Historic Landmark Commission February 27, 2012 Permits in National Register Historic Districts NRD-2012-0004 Old West Austin 1706 Mohle Drive

PROPOSAL

Construct an approximately 1,804 sq. ft. rear addition to existing house.

PROJECT SPECIFICATIONS

The existing residence, built in 1935, is a 1,222 sq. ft., one-story wood frame, Minimal Traditional style house with a cross gable roof. The house is sided with wide, horizontal lap siding. There are two pairs of double-hung windows on the front façade with inoperable shutters. There are concrete steps leading to the front door, which is covered with a striped, fabric awning.

The applicant proposes to demolish the rear wall of the house and construct an approximately 1,804 sq. ft. rear addition. The addition will be a contemporary, modern design with one portion having a roof that is an extension of the existing gable roof, and the other portion having a low slope roof. The existing siding will remain, and the additions will have a combination of smooth hardiboard and cypress siding. The additions will have numerous windows of various sizes.

The applicant also proposes to replace the existing front door and replace one pair of double-hung windows with a single plate glass window.

STAFF COMMENTS

The house is listed as contributing to the Old West Austin National Register Historic District. The Old West Austin National Register Historic District has no design guidelines for new construction. Applicable general design review guidelines state:

- The distinguishing original qualities or character of a property and its environment shall not be destroyed. Removal or alteration of any historic material or distinctive architectural features should be avoided.
- All properties shall be recognized as products of their own time. Alterations which have no historical basis and which seek to create an earlier appearance shall be discouraged.
- Changes, which have taken place in the course of time may have acquired significance in their own right, and shall be recognized and respected.
- Distinctive stylistic features or examples of skilled craftsmanship, which characterize a property, shall be treated with sensitivity.
- Contemporary designs for alterations and additions to existing properties are
 appropriate when such alterations and additions do not destroy significant historic,
 architectural, or cultural material and are compatible with the size, scale, color,
 material, and character of the property, neighborhood, or environment.

• Whenever possible, new additions or alterations to structures shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the structure would not be impaired.

The project as proposed meets the general design guidelines. The additions are to the rear of the property and will be minimally visible from the street. The changes to the façade, however do have some impact to the architectural integrity of the house and should be avoided.

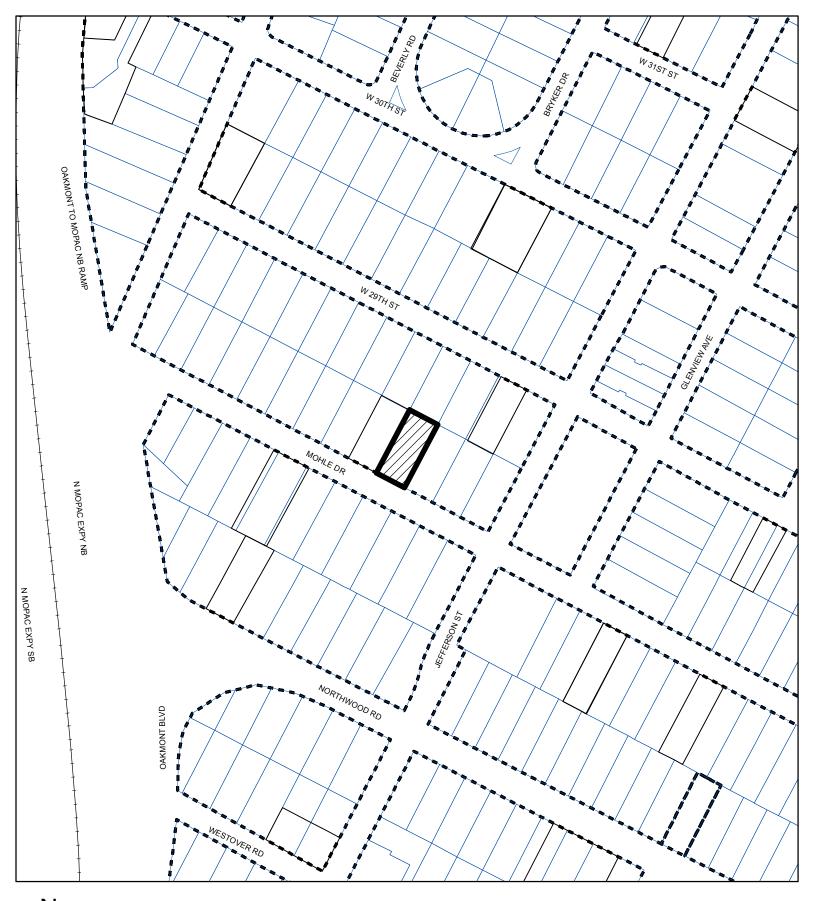
STAFF RECOMMENDATION

Staff recommends releasing the permit, but requests that the applicant consider retaining the existing window on the front façade to minimize the impact to the historical appearance of the house.

Рнотоѕ







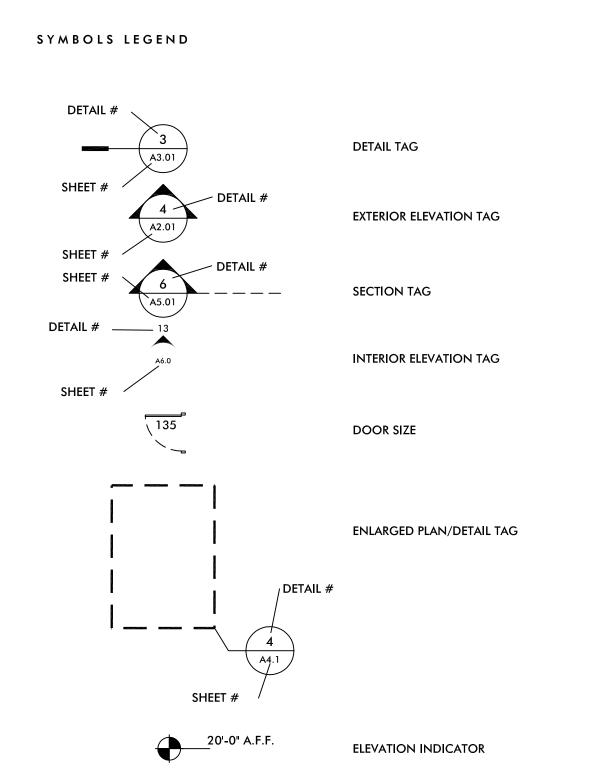


CASE#: NRD-2012-0004 LOCATION: 1706 Mohle Drive



This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

REMODEL & ADDITION AT 1706 MOHLE



PROJECT INFORMATION

OWNER

MR. JOSH MCJILTON & MRS. MARIE MCJILTON 1706 MOHLE ST. AUSTIN, TX

JURISDICTION
CITY OF AUSTIN

SHEET INDEX

COVER

ARCHITECTURAL

A1.0 - SITE PLAN A2.0 - FLOOR PLANO W N E R

A2.1 - ROOF PLAN
A3.0 - CEILING / ELECTRICAL LAYOUT
A4.0 - EXTERIOR ELEVATIONS

A5.0 - BUILDING SECTIONS
A6.0 - INTERIOR ELEVATIONS
A6.1 - INTERIOR ELEVATIONS

A7.0 - DETAILS A7.1 - DETAILS A7.2 - DETAILS

STRUCTURAL

S1 - FOUNDATION PLAN S2 - FOUNDATION DETAILS S3 - FRAMING PLAN & DETAILS ALLOWANCES

1. NEW FRONT DOOR \$1,000

2. BACKYARD SHADE CANOPY \$10,000

OWNER SPECIFIED ITEMS

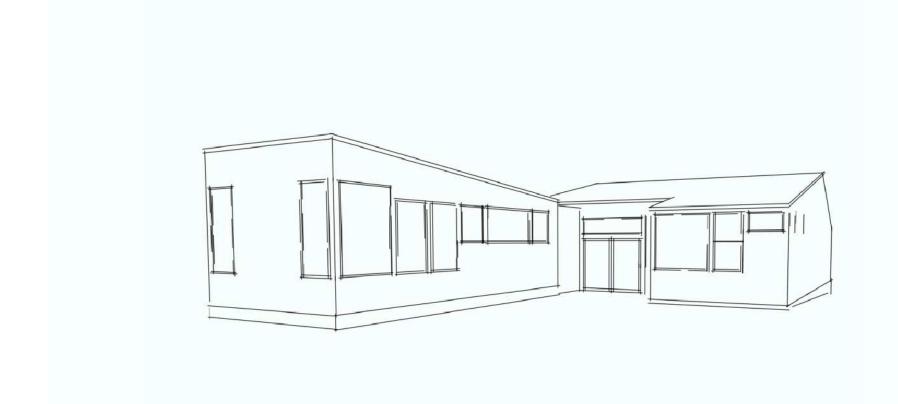
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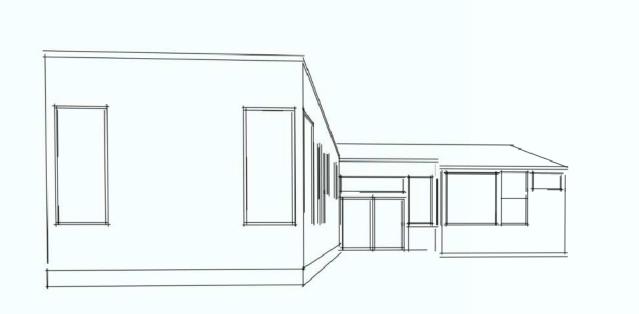
3. LANDSCAPING \$5,000

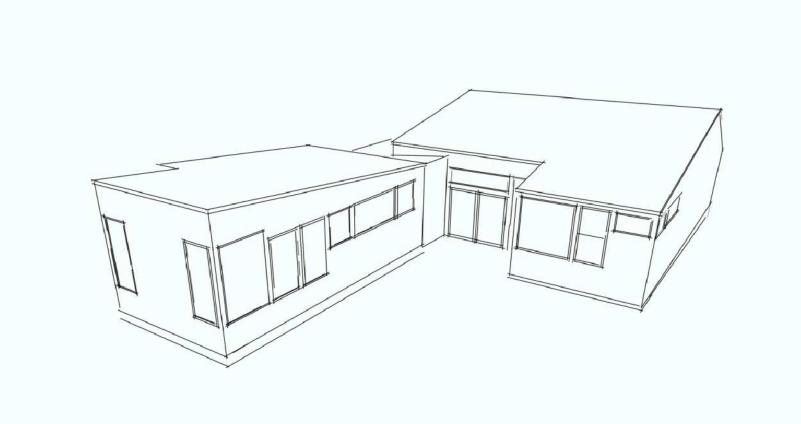
PLUMBING FIXTURES
 LIGHT FIXTURES
 APPLIANCES

PROJECT NOTES

1. CONTRACTOR SHALL PROVIDE ALL SAFETY PROTECTION ITEMS AS REQUIRED BY OSHA AND TEXAS STATUTES, AS PART OF THEIR BID.







ARCHITECT

STRUCTURAL

Mr. Bob Shelton, AIA 6202 Wynona Austin, TX 78757 P: (512) 589-5689 Mr. Benjamin T. Feldt, P.E. 6101 W. Courtyard Dr. 2-100 Austin, Texas 78730 P: (512) 583-1399 OF TELE

8/5/2010

Project Numb

Date: 8/5/2010

COVER

MOHLE DRIVE

Site Plan 1/4" = 1'-0"

LEGAL DESCRIPTION:

BRYKER WOODS "C" WEST 55 FEET OF LOT 23 BLOCK 2 **VOLUME 4 PAGE 46 PLAT RECORDS**

TRAVIS COUNTY, CITY OF AUSTIN 1706 MOHLE DRIVE

REFERENCE NAMES: JOSH AND MARIE MCJILTON

FLOOR AREA RATIO

7431 SF X . 4 = 2972 SF ALLOWABLE

2097 SF = TOTAL = .28 - OK

IMPERVIOUS COVER CALCULAITONS

ALLOWABLE = 7431 SF X .45 = 3344 SF

EXISTING

1265 SF - DRIVEWAYS & 201 - CONCRETE/STONE WALKS

1222 SF - HOUSE 6 SF - AC PAD 0 SF - WOOD DECKS

288 SF - GARAGE 0 SF - ROOF OVERHANGS OVER 2'-0"

TOTAL EXISTING - 2694 SF - TOTAL = 36%

REMOVED IMPERVIOUS

88 SF - LAUNDRY ROOM 1265 SF - DRIVEWAY

TOTAL REMOVED - 1364 SF

PROPOSED NEW

958 SF - NEW HOUSE 205 SF - NEW CARPORT

470 SF - NEW DRIVEWAY 6 SF - NEW AC

165 SF - NEW SHADE CANOPY

TOTAL IMPERVIOUS

TOTAL NEW - 1804 SF

2694 SF - EXISTING -1364 SF - REMOVED

1804 SF- PROPOSED NEW 3134 SF = TOTAL IMPERVIOUS = 42% - OK

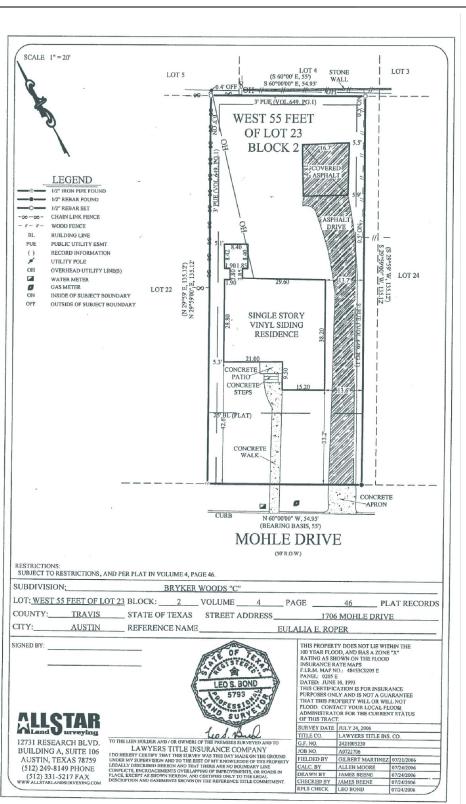
FRONT YARD IMPERVIOUS COVER CALCULAITONS - 500 SF ALLOWABLE

1375 SF - TOTAL AREA

0 SF - EXISTING HOUSE 100 SF - PROPOSED NEW DRIVEWAY 103 SF - EXISTING WALK

TOTAL - 203 SF - OK

OWNERS' SURVEY (for reference only, no scale)



NO SCALE

BUILDING GENERAL NOTES

CONTRACTOR SHALL VERIFY AND CORRELATE ALL DIMENSIONS ON THE JOB SITE. USE DIMENSIONS AS INDICATED. DO NOT SCALE DIMENSIONS ON DRAWINGS.

CONTRACTOR TO LOCATE AND LAYOUT WALLS AND PARTITIONS AS THEY RELATE TO THE STRUCTURE AND OTHER BUILDING ELEMENTS AS SHOWN ON THE DRAWINGS AND IN CONFORMANCE WITH THE DESIGN CONCEPT AND INTENT.

ALL FLOOR PLAN DIMENSIONS ARE TO THE FACE OF STUDS, AND WINDOW MULLIONS, UNLESS NOTED OTHERWISE, (U.N.O.)

ALL FLOOR PLAN DIMENSIONS TO THE OUTSIDE FACE OF MASONRY VENEER ARE TO THE EXTERIOR FACE OF THE EDGE OF THE CONCRETE SLAB. THESE DIMENSIONS ARE ACTUAL DIMENSIONS.

DIMENSIONS NOTED AS CLR. (CLEAR) AND O.T.O. (OUTSIDE TO OUTSIDE) ARE TO FACE OF STUD.

PROVIDE CONCEALED FIRE TREATED WOOD BLOCKING WHERE REQUIRED FOR THE PROPER ANCHORAGE OF WALL ATTACHED ITEMS SUCH AS, TOILET ACCESSORIES, CASEWORK, AND ALL OTHER ITEMS OR MISCELLANEOUS EQUIPMENT.

PROVIDE THAT ALL EQUIPMENT/CASEWORK LOCATED ON EXTERIOR WALLS ARE SHIMMED AT LEAST 1/4" FROM FINISHED WALL SURFACE TO PROMOTE AIR CIRCULAITON TO DISCOURAGE MOLD GROWTH

SITE GENERAL NOTES

CONTRACTOR SHALL VERIFY AND CORRELATE ALL DIMENSIONS ON THE JOB SITE. USE DIMENSIONS INDICATED. DO NOT SCALE DIMENSIONS ON DRAWINGS.

ANY WORK THAT INVOLVES CUTTING OR DAMAGE TO EXISTING CONDITIONS SHALL BE REPAIRED TO MATCH EXISTING.

RESTORE EXISTING LANDSCAPE AREAS AND LAWNS DAMAGED BY CONSTRUCTION.

PROVIDE FOR PUBLIC SAFETY AT ALL TIMES ON CONSTRUCTION SITE.

REMOVE ALL EXISTING CONSTRUCTION, APPURTENANCES & LANDSCAPING WITHIN THE FOOTPRINT OF NEW CONSTRUCTION.

SLOPE GRADE AWAY FROM NEW BUILDING A MINIMUM OF 1/2" PER FOOT FOR 10'. SLOPE NEW IMPERVIOUS SURFACES (SIDEWALKS/PAVING/FLATWORK) AWAY FROM BUILDING A MINIMUM OF 1/8" PER FOOT.

LOCATE & MARK ALL UTILITIES PRIOR TO BEGINNING ANY CONSTRUCTION. NOTIFY UNDERGROUND UTILITY COMPANIES PRIOR TO ANY EXCAVATION AS REQUIRED. REPAIR ANY DAMAGED UTILITY LINES AT CONTRACTOR'S EXPENSE.

THE LIMITS OF CONSTRUCTION SHALL INCLUDE BUT NOT BE LIMITED TO 12' OUTSIDE OF ANY CONSTRUCTED OR RENOVATED AREA, NOT TO EXTEND BEYOND THE PROPERTY LINE.

SITE LEGEND





----- WTR ------ NEW WATER LINE

NEW OVERHEAD ELECTRICAL LINE

NEW UNDERGROUND ELECTRIC -SS ----- NEW SANITARY SEWER

----- NEW GAS LINE → NEW FENCING

LIMITS OF CONSTRUCTION

MISCELLANEOUS WORK

- 1. Move hall light next to attic Enlarge attic door
- 3. Lay plywood down in attic to allow for storage 4. Reroute a/c duct to correct air flow to front room
- 5. Add air vent to front room 6. Add exhaust fan to front bathroom
- 7. Replace main water line 8. Install new tankless water heater next to existing water heater, connect.
- 9. Install Batt Insulation under wood floors
- 10. Replace 8 existing windows 12. Close in mailbox slot



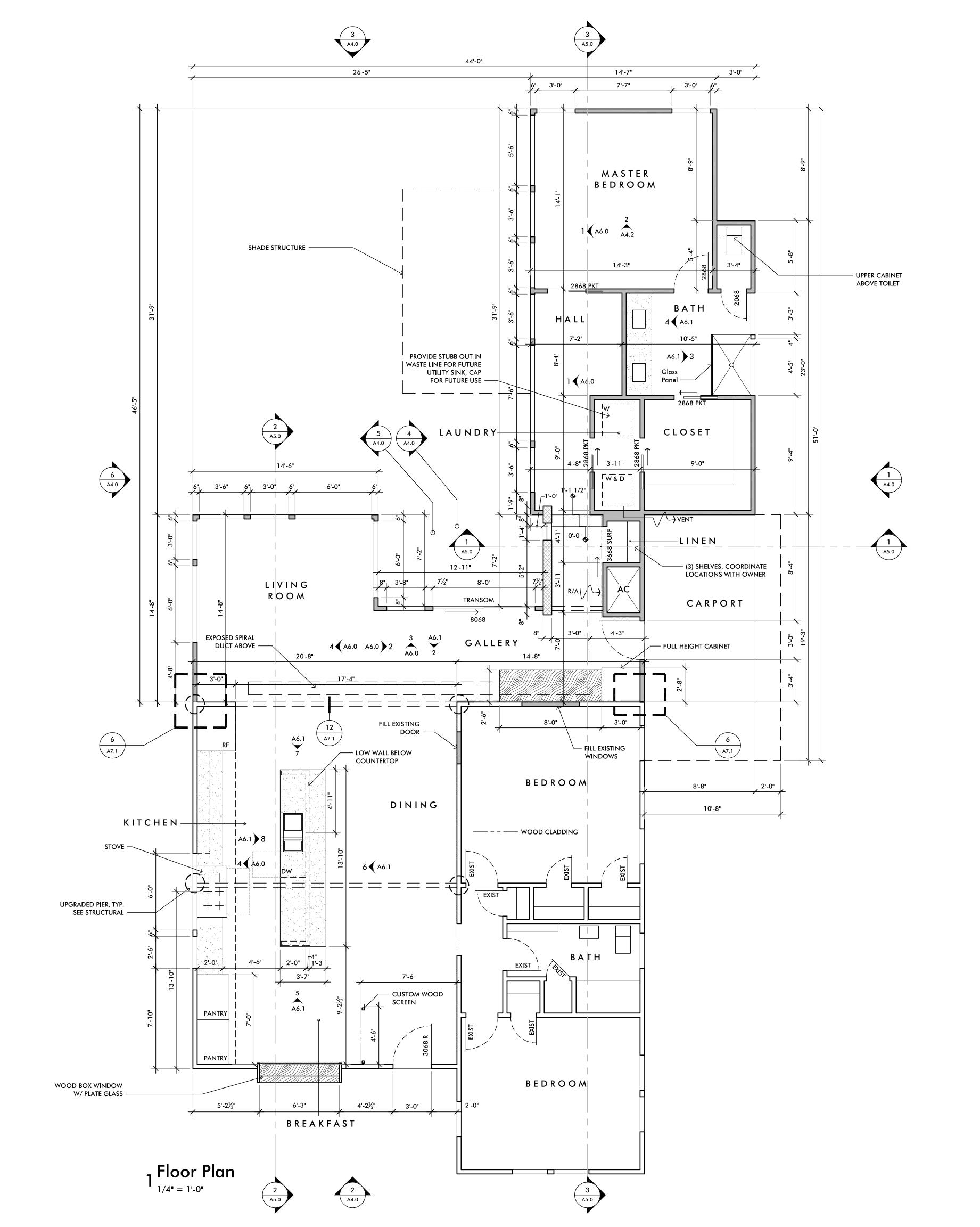
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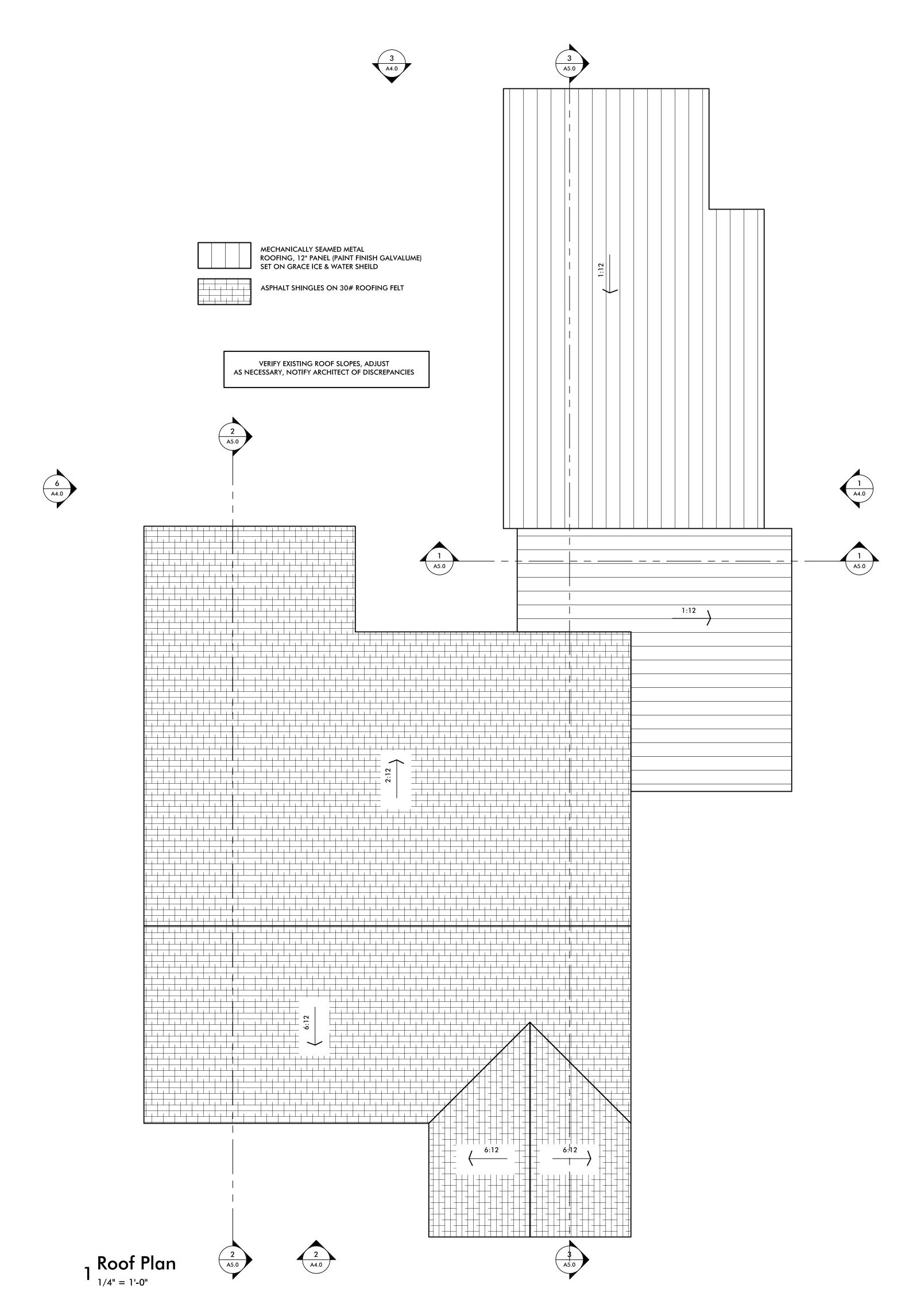


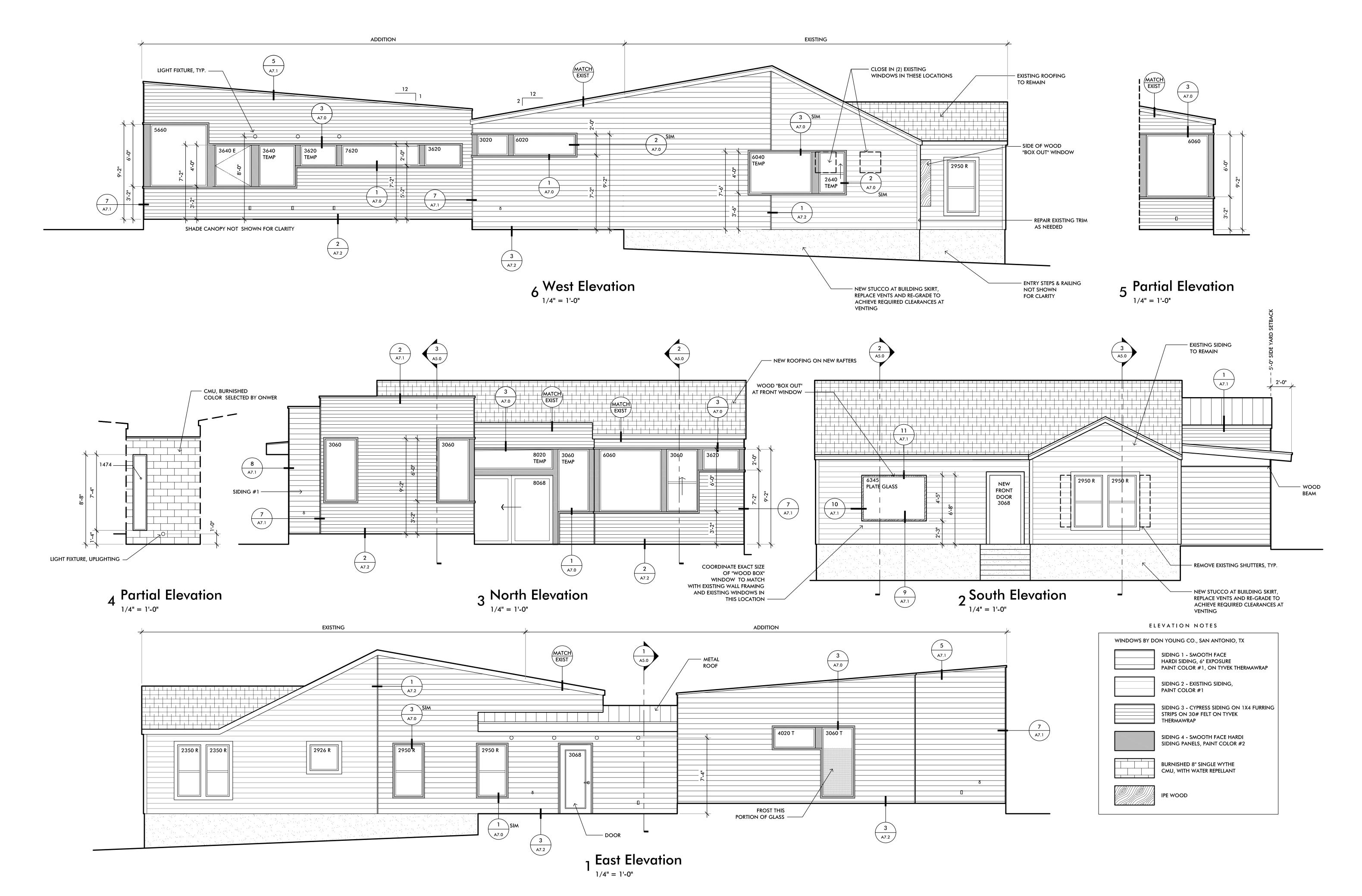
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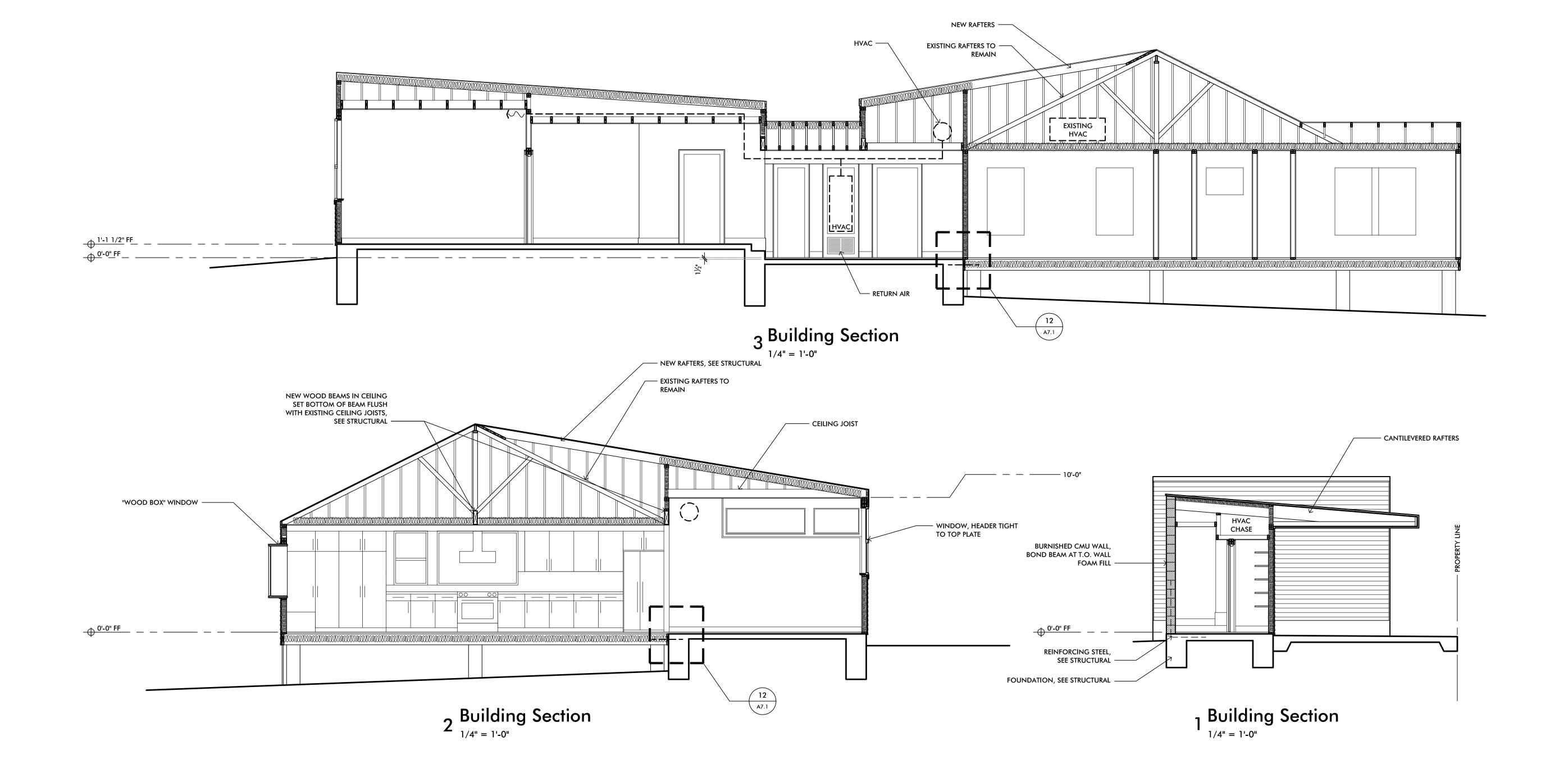


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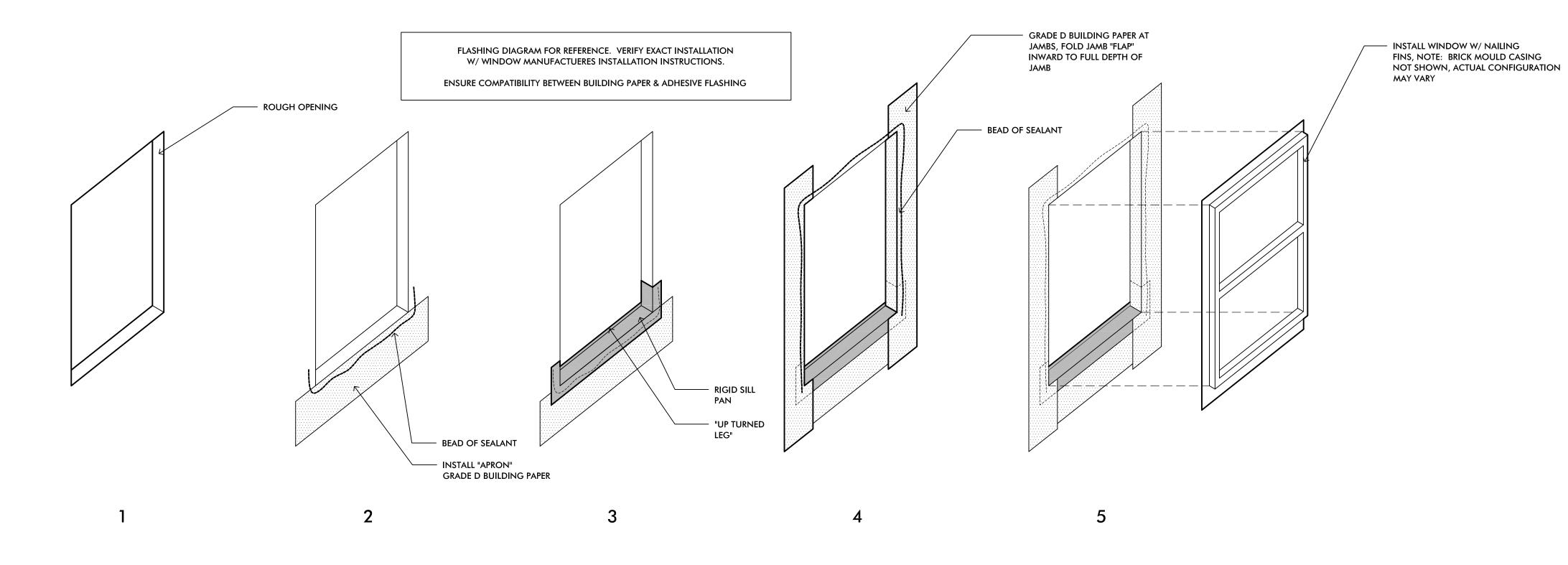


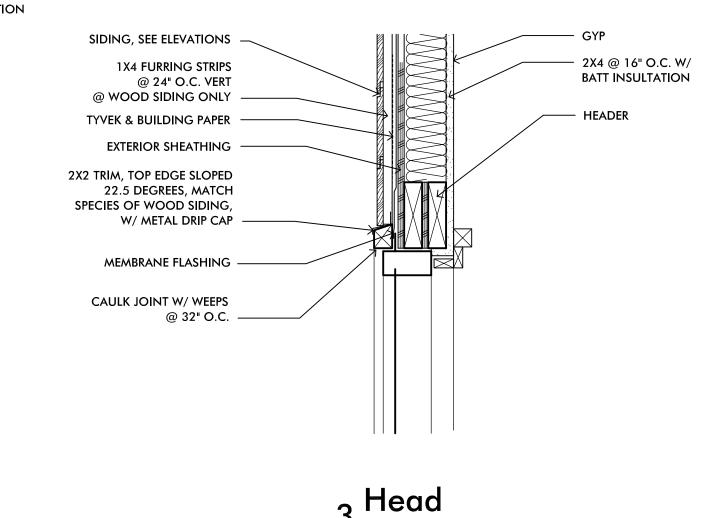
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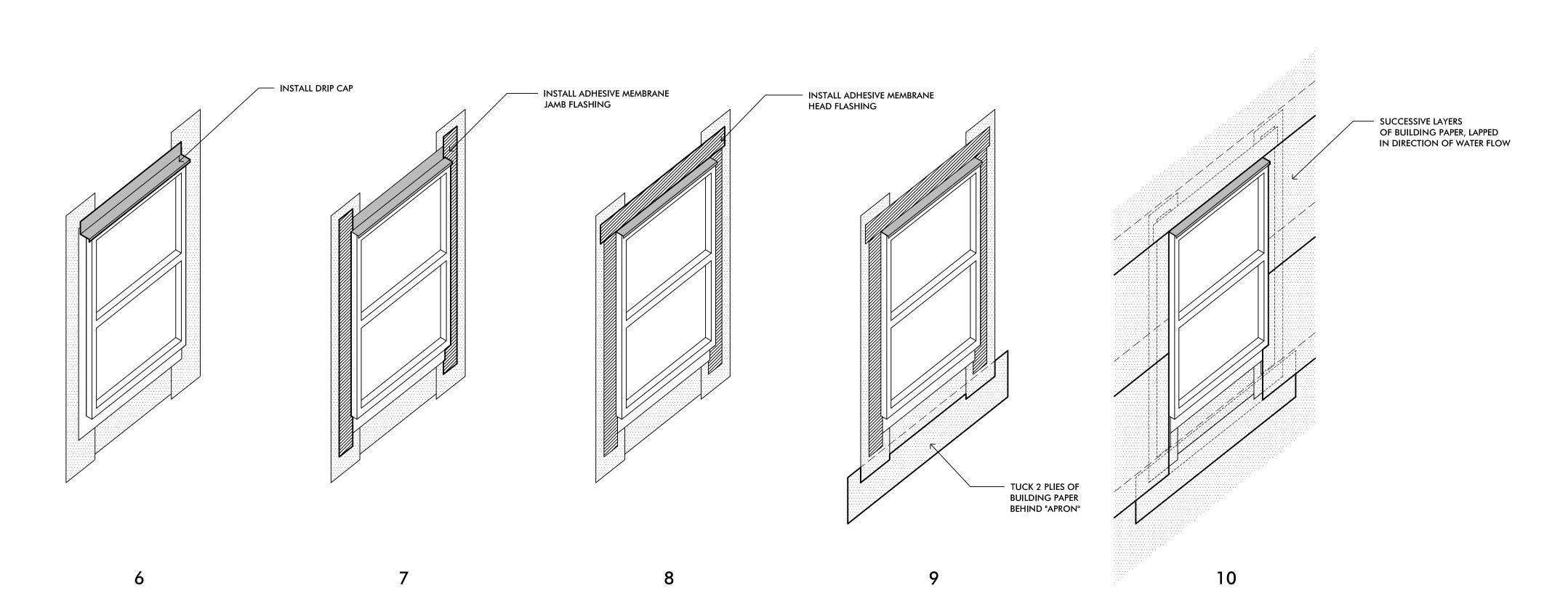
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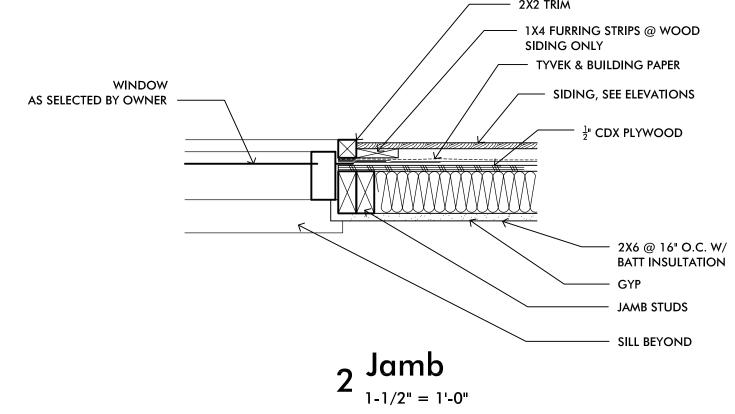
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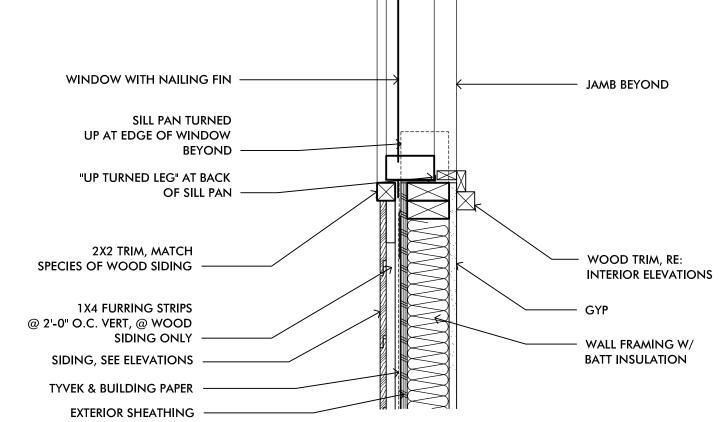






4 Window Flashing Diagram





1 Sill
1-1/2" = 1'-0"



8/5/2010

Project Number 1001

> 8/5/2010 Sheet Number

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