

Historic Landmark Commission
April 23, 2012
National Register Historic District
NRD-2012-0039
Old West Austin
1905 W. 30th Street

PROPOSAL

Construct a new 2,418 sq. ft. house on site of a former non-contributing house.

PROJECT SPECIFICATIONS

The applicant proposes to construct a new 2,418 sq. ft., two-story house on the site of a former non-contributing house. The house will have multiple hipped and gable roofs. The front façade of the first floor will have stone veneer, with Hardiplank, horizontal siding with a 5" exposure on the second story, and side and rear walls. The house will have architectural details that reference Craftsman style, such as the square stone veneer pier and wood column supporting the porch roof, exposed rafter ends, false brackets, and grouped windows. There are a variety of window types on the front and side elevations including casement, 2:2, double-hung, and slider. There is also a large glass block window on the side elevation. The house will have a front facing garage that is set back from the front most wall and porch.

STANDARDS FOR REVIEW

The property is listed as non-contributing to the Old West Austin National Register Historic District. The Old West Austin National Register Historic District has no specific design guidelines for new construction. Applicable general design review guidelines state:

- Contemporary designs for alterations and additions to existing properties are appropriate when such alterations and additions do not destroy significant historic, architectural, or cultural material and are compatible with the size, scale, color, material, and character of the property, neighborhood, or environment.

The property is immediately adjacent to a contemporary condominium develop located at the western edge of the District. The size, scale and design of other houses on the block vary widely, with one and two-story houses, and styles that range from Minimal Traditional to Contemporary. The size, scale and materials are compatible with other properties, however, the front facing attached garage is not, although it is set back from the front-most wall.

STAFF RECOMMENDATION

Release the permit, however request the applicant consider moving the garage further back from the front façade, and provide additional window openings on the east elevation.

PHOTOS



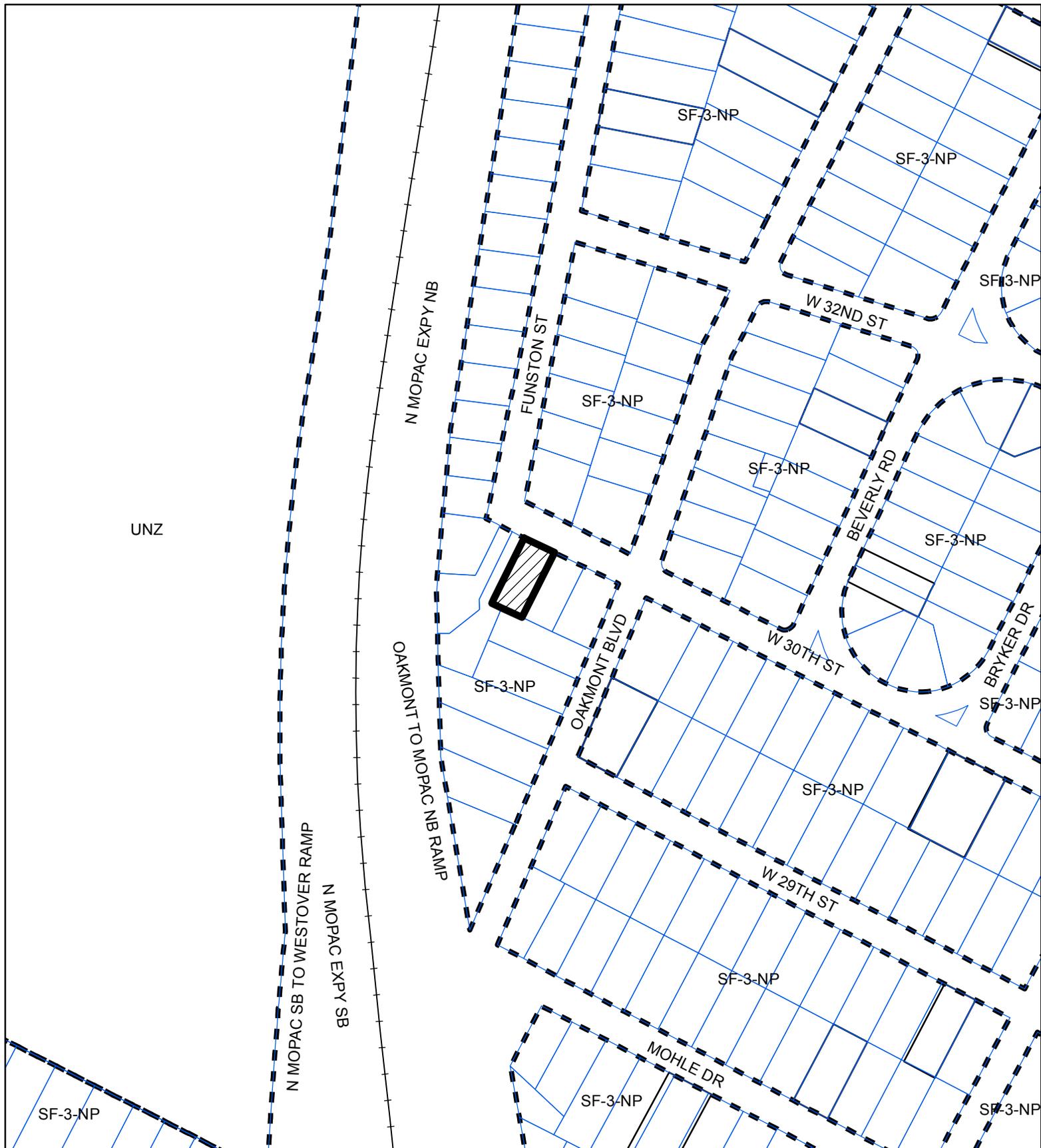
Views of condominium development immediately to the west of 1905 W. 30th Street



View looking across the street from 1905 W. 30th Street



View looking down the street from 1905 W. 30th Street



NATIONAL REGISTER DISTRICT



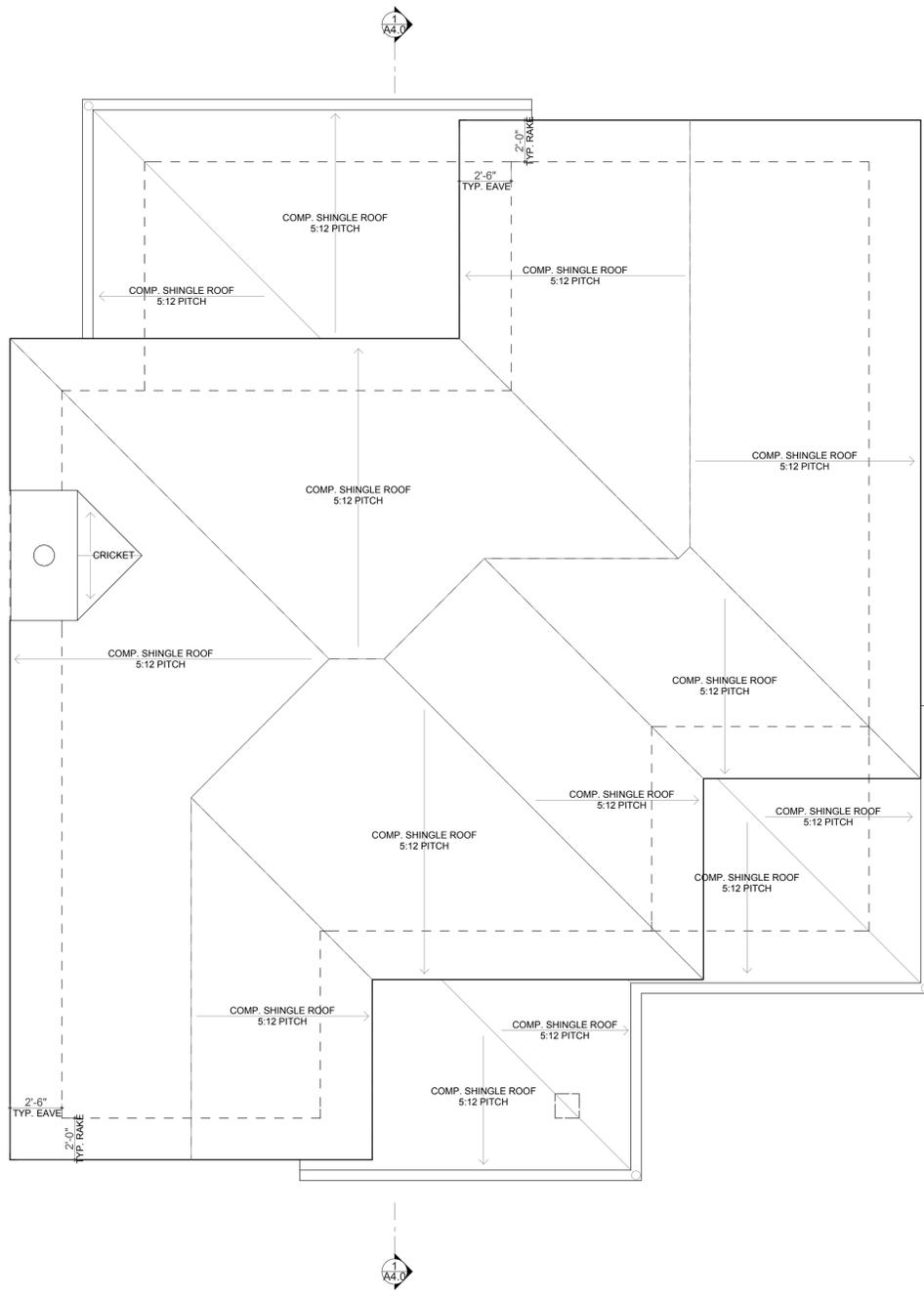
 SUBJECT TRACT

 ZONING BOUNDARY

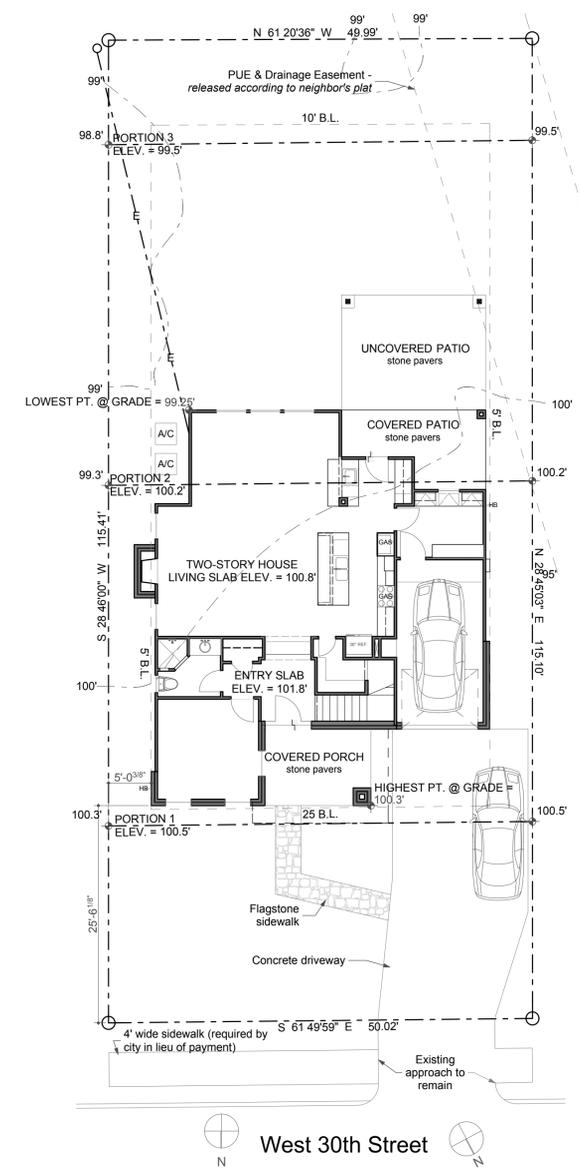
CASE#: NRD-2012-0039
 LOCATION: 1905 W 30TH STREET
 GRID: H 25
 MANAGER: ALYSON McGEE



This map has been produced by the Communications Technology Management Dept. on behalf of the Planning Development Review Dept. for the sole purpose of geographic reference. No warranty is made by the City of Austin regarding specific accuracy or completeness.



2 Roof Plan
SCALE: 1/4" = 1'-0"



1 Site Plan
SCALE: 1" = 10'

OWNER

Trey and Allison Jackson
1905 W. 30th Street
Austin, TX 78703

ARCHITECT

Nick Mehl Architecture
Nick Mehl, AIA
1015 West 34th Street
Austin, TX 78703
512.473.8228

STRUCTURAL ENGINEER

GENERAL CONTRACTOR

Mark Myers
CGB; GMB; CGP; Texas Star Builder
MM Custom Homes, LTD.
251 N FM 1626 #2D
Buda, TX 78610
(512) 312-1717 O
(512) 312-0688 F
(512) 750-9990 C

PROPERTY DESCRIPTION

LOT 3 BRYKERWOODS ANNEX NO 2 RESUB OF PT LTS 6-10.

- DO NOT SCALE DRAWINGS. Contractor to report any discrepancies in the drawings to Architect prior to commencement of construction.
- All dimensions are to face of framing unless noted otherwise.

T.O. = TOP OF
B.O. = BOTTOM OF
U.O.N. = UNLESS OTHERWISE NOTED
TYP. = TYPICAL
GYP. = GYPSUM
DWGS. = DRAWINGS
TS = TUBE STEEL

	EXISTING	NEW / ADDITION
ZONING: SF-3		
LOT SIZE		6,047 sf
1st FLOOR CONDITIONED AREA		1,193 sf
2nd FLOOR CONDITIONED AREA		1,213 sf
3rd FLOOR CONDITIONED AREA		0 sf
GARAGE (200 sf EXEMPT FROM F.A.R.)		212 sf
ATTACHED		
WOOD DECKS (counted 100%)		0 sf
BREEZEWAYS		0 sf
COVERED PATIOS		125 sf
COVERED PORCHES		112 sf
BALCONIES		0 sf
SWIMMING POOL		0 sf
OTHER		0 sf
TOTAL BUILDING COVERAGE ON LOT		1,662 sf
DRIVEWAY AREA		553 sf
SIDEWALK / WALKWAYS		63 sf
UNCOVERED PATIOS		229 sf
UNCOVERED WOOD DECKS (counted 50%)		0 sf
AIR CONDITIONER PADS		18 sf
CONCRETE DECKS		0 sf
OTHER		0 sf
BUILDING COVERAGE	1662/6047=27%	
TOTAL IMPERVIOUS COVERAGE	2525/6047=42% (45% allowed)	
TOTAL GROSS FLOOR AREA *2,300 sf ALLOWED		2,418 sf
FLOOR AREA RATIO		.40

- A1.0 SITE PLAN, ROOF PLAN & GENERAL NOTES
- A2.0 FLOOR PLANS, WINDOW & DOOR SCHEDULES
- A3.0 EXTERIOR ELEVATIONS
- A4.0 BUILDING SECTION, WALL SECTION & INTERIOR ELEVATIONS
- A5.0 INTERIOR ELEVATIONS
- E1.0 ELECTRICAL PLANS

Revisions: By:

NICK MEHL
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Jackson Residence
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Austin, Texas 78703

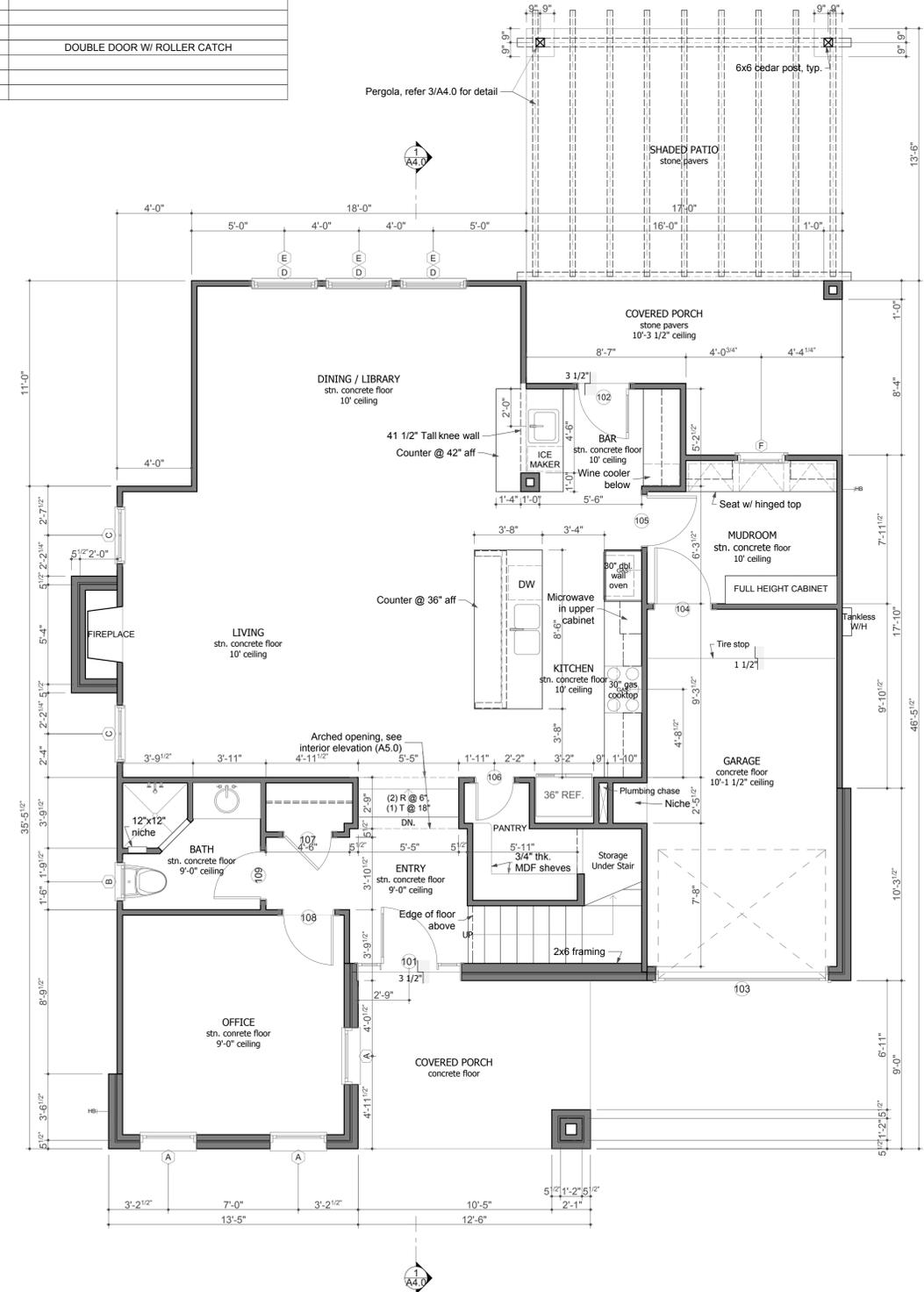
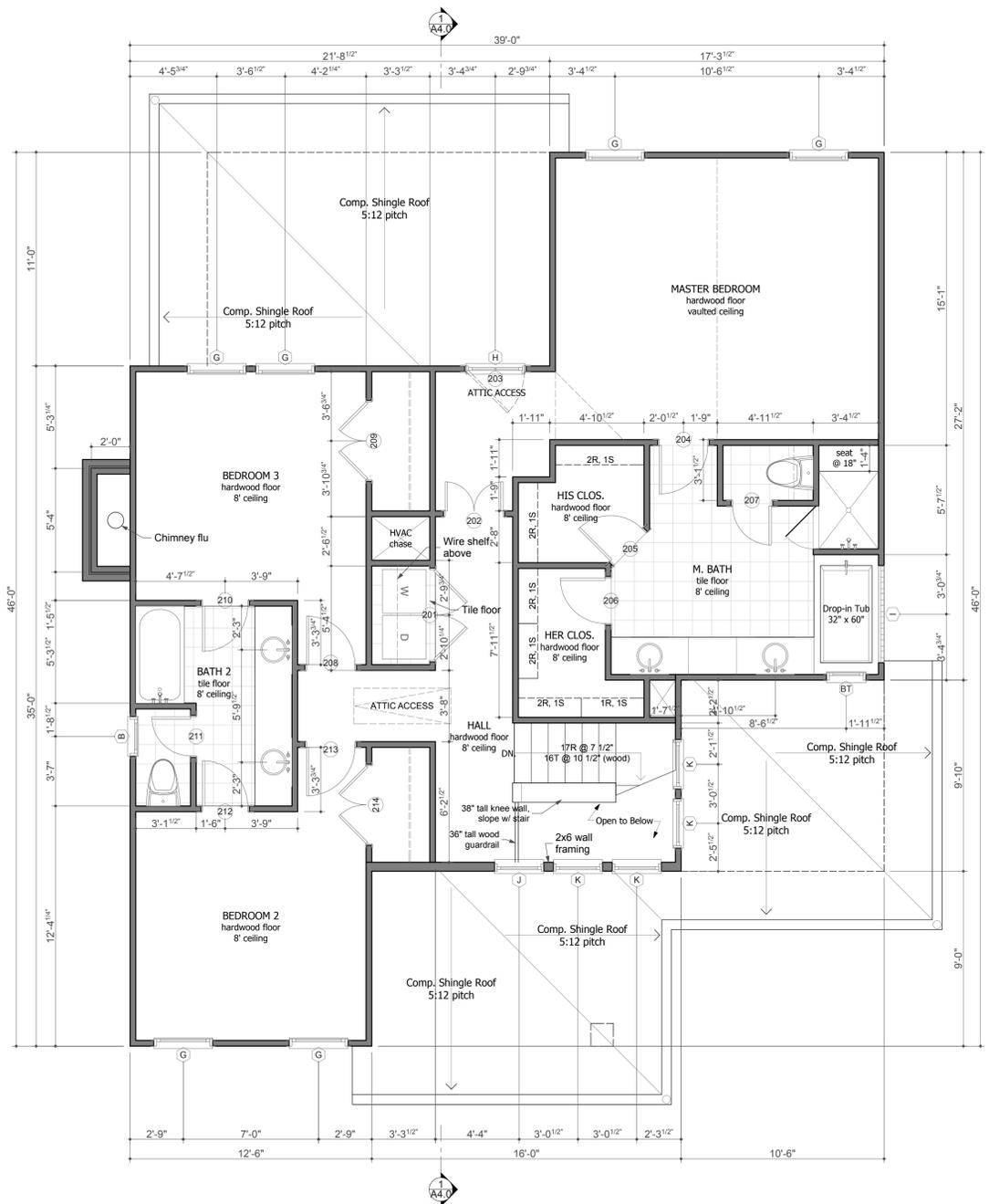
Title Sheet

Date: 01.20.12
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Job: #Pin
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DOOR SCHEDULE						
MARK	SIZE		MATL	GLZ	SET NO	NOTES
	W	HT				
101	3'-0"	6'-8"	WOOD	LOW-E		W/ SIDELIGHTS AND TRANSOM - SEE ELEVATION
102	2'-8"	8'-0"	WOOD	LOW-E		EXTERIOR DOOR
103	9'-0"	7'-0"	WOOD	-		GARAGE DOOR
104	3'-0"	8'-0"	SOLID CORE	-		
105	2'-8"	8'-0"	SOLID CORE	-		
106	2'-0"	6'-8"	HOLLOW CORE	-		
107	2'-6"	6'-8"	HOLLOW CORE	-		
108	2'-8"	6'-8"	SOLID CORE	-		
109	2'-6"	6'-8"	SOLID CORE	-		
201	4'-8"	6'-8"	SOLID CORE	-		DOUBLE DOOR W/ ROLLER CATCH
202	3'-0"	8'-0"	SOLID CORE	-		DOUBLE DOOR W/ ROLLER CATCH
203	3'-0"	3'-0"	SOLID CORE	-		WEATHERSEAL
204	2'-6"	6'-8"	SOLID CORE	-		
205	2'-4"	6'-8"	HOLLOW CORE	-		
206	2'-4"	6'-8"	HOLLOW CORE	-		
207	2'-0"	6'-8"	SOLID CORE	-		
208	2'-6"	6'-8"	SOLID CORE	-		
209	4'-0"	6'-8"	HOLLOW CORE	-		DOUBLE DOOR W/ ROLLER CATCH
210	2'-4"	6'-8"	SOLID CORE	-		
211	2'-0"	6'-8"	SOLID CORE	-		
212	2'-4"	6'-8"	SOLID CORE	-		

WINDOW SCHEDULE					
MARK	Quantity	SIZE		OPERATION	NOTES
		WIDTH	HEIGHT		
A	3	3'-0"	6'-0"	DOUBLE HUNG	
B	2	2'-0"	3'-0"	DOUBLE HUNG	
BT	1	2'-0"	3'-0"	DOUBLE HUNG	TEMPERED GLASS
C	2	3'-0"	2'-0"	FIXED	
D	3	3'-6"	6'-0"	DOUBLE HUNG	OFFSET SASH - SEE ELEVATION
E	3	3'-6"	1'-6"	FIXED	
F	1	2'-6"	4'-0"	DOUBLE HUNG	
G	6	3'-0"	5'-0"	DOUBLE HUNG	EGRESS WINDOW
H	1	3'-0"	2'-6"	AWNING	
I	1	5'-0"	5'-0"	-	GLASS BLOCK
J	1	2'-6"	3'-6"	CASEMENT	
K	4	2'-6"	3'-6"	FIXED	



2 Second Floor
SCALE: 1/4" = 1'-0"

1 First Floor
SCALE: 1/4" = 1'-0"

Revisions:	By:

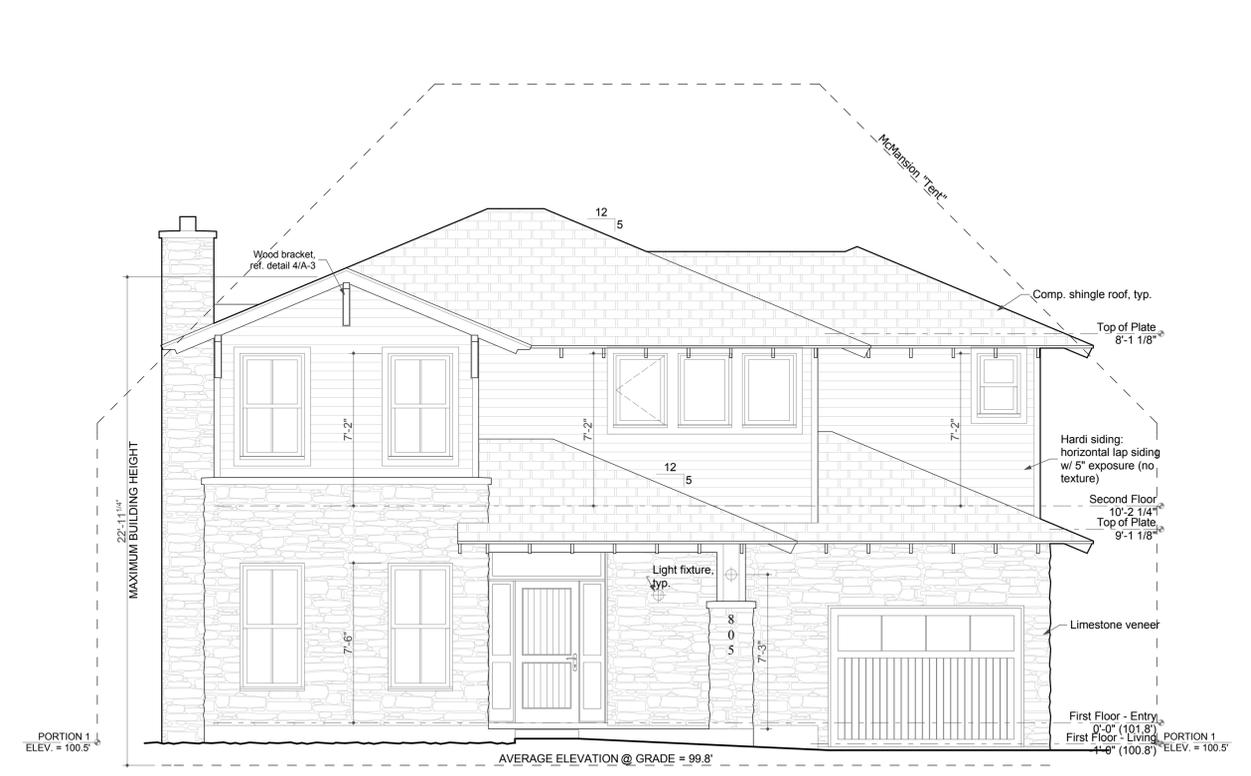
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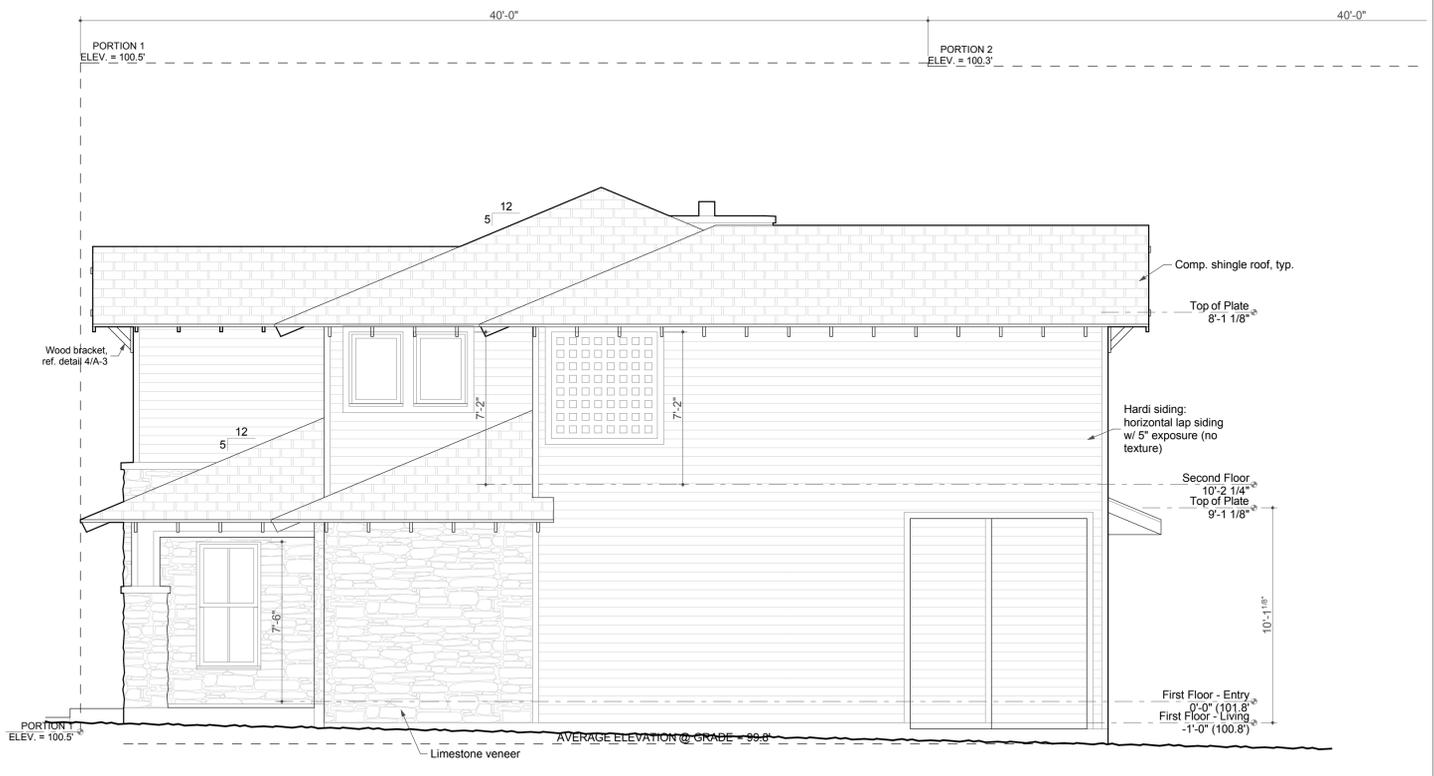
Exterior Elevations

Date: 01.20.12
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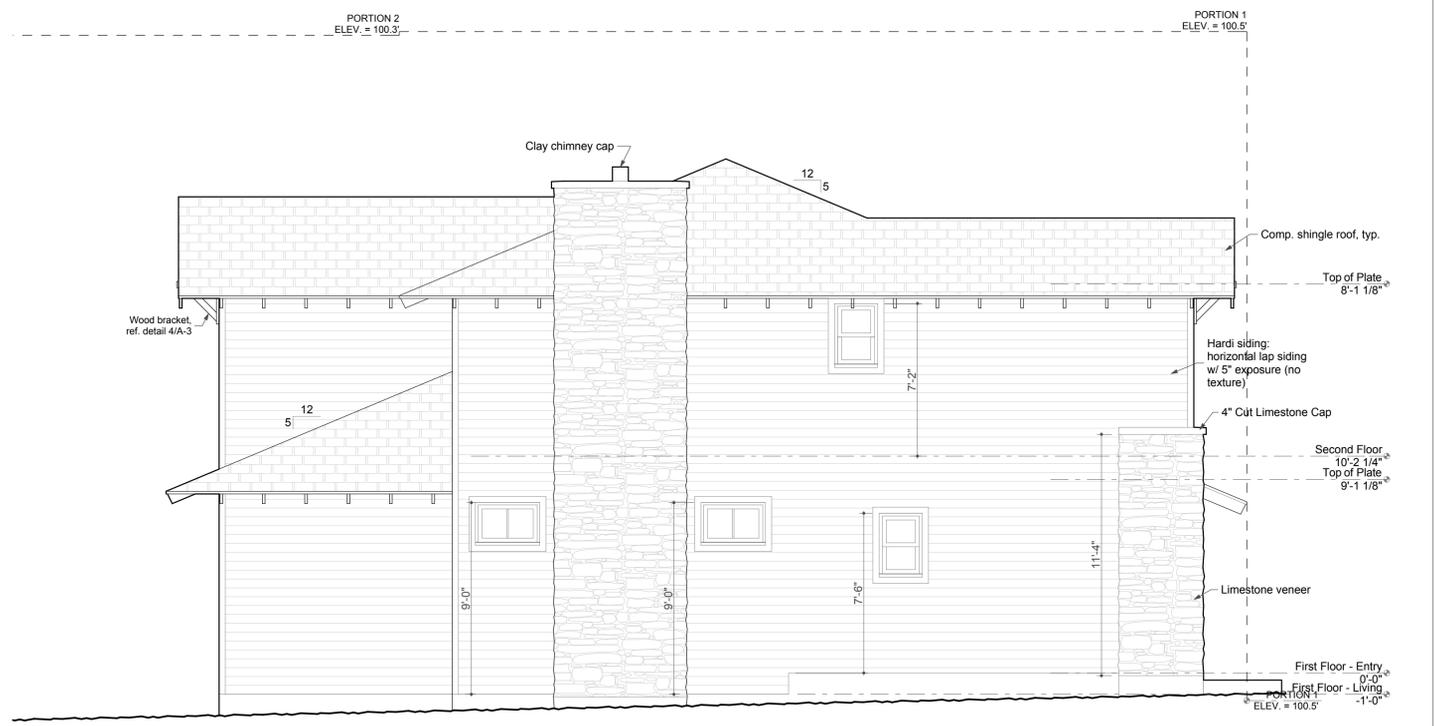
1 North Elevation (Front)
 SCALE: 1/4" = 1'-0"



2 West Elevation
 SCALE: 1/4" = 1'-0"



3 South Elevation
 SCALE: 1/4" = 1'-0"



4 East Elevation
 SCALE: 1/4" = 1'-0"