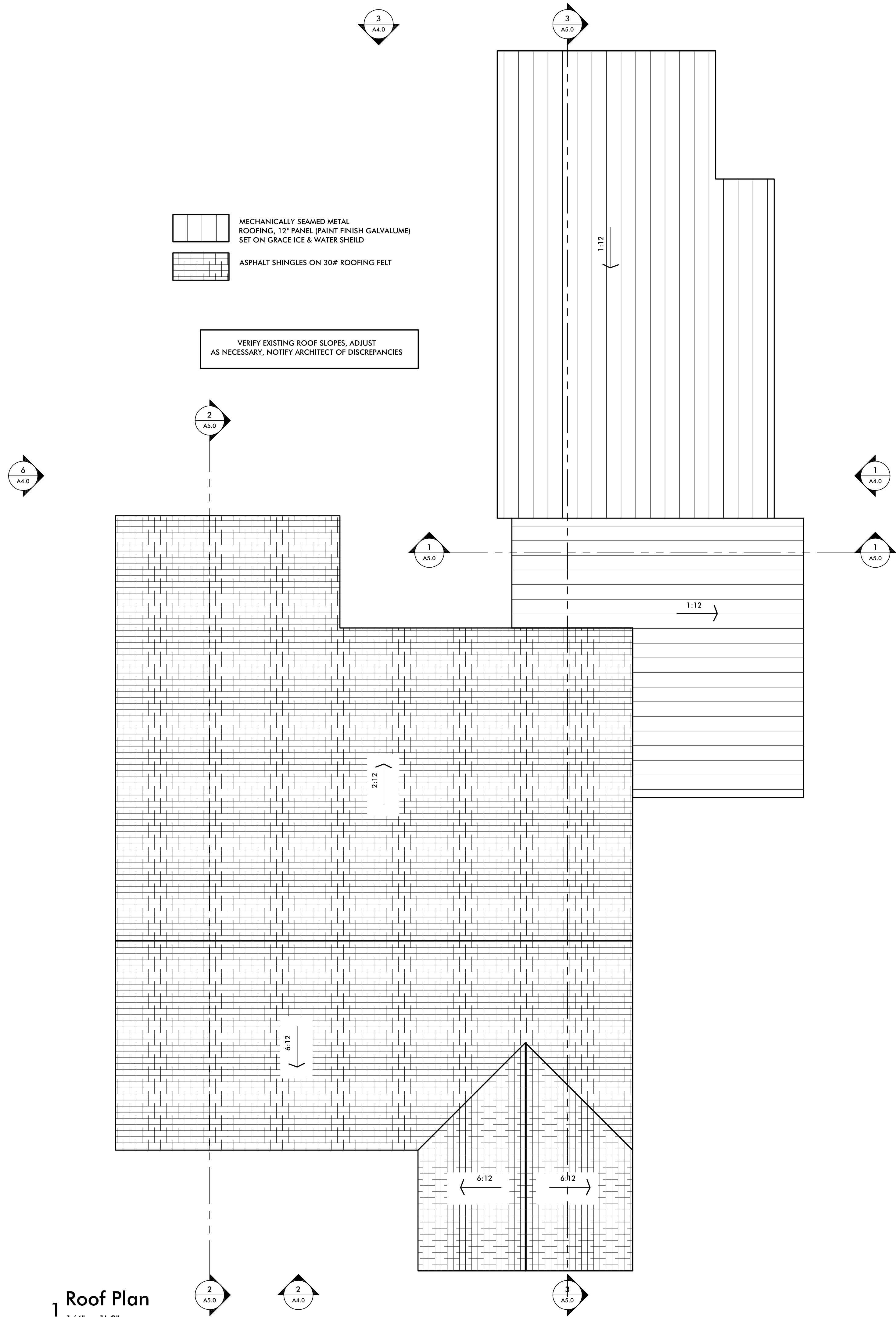
8/5/2010

Project Number
1001

Date:
8/5/2010

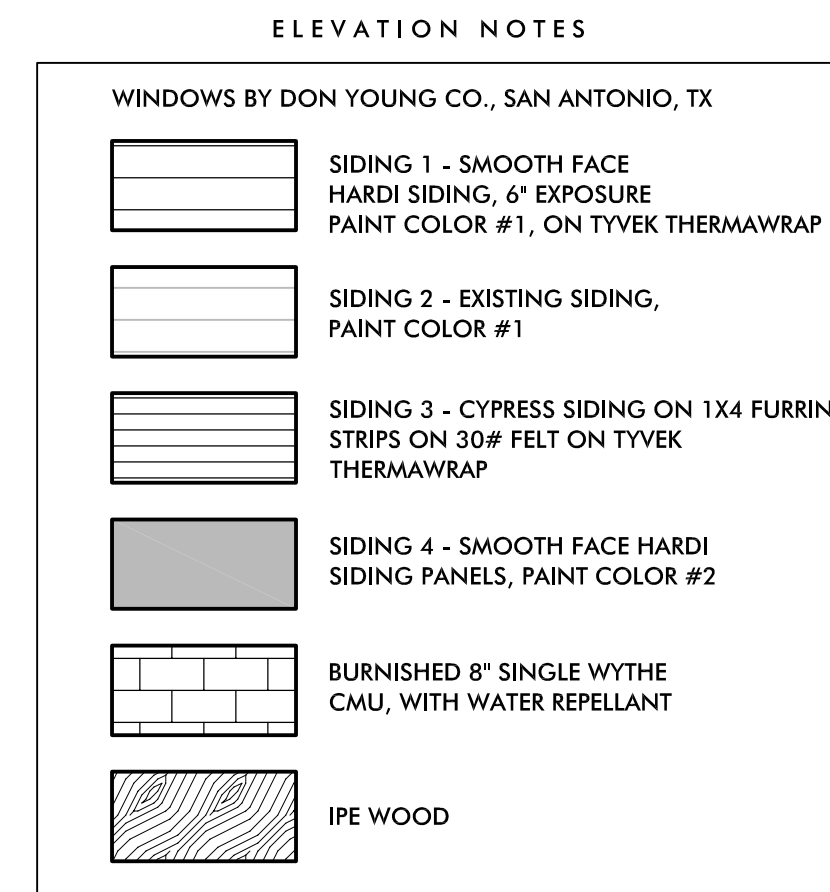
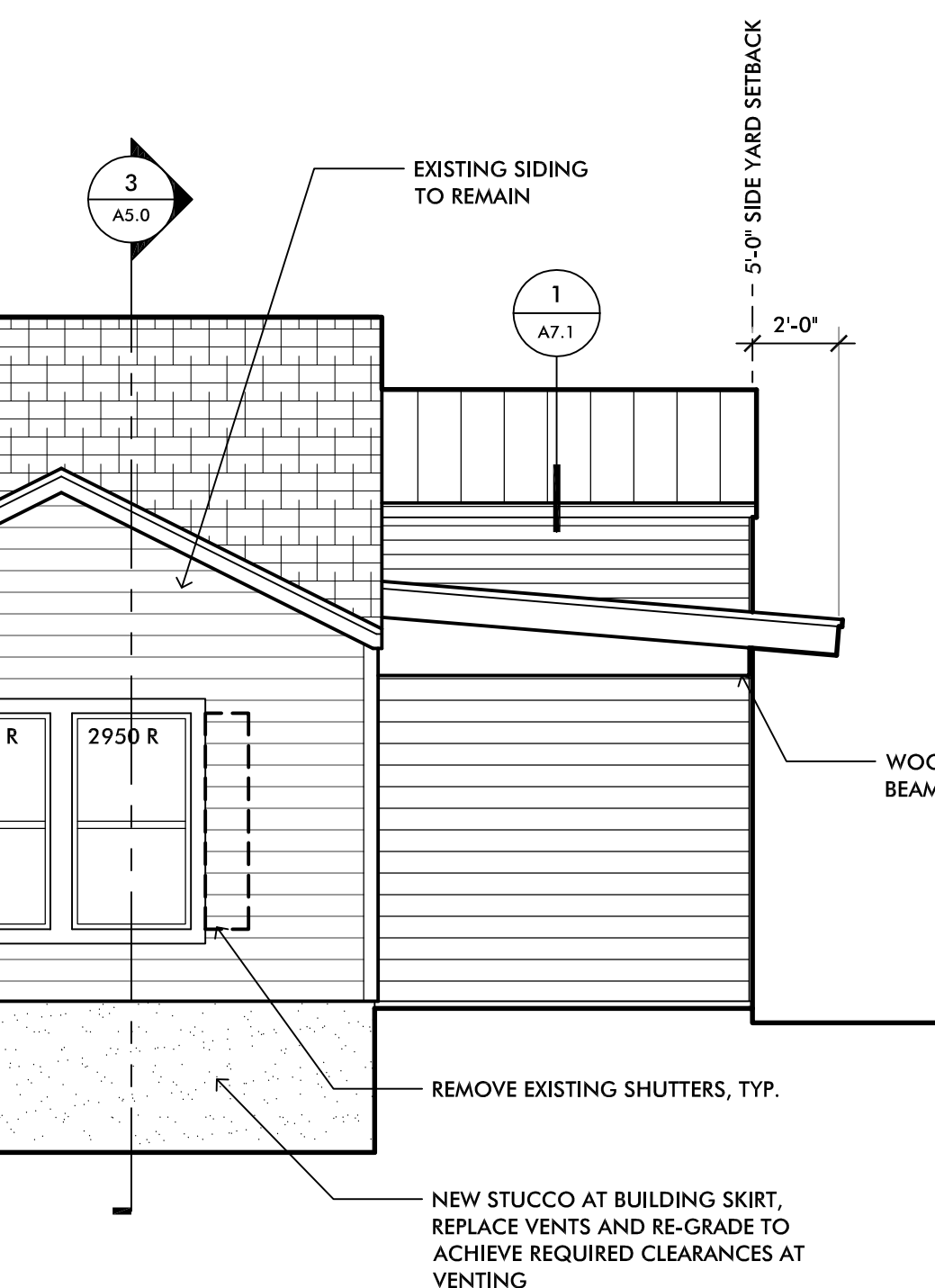
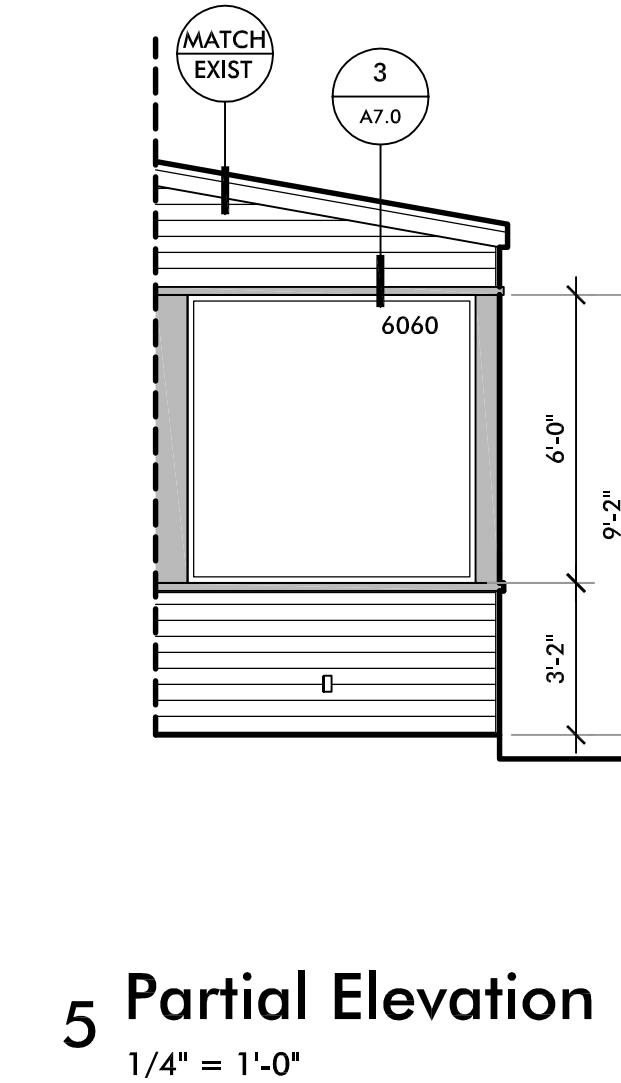
Sheet Number

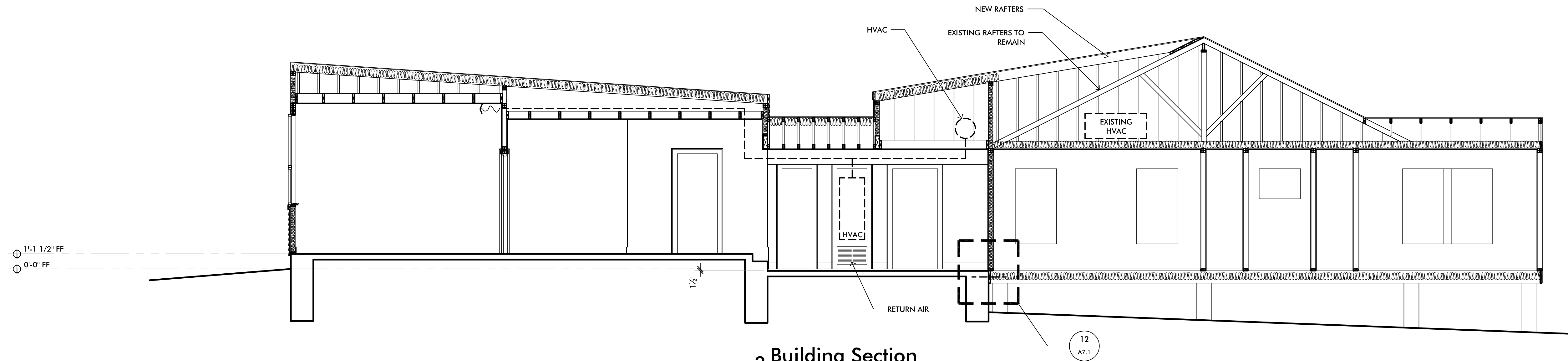
A2.0



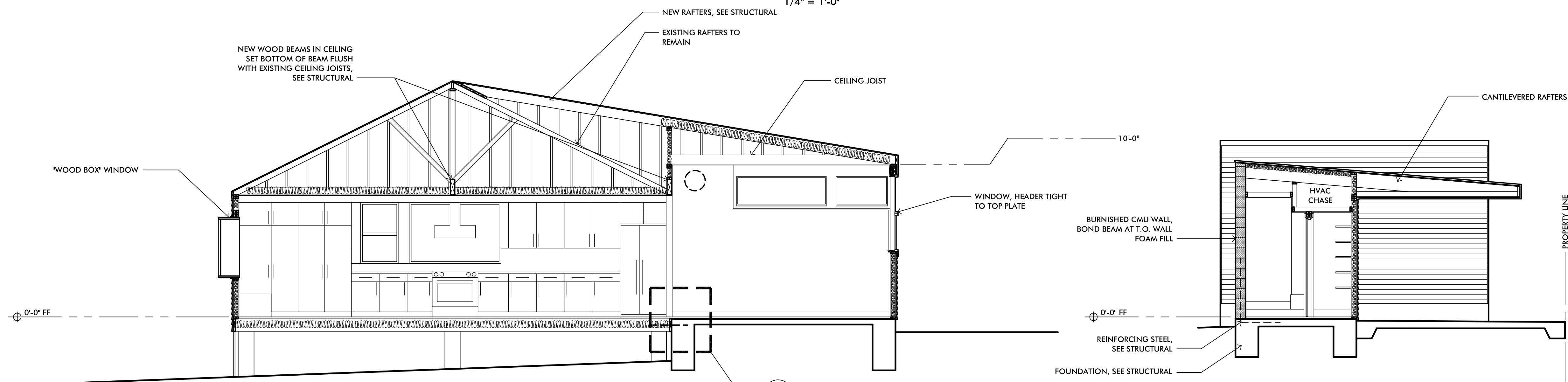
1 Roof Plan
1/4" = 1'-0"



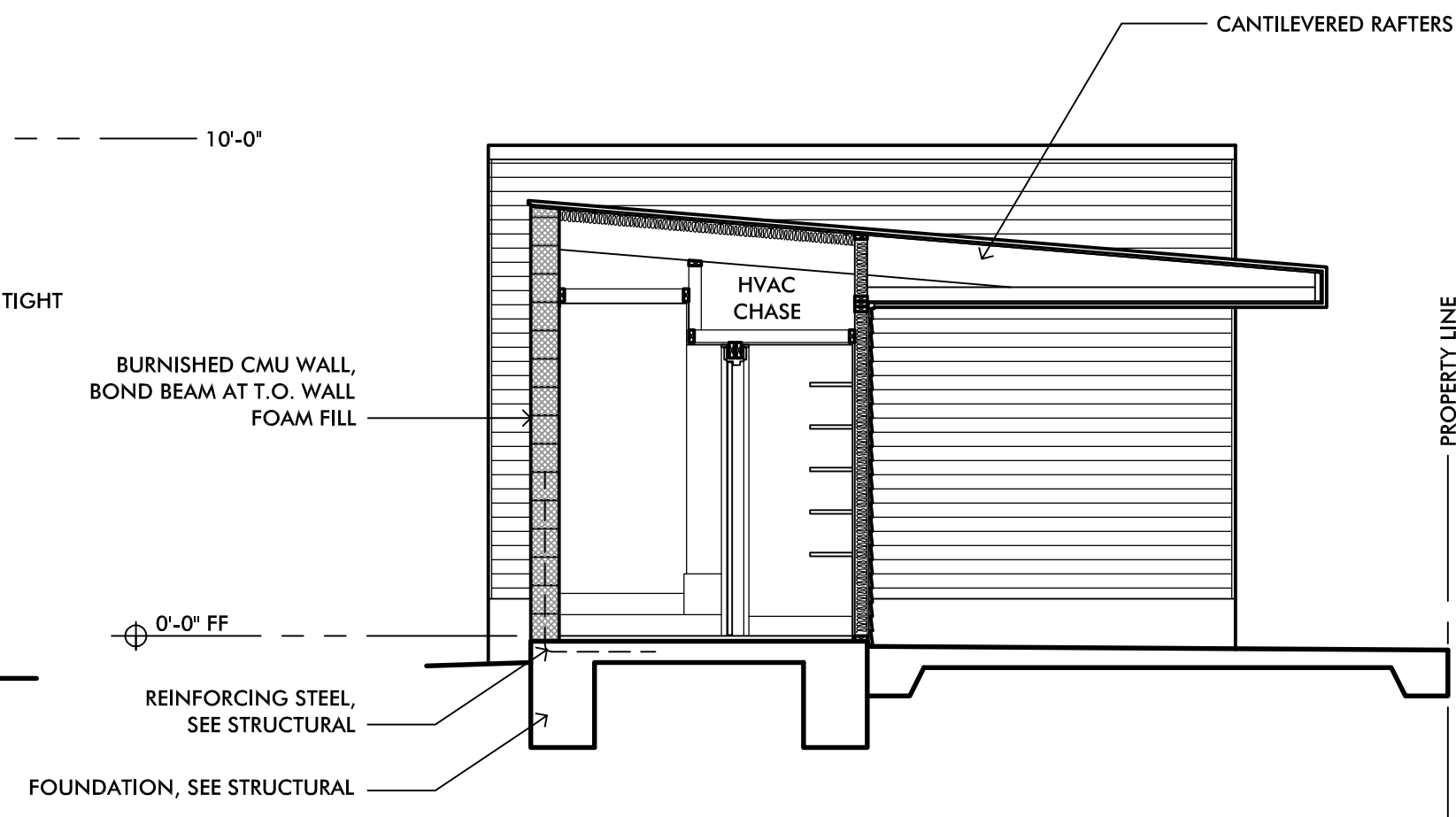




3 Building Section
1/4" = 1'-0"



2 Building Section
1/4" = 1'-0"



1 Building Section
1/4" = 1'-0"



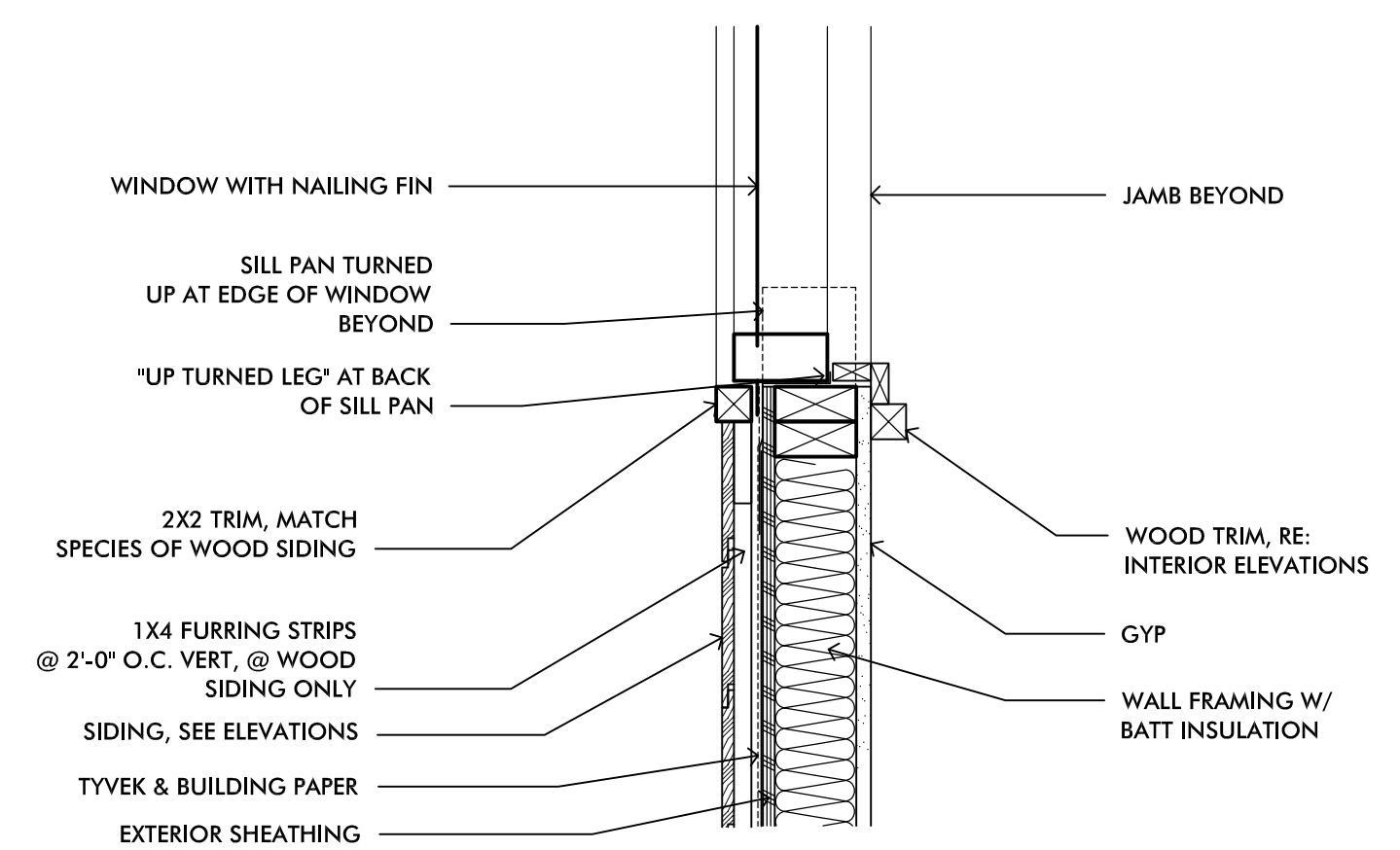
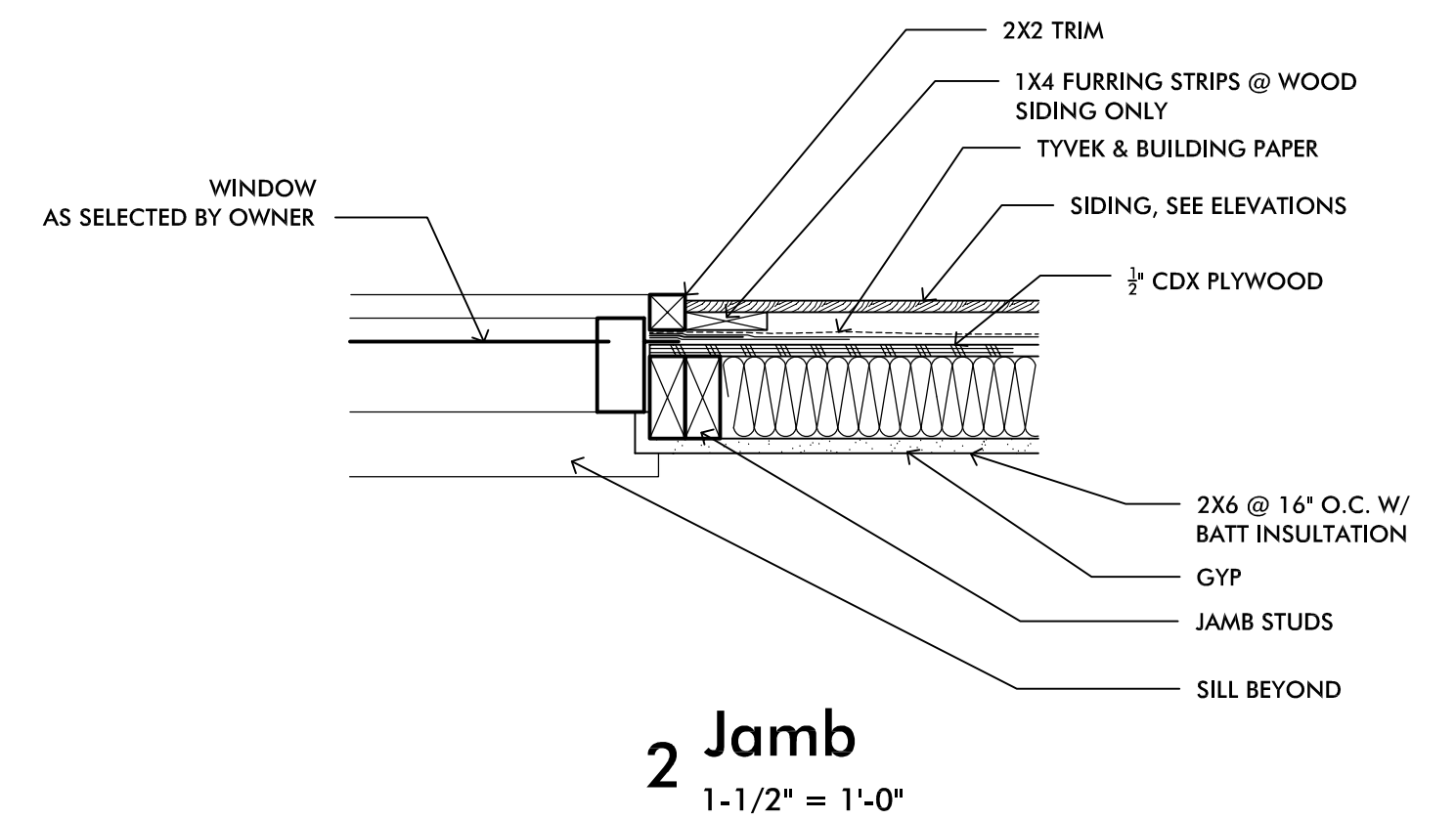
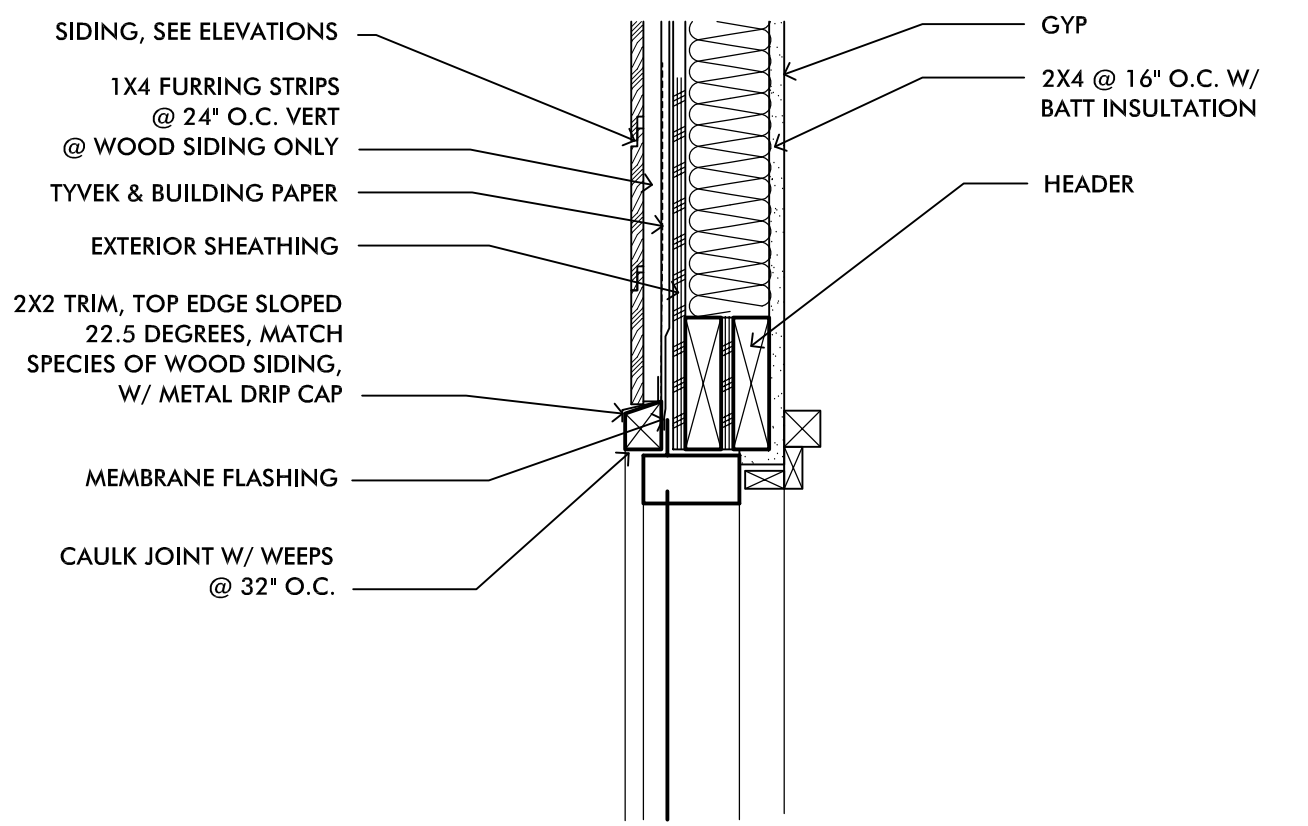
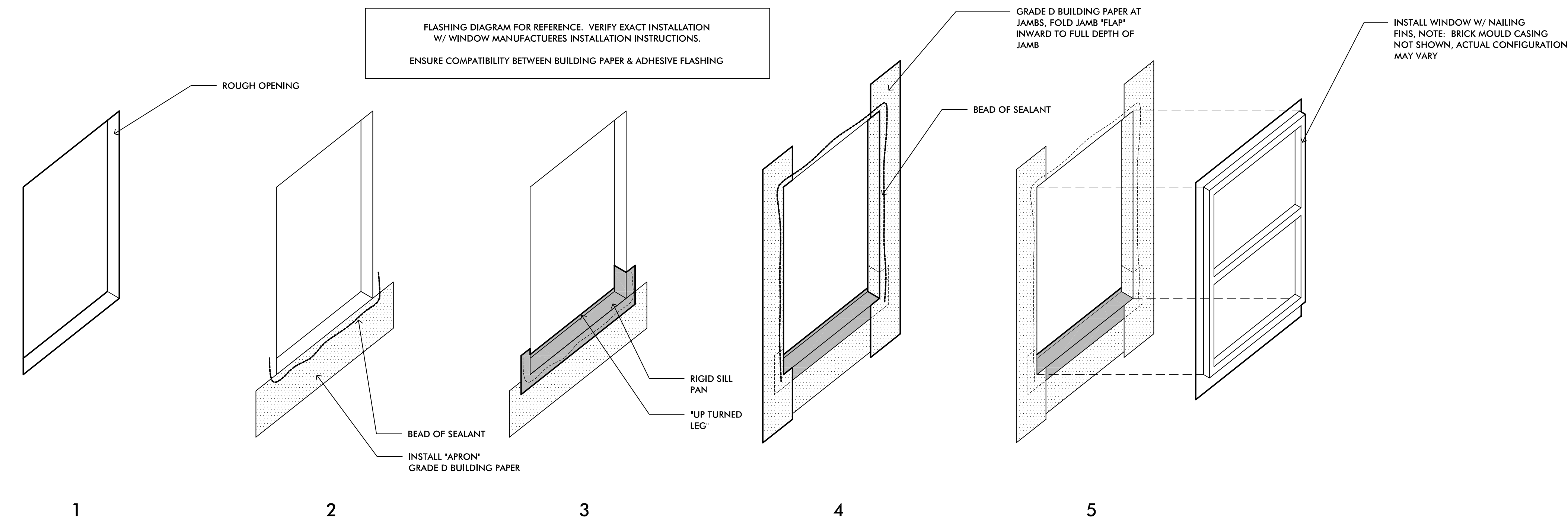
8/5/2010

Project Number
1001

Date:
8/5/2010

Sheet Number

A5.0



4 Window Flashing Diagram
NO SCALE

