

**Historic Landmark Commission
April 23, 2012
National Register Historic District
NRD-2012-0038
Old West Austin
3307 Oakmont Boulevard**

PROPOSAL

Construct a new 2,849 sq. ft. house on a vacant lot.

PROJECT SPECIFICATIONS

The applicant proposes to construct a new 2,849 sq. ft., two-story house on a vacant lot. The house will have multiple hipped and gable roof forms and architectural features that reference Craftsman style, including square stone veneer piers with squared posts and brackets supporting the porch roof, and false brackets in the eaves. Windows on the front façade will be 4:4, double-hung as well as square, fixed windows. Siding will be horizontal siding with an 8" exposure on the majority of the first level, with board and batten on the second level, as well as some areas of the first level. The roof will be metal. The house has a partial width front porch with a stone veneer skirt and a front facing garage, with a carriage house style door. The front of the garage is approximately 16' forward of the front porch.

STANDARDS FOR REVIEW

The property is listed as non-contributing to the Old West Austin National Register Historic District. The Old West Austin National Register Historic District has no design guidelines for additions. Applicable general design review guidelines state:

- Contemporary designs for alterations and additions to existing properties are appropriate when such alterations and additions do not destroy significant historic, architectural, or cultural material and are compatible with the size, scale, color, material, and character of the property, neighborhood, or environment.

The property is immediately adjacent to a newer house of contemporary design that also has a garage set farther forward than the wall of the main structure. Other houses on this and adjacent blocks have both detached and attached garages that face the street. Other residences on this block tend to be one-story Minimal Traditional style homes, although there are newer two-story homes (with front facing attached garages), as well as various other mid-century era homes of various styles on adjacent streets.

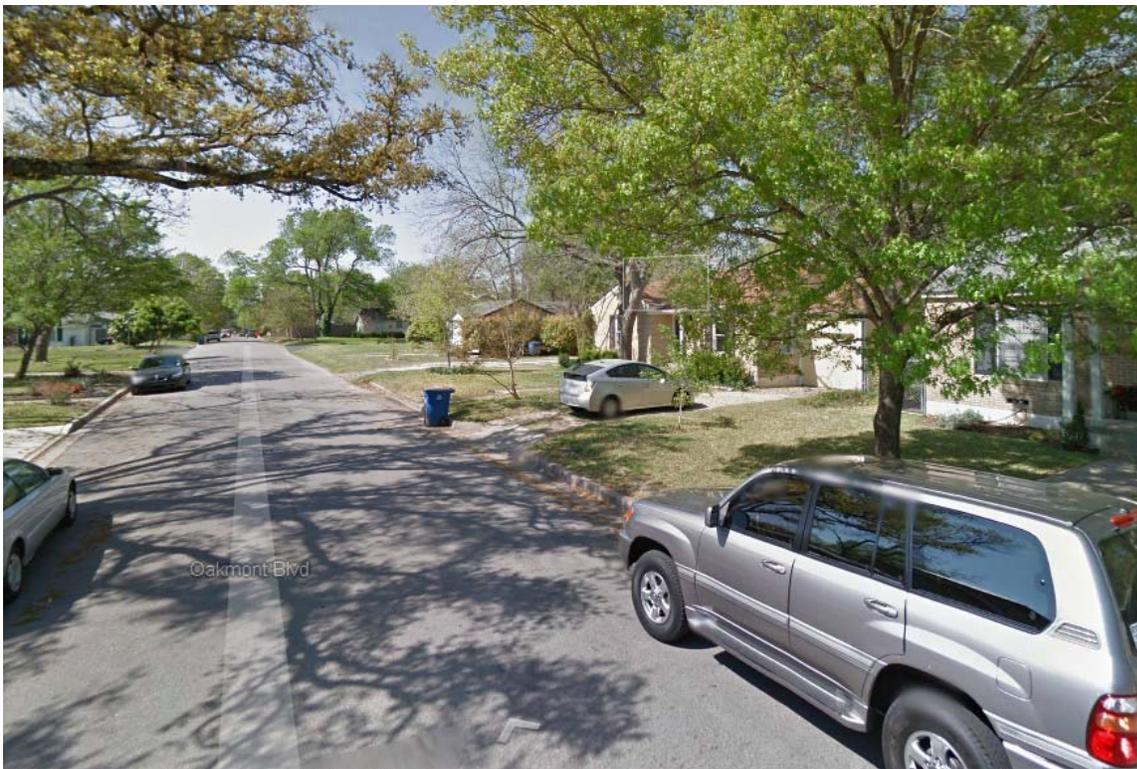
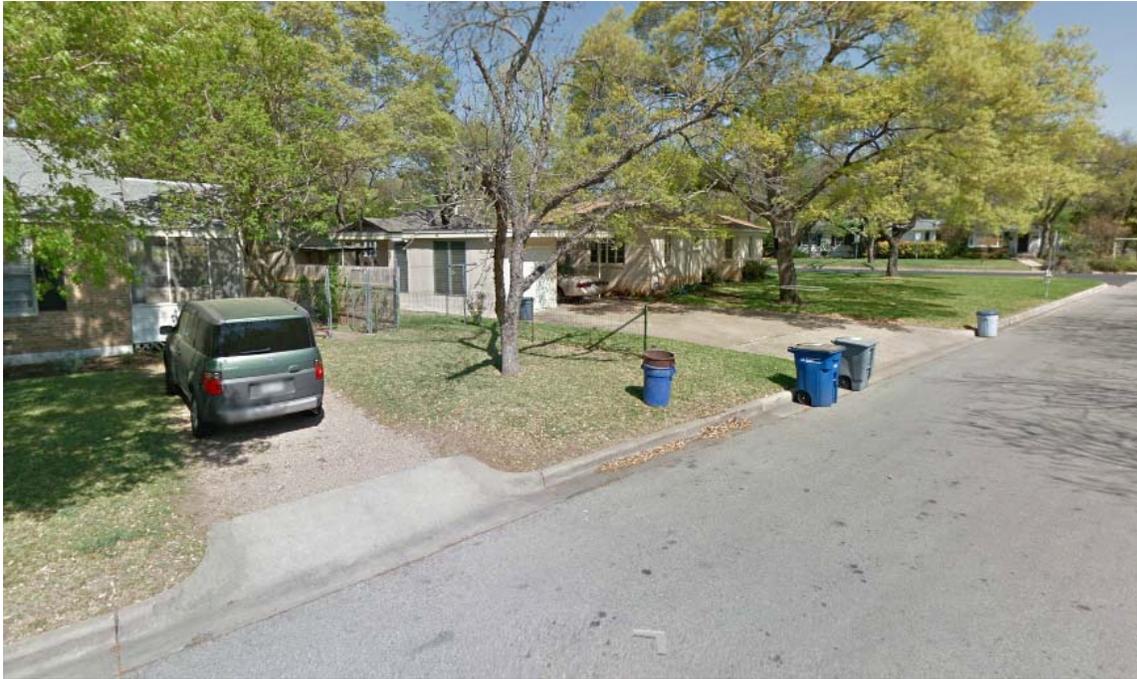
STAFF RECOMMENDATION

Release the permit, however request the applicant consider moving the garage further back from the front façade.

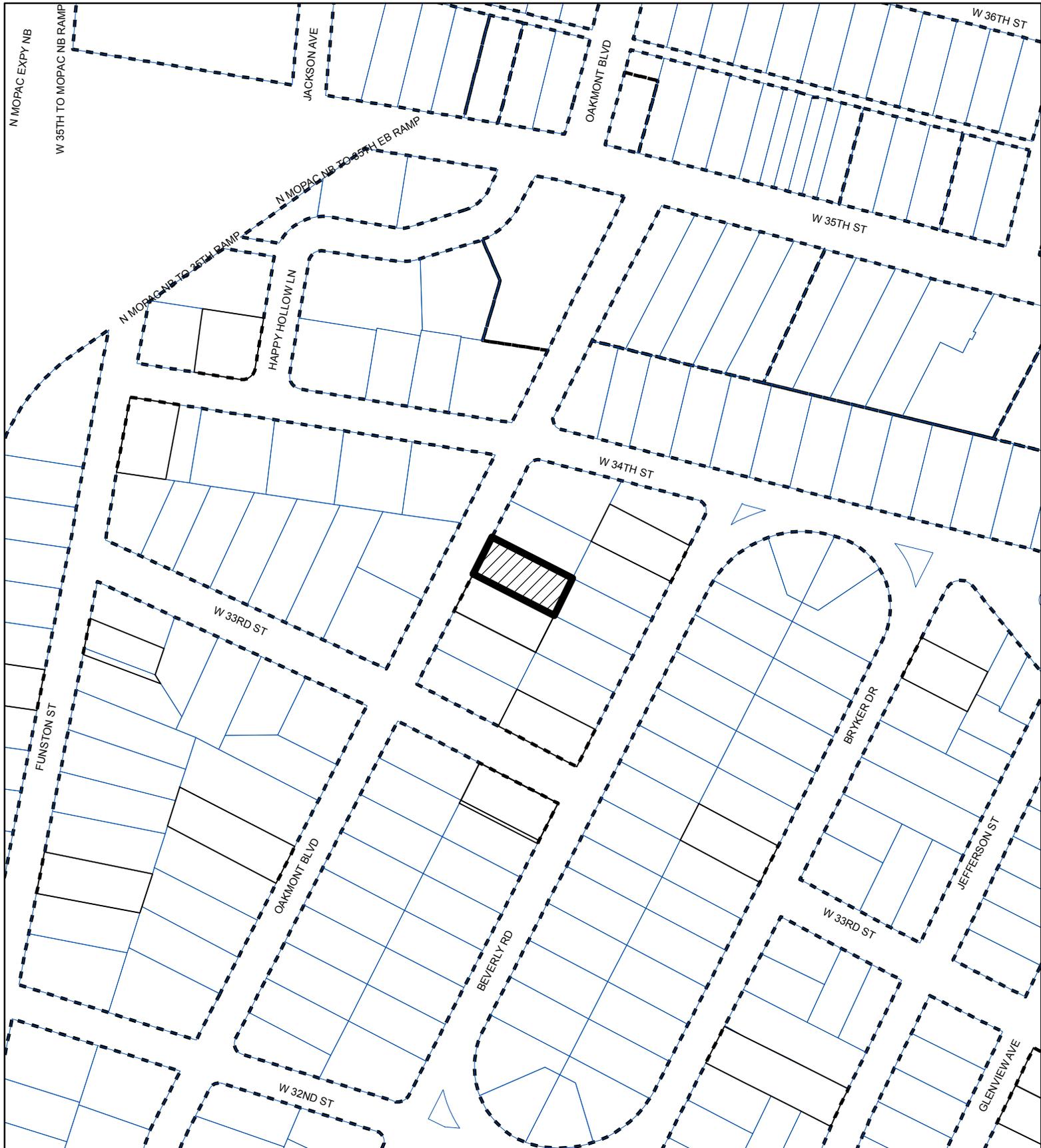
PHOTOS



Views of adjacent properties to 3307 Oakmont Blvd.



View looking across and down the street from 3307 Oakmont Blvd.



SUBJECT TRACT



ZONING BOUNDARY

CASE#: NRD-2012-0038
 LOCATION: 3307 Oakmont Boulevard



This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

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GENERAL SITE NOTES:

- BUILDER TO RESURFACTURE TOPOGRAPHY AND/OR FINISHED GRADE AS REQ'D. TO PROVIDE POSITIVE DRAINAGE OF SURFACE WATER AWAY FROM BUILDING & TO PREVENT NEGATIVE IMPACT ON ADJACENT PROPERTY.
- FINAL LOCATION OF RESIDENCE AND FINISHED FLOOR ELEVATION TO BE VERIFIED BY BUILDER AND APPROVED BY OWNER PRIOR TO SLAB FORMWORK BEING ERECTED.
- MAXIMUM AMOUNT OF EXPOSED FOUNDATION TO BE 24" UNLESS NOTED OTHERWISE BY CITY, COUNTY OR SUBDIVISION REQUIREMENTS.
- VERIFY METER AND UTILITY SERVICE LOCATIONS PRIOR TO INSTALLATION. UTILITY LINE LOCATIONS ARE APPROXIMATE. GENERAL CONTRACTOR TO FIELD VERIFY FOR EXACT LOCATIONS.
- BUILDER TO PROVIDE CONTROL AND EXPANSION JOINTS AS REQUIRED ON CONCRETE DRIVES, WALKS AND PATIOS.
- BUILDER TO PROVIDE FOR EROSION CONTROL BARRIERS TO BE INSTALLED PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- BUILDER TO PROVIDE FOR STABILIZED TEMPORARY CONSTRUCTION DRIVEWAY TO BE IN PLACE PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- LOCATION OF MAILBOX AND EXTERIOR DRIVEWAY LIGHT(S) TO BE VERIFIED BY OWNER & BUILDER PRIOR TO INSTALLATION.
- ALL STUMPS AND ROOTS SHALL BE REMOVED FROM THE SOIL TO A DEPTH OF 12" BELOW THE SURFACE OF THE GROUND IN THE AREA OF THE BUILDING.
- ALL EXTERIOR MECH HVAC EQUIPMENT TO BE SCREENED PER CITY REQUIREMENTS, DEED RESTRICTIONS OF SUBDIVISION OR NEIGHBORHOOD ASSOCIATION.
- TRASH CAN TO BE STORED IN GARAGE OR IN AN AREA SCREENED FROM PUBLIC VIEW AND PROTECTED FROM ANIMAL ACCESS.
- ALL CONSTRUCTION MATERIALS AND WASTE TO BE STORED ON SITE DURING CONSTRUCTION.
- CONTRACTOR SHALL CLEAN UP AREAS AFFECTED BY DAILY WORK AND REMOVE DEBRIS AND MATERIALS FROM THE SITE UPON COMPLETION OF THE WORK.
- LANDSCAPE PLAN & PERMITS BY OTHERS.

TYP. ABBREVIATIONS:

ABV - ABOVE
ADJ - ADJACENT
A/C - AIR CONDITIONING
AFF - ABOVE FINISHED FLOOR
AFS - ABOVE FINISHED GRADE
APPRX. - APPROXIMATELY
ARCH - ARCHED
BL - BUILT IN
BLW - BELOW
B.O.B. - BOTTOM OF BEAM
C.C. - CASER OPENING
COL - COLUMN
CONC - CONCRETE
CONT. - CONTINUOUS
CPT - CASERET
CT - CASERMENT WINDOW
DBL - DOUBLE
DH - DBL. HUNG WINDOW
DHDL - DBL. HUNG DIVIDED LT.
DTL - DETAIL
SQ - SQUARE
DRSS - DRESSING
DU - DISHWASHER
DUG - DRAINING
ELEC. - ELECTRICAL
ELV. - ELEVATION
E.D. - FURN-DRAIN
FF - FINISHED FLOOR
FG - FIXED GLASS
FLR - FLOOR
FR. DR. - FRENCH DOOR
GD - GARBAGE DISPOSAL
HOB - HOSE BIB
HDR - HEADER
HH - HEADER HEIGHT
HS - HORIZONTAL SLIDER
HVAC - HEATING/VENTILATION/AIR CONDITIONING
INT. VLT. - INTERIOR VAULT
LW - LINEN
LT. - LIGHT

LEGEND:

RETURN AIR GRILL
INTERIOR ELEVATION SYMBOL
WATER HEATER
WATER SOFTENER
TANKLESS WATER HEATER
SHOWER HEAD
HOSE BIBB
PASSIVE
ACTIVE

EXISTING UTILITIES TO REMAIN IN PLACE. BUILDER SHALL CUT AND CAP UTILITY LINES IN PLACE UNTIL READY TO RECONNECT TO NEW CONSTRUCTION.

ZONING: SF-3-NP

NOTE:
PIER & BEAM FOUNDATION TO PROTECT CRITICAL ROOT ZONES ON ADJACENT TREES

LEGEND

WOOD FENCE
CHAIN LINK FENCE
UTILITY LINE
IRON ROD FND.
NAIL FND.
PIPE FND.
UTILITY POLE
SPOT ELEVATION
DRAINAGE EASEMENT
PUBLIC UTILITY EASEMENT

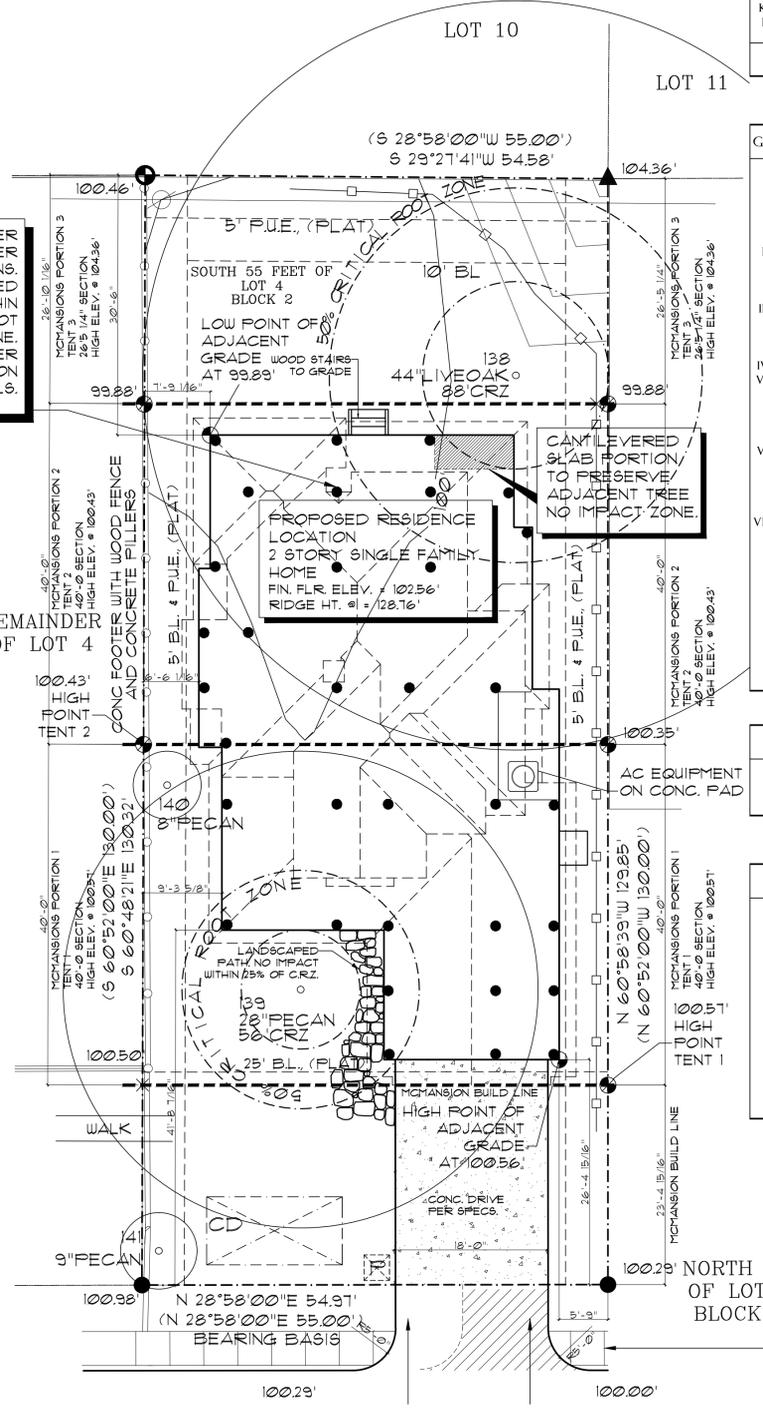
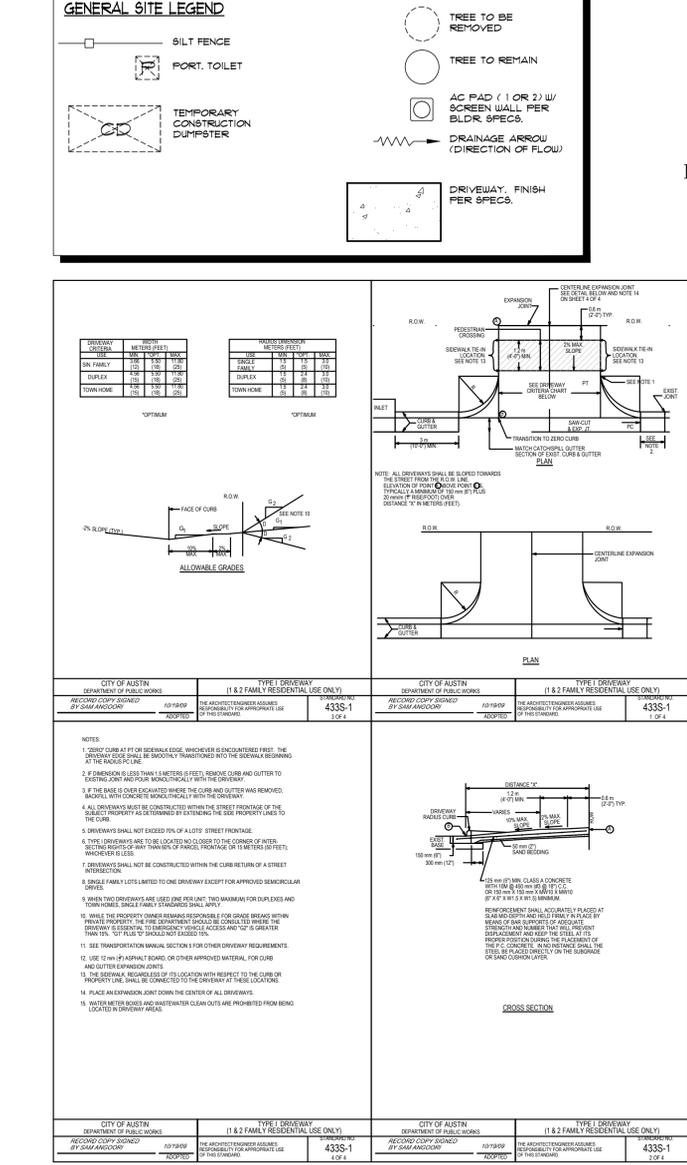
FOUNDATION PIER LOCATIONS PER ENGINEER PLANS. AIRSPACE TO BE USED FOR PIERS WITHIN 1/2 OF CRITICAL ROOT ZONE. REFER TO ENGINEER PLANS FOR FOUNDATION DETAILS.

GENERAL PROJECT NOTES:

- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS EXISTING CONDITIONS AND SITE CONDITIONS PRIOR TO STARTING THE WORK. ANY DISCREPANCIES, CONFLICTS OR NON-COMPLIANCE IN THE CONSTRUCTION DOCUMENTS SHALL BE BRUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO ANY WORK BEING PERFORMED OR MATERIALS BEING ORDERED.
- THE CONSTRUCTION DOCUMENTS ARE INTENDED TO MEET ALL APPLICABLE CODES, ORDINANCES AND ORDINANCES. CONTRACTOR TO COMPLY WITH ALL LOCAL CODES, ORDINANCES, LAWS, PERMITS AND DEED RESTRICTIONS. CONTRACTOR SHALL ALSO REQUIRE ALL SUBCONTRACTORS TO COMPLY WITH THESE REGULATIONS.
- DIMENSIONS INDICATED ON THE CONSTRUCTION DOCUMENTS ARE TO THE STRUCTURAL SURFACE OF WALL, AND DO NOT INCLUDE SHEETROCK, FURRING OR ANY OTHER WALL FINISHES. DIMENSIONS SHALL NOT BE SCALED FROM THESE DRAWINGS. DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE OF DRAWINGS. ANY DIMENSIONS NOT GIVEN SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
- THE CONTRACTOR ACCEPTS FULL RESPONSIBILITY FOR CHECKING PLANS TO ASSURE CONFORMITY TO CURRENT LOCAL BUILDING CODES. SHOULD ANY CHANGES BE MADE TO THESE PLANS BY THE CONTRACTOR OR HIS REPRESENTATIVE WITHOUT CONTACTING THE ARCHITECT, THE CONTRACTOR WILL ACCEPT FULL LIABILITY FOR AMENDED PLANS.
- CONTRACTOR SHALL VERIFY ALL COMPONENTS, MATERIALS, ASSEMBLIES AND FINISHES ARE CONSTRUCTED AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND REQUIREMENTS AND REGULATED BUILDING PRACTICES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURATE IDENTIFICATION OF ALL NEW CONSTRUCTION AT THE SITE. CONTRACTOR SHALL VERIFY SIZING AND LOCATION OF ALL APPLIANCES & RELATED COMPONENTS.
- THE CONTRACTOR SHALL PROVIDE ALL ACCESS PANELS AS REQUIRED BY GOVERNING CODES TO ALL CONCEALED SPACES, VOIDS, ATTICS, ETC. VERIFY LOCATIONS WITH OWNER OR ARCHITECT PRIOR TO INSTALLATION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS, APPROVALS, TESTS, INSPECTIONS AND CERTIFICATES OF COMPLIANCE RELATED TO THIS WORK. CONTRACTOR SHALL GIVE NOTICE TO ALL AUTHORIZED INSPECTORS, SUPERINTENDENTS OR PERSONS IN CHARGE OF UTILITIES AFFECTED BY THE CONSTRUCTION PRIOR TO COMMENCING WORK. THE CONTRACTOR IS RESPONSIBLE FOR ASSURING THAT ALL PERMITS NECESSARY TO LEGALLY PERFORM THE WORK HAVE BEEN OBTAINED PRIOR TO COMMENCING CONSTRUCTION.
- CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND LABOR FOR ONE YEAR FROM THE DATE OF FINAL PAYMENT, IN ADDITION TO ALL WARRANTIES THAT ARE STANDARD TO THE INDUSTRY.
- CONTRACTOR SHALL CLEAN UP CONSTRUCTION AREAS AFFECTED BY DAILY WORK AND MAINTAIN A CLEAN AND ORDERLY WORK AREA AT ALL TIMES. EACH SUBCONTRACTOR IMMEDIATELY UPON COMPLETION OF EACH PHASE OF WORK SHALL REMOVE ALL DEBRIS AS A RESULT OF THEIR WORK. DEBRIS TO BE REMOVED TO DUMPSTER OR APPROVED DUMP SITE ONLY.
- THESE CONSTRUCTION DOCUMENTS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. THE CONTRACTOR IS RESPONSIBLE FOR INITIATING AND MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS NECESSARY FOR COMPLETION OF WORK.
- THESE CONSTRUCTION DOCUMENTS DO NOT SPECIFY ACTUAL PRODUCTS OR MATERIAL SELECTIONS. CONTRACTOR ACCEPTS FULL RESPONSIBILITY FOR APPROPRIATE AND PROPER DETAILING FOR AND BETWEEN ALL ACTUAL PRODUCTS/MATERIALS SELECTED WHEN INSTALLED.
- ARCHITECT IS NOT RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION WHICH ARE NOT DETAILED. IN THESE CONSTRUCTION DOCUMENTS CONTRACTOR WILL BE RESPONSIBLE FOR ALL ASPECTS OF CONSTRUCTION INCLUDING BUT NOT LIMITED TO ALL WATER AND DAMP PROOFING, LOAD CONNECTIONS, MECHANICAL, ELECTRICAL AND PLUMBING SYSTEMS.
- THESE DRAWINGS/SPECS ARE INSTRUMENTS OF SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT WHETHER THE PROJECT IS EXECUTED OR NOT. THESE DRAWINGS SHALL NOT BE USED BY THE CLIENT FOR OTHER PROJECTS, FOR ADDITIONS TO THIS PROJECT OR FOR COMPLETION OF THIS PROJECT BY OTHERS WITHOUT WRITTEN PERMISSION OF THE ARCHITECT.
- ARCHITECTS ARE GOVERNED BY THE TEXAS BOARD OF ARCHITECTURAL EXAMINERS. PHONE: (512) 458-1363.

GENERAL PLAN NOTES:

- USE 2X6 OR DBL. 2X4 @ 12" O.C. FRAMING AT ALL WALLS OVER 10'-0" IN HEIGHT.
- 8'-0" DOORS AND CASER OPENINGS @ 10'-0" OR HIGHER PLATE HEIGHTS/UNO @ 8'-0" DOORS AND CASER OPENINGS @ 9'-0" PL. HT./UNO
- ALL WINDOWS WILL BE DIMENSIONED TO CENTER LINE UNLESS OTHERWISE NOTED. GLASS SIZE PER MFR. SPECS.
- ALL WINDOWS WITHIN 24" OF AN EXTERIOR OR INTERIOR DOOR TO BE TEMPERED GLASS. ALL WINDOWS ABOVE BATHUBS TO BE TEMPERED. ANY WINDOW AT STAIRWAY HAVING A SILL HT. BELOW 36" TO BE TEMPERED WINDOW MANUFACTURER TO VERIFY FOR ALL TEMPERED GLASS LOCATIONS PER APPLICABLE CODES.
- WINDOW MANUFACTURER & THE CONTRACTOR TO VERIFY EGRESSIBLE WINDOWS INSTALLED WHERE REQUIRED BY CODE.
- PROVIDE FOR DOOR FROM MAIN LIVING AREA TO GARAGE AS REQ'D PER CODE.
- HINGED SHOWER DOORS SHALL SWING OUTWARD. ANY GLAZING IN SHOWER OR BATHUB DOORS, PANELS OR OTHER ENCLOSURES SHALL BE TEMPERED.
- WEATHERSEAL ALL EXTERIOR DOOR THRESHOLDS, INCLUDING DOOR TO GARAGE. IF ANY DOOR OR ACCESS PANELS INTO VOIDS.
- HANDRAILS SHALL BE PROVIDED FOR ALL STAIRS WITH 2 OR MORE RISERS. STAIR RAILINGS SHALL BE 36" HT. ABOVE THE STAIR NOSING (NOT LESS THAN 34" NOR ABOVE 38" ABV. STAIR NOSING OF TREAD). THE HANDRAIL PORTION OF HANDRAIL SHALL NOT BE LESS THAN 1 1/2" NOR MORE THAN 2" IN CROSS SECTIONAL DIMENSION OR THE SHAPE SHALL PROVIDE AN EQUIVALENT GRIPPING SURFACE. HANDRAILS PROJECTING FROM A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1 1/2" BETWEEN THE WALL AND HANDRAIL. PROVIDE BLOCKING FOR HANDRAIL MOUNTING AS NECESSARY.
- GUARDRAILS SHALL NOT BE LESS THAN 36" IN HEIGHT. OPEN GUARDRAILS SHALL HAVE INTERMEDIATE RAILS OR ORNAMENTAL PATTERNS SUCH THAT NO OBJECT 4" OR LARGER MAY PASS THROUGH. PROVIDE BLOCKING FOR GUARDRAIL MOUNTING AT STAIRS AS NECESSARY.
- FINISH FLOOR CHIMNEYS SHALL EXCEED 24" (MIN) ABOVE THE HIGHEST POINT OF THE ROOF WITHIN A 10'-0" RADIUS UNLESS NOTED OTHERWISE.
- CONTRACTOR TO PROVIDE A 3/4" PLYWOOD CATAWK FROM ATTIC ACCESS TO HVAC UNITS (IF APPLICABLE). UNITS TO BE LOCATED WITHIN 20'-0" OF ACCESS.
- PROVIDE 10% NET FREE AREA OF ATTIC VENTILATION PER 50 SF. OF TOTAL COVERED ROOF AREA AS PER CODE.
- THE DROP FROM INTERIOR FINISH FLOOR TO ANY EXTERIOR FINISH FLOOR IS TO BE A MINIMUM OF 1/2". CONTRACTOR TO VERIFY MATERIALS USED FOR DECK CONSTRUCTION AND FINISH FLOORING TO MAINTAIN MINIMUM DROP.
- STANDARD PANTRY SHELVING TO BE AS FOLLOWS: LOUDEST 2 SHELVES TO BE 16" D. WITH HEIGHT SPACING OF 14" CLEAR. REMAINING SHELVES TO BE 12" D. WITH HEIGHT SPACING OF 12" CLEAR.
- SQUARE FOOTAGE CALCULATIONS GIVEN ARE BASED ON THESE CONSTRUCTION DRAWINGS NOT THE ACTUAL FINISHED BUILDING(S). ARCHITECT IS NOT RESPONSIBLE FOR ANY ADDITIONS OR CHANGES TO SQUARE FOOTAGES THAT ARE HANDLED IN THE FIELD DURING CONSTRUCTION.
- ALL PLUMBING, AFFLIANCE AND GAS VENTS TO VENT TO REAR OF ROOF RIDGE WHEREVER POSSIBLE. ALL VENTS TO BE GANGED TO THE FEWEST NUMBER POSSIBLE PERMITTING THE ROOF.
- THE STANDARD MOUNTING HEIGHT FOR SHOWER HEADS IS 7'-0" ABOVE FINISH FLOOR UNLESS NOTED OTHERWISE.
- WATER HEATER TO BE INSTALLED ON 18" PLATFORM OR APPROVED ALTERNATE STAINLESS STEEL PER CODE. PROVIDE FOR ALL PLUMBS, HARDWARE, PAN, DRAIN LINES AND VENTING AS REQ'D. TO ADEQUATELY OPERATE. U.H. SIZE & QUANTITY OF U.H. PER SPECS.
- CONTRACTOR TO PROVIDE ALL NECESSARY BLOCKING, BACKING, AND FRAMING FOR LIGHT FIXTURES, ELECTRICAL UNITS, PATIOS, EQUIPMENT, CLOSET ROBS, MEDICINE CABINETS AND ANY OTHER ITEMS AS MAY BE REQUIRED.
- UNO. HOSE BIBB HT. SHALL NOT EXCEED 24" A.F.G. VERIFY EXACT LOCATION WITH BUILDER / OWNER.
- UNO. DRYER VENTS TO BE VENTED UP THROUGH WALL AND ROOF.
- VERIFY ANY ALL ELECTRICAL REQUIREMENTS TO GAS LOG SET AT GAS FIREPLACES AS REQUIRED PER MANUF. SPECS.



NOTE: THERE ARE NO STORM SEWER INLETS WITH 10'-0" OF THE DRIVEWAY ENTRY

DRIVEWAY APRON PER DETAIL

CONSTRUCTION ENTRY: APPROX. 10' X 15' AREA OF CRUSHED STONE (3" X 5")

NOTE: PROVIDE 4' SIDEWALK IN ACCORDANCE W/ CITY OF AUSTIN'S STANDARDS AND REGULATIONS.

C.O.A. AREA CALCULATIONS

	EXISTING	NEW / ADDITION
A. 1ST. FLOOR CONDITIONED AREA	SQ.FT.	1423.0 SQ.FT.
B. 2ND FLOOR CONDITIONED AREA	SQ.FT.	153.0 SQ.FT.
C. 3RD FLOOR CONDITIONED AREA	SQ.FT.	0.0 SQ.FT.
D. BASEMENT	SQ.FT.	0.0 SQ.FT.
E. GARAGE/CARPORT		
- ATTACHED	SQ.FT.	473.0 SQ.FT.
- DETACHED	SQ.FT.	0.0 SQ.FT.
F. WOOD DECKS (MUST BE COUNTED @ 100%)	SQ.FT.	0.0 SQ.FT.
G. BRITZEWAYS	SQ.FT.	0.0 SQ.FT.
H. COVERED PATIOS	SQ.FT.	385.0 SQ.FT.
I. COVERED PORCHES	SQ.FT.	200.0 SQ.FT.
J. BALCONIES	SQ.FT.	0.0 SQ.FT.
K. SWIMMING POOL(S) [POOL SURFACE AREA(S)]	SQ.FT.	0.0 SQ.FT.
L. OTHER BUILDING OR COVERED AREA(S)	SQ.FT.	0.0 SQ.FT.
- SPEC'F: MASONRY LUG & UTILITY STOOP	SQ.FT.	25.0 SQ.FT.
TOTAL BUILDING AREA	0.0 SQ.FT.	3,657.0 SQ.FT.

GROSS FLOOR AREA AND FLOOR AREA RATIO

	EXISTING	NEW / ADDITION
I. 1ST. FLOOR GROSS AREA		
A. 1ST FLOOR AREA (EXCLUDING GROUND FLOOR PORCHES)	SQ.FT.	1423.0 SQ.FT.
B. 1ST FLOOR AREA W/ CLG. HT. OVER 15 FEET	SQ.FT.	0.0 SQ.FT.
C. TOTAL	0.0	1,423.0 SQ.FT.
II. 2ND. FLOOR GROSS AREA		
A. 2ND FLOOR AREA (ALL AREAS COVERD BY A ROOF)	SQ.FT.	153.0 SQ.FT.
B. 2ND FLOOR AREA W/ CLG. HT. OVER 15 FEET	SQ.FT.	0.0 SQ.FT.
C. TOTAL	0.0	153.0 SQ.FT.
III. 3RD. FLOOR GROSS AREA		
A. 3RD FLOOR AREA (HEATED & GARAGES)	SQ.FT.	0.0 SQ.FT.
B. 3RD FLOOR AREA W/ CLG. HT. OVER 15 FEET	SQ.FT.	0.0 SQ.FT.
C. TOTAL	0.0	0.0 SQ.FT.
IV. BASEMENT GROSS AREA		
A. ATTACHED (SUBTRACT 200 SQ.FT. IF USED TO MEET THE MIN. PARK. REQ.)	SQ.FT.	273.0 SQ.FT.
B. DETACHED (SUBTRACT 450 SQ.FT. IF MORE THAN 10 FEET FROM PRINCIPAL STRUCTURE)	SQ.FT.	0.0
C. TOTAL		273.0 SQ.FT.
V. CARPORT		
OPEN ON TWO OR MORE SIDES WITHOUT HABITABLE SPACE ABOVE IT SUBTRACT 450 SQ.FT.	SQ.FT.	0.0 SQ.FT.
VI. TOTAL	0.0 SQ.FT.	2,849.0 SQ.FT.
TOTAL GROSS FLOOR AREA	0.0 SQ.FT.	2,849.0 SQ.FT.
GROSS AREA OF LOT		7,125.0 SQ.FT.
FLOOR AREA RATIO		40.0 %

TOTAL BUILDING COVERAGE ON LOT

TOTAL BUILDING COVERAGE ON LOT	2,503.0 SQ.FT.
GROSS AREA OF LOT	7,125.0 SQ.FT.
FLOOR AREA RATIO	35.1 % OF LOT

IMPERVIOUS COVERAGE

TOTAL BUILDING COVERAGE ON LOT	2,504.0 SQ.FT.
DRIVEWAY AREA ON PRIVATE PROPERTY	475.0 SQ.FT.
SIDEWALK / WALKWAYS ON PRIVATE PROPERTY	0.0 SQ.FT.
UNCOVERED PATIOS	0.0 SQ.FT.
UNCOVERED WOOD DECKS (MAY BE COUNTED @ 50%)	0.0 SQ.FT.
AIR CONDITIONER PAD	89.0 SQ.FT.
CONCRETE DECKS (WATER HARVESTING PAD)	36.0 SQ.FT.
OTHER (SPECIFY)	0.0 SQ.FT.
TOTAL IMPERVIOUS COVERAGE	3,004.0 SQ.FT.
TOTAL PERVIOUS COVERAGE	4,021.0 SQ.FT.
PERVIOUS COVERAGE	56.4 % OF LOT

TOTAL LOT	7,125 SF
MAX. IMP. COVER 45%:	3,206 SF
MAX. FAR 40%:	2,850 SF (+200 SF) (3,050 SF)
MAX. BLDNG. COVER 40%:	2,850 SF

OLSON / DEFENDORF

CUSTOM HOMES

4131 SPRICEWOOD SPRINGS RD., STE. P-3
AUSTIN, TX 78759
O: (512) 751-7275
EMAIL: ERIC@ODCUSTOMHOMES.COM
CONTACT: ERIC OLSON

ALLISON & ERIC OLSON

3307 OAKMONT BLVD.
S 55FT. OF LOT 4 BLK2 BRYKERWOODS E
AUSTIN, TEXAS

REGISTERED ARCHITECT
STATE OF TEXAS
1868

FEB. 14, 2012

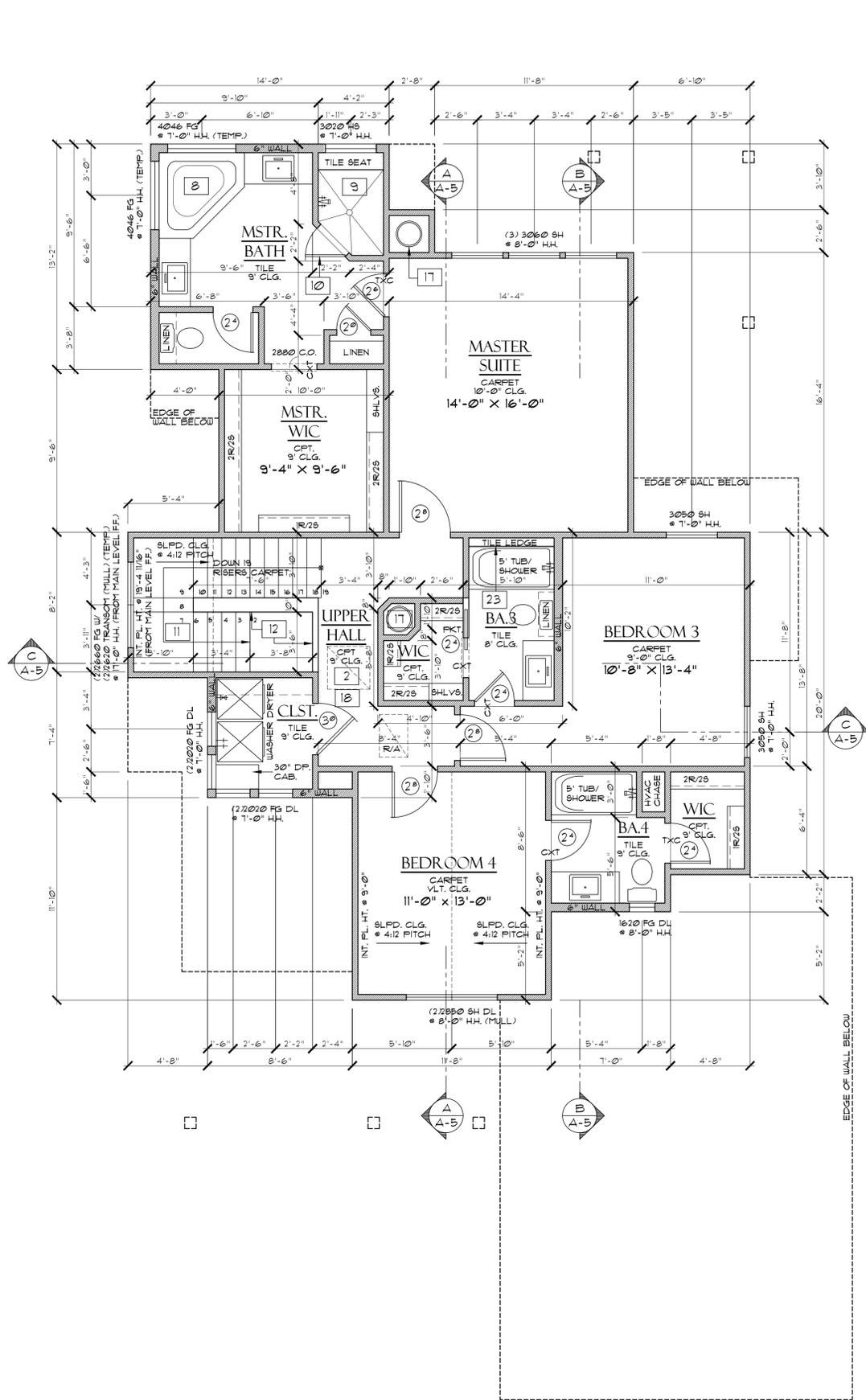
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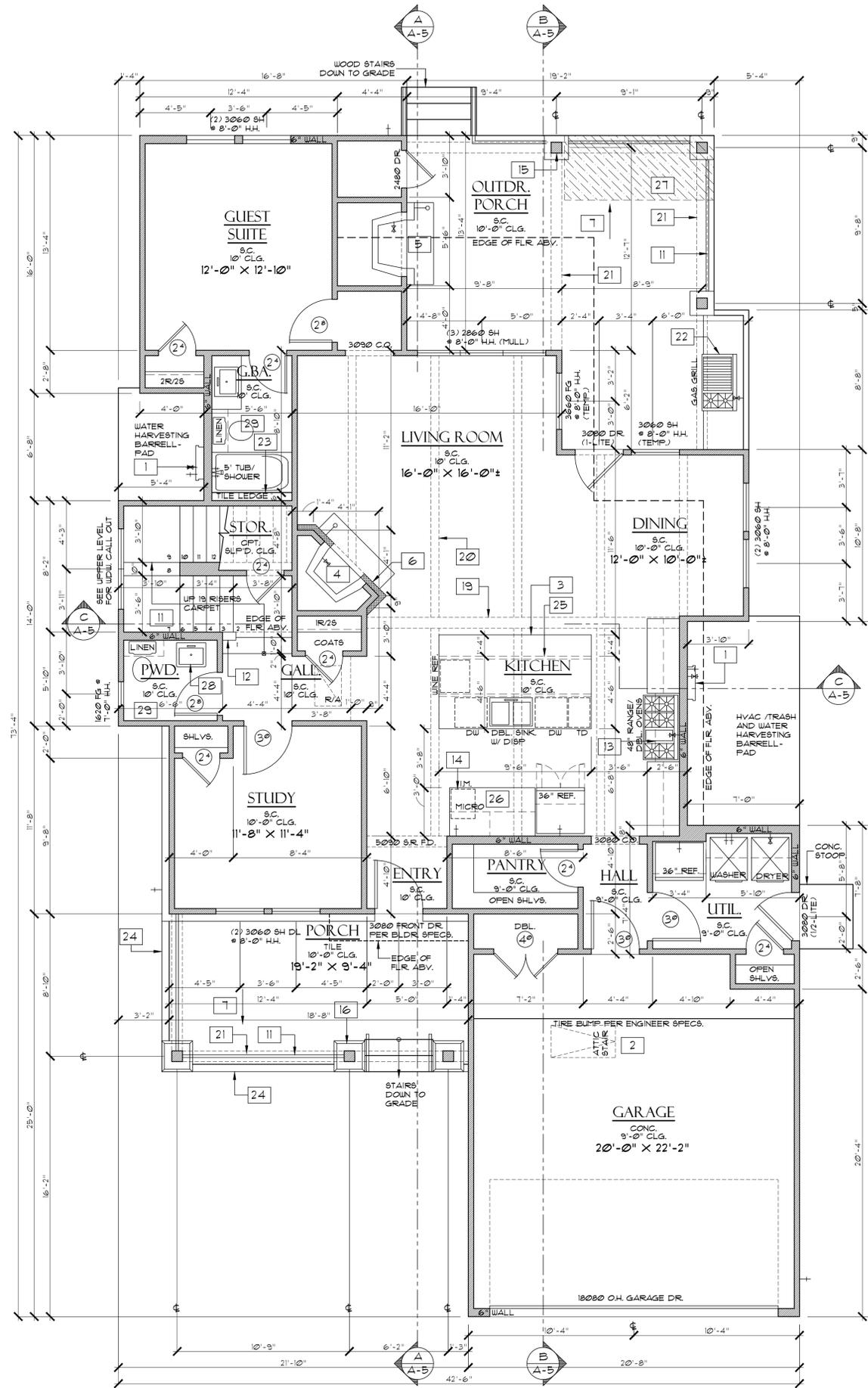
PROJ. NO.: 11052
DATE: 14 FEB. 2012

A-1
1 OF 6

SITE PLAN
SCALE: 1" = 10'-0"



UPPER FLOOR PLAN
SCALE 1/4" = 1'-0"



LOWER FLOOR PLAN
SCALE 1/4" = 1'-0"

SPECIAL CONSTRUCTION NOTES

- 1 TANKLESS WATER HEATER. PROV. FOR PLUMB, GAS, ELEC, WATER HARDWARE, AND PAN 4 DRAIN LINES AS REQ'D. INSTALL PER CODE AND MANUF. SPECS. VERIFY LOCATIONS 4" OF UNITS WITH BUILDER PRIOR TO INSTALLATION.
- 2 HVAC UNIT IN ATTIC. PROVIDE HARDWARE, PLUMB, PAN 4 DRAINS AS REQ'D. 3/4" PLYWOOD DECKING FROM ACCESS TO UNIT.
- 3 36" HT. 4 1/2" DEEP SERVING BAR W/ SUPPORT MTL. PLATE BELOW.
- 4 36" METAL F.P. INSTALL PER MANUF. SPECS. PROV. GAS, 4/OR ELEC/ VENT AS REQ'D. BY MANUF. SPECS. 20" DEEP RAISED MAS. HEARTH.
- 5 48" METAL F.P. INSTALL PER MANUF. SPECS. PROV. GAS, 4/OR ELEC/ VENT AS REQ'D. BY MANUF. SPECS. 20" DEEP RAISED MAS. HEARTH.
- 6 4" MASONRY VENEER AT INTERIOR WALL. MASONRY TO MATCH EXTERIOR OR PER INTERIOR DESIGNER/OWNER SELECTION.
- 7 SLOPE DECK/PATIO AS REQ'D. TO DRAIN WATER. (BUILDER TO ACCOUNT FOR 1/2" (MIN.) DROP FROM FF. TO EXTERIOR FINISHED SURFACE).
- 8 36"X12" TUB PER SPECS. PROV. ELEC. CONNECTION 4 GROUND FOR MOTOR AS REQ'D. PROVIDE ACCESS PANEL WITHIN REACH OF MOTOR.
- 9 CUSTOM TILE SHOWER. WATERPROOF SHOWER BASE PER BUILDER SPECS. SLOPE TILE TO CENTER DRAIN. 20" HT. TILE SEAT. SLOPE SEAT TO DRAIN WATER.
- 10 26" TEMP. GLASS DOOR.
- 11 RAILING PER SPECS. 4 CODE 36" HT. AT INTERIOR STAIRS 40" HT. AT EXTERIOR 4 GUARDRAILS.
- 12 36" HT. LOW WALL WITH WOOD CAP ON TOP. (8" STAIRS: SLOPE WALL 36" ABOVE STAIR NOSING).
- 13 VENTHOOD DESIGN PER OWNER AND/OR INT. DESIGNER. VENT-LINER PER SPECS. PROVIDE ELEC. AS REQ'D.
- 14 PROVIDE FLOOR DRAIN UNDER ICE MAKER.
- 15 8" SQ. WOOD POST W/ 40" HT. MASONRY BASE PER EXT. ELEV.
- 16 8" SQ. WOOD POST W/ 40" HT. TAPERED MASONRY BASE PER EXT. ELEV.
- 17 F.P. FLUE FROM BELOW.
- 18 30"X30" ATTIC ACCESS SCUTTLE.
- 19 8"X12" DECORATIVE WOOD WRAPPED BEAM PER BLDGR. SPECS.
- 20 6"X8" DECORATIVE WOOD WRAPPED BEAM PER BLDGR. SPECS.
- 21 STRUCTURAL BOXED BEAM PER ENGINEER'S SPECS. REF. TO SECTIONS.
- 22 BBQ GRILL ON C.M.U. OR MTL. STUD CABINET W/ SIDING FINISH. 30" DEEP COUNTERTOP PER BLDGR. SPECS. 42" HT. BACKLASH WALL. PROVIDE GAS 4 ELEC. FOR GRILL AS REQ'D. PER MANUF. SPECS.
- 23 30" HT. 4 6" DEEP TILE LEDGE.
- 24 PROVIDE MASONRY LUG 4 PORCH PER ENGINEER SPECS.
- 25 PROVIDE CAB. DOORS TO ACCESS STORAGE SPACE UNDER BAR.
- 26 36" DEEP LOWER CAB. 4 18" DEEP UPPER CAB. PER BLDGR. SPECS.
- 27 CANTILEVERED PORTION AT 4 PORCH TO PRESERVE ADJACENT TREE'S CRITICAL ROOT ZONE. REF. TO SITE PLAN.
- 28 PEDESTAL SINK PER BLDGR. SPECS.
- 29 PROVIDE BUMPING AS REQ'D. FOR FUTURE GRAB BARS AT WALLS.

SQUARE FOOTAGE CALCS.

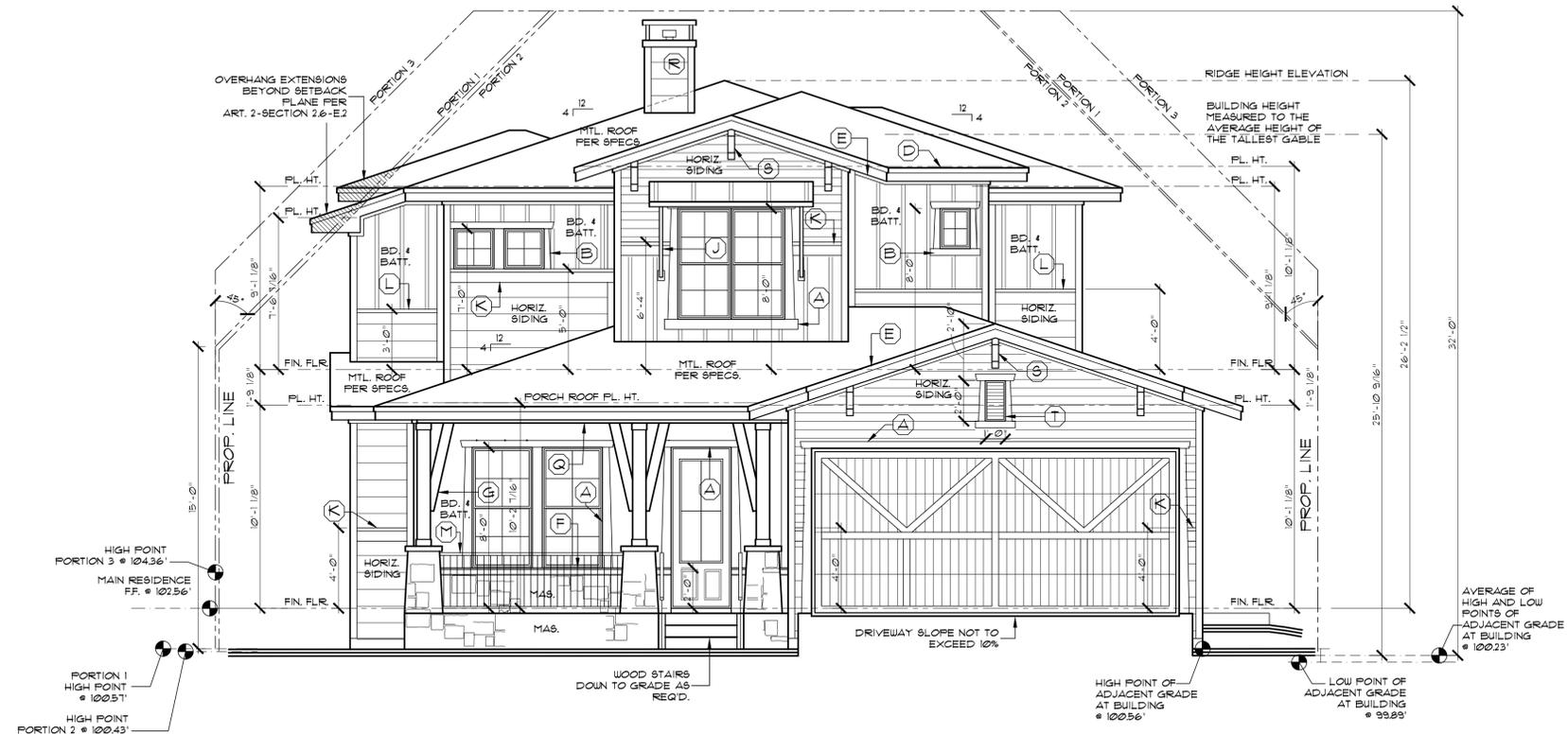
HEATED AREA	SQ. FT.
LOWER FLOOR	1423
UPPER FLOOR	1153
TOTAL HEATED	2576
NON-HEATED SF	
GARAGE(S)	473
OUTDOOR LIVING	383
COVD. FRONT PORCH	200
UTILITY STOOP	20
MASONRY LEDGE	5
TOTAL NON-HEATED	1081
TOTAL HTD. 4 NON-HTD.	3657
TOTAL IMPERVIOUS	2504



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FRONT ELEVATION - WEST

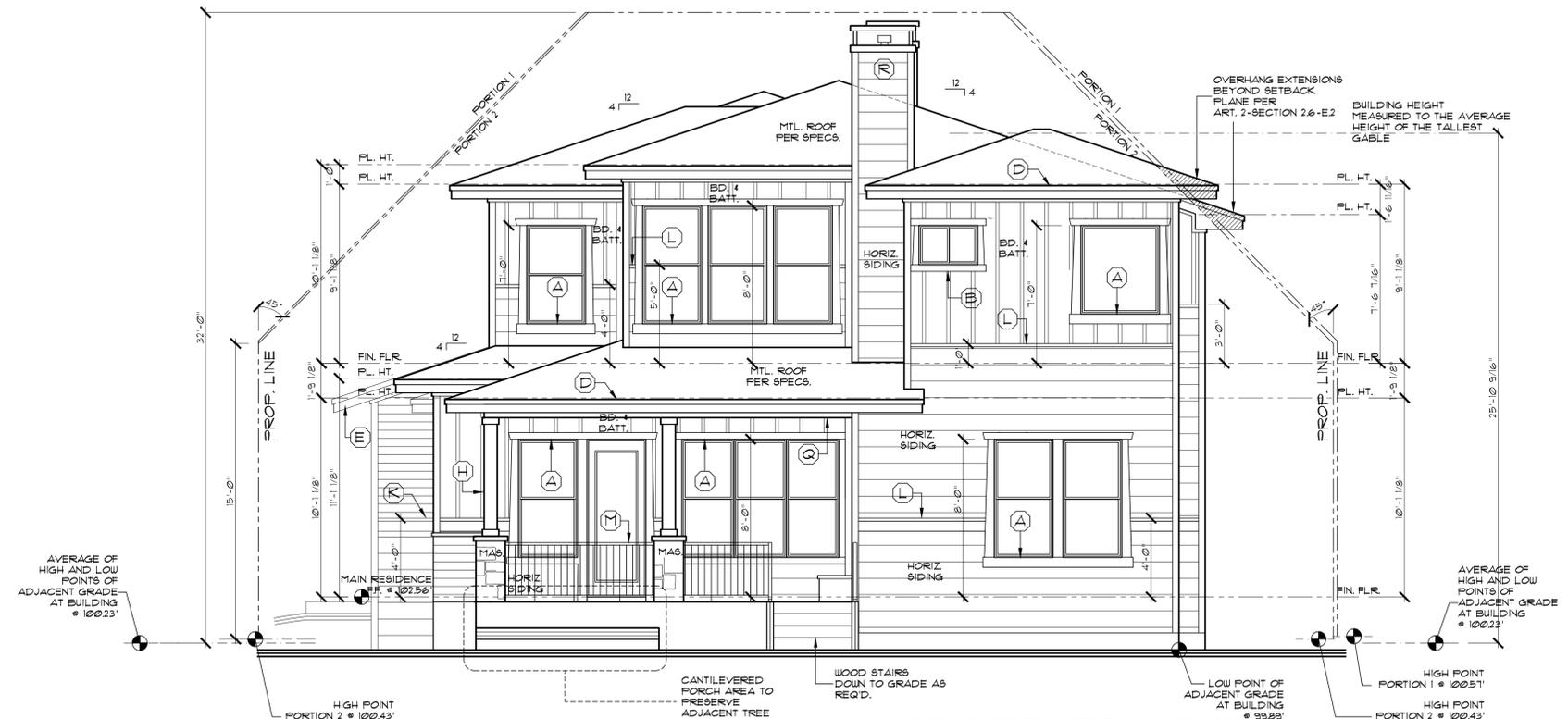
SCALE 1/4" = 1'-0"

EXTERIOR ELEVATION NOTES

- (A) DOOR 4 LARGE WINDOW SIDING TRIM: 4" TAPERED HORIZONTAL HEADER 4 6" SILL, SIDE TRIM TAPERS FROM 6" # BOTTOM TO 4" # TOP. REF TO DET. 1/D-1.
- (B) WINDOW SIDING TRIM: 4" TAPERED HORIZONTAL HEADER 4 4" SILL, SIDE TRIM TAPERS FROM 4" # BOTTOM TO 3" # TOP. REF. TO DET. 8/D-1.
- (C) DECORATIVE WOOD CORBELS PER DETAIL 6/D-1.
- (D) FASCIA 4 OVERHANG PER BLDG. SPECS (TYP.) REF. TO DET. 12/D-1.
- (E) FASCIA 4 OVERHANG PER BLDG. SPECS (TYP.) REF. TO DET. 11/D-1.
- (F) 4" MASONRY WATERTABLE. REFER TO DETAIL 3/D-1.
- (G) 8X8 WOOD POST W/ 6X6 LATERAL BRACES ON TAPERED MAS. BASE PER DETAIL 4/D-1.
- (H) 8X8 WOOD POST ON MAS. BASE PER DETAIL 9/D-1.
- (J) DECORATIVE METAL BRACKET PER DETAIL 10/D-1.
- (K) 8" HORIZONTAL SIDING TRIM # SIDING PATTERN TRANSITION.
- (L) 2" SIDING TRIM # SIDING PATTERN TRANSITION.
- (M) 40" HT. RAILING PER SPECS 4 CODE (TYP.).
- (N) SADDLE AND FLASH AS REQ'D. AT DEAD VALLEY.
- (P) MAS. LUG. PER BLDG. SPECS.
- (Q) 4X STRUCTURAL BOXED BEAM PER ENGINEER SPECS.
- (R) CHIMNEY WITH MTL. SPARK ARRESTOR. CHIMNEY TO BE 24" (MIN) ABV. HIGHEST ROOF WITHIN 10'-0" MTL. CHIMNEY CAP PER SPECS 4 CODE. CRICKET AND FLASHING AS REQ'D. (MTL. STUDS ONLY ABV. SPARK ARRESTOR).
- (S) DECO. WOOD GABLE CORBEL PER DETAIL 5/D-1.
- (T) 12"x24" LOUVERED GABLE VENT W/ SIDING TRIM. PROV. FOR SCREENING AND WATERPROOFING AS REQ'D. TO PREVENT WATER AND INSECT PENETRATION.

- 1) GROUND GRADE LINES SHOWN ON ELEVATIONS MAY VARY FROM ACTUAL FINISHED GRADE. BUILDER TO VERIFY ACTUAL SITE CONDITIONS ON SITE.
- 2) MAX. EXPOSED FOUNDATIONS TO BE 18" OR PER APPLICABLE DEED RESTRICTIONS (WHICHEVER IS LESS).
- 3) CHIMNEY IS SHOWN AT MINIMAL HEIGHT REQUIREMENTS PER CODE. BUILDER TO VERIFY ADDITIONAL HEIGHT REQUIREMENTS BASED ON SITE AND WIND CONDITIONS.
- 4) PROVIDE VENTING # CRAWL SPACE PER CODE 4 BLDG. SPECS.

NOTE:
-PIER 4 BEAM FOUNDATION TO PROTECT CRITICAL ROOT ZONES ON ADJACENT TREES.



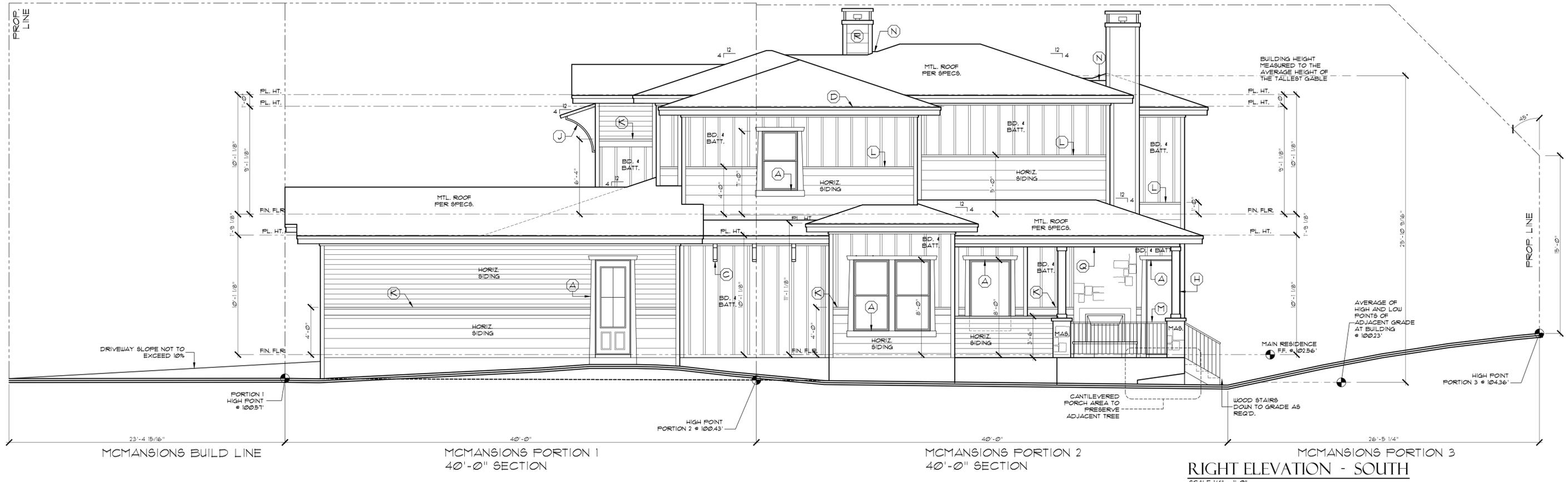
REAR ELEVATION - EAST

SCALE 1/4" = 1'-0"



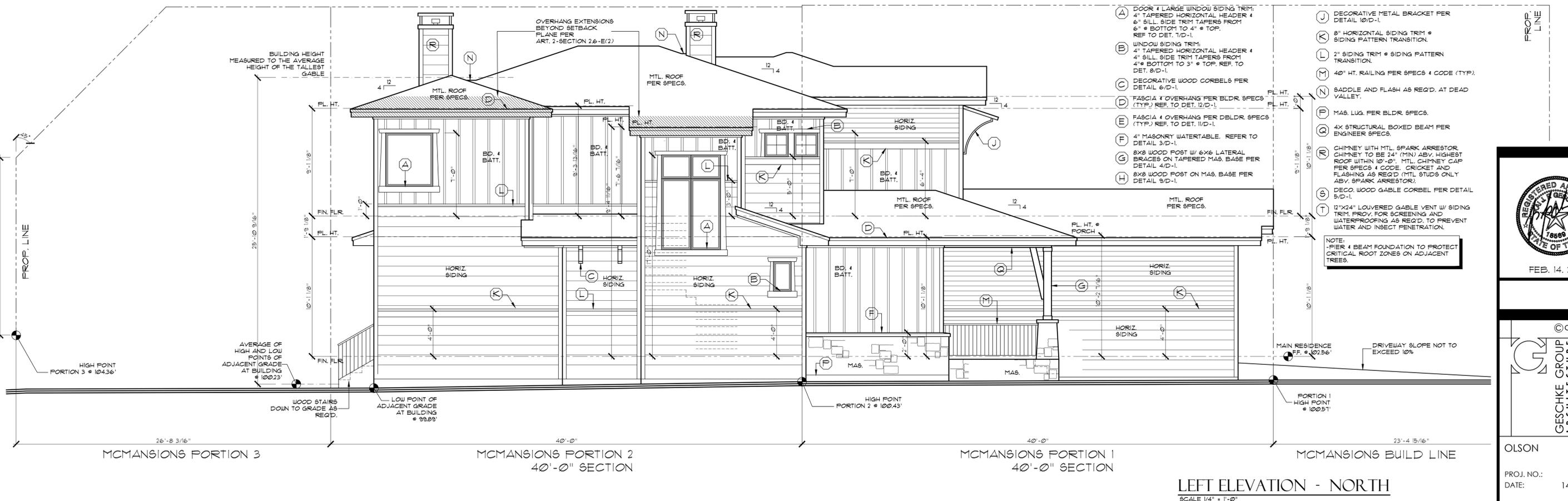
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EXTERIOR ELEVATION NOTES

- (A) DOOR & LARGE WINDOW SIDING TRIM: 4" TAPERED HORIZONTAL HEADER & 6" BILL SIDE TRIM TAPERED FROM 6" @ BOTTOM TO 4" @ TOP. REF TO DET. 1/D-1.
 - (B) WINDOW SIDING TRIM: 4" TAPERED HORIZONTAL HEADER & 4" BILL SIDE TRIM TAPERED FROM 4" @ BOTTOM TO 3" @ TOP. REF. TO DET. 8/D-1.
 - (C) DECORATIVE WOOD CORBELS PER DETAIL 6/D-1.
 - (D) FASCIA & OVERHANG PER BLDG. SPECS (TYP.) REF. TO DET. 12/D-1.
 - (E) FASCIA & OVERHANG PER DBLDR. SPECS (TYP.) REF. TO DET. 11/D-1.
 - (F) 4" MASONRY WATERTABLE. REFER TO DETAIL 3/D-1.
 - (G) 8x8 WOOD POST W/ 6x6 LATERAL BRACES ON TAPERED MAS. BASE PER DETAIL 4/D-1.
 - (H) 8x8 WOOD POST ON MAS. BASE PER DETAIL 9/D-1.
 - (J) DECORATIVE METAL BRACKET PER DETAIL 10/D-1.
 - (K) 8" HORIZONTAL SIDING TRIM @ SIDING PATTERN TRANSITION.
 - (L) 2" SIDING TRIM @ SIDING PATTERN TRANSITION.
 - (M) 40" HT. RAILING PER SPECS & CODE (TYP.)
 - (N) SADDLE AND FLASH AS REQ'D. AT DEAD VALLEY.
 - (P) MAS. LUG. PER BLDG. SPECS.
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 - (S) DECO. WOOD GABLE CORBEL PER DETAIL 5/D-1.
 - (T) 12"x24" LOUVERED GABLE VENT W/ SIDING TRIM. PROV. FOR SCREENING AND WATERPROOFING AS REQ'D. TO PREVENT WATER AND INSECT PENETRATION.
- NOTE:
- PIER & BEAM FOUNDATION TO PROTECT CRITICAL ROOT ZONES ON ADJACENT TREES.



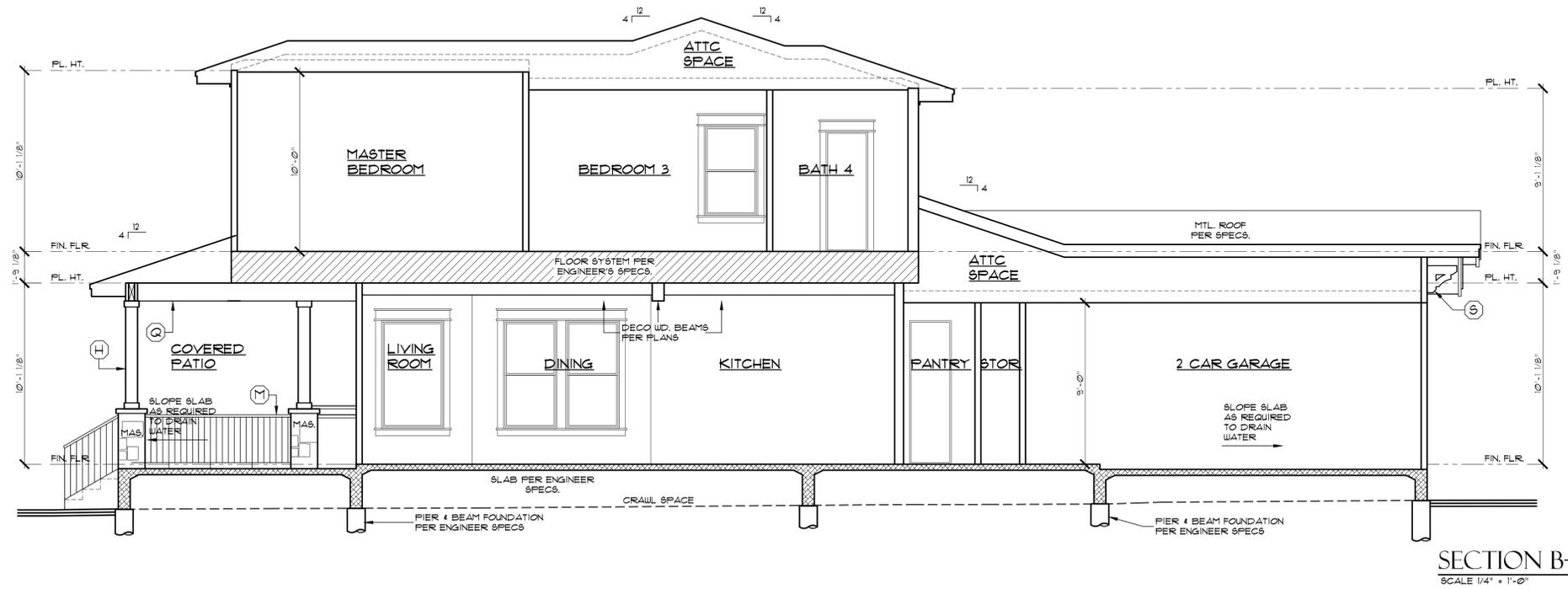
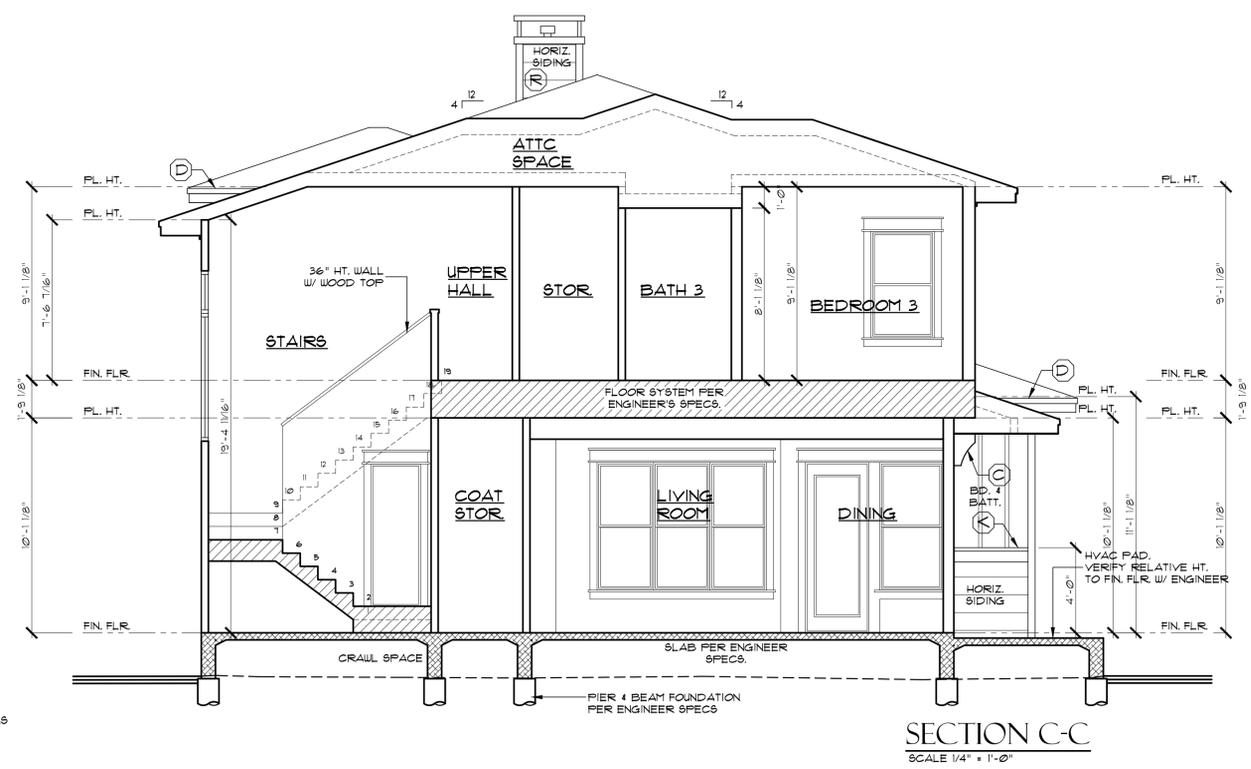
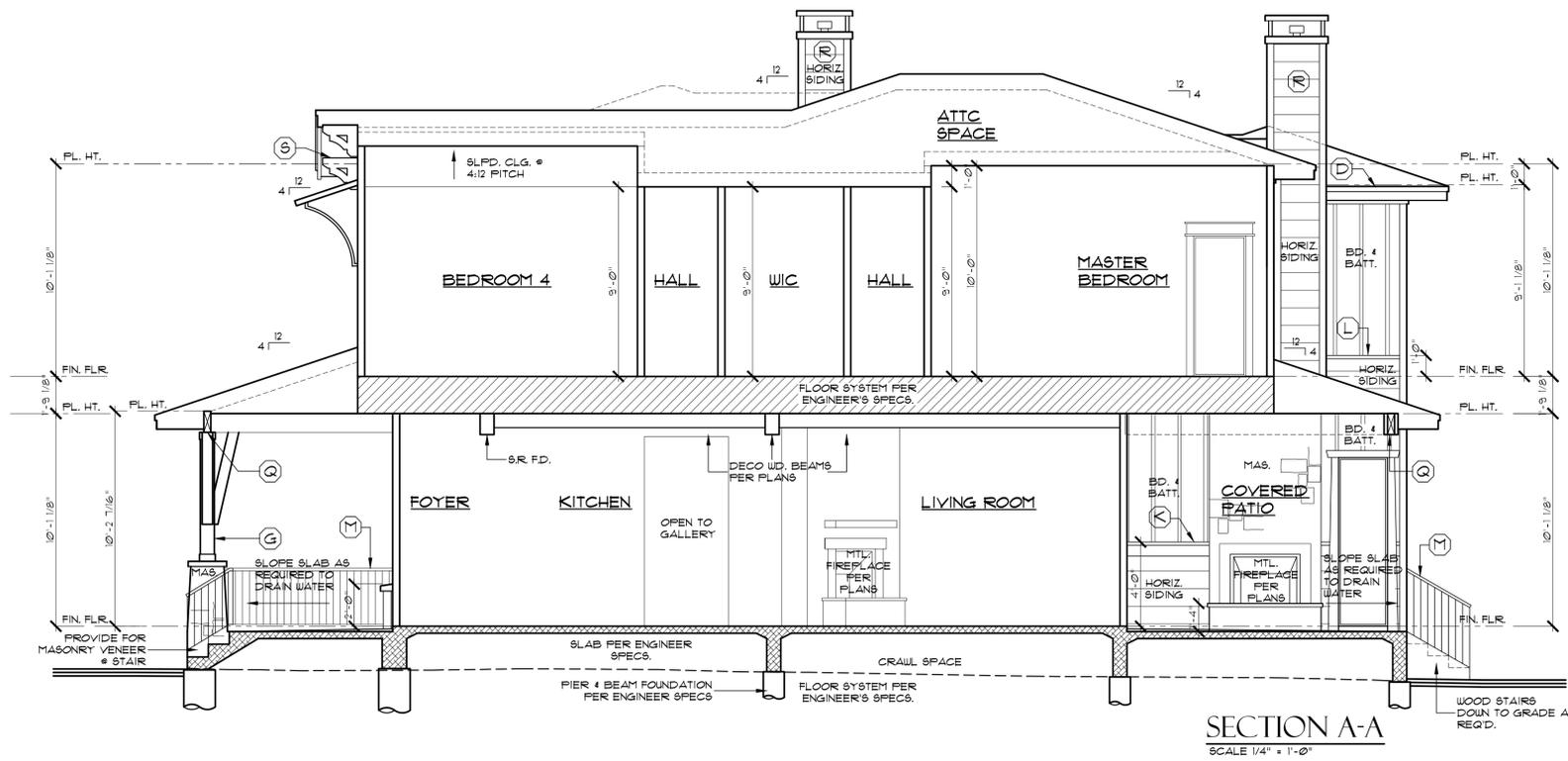
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EXTERIOR ELEVATION NOTES

- (A) DOOR & LARGE WINDOW SIDING TRIM:
4" TAPERED HORIZONTAL HEADER &
6" SILL, SIDE TRIM TAPERS FROM
6" @ BOTTOM TO 4" @ TOP.
REF TO DET. 1/D-1.
- (B) WINDOW SIDING TRIM:
4" TAPERED HORIZONTAL HEADER &
4" SILL, SIDE TRIM TAPERS FROM
4" @ BOTTOM TO 3" @ TOP. REF. TO
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- (C) DECORATIVE WOOD CORBELS PER
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(TYP.) REF. TO DET. 12/D-1.
- (E) FASCIA & OVERHANG PER DBLDR. SPECS
(TYP.) REF. TO DET. 11/D-1.
- (F) 4" MASONRY WATERTABLE. REFER TO
DETAIL 3/D-1.
- (G) 8x8 WOOD POST W/ 6x6 LATERAL
BRACES ON TAPERED MAS. BASE PER
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DETAIL 9/D-1.
- (J) DECORATIVE METAL BRACKET PER
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- (K) 8" HORIZONTAL SIDING TRIM @
SIDING PATTERN TRANSITION.
- (L) 2" SIDING TRIM @ SIDING PATTERN
TRANSITION.
- (M) 40" HT. RAILING PER SPECS & CODE (TYP.)
- (N) SADDLE AND FLASH AS REQD. AT DEAD
VALLEY.
- (P) MAS. LUG. PER BLDG. SPECS.
- (Q) 4x STRUCTURAL BOXED BEAM PER
ENGINEER SPECS.
- (R) CHIMNEY WITH MTL. SPARK ARRESTOR
CHIMNEY TO BE 24" (MIN) ABV. HIGHEST
ROOF WITHIN 10'-0". MTL. CHIMNEY CAP
PER SPECS & CODE. CRICKET AND
FLASHING AS REQD. (MTL. STUDS ONLY
ABV. SPARK ARRESTOR).
- (S) DECO. WOOD GABLE CORBEL PER DETAIL
5/D-1.
- (T) 12"x24" LOUVERED GABLE VENT W/ SIDING
TRIM. PROV. FOR SCREENING AND
WATERPROOFING AS REQD. TO PREVENT
WATER AND INSECT PENETRATION.

NOTE:
-PIER & BEAM FOUNDATION TO PROTECT
CRITICAL ROOT ZONES ON ADJACENT
TREES.



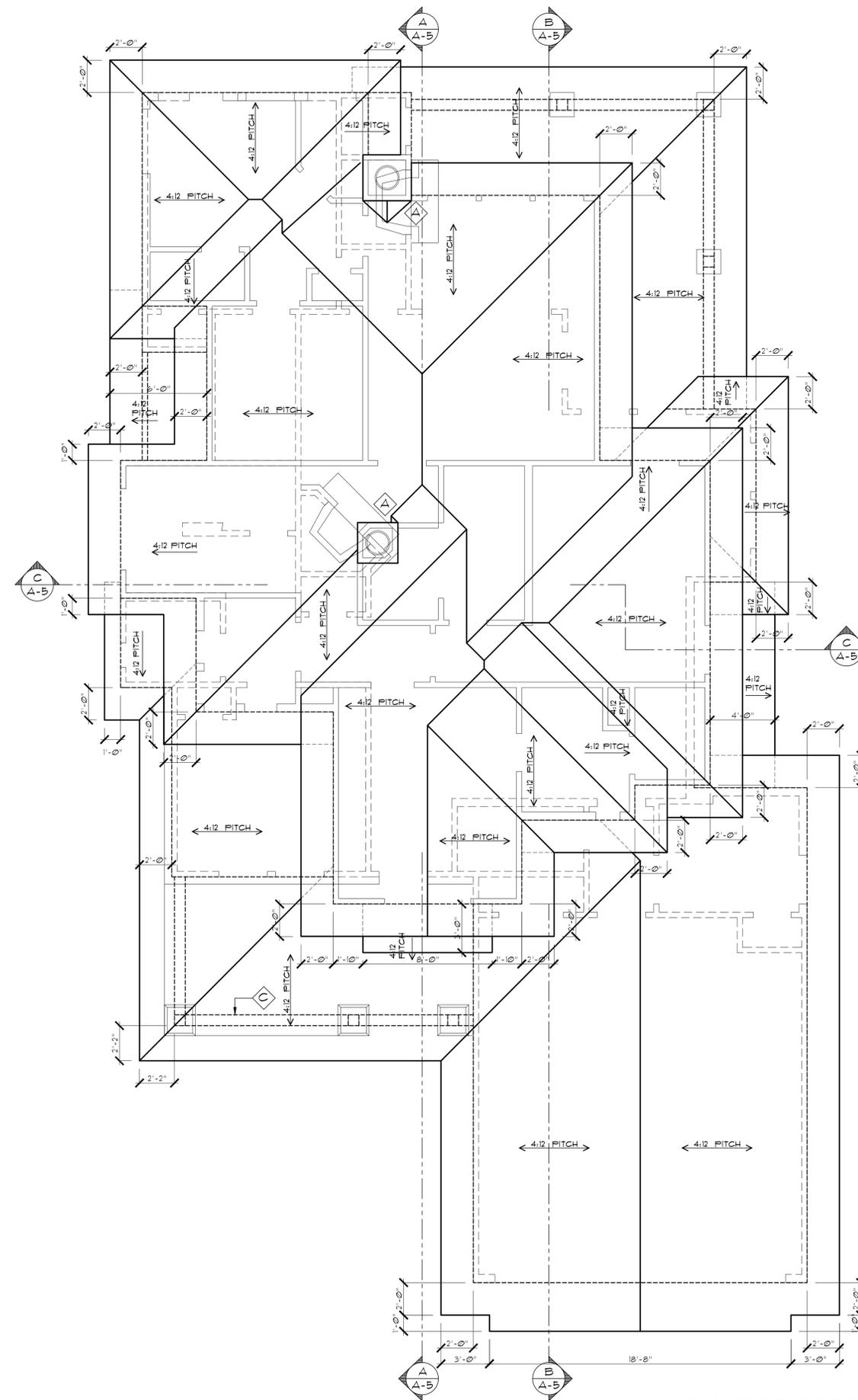
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5 OF 6



SCHEMATIC ROOF PLAN
SCALE 1/4" = 1'-0"

- GENERAL ROOF FRAMING NOTES:**
- 1) ROOF PITCH TO BE AS NOTED ON PLANS. ROOFING MATERIAL PER SPECIFICATIONS.
 - 2) BUILDER TO VERIFY SIZE & SPACING OF ALL RAFTERS OR TRUSSES PRIOR TO CONSTRUCTION. RAFTER SPACING TO CONFORM TO ROOFING MATERIAL REQUIREMENTS (REFER TO ENGINEERING DOCUMENTS.)
 - 3) HIPS, VALLEYS & RIDGES TO BE FRAMED ONE SIZE LARGER THAN RAFTERS, OR PER ENGINEER PLANS.
 - 4) ALL PLUMBING, APPLIANCE AND GAS VENTS TO VENT TO REAR OF ROOF RIDGE WHEREVER POSSIBLE. ALL VENTS TO BE GANGED TO THE FEWEST NUMBER POSSIBLE PENETRATING THE ROOF.
 - 5) UNLESS NOTED OTHERWISE, ALL INTERIOR WALLS OF ONE STORY PLANS TO BE LOAD BEARING. ALL EXTERIOR OPENINGS TO BE LOAD BEARING.
 - 6) FURLIN BRACE RAFTERS AS REQUIRED AND PROVIDE COLLAR TIES 4'-0" O.C. ON ALL RIDGES. FLYOUT RAFTERS ARE NOT SHOWN ON PLANS. BUILDER/FRAMER TO INSTALL PER STANDARD FRAMING PRACTICES.
 - 7) ALL LOAD BEARING HEADERS, CONCEALED OR DROPPED BEAMS TO BE DESIGNED PER ENGINEER OR BUILDER. ROOF AND FLOOR TRUSS DESIGN & SPACING PER ENGINEER'S SPECIFICATIONS.
 - 8) WALLS OVER 10'-0" TO BE 2X6 FRAMED. USE DBL 2X4 @ 12" O.C. FRAMING IF 6" WALLS ARE NOT POSSIBLE.
 - 9) BUILDER ACCEPTS FULL RESPONSIBILITY FOR CHECKING PLANS TO ASSURE CONFORMITY TO ALL APPLICABLE BUILDING CODES.

PITCH & OVERHANG

ROOF PITCH: 4:12 TYP.
ROOF OVERHANG: 24" TYP.

- 1) ROOF OVERHANG AND PITCH TO REMAIN CONSTANT UNLESS NOTED OTHERWISE ON PLAN.
- 2) ALL BEAMS & HEADERS TO BE SIZED BY BUILDER OR ENGINEER. BUILDER TO VERIFY ALL BEAM SIZING FOR CODE AND STRUCTURAL COMPLIANCE.

- SCHEMATIC ROOF SPECIAL NOTES**
-  SADDLE & FLASH AT CHIMNEY AS REQ'D.
 -  SADDLE AND FLASH AS REQ'D. AT VALLEY.
 -  RAISE PL. HT. AT COLUMN AS REQ'D. TO ALIGN FASCIA.



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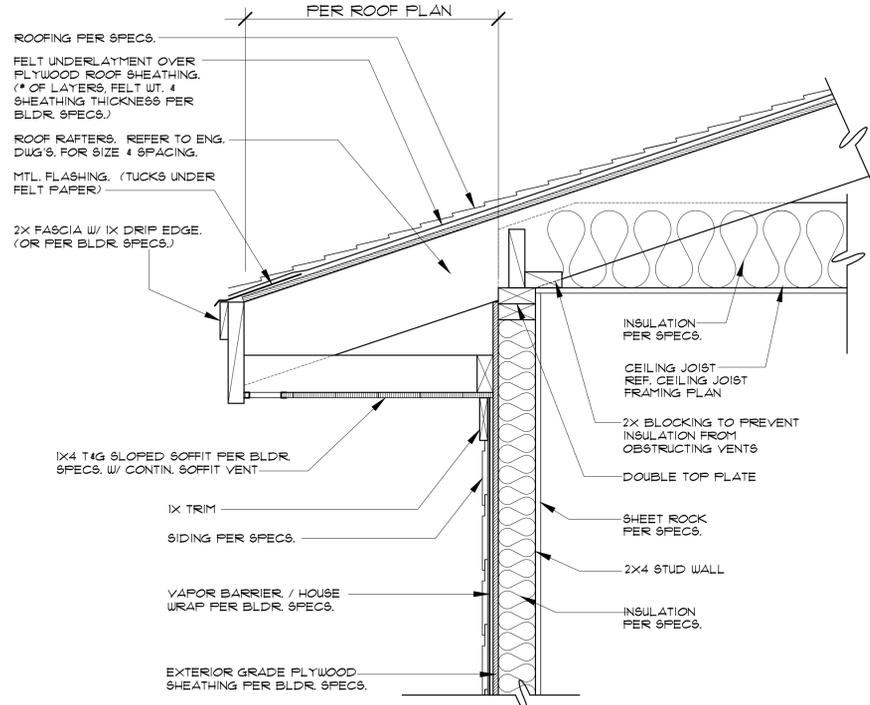
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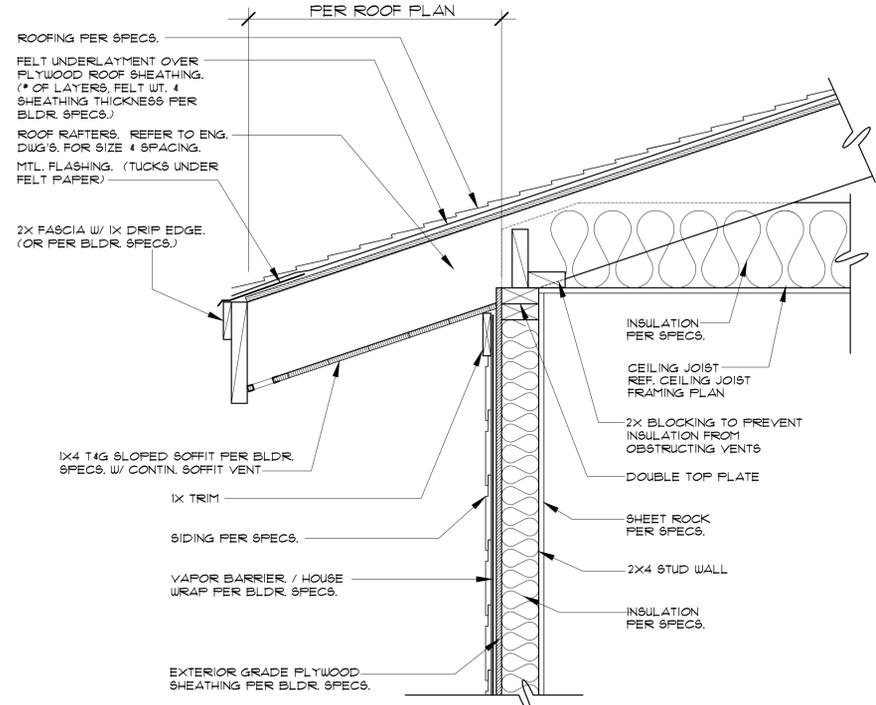
6 OF 6

NOTE: ROOF PITCH PER ROOF PLANS

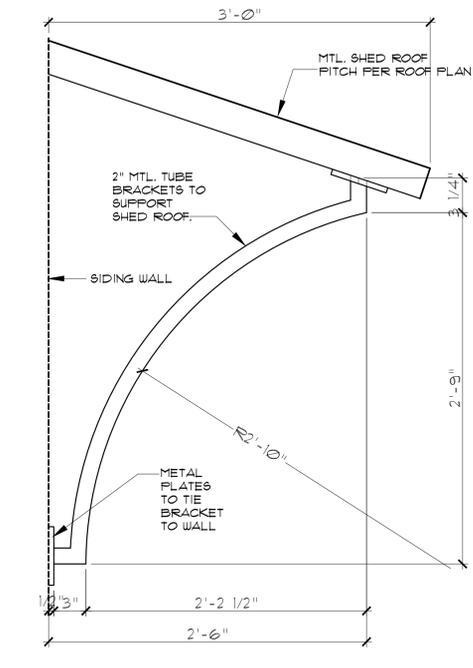


12 FASCIA WITH BOXED SOFFIT
SIDING EXTERIOR
SCALE: 1/2" = 1'-0"

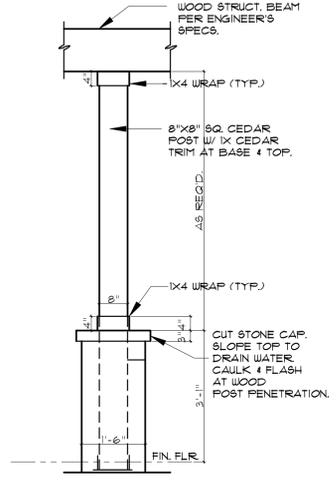
NOTE: ROOF PITCH PER ROOF PLANS



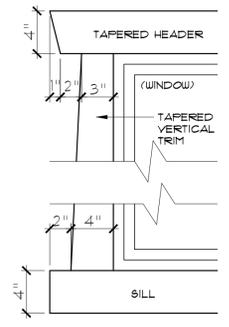
11 FASCIA WITH SLOPED SOFFIT
STUCCO EXTERIOR
SCALE: 1/2" = 1'-0"



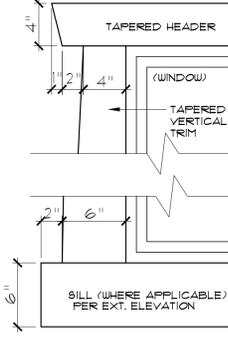
10 METAL BRACKET
SCALE: 1/2" = 1'-0"



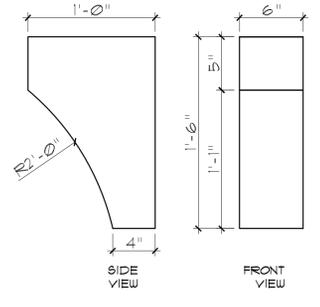
9 MAS BASE COLUMN
@ OUTDOOR PORCH
SCALE: 1/2" = 1'-0"



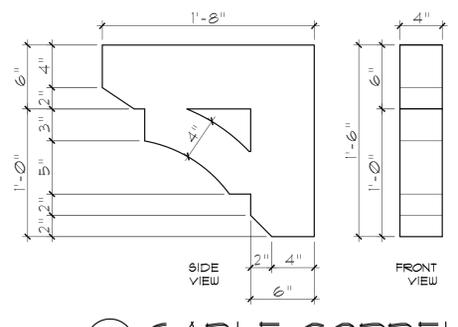
8 WDW. SIDING TRIM
SCALE: 1/2" = 1'-0"



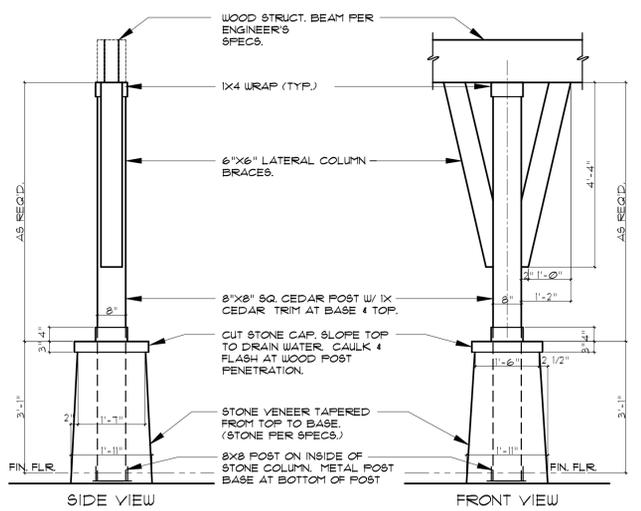
7 WDW/DOOR SIDING TRIM
SCALE: 1/2" = 1'-0"



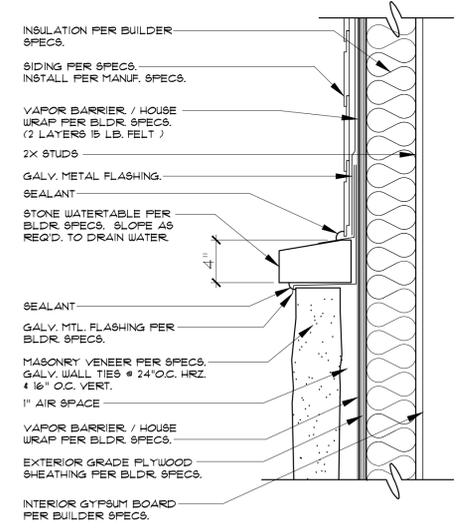
6 WOOD CORBEL
SCALE: 1/2" = 1'-0"



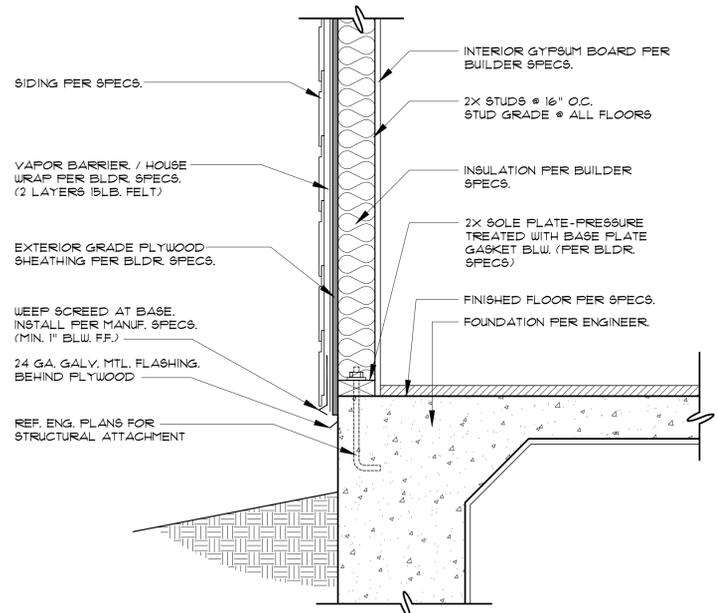
5 GABLE CORBEL
SCALE: 1/2" = 1'-0"



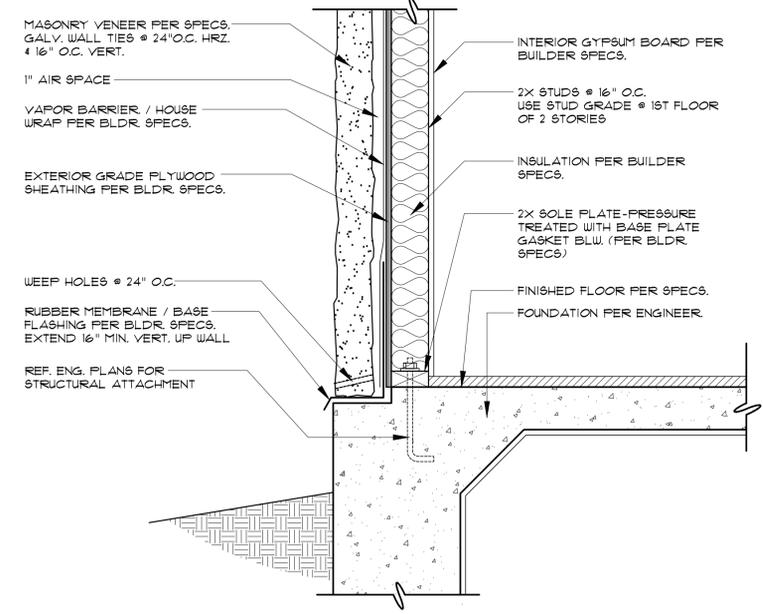
4 TAPERED MAS. BASE COLUMN
@ FRONT PORCH
SCALE: 1/2" = 1'-0"



3 STONE WATERTABLE
STONE WALL W/ SIDING ABV.
SCALE: 1/2" = 1'-0"



2 WALL SECTION @ BASE PLATE
SIDING WALL
SCALE: 1/2" = 1'-0"

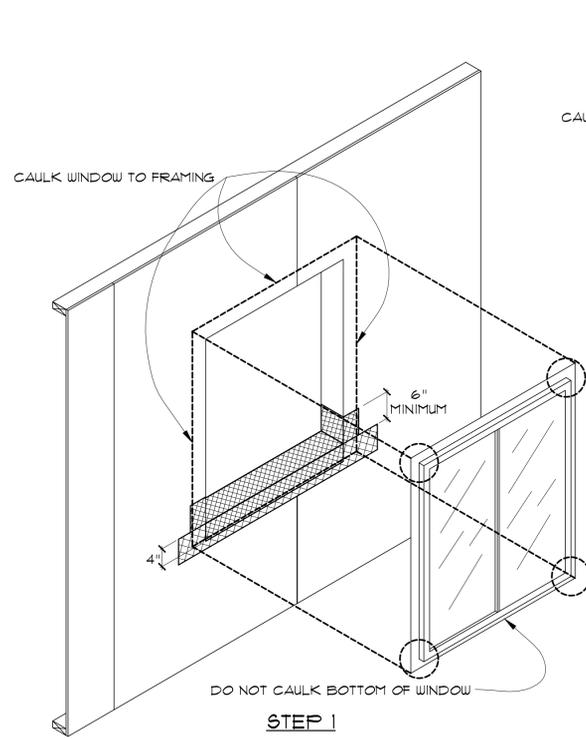


1 WALL SECTION @ BASE PLATE
STONE WALL
SCALE: 1/2" = 1'-0"

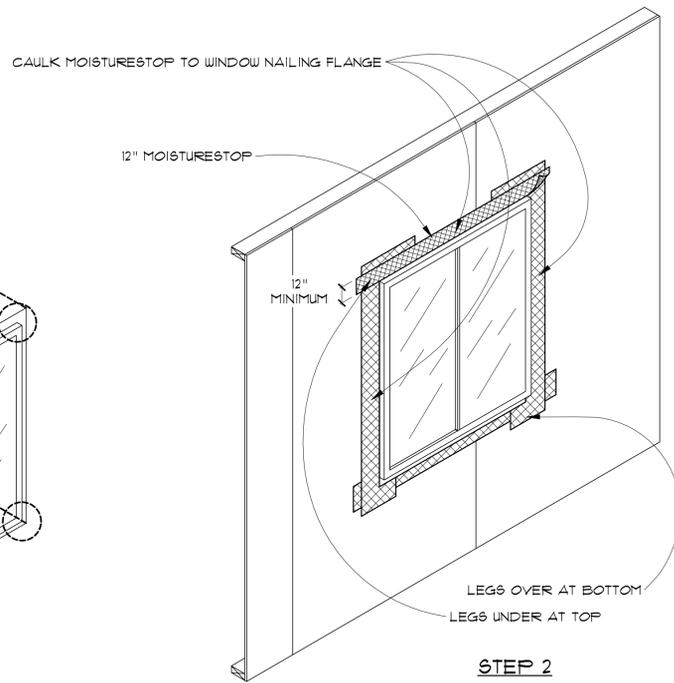


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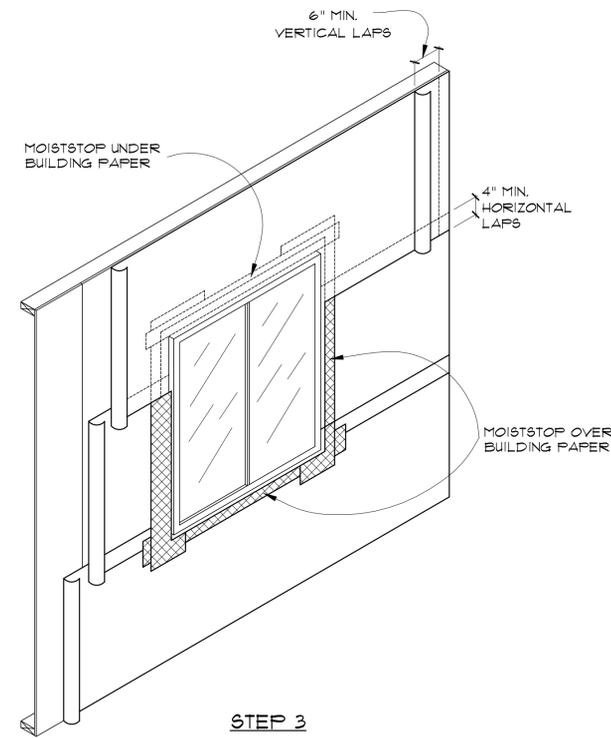
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STEP 1



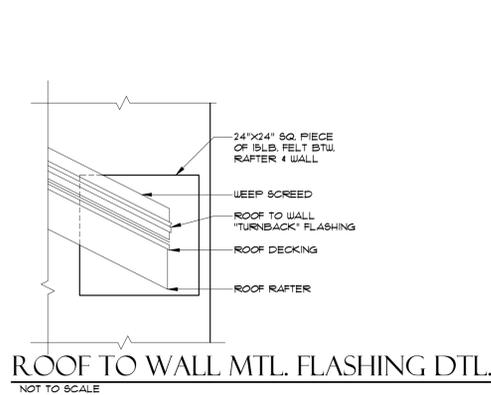
STEP 2



STEP 3

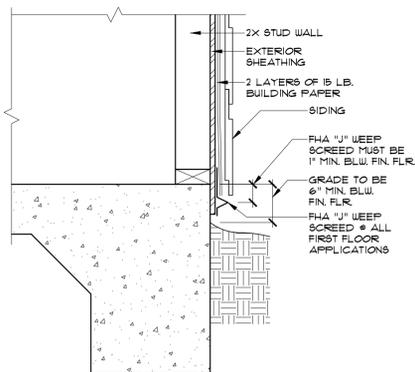
TYP. WINDOW FLASHING DETAIL

NOT TO SCALE



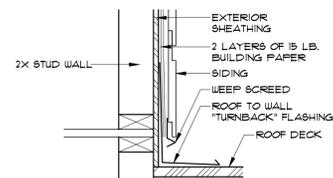
ROOF TO WALL MTL. FLASHING DTL.

NOT TO SCALE



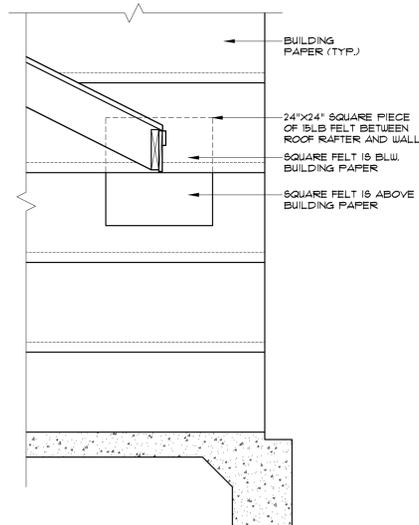
TYP. WEEP DETAIL

NOT TO SCALE



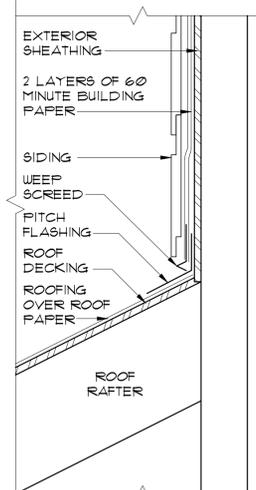
FLASHING DETAIL

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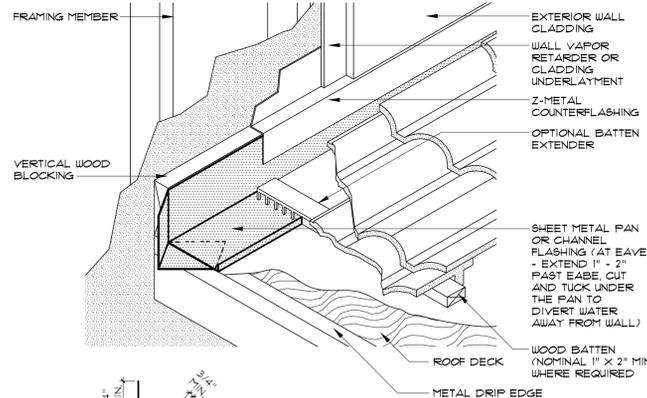
TYP. PAPER FLASHING DTL.

NOT TO SCALE



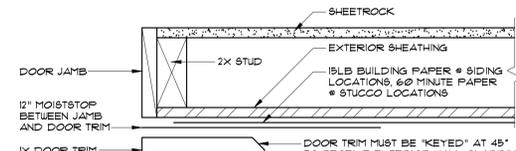
SIDING OSB DETAIL

NOT TO SCALE



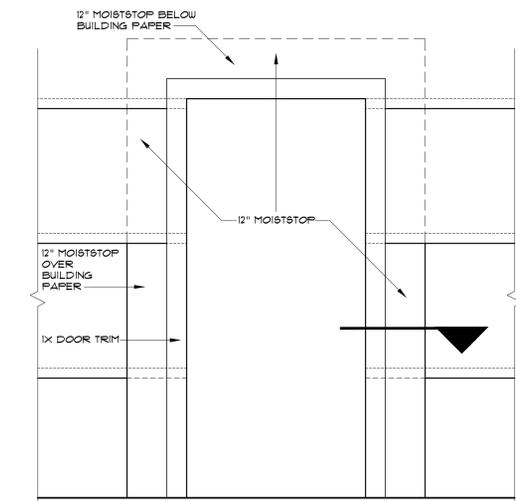
KICKOUT FLASHING DETAIL

NOT TO SCALE



DOOR FLASHING DETAIL

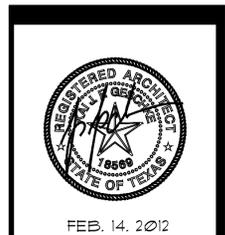
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DOOR FLASHING DETAIL

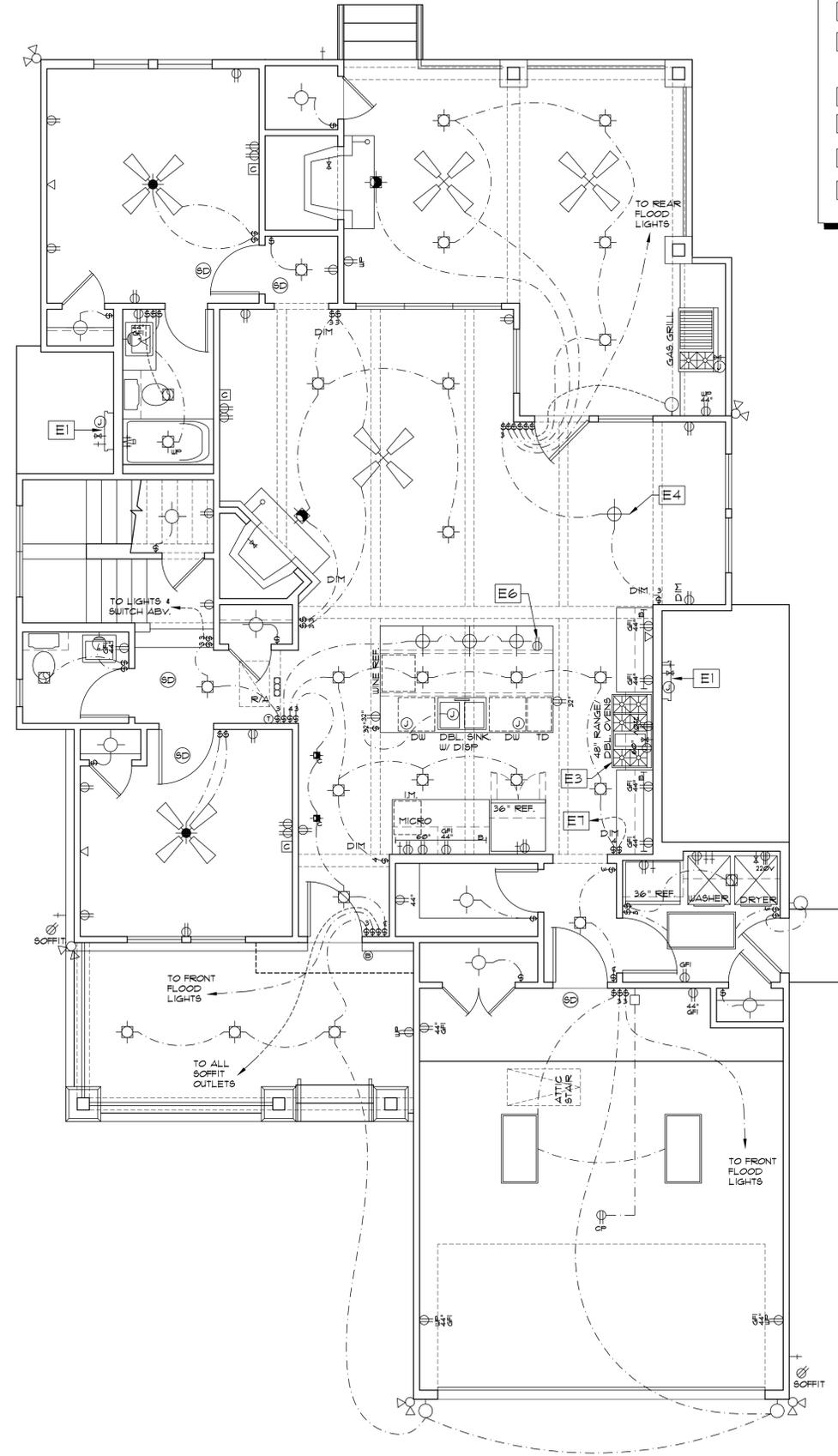
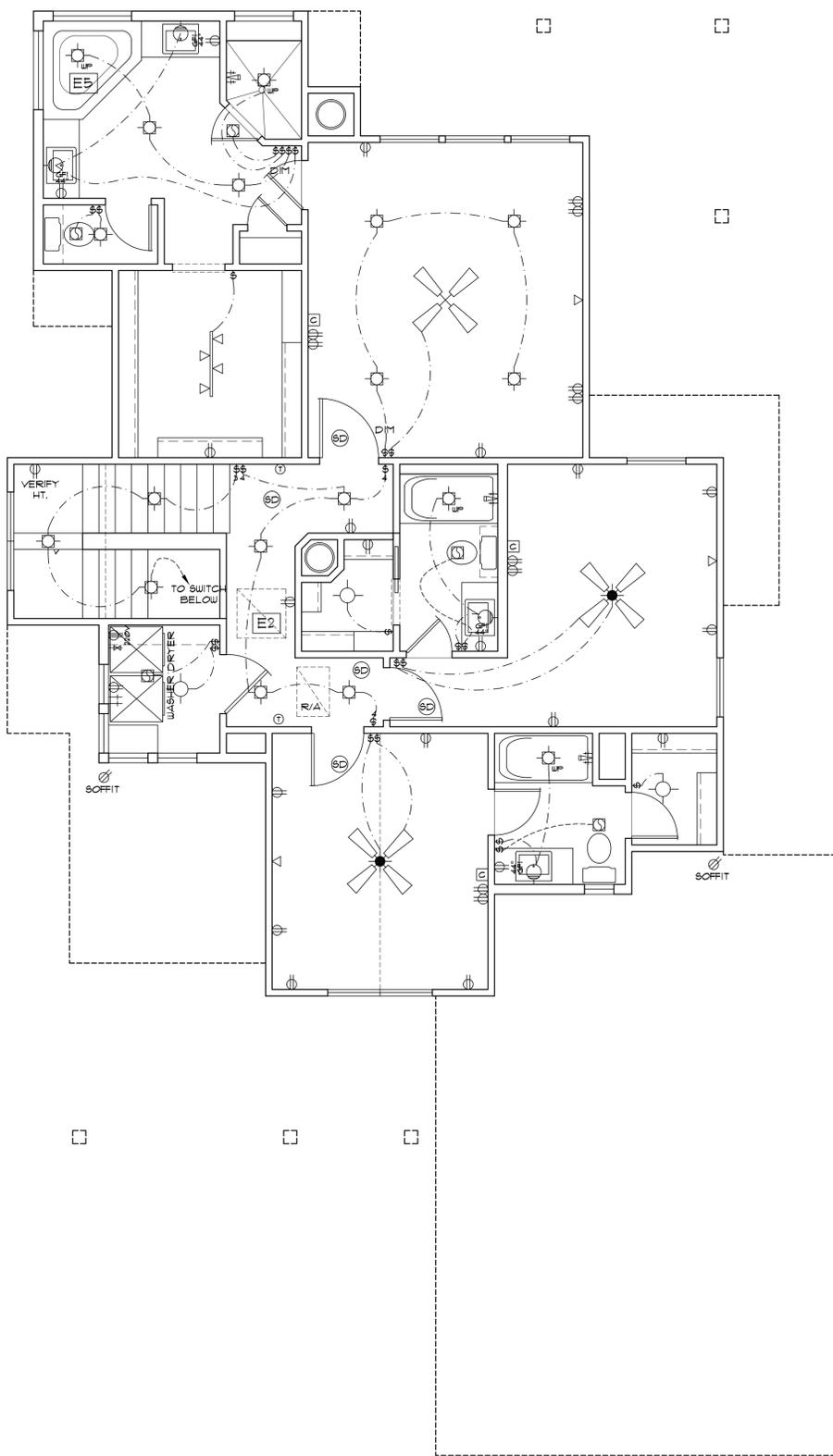
NOT TO SCALE

TYPICAL FLASHING DETAILS



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- SPECIAL ELECTRICAL NOTES**
- E1 TANKLESS WATER HEATER. PROV. FOR PLUMB, GAS ELEC. WATER HARDWARE, AS REQ'D. INSTALL PER CODE AND MANUF. SPECS. VERIFY LOCATIONS & # OF UNITS WITH BUILDER PRIOR TO INSTALLATION.
 - E2 HVAC IN ATTIC. PROVIDE LIGHT, ELEC. CONNECTIONS & UTIL. AS REQ'D.
 - E3 GAS RANGE. PROV. ALL ELEC. CONNECTIONS AS REQ'D. PER MANUF. SPECS. W/ VENTHOOD ASV. PER INT. DESIGNER. VENTLINER PER SPECS. PROVIDE ELEC. AS REQ'D.
 - E4 HANGING LIGHT. VERIFY EXACT LOCATION W/ OWNER.
 - E5 PROV. ELEC. CONNECTION FOR TUB MOTOR IF REQ'D. PROVIDE ACCESS PANEL WITHIN REACH OF MOTOR.
 - E6 OUTLET UNDER BAR.
 - E7 TO ALL UNDER CABINET LIGHTING.

- ELECTRICAL NOTES:**
- 1) ALL WORK DONE FOR THESE PLANS SHALL COMPLY WITH THE NATIONAL ELECTRIC CODE AND ALL LOCAL CODES APPLICABLE. THE CONTRACTOR SHALL PERFORM ALL WORK IN CONFORMITY WITH THESE REGULATIONS WHETHER OR NOT SUCH WORK IS SHOWN ON DRAWINGS.
 - 2) ELECTRICAL SUBCONTRACTOR TO PROVIDE ALL NECESSARY ELECTRICAL CONNECTIONS AND BE RESPONSIBLE FOR ALL ELECTRICAL SERVICE REQUIREMENTS.
 - 3) PROVIDE FOR ALL ELECTRICAL REQUIREMENTS TO HVAC UNITS AS REQ'D. PER MANUF. SPECS. PROVIDE LIGHTS NEAR HVAC UNITS IF LOCATED IN ATTIC.
 - 4) CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INSPECTIONS AND APPROVAL OF WIRING, INSTALLATIONS OF FIXTURES, EQUIPMENT, AND FOR FINAL ACCEPTANCE OF THE COMPLETED ELECTRICAL INSTALLATIONS BY THE LOCAL ELECTRICAL INSPECTORS.
 - 5) VERIFY LOCATION OF ALL POWER REQUIREMENTS TO ALL APPLIANCES.
 - 6) HEIGHT OF FLOOR OUTLETS & PHONE OUTLETS TO BE 12" FROM FINISHED FLOOR TO TOP OF OUTLET. TYPICAL UNLESS OTHERWISE NOTED.
 - 7) ALL OUTLETS WITHIN 3'-0" OF A SINK OR LAVATORY, ALL EXTERIOR OUTLETS AND ALL OUTLETS LOCATED IN GARAGE TO BE ON A GFI CIRCUIT.
 - 8) PROVIDE 2" GROMMET AT ALL KNEE SPACES OF DESKS FOR CORD & CABLE ACCESS TO PLUGS BELOW. PROVIDE GROMMETS AS REQ'D. FOR CABLES & ENTRTNMENT CENTERS, MEDIA CENTERS &/OR AUDIO/VIDEO CENTERS.
 - 9) VERIFY ALL LOCATIONS OF FLOOR PLUGS & FLOOR PHONE OUTLETS WITH OWNER & BUILDER PRIOR TO INSTALLATION.
 - 10) HEIGHT OF LIGHT SWITCHES TO BE 48" FROM FINISHED FLOOR TO TOP OF SWITCH PLATE. GANG ALL SWITCHES WHENEVER POSSIBLE. TYPICAL UNLESS OTHERWISE NOTED.
 - 11) NO SWITCHES TO BE LOCATED WITHIN A 5'-0" RADIUS OF A BATHTUB.
 - 12) WALL LIGHT FIXTURES IN BATHROOMS TO BE CENTERED OVER SINK WHEREVER APPLICABLE.
 - 13) PROVIDE FOR LIGHTS IN ATTIC AND SWITCH CLOSE TO ATTIC ACCESS.
 - 14) ALL RECESSED CANLIGHTS TO BE THERMAL RATED AND INCLUDED IN BASE BID. VERIFY & COORDINATE WITH BUILDER AND ALLOWANCE SCHEDULE FOR ANY APPLICABLE ALLOWANCES FOR ELECTRICAL.
 - 15) ALL BATHROOM VENTS TO BE VENTED TO OUTSIDE.
 - 16) ALL ELECTRICAL PANELS TO COMPLY WITH APPLICABLE ELECTRICAL CODES. ALLOW FOR 30" CLEAR SPACE AROUND PANEL. TOP OF PANEL AT 12" UNLESS NOTED OTHERWISE.
 - 17) SMOKE DETECTORS SHOULD BE LOCATED IN EACH BEDROOM AND AS SHOWN PER ELECTRICAL PLANS. ALL SMOKE DETECTORS TO BE HARDWIRED TO PRIMARY ELECTRICAL SERVICE AND EACH OTHER. PROVIDE BATTERY BACK-UP.
 - 18) ELECTRICAL METER TO BE LOCATED IN AREA THAT IS PROTECTED FROM OUTSIDE WEATHER & ELEMENTS. VERIFY WITH BUILDER AS TO FINAL LOCATION OF PANEL.
 - 19) PREPARE FOR SECURITY SYSTEM. VERIFY WITH BUILDER FOR ADDITIONAL WIRING WITH BUILDER & OWNER.
 - 20) PROVIDE BLOCKING FOR CEILING FANS WHERE SPECIFIED.
 - 21) PROVIDE ELECTRIC FOR POOL &/OR SPA EQUIP. & LIGHTS. PROVIDE ELECTRIC AND SWITCHING FOR LANDSCAPE LIGHTING, FOUNTAINS, ETC. VERIFY LOCATION WITH BUILDER OR OWNER.

ELECTRICAL LEGEND

SWITCH	HANGING LIGHT
SWITCH - 3 WAY	CEILING MOUNTED FIXTURE
SWITCH - 4 WAY	RECESSED CAN LIGHT
SWITCH - DIMMER	RECESSED CAN LIGHT FOR VAULTED CLG.
SWITCH - GFI	RECESSED CAN LIGHT DIRECTIONAL
SWITCH - WATERPROOF	RECESSED CAN LIGHT WATERPROOF
PHONE OUTLET	WALL MOUNT FIXTURE
FLR. PHONE OUTLET	4" RECESSED CAN LIGHT
FLOOR OUTLET	LOW VOLT. HALOGEN (SPECIALTY LT. TYPE-A)
TELEVISION OUTLET	SPECIALTY LT. TYPE-B
AV-MEDIA OUTLET (2-COAX 2-CAT 5 PHONE LINE)	SPECIALTY LT. TYPE-C DIRECTIONAL SPOT.
PUSHBUTTON FOR GAR. DR. OPENER	FUCK LIGHT
JUNCTION BOX	FLUOR. LIGHT 2' X 4'
OUTLET - 110V DUPLEX	FLUOR. LIGHT 1' X 4'
OUTLET STRIP BELOW UPPER CABINETS	CABINET LT. - ABV. CAB.
OUTLET - DEDICATED CIRCUIT	CABINET LT. - BLW. CAB.
OUTLET - 110V QUADPLEX	CABINET LT. - ABV. & BLW. CAB.
OUTLET - 110V WATERPROOF	COVE LIGHTING IN CEILING
OUTLET - 220V	TRACK LIGHT
SPLIT WIRE FOR SWITCH PLUG SWITCH TOP PLUG ONLY	FLOOD LIGHT (SHIELDED)
OUTLET AT CLG. FOR GARAGE DOOR OPENER	HEAT LITE
EXT. DOOR BELL	VENT/EXHAUST
CHIMES	VENT/LIGHT COMBO
THERMOSTAT	VENT/LIGHT/HEAT COMBO
SMOKE DETECTOR & CARBON-MONOXIDE DETECTOR COMBO.	CLG. FAN W/ LIGHT KIT
HEAT DETECTOR	CEILING FAN (WITHOUT LIGHT KIT)
SPEAKER	
WALL SPEAKER	
ELEC. PANEL	
NETWORK PANEL	
GAS VALVE	
GAS KEY	

NOTE TO ELECTRICIAN:
ALL OUTLETS AT KITCHEN, BATHS, UTILITY ROOM, GARAGE, EXTERIOR SPACES AND OTHER "WET" AREAS TO BE GFI.

REGISTERED ARCHITECT
STATE OF TEXAS
1866

FEB. 14, 2012

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