

**Historic Landmark Commission
April 23, 2012
National Register Historic District
NRD-2012-0035
Delwood Duplex
1404 Ashwood Road**

PROPOSAL

Enlarge a two-story front porch, construct a rear addition, and add an exterior side stair on a c. 1948 house.

PROJECT SPECIFICATIONS

The existing house was constructed c.1948. It is a two-story house with a side gable roof. As is typical for homes in the Delwood Duplex District, it has two entrances, one centered on the front façade and the other on the side that provides access to the second story unit.

The house has stucco siding and there are steel casement windows throughout. Windows on the front façade are symmetrical, with two on each level, on either side of the front and balcony access doors. The two-story centered porch with balcony appears to have its original shed roof and squared columns, such as are found on other houses in the District; however the bull-wire railing appears to be a later addition. There appear to be no other changes to the house.

The applicant proposes to add a 15'-0" x 18'-10", 2-story rear addition where a wood deck currently exists, and an exterior stair at the side, leading to the second story unit. The rear addition will have Hardiplank siding and multi-paned windows.

The applicant further proposes to construct a new two-story porch with balcony that will span the full width of the front façade. The porch will have a shed roof, squared columns and a bull-wire railing similar to that which is existing.

STANDARDS FOR REVIEW

The house is listed as contributing in the Delwood Duplex National Register Historic District. The Delwood Duplex National Register Historic District has no design guidelines for additions. Applicable general design review guidelines state:

- The distinguishing original qualities or character of a property and its environment shall not be destroyed. Removal or alteration of any historic material or distinctive architectural features should be avoided.
- All properties shall be recognized as products of their own time. Alterations which have no historical basis and which seek to create an earlier appearance shall be discouraged.
- Changes that have taken place in the course of time may have acquired significance in their own right, and shall be recognized and respected.
- Distinctive stylistic features or examples of skilled craftsmanship that characterize a property shall be treated with sensitivity.
- Deteriorated architectural features shall be repaired rather than replaced whenever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture, and other visual qualities.

Repair or replacement of missing architectural features should be based on an accurate duplication of features, substantiated by historical, physical, or pictorial evidence.

- Contemporary designs for alterations and additions to existing properties are appropriate when such alterations and additions do not destroy significant historic, architectural, or cultural material and are compatible with the size, scale, color, material, and character of the property, neighborhood, or environment.
- Whenever possible, new additions or alterations to structures shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the structure would not be impaired.

The rear addition will be minimally visible from the public right-of-way and will be compatible, but differentiated from, the original house through the use of the horizontal siding. Although other houses in the District have full-width porches, some of the design elements proposed, such as the bull-wire railing, introduce design elements not found on other properties.

STAFF RECOMMENDATION

Release the permit, but request the applicant consider a railing and columns for the new front porch similar to those found on other properties in the District with full-width porches.

Photos



Front elevation



Side elevation



Side elevation



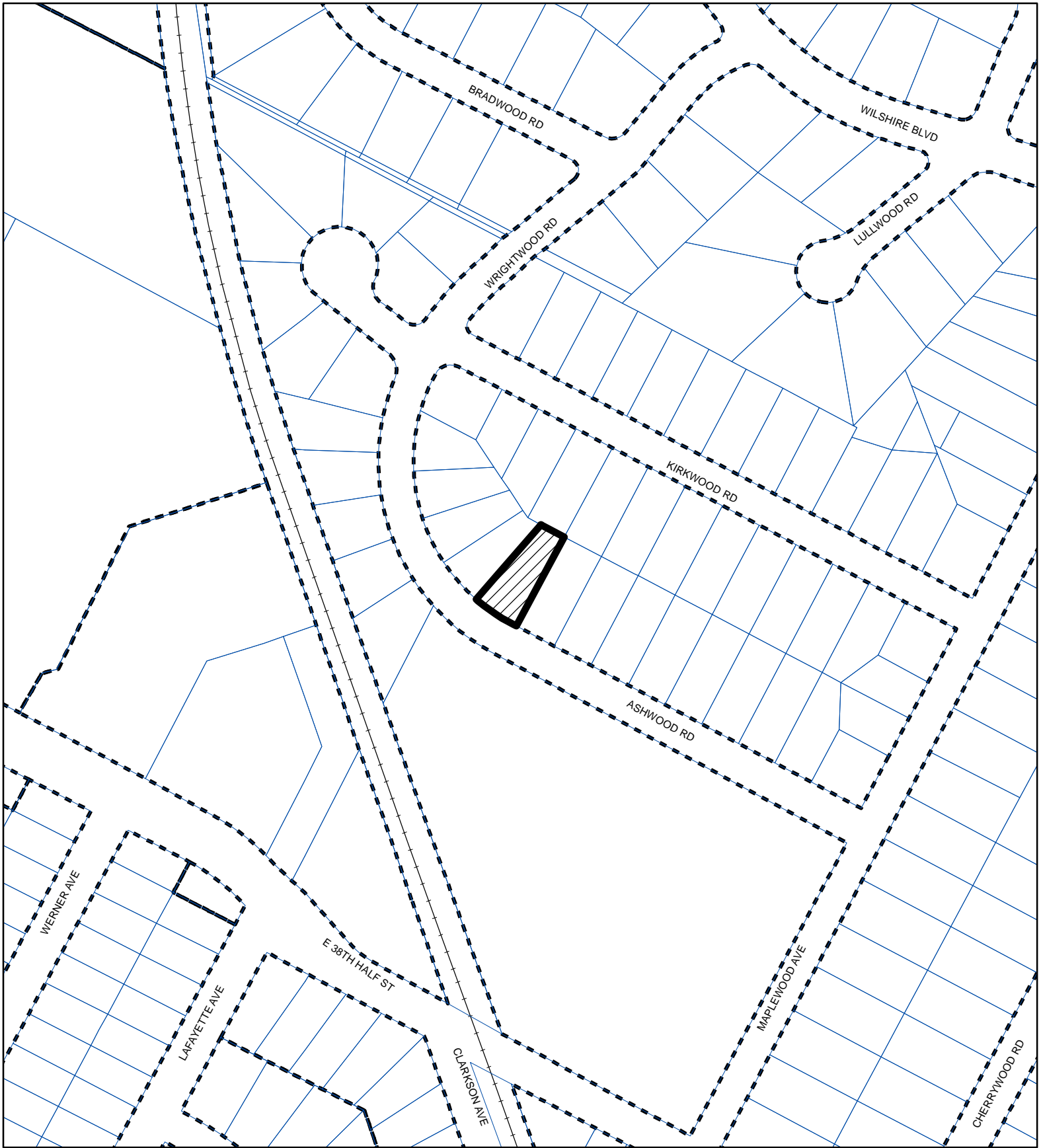
Rear elevation



Other houses in Delwood Duplex NRD with columns and slat railing



Other houses in Delwood Duplex NRD with decorative iron columns and railings



SUBJECT TRACT



ZONING BOUNDARY

CASE#: NRD-2012-0035
LOCATION: 1404 Ashwood Road



This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

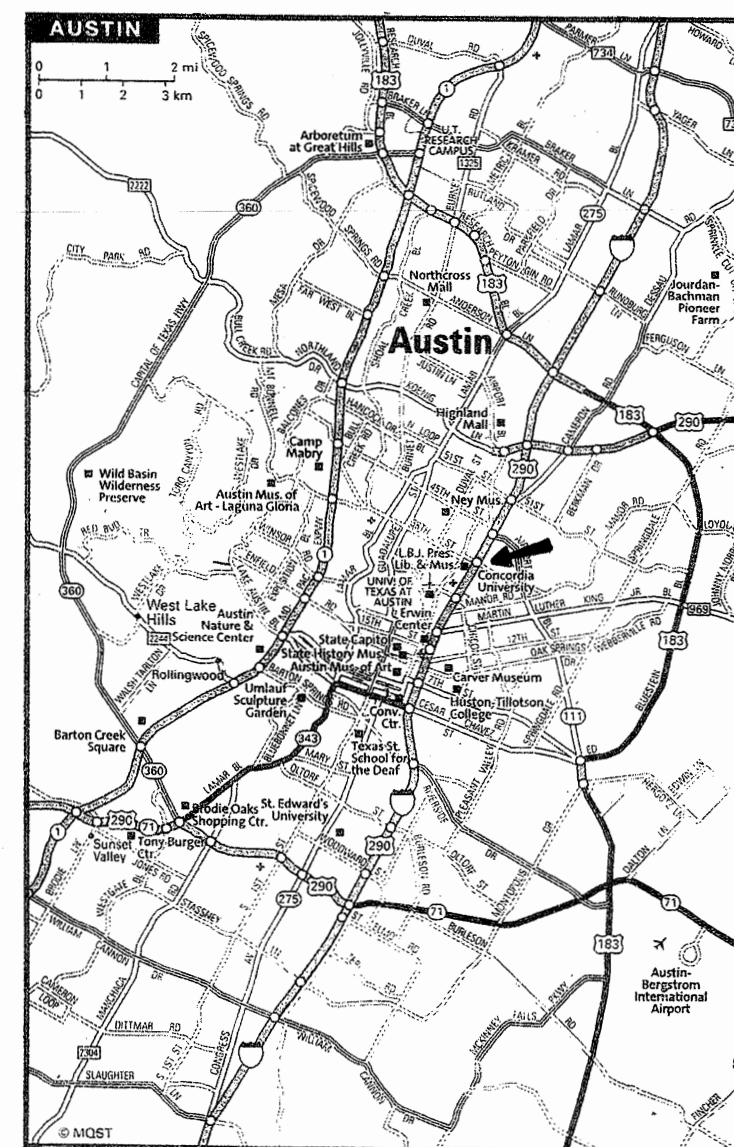
This product has been produced by the Planning and Development Review Department for the sole purpose of geographic reference. No warranty is made by the City of Austin regarding specific accuracy or completeness.

ADDITION + RENOVATION

BRIAN + JULIE MILLER RESIDENCE

1404 A/B ASHWOOD DRIVE

AUSTIN, TEXAS 78722



SITE LOCATION PLAN

LIST OF DRAWINGS

- T-1 TITLE SHEET
- C-1 CIVIL DESIGN SHEET
- A-1 1ST & 2ND FLOOR DEMOLITION PLANS & NOTES
- A-2 1ST & 2ND FLOOR NEW WORK PLANS & NOTES
- A-3 EXTERIOR ELEVATIONS & ROOFING PLAN
- A-4 SECTIONS, ELEVATIONS & DETAILS
- A-5 STAIR DETAILS
- P-1 PLUMBING NEW WORK PLAN
- M-1 MECHANICAL (HVAC) NEW WORK PLAN
- E-1 ELECTRICAL NEW WORK PLAN

Twin Contracting Corporation



REVISIONS

<u>DATE</u>	<u>DESCRIPTION</u>

TCC JOB NO.
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3/13/12

BY
RGM



Twin Contracting Corporation
GENERAL CONTRACTORS

RONALD G. MILLER
President

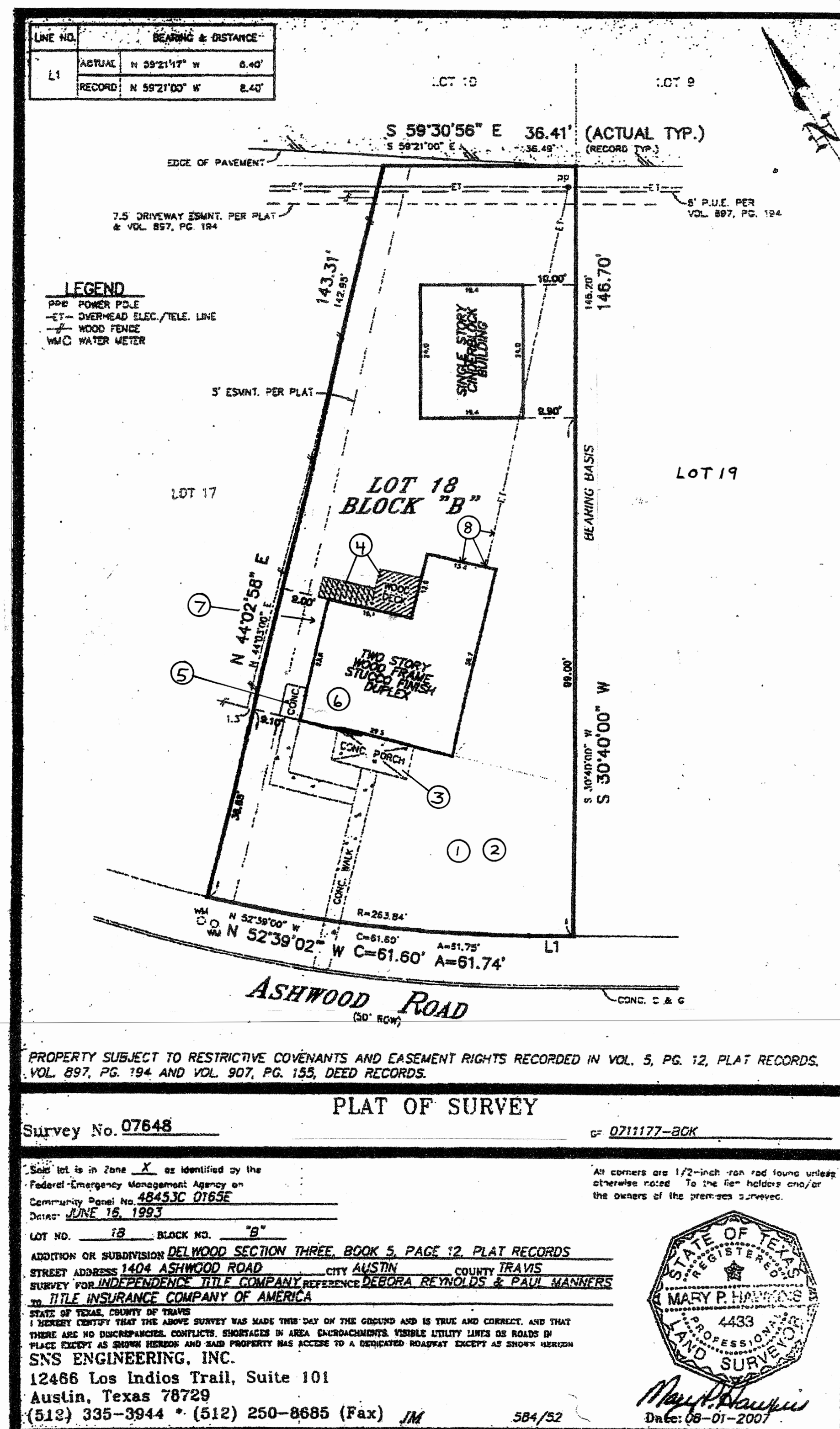
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SHEET

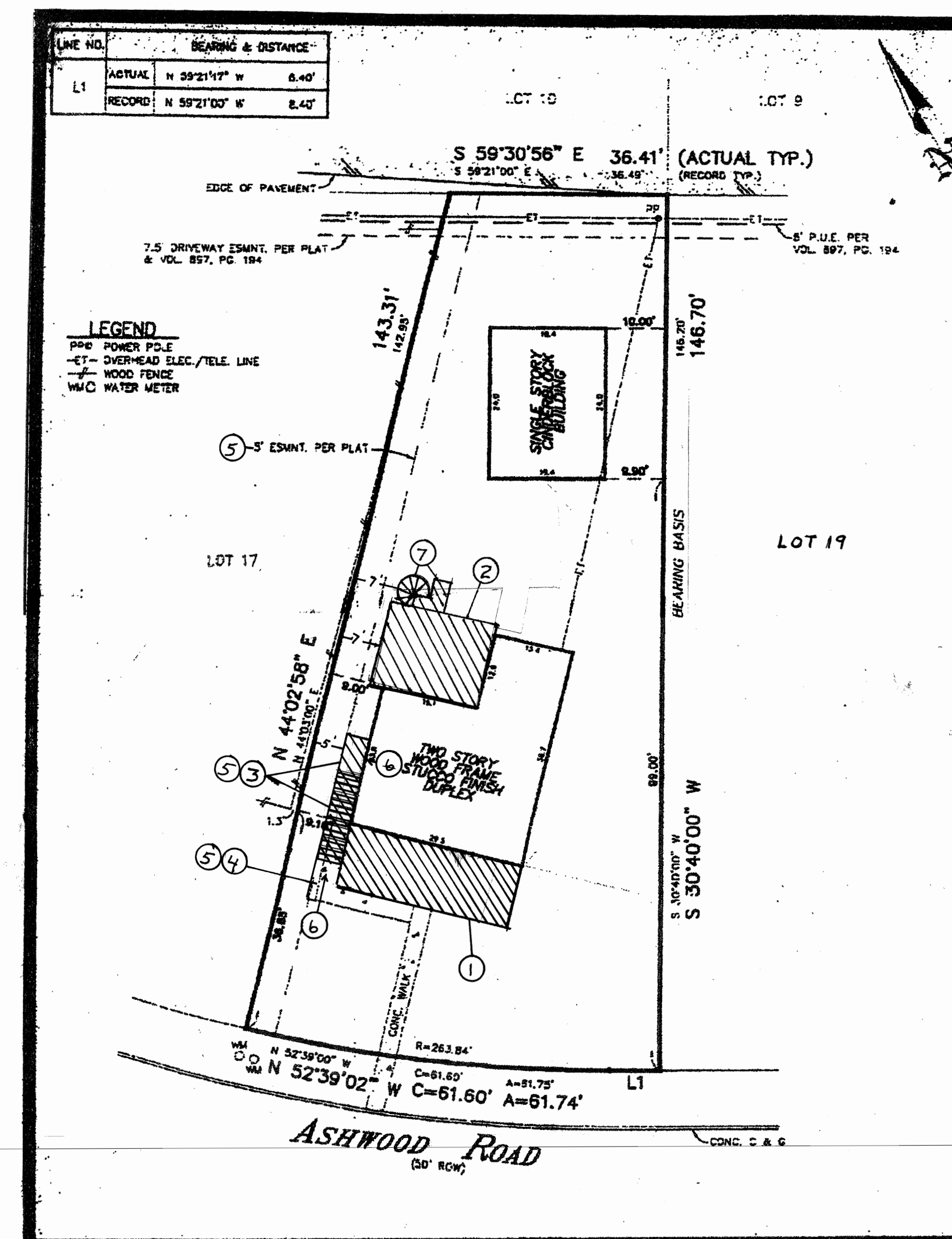
T-1



EXISTING CIVIL / PLAT PLAN + DEMOLITION NOTES

EXISTING CIVIL / PLAT PLAN DEMOLITION NOTES

- CONTRACTOR SHALL MAINTAIN EXISTING SURFACE WATER DRAINAGE PATTERNS THROUGHOUT CONSTRUCTION AND SHALL PROVIDE SILTATION CONTROL MEASURES AS REQUIRED TO PREVENT THE RUNOFF OF SILT ONTO ADJACENT PROPERTIES AND/OR INTO EXISTING PUBLIC STORM WATER CONTROL SYSTEMS.
- UPON COMPLETION OF CONSTRUCTION, CONTRACTOR SHALL REMOVE TEMPORARY SILTATION CONTROL MEASURES & SHALL RESTORE DISTURBED AREAS OF THE SITE WITH NEW GRASS.
- REMOVE EXISTING 2ND STOREY DECK OVER FRONT CONCRETE PORCH, INCLUDING WOOD SUPPORT POSTS, JOISTS, DECK, SHED-TYPE ROOF, GUTTERS & DOWNSPOUTS. EXISTING CONCRETE DECK TO REMAIN. PROVIDE TEMPORARY WEATHER PROTECTION AT REMOVED ROOFING AS REQUIRED. TEMPORARILY BARRICADE 2ND FLOOR EXTERIOR DOOR TO PREVENT ACCIDENTAL USE UNTIL COMPLETION OF NEW DECK.
- REMOVE EXISTING 2ND STOREY WOOD DECK AND STAIRWAY OVER REAR CONCRETE PORCH, INCLUDING WOOD SUPPORT POSTS, JOISTS, DECK, STAIR TREADS/RISERS/STRINGERS, SHED-TYPE ROOF, GUTTERS & DOWNSPOUTS. EXISTING CONCRETE DECK TO REMAIN. PROVIDE TEMPORARY WEATHER PROTECTION AT REMOVED ROOFING AS REQUIRED. TEMPORARILY BARRICADE 2ND FLOOR EXTERIOR DOOR TO PREVENT ACCIDENTAL USE.
- REMOVE SMALL ROOF & WOOD SUPPORTS OVER EXISTING CONCRETE SLAB AT EXISTING EXTERIOR DOOR AND ACCESS TO AND FROM THE 2ND FLOOR LIVING AREAS.
- PRIOR TO THE START OF DEMOLITION, THE EXISTING TENANT SHALL VACATE THE FIRST FLOOR. THE OWNER SHALL THEN RELOCATE FROM THE SECOND FLOOR TO THE FIRST FLOOR. A SECURE DUST BARRIER SHALL BE CONSTRUCTED IN THE FIRST FLOOR LIVING ROOM IN ORDER TO SEGREGATE THE OCCUPIED FIRST FLOOR LIVING AREAS FROM THE AREAS OF DEMOLITION AND NEW WORK. THE CONTRACTOR SHALL SCHEDULE & PROSECUTE THE WORK IN SUCH A WAY THAT THE OWNER SHALL BE ABLE TO SAFELY ENTER AND EXIT THE FIRST FLOOR LIVING AREAS VIA THE EXISTING FRONT AND/OR REAR EXTERIOR DOORS.
- PRESUMED LOCATION OF EXISTING UNDERGROUND FRESH WATER SUPPLY AND SANITARY SEWER DRAIN UTILITY LINES. CONTRACTOR SHALL VERIFY EXACT LOCATIONS PRIOR TO PROCEEDING WITH WORK & SHALL CAREFULLY SCHEDULE INTERRUPTIONS IN SERVICE WITH THE OWNER/TENANT(S).
- LOCATIONS OF EXISTING OVERHEAD ELECTRICAL CABLE TV AND TELEPHONE SYSTEMS SERVICES. CONTRACTOR SHALL MAINTAIN ONGOING SERVICE THROUGHOUT CONSTRUCTION, AND SHALL CAREFULLY SCHEDULE INTERRUPTIONS IN SERVICE WITH THE OWNER/TENANT(S).
- CONTRACTOR SHALL PROVIDE TEMPORARY PROTECTION OF EXISTING TREES &/OR LANDSCAPING AS REQUIRED THROUGHOUT CONSTRUCTION, AND SHALL REMOVE SAME UPON COMPLETION OF THE WORK.



CIVIL / PLAT PLAN NEW WORK NOTES

- NEW 29.5' X 10.0' ONE-STOREY HIGH COVERED DECK, CONSISTING OF CONCRETE PIER FOUNDATIONS, WOOD SUPPORT POSTS, LEDGER BOARD, WOOD JOISTS AND DECKING, AND COVERED ROOFING. EXISTING GROUND LEVEL CONCRETE DECK TO REMAIN. SEE ARCHITECTURAL DRAWINGS FOR DETAILS.
- NEW TWO-STOREY HIGH HOUSE ADDITION, CONSISTING OF NEW CONCRETE TURNDOWN FOOTING FOUNDATION, CONCRETE SLAB-ON-GRADE, WOOD EXTERIOR FRAMING W/ INSULATION, WOOD FLOOR JOIST/CEILING/ROOF FRAMING & INSULATION, ROOFING, EXTERIOR WINDOWS, INTERIOR & EXTERIOR DOORS, AND INTERIOR/EXTERIOR FINISHES. SEE ARCHITECTURAL DRAWINGS FOR CONSTRUCTION DETAILS. REFER TO PLUMBING/HVAC/ELECTRICAL DRAWINGS FOR NEW WORK DETAILS.
- NEW 4.0' WIDE ONE-STOREY WOOD DECK, CONSISTING OF CONCRETE PIER FOUNDATIONS, WOOD SUPPORT POSTS, LEDGER BOARD, WOOD JOISTS AND DECKING, STAIR STRINGERS/TREADS/RISERS, AND COVERED ROOFING. SEE ARCHITECTURAL DRAWINGS FOR DETAILS.
- EXTEND EXISTING CONCRETE SIDEWALK AT THE BOTTOM OF THE NEW STAIRWAY TO THE FULL 4.0' WIDTH OF NEW STAIR AS REQUIRED.
- CONTRACTOR SHALL ENSURE THAT THE NEW DECK, STAIRWAY AND SIDEWALK EXTENSION FROM NEW WORK NOTES #3 & 4 ABOVE DO NOT INTRUDE INTO THE EXISTING 5.0' WIDE UTILITY EASEMENT ALONG THE WEST PROPERTY LINE.
- PRIOR TO THE START OF DEMOLITION, THE EXISTING TENANT SHALL VACATE THE FIRST FLOOR. THE OWNER SHALL THEN RELOCATE FROM THE SECOND FLOOR TO THE FIRST FLOOR. THE CONTRACTOR SHALL SCHEDULE AND PROSECUTE THE WORK IN SUCH A WAY THAT THE OWNER SHALL BE ABLE TO SAFELY ENTER AND EXIT THE FIRST FLOOR LIVING AREAS VIA THE EXISTING FRONT AND/OR REAR EXTERIOR DOORS. (ALSO, SEE CIVIL DEMOLITION NOTE #6 AT LEFT, THIS SHEET, AND THE ARCHITECTURAL DRAWINGS & NOTES).
- NEW UNCOVERED EXTERIOR WOOD DECK WITH SPIRAL METAL STAIRS FROM 2ND FLOOR MASTER BEDROOM SUITE, CONSISTING OF CONCRETE PIER FOUNDATIONS, WOOD SUPPORT POSTS, LEDGER BOARD, WOOD JOISTS, DECKING AND RAILINGS. SPIRAL STAIR TO EXTEND DOWN TO GRADE.

NEW CIVIL / PLAT PLAN + NEW WORK NOTES

Twin Contracting Corporation



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VR-4131
NTS

DATE 3/13/12 BY RGM



Twin Contracting Corporation
GENERAL CONTRACTORS

RONALD G. MILLER
President

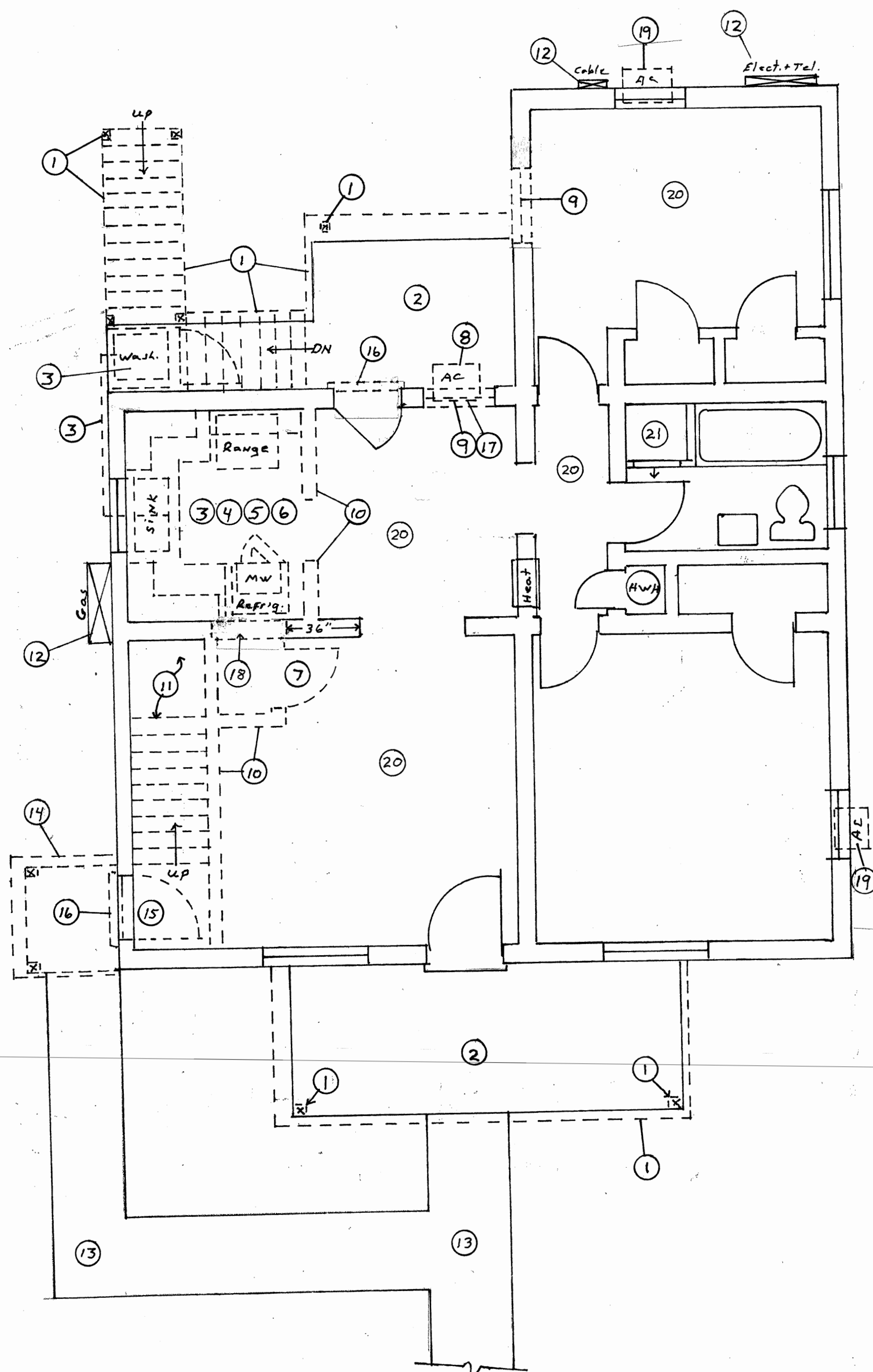
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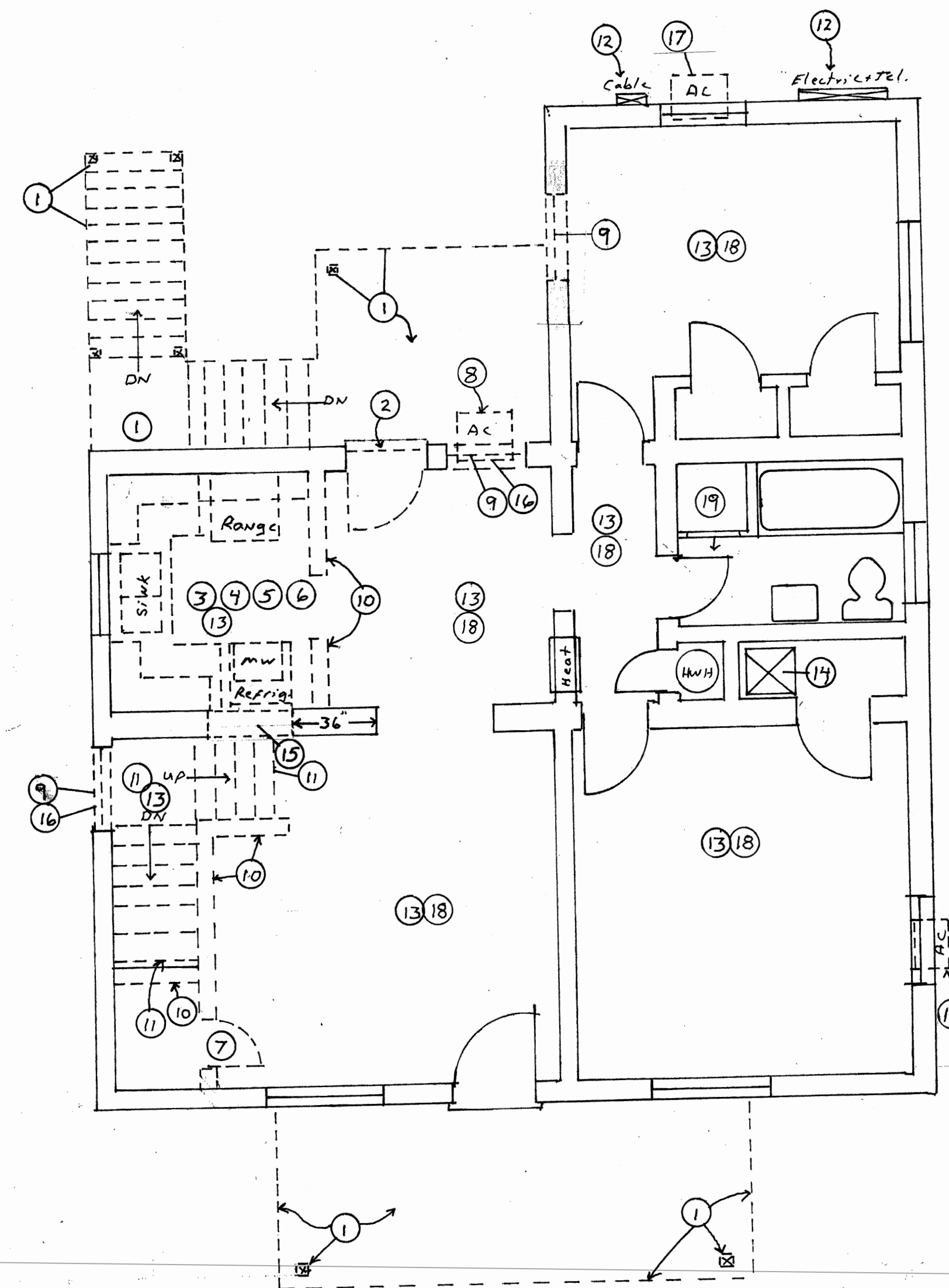
C-1



**FIRST FLOOR ARCHITECTURAL
+ PHVACE
DEMOLITION PLAN + NOTES**

**FIRST FLOOR ARCHITECTURAL
DEMOLITION PLAN & NOTES**

1. REMOVE EXISTING EXTERIOR WOOD-FRAME DECK & RELATED SUPPORT POSTS, LEDGER BOARD & ANCHORS, JOISTS, DECKING, STAIRS, RAILINGS, AND ROOFING, DOWNSPOUTS & GUTTERS.
2. EXISTING EXTERIOR CONCRETE SLAB TO REMAIN.
3. REMOVE EXISTING APPLIANCES & STORE ONSITE AS DIRECTED BY THE OWNER. CLEAN & PROTECT AS NECESSARY FOR REINSTALLATION.
4. REMOVE 2-BASIN KITCHEN SINK & FAUCET.
5. REMOVE EXISTING KITCHEN CABINETS, COUNTERTOP AND WALL SHELF UNIT.
6. REMOVE EXISTING VINYL FLOORING & ASSOCIATED WOOD BASE.
7. REMOVE EXISTING INTERIOR DOOR, FRAME & ASSOCIATED HARDWARE.
8. REMOVE EXISTING THRU-WINDOW AIR CONDITIONING UNIT & ASSOCIATED WOOD/INSULATED PANELS.
9. REMOVE EXISTING EXTERIOR WINDOW UNIT.
10. REMOVE EXISTING INTERIOR PARTITION, FLOOR TO CEILING.
11. REMOVE EXISTING INTERIOR STAIRWAY, INCLUDING FRAMING, TREADS, RISERS & RAILINGS.
12. EXISTING LOCATIONS OF EXISTING EXTERIOR UTILITY SERVICES, METERS, AND/OR SPLICE BOXES. PROTECT FROM DAMAGE AS NECESSARY THROUGHOUT CONSTRUCTION.
13. EXISTING EXTERIOR CONCRETE SIDEWALKS TO REMAIN.
14. REMOVE EXISTING EXTERIOR CONCRETE POURCH STOOP.
15. REMOVE EXISTING EXTERIOR DOOR & ASSOCIATED HARDWARE.
16. REMOVE APPROX. 3" PORTION OF THE EXISTING CONCRETE SLAB WHICH EXTENDS UNDER THE EXTERIOR DOOR STOOP BACK TO BE FLUSH WITH THE EXTERIOR BLOCK WALL. (CONTRACTOR SHALL CONFIRM IF REQUIRED BY NEW WORK).
17. REMOVE PORTIONS OF EXISTING EXTERIOR MASONRY/STUCCO/PLASTER WALL ABOVE & BELOW REMOVED WINDOW AS NECESSARY TO PROVIDE A NEW ROUGH OPENING FOR A NEW 2/6 X 6/8 INTERIOR WOOD DOOR AND FRAME. PROVIDE NEW STEEL OR MASONRY LINTEL AT TOP OF NEW ROUGH OPENING AS NECESSARY TO SUPPORT STRUCTURE ABOVE.
18. REMOVE PORTION OF EXISTING INTERIOR BEARING CONCRETE-MASONRY-UNIT & PLASTER WALL TO CREATE A NEW 3'/0" WIDE X 1'8" HIGH PASS-THRU OPENING BETWEEN KITCHEN AND BREAKFAST NOOK AREA. CONTRACTOR SHALL PROVIDE TEMPORARY SHORING & SUPPORT OF CEILING FRAMING AS NECESSARY UNTIL COMPLETION OF THE INSTALLATION OF NEW CMU LINTEL (SEE 2ND FLOOR NEW WORK NOTES ON DRAWING A-2).
19. EXISTING THRU-WINDOW AIR CONDITIONING UNIT & ASSOCIATED WOOD/INSULATED PANELS TO REMAIN.
20. CONTRACTOR SHALL PROVIDE TEMPORARY PROTECTION THROUGHOUT CONSTRUCTION AS NECESSARY OF EXISTING FLOORS & FINISHES TO REMAIN. REMOVE TEMPORARY PROTECTION AT THE END OF CONSTRUCTION & CLEANUP AS DIRECTED.
21. REMOVE EXISTING HINGED ACCESS DOOR & WOOD SHELVEING FROM BATHROOM CLOSET AS REQUIRED FOR THE FUTURE INSTALLATION OF A STACK WASHER/DRYER UNIT.



**SECOND FLOOR ARCHITECTURAL
+ PHVACE
DEMOLITION PLAN + NOTES**

**SECOND FLOOR ARCHITECTURAL
DEMOLITION PLAN & NOTES**

1. REMOVE EXISTING EXTERIOR WOOD-FRAME DECK & RELATED SUPPORT POSTS, LEDGER BOARD & ANCHORS, JOISTS, DECKING, STAIRS, RAILINGS, AND ROOFING, DOWNSPOUTS & GUTTERS.
2. REMOVE APPROX. 3" PORTION OF STOOP UNDER EXISTING EXTERIOR DOOR BACK TO FACE OF EXTERIOR WALL. (CONTRACTOR SHALL VERIFY IF REQUIRED BY NEW WORK).
3. REMOVE EXISTING APPLIANCES & STORE ONSITE AS DIRECTED BY THE OWNER. CLEAN & PROTECT AS NECESSARY FOR REINSTALLATION.
4. REMOVE 2-BASIN KITCHEN SINK & FAUCET.
5. REMOVE EXISTING KITCHEN CABINETS, COUNTERTOP AND WALL SHELF UNIT.
6. REMOVE EXISTING VINYL FLOORING & ASSOCIATED WOOD BASE.
7. REMOVE EXISTING INTERIOR DOOR, FRAME & ASSOCIATED HARDWARE.
8. REMOVE EXISTING THRU-WINDOW AIR CONDITIONING UNIT & ASSOCIATED WOOD/INSULATED PANELS.
9. REMOVE EXISTING EXTERIOR WINDOW UNIT.
10. REMOVE EXISTING INTERIOR PARTITION, FLOOR TO CEILING.
11. REMOVE EXISTING INTERIOR STAIRWAY, INCLUDING FRAMING, TREADS, RISERS & RAILINGS.
12. EXISTING LOCATIONS OF EXISTING EXTERIOR UTILITY SERVICES, METERS, AND/OR SPLICE BOXES. PROTECT FROM DAMAGE AS NECESSARY THROUGHOUT CONSTRUCTION.
13. DEMO EXISTING PLASTER CEILING (TO INCLUDE EXPOSED WOOD SUPPORTS AND/OR LATHE) TO THE EXTENT REQUIRED TO REMOVE WATER-DAMAGED & CRACKING MATERIALS, BACK TO A SOUND SUB-SURFACE. PATCH, REPAIR & RESECURE AS NECESSARY PRIOR TO THE INSTALLATION OF NEW DRYWALL CEILINGS AND MOULDINGS.
14. EXISTING ATTIC ACCESS DOOR TO REMAIN.
15. REMOVE PORTION OF EXISTING INTERIOR BEARING CONCRETE-MASONRY-UNIT & PLASTER WALL TO CREATE A NEW 3'/0" WIDE X 1'8" HIGH PASS-THRU OPENING BETWEEN KITCHEN AND BREAKFAST NOOK AREA. CONTRACTOR SHALL PROVIDE TEMPORARY SHORING & SUPPORT OF CEILING/ROOF FRAMING AS NECESSARY UNTIL COMPLETION OF THE INSTALLATION OF NEW CMU LINTEL (SEE 2ND FLOOR NEW WORK NOTES ON DRAWING A-2).
16. REMOVE PORTIONS OF EXISTING EXTERIOR MASONRY/STUCCO/PLASTER WALL ABOVE & BELOW REMOVED WINDOW AS NECESSARY TO PROVIDE A NEW ROUGH OPENING FOR A NEW 2/6 X 6/8 INTERIOR WOOD DOOR AND FRAME. PROVIDE NEW STEEL OR MASONRY LINTEL AT TOP OF NEW ROUGH OPENING AS NECESSARY TO SUPPORT STRUCTURE ABOVE.
17. EXISTING THRU-WINDOW AIR CONDITIONING UNIT & ASSOCIATED WOOD/INSULATED PANELS TO REMAIN.
18. CONTRACTOR SHALL PROVIDE TEMPORARY PROTECTION THROUGHOUT CONSTRUCTION AS NECESSARY OF EXISTING FLOORS & FINISHES TO REMAIN. REMOVE TEMPORARY PROTECTION AT THE END OF CONSTRUCTION & CLEANUP AS DIRECTED.
19. REMOVE EXISTING HINGED ACCESS DOOR & WOOD SHELVEING FROM BATHROOM CLOSET AS REQUIRED FOR THE FUTURE INSTALLATION OF A STACK WASHER/DRYER UNIT.

REVISIONS

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TCC JOB NO.

VR-4131
1/4" = 1'-0"
DATE 3/13/12
BY RGM



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GENERAL CONTRACTORS

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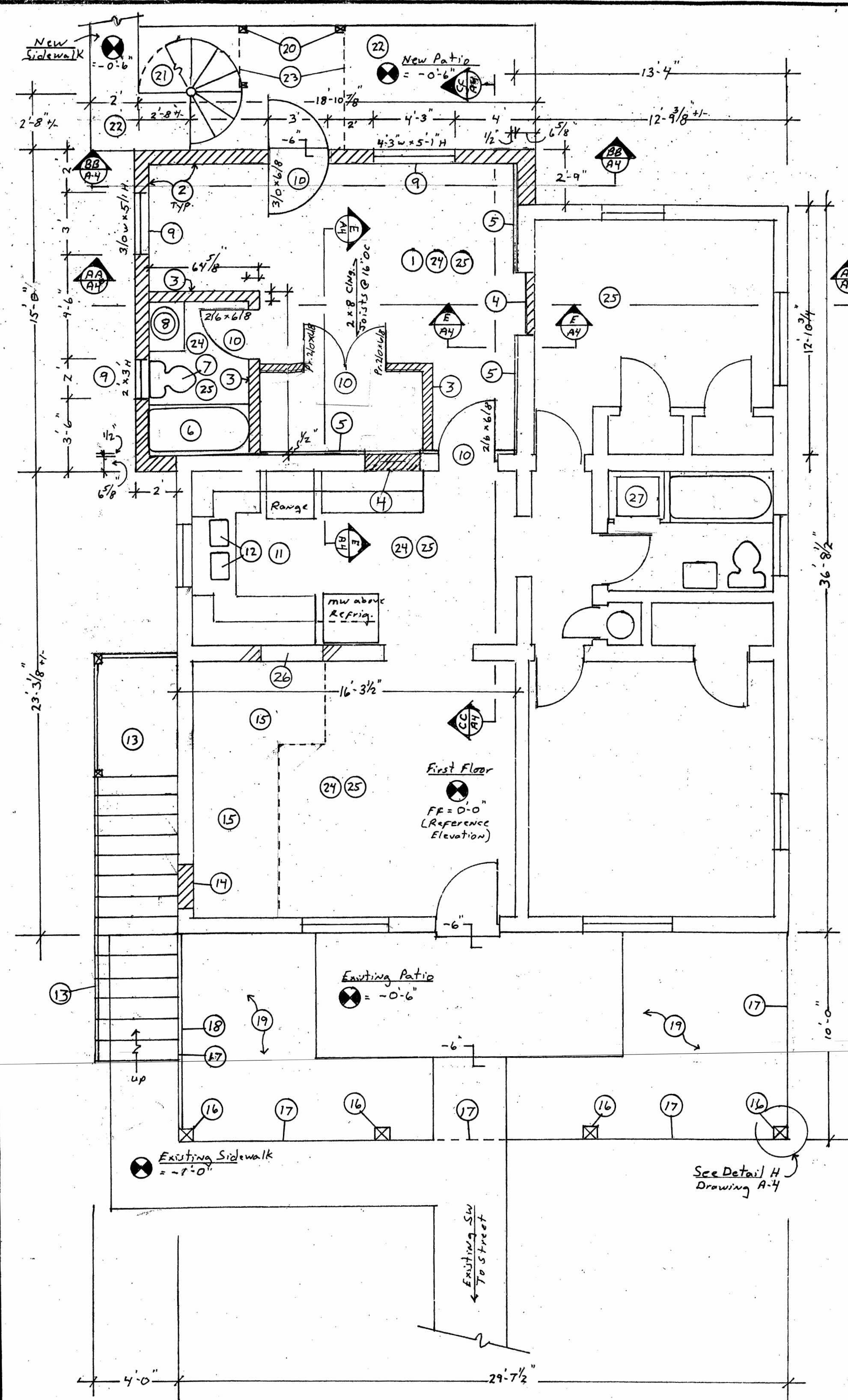
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SHEET

A-1

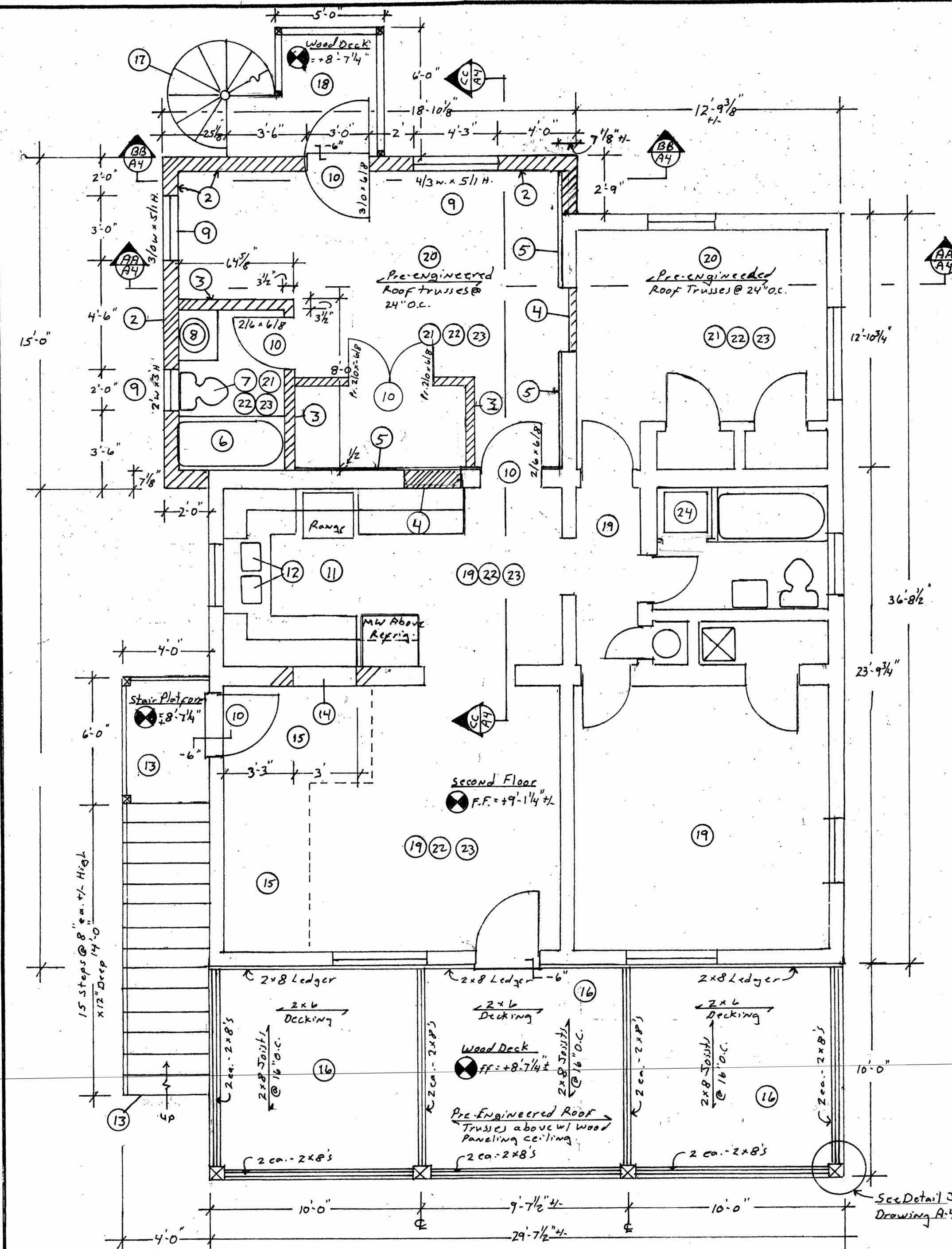


FIRST FLOOR ARCHITECTURAL

NEW WORK PLAN + NOTES

FIRST FLOOR ARCHITECTURAL NEW WORK PLAN + NOTES

- NEW 4" CONCRETE SLAB ON GRADE WITH TURNDOWN FOUNDATION, STEEL REINFORCING & VAPOR BARRIER OVER 4" GRAVEL BASE. ASSUMED MINIMUM SOIL BEARING CAPACITY IS 2000 PSI. SEE DRAWING A-4 FOR DETAILS.
- NEW PERIMETER WOOD-FRAMED WALLS OVER NEW CONCRETE SLAB, CONSISTING OF 2 X 6 SILL PLATES, VERTICAL STUDS @ 16" OC, AND DOUBLE TOP PLATE. PROVIDE SILL FLASHING AND MINIMUM R-21 (5-1/2" THICK) FIBERGLASS BATT INSULATION. PROVIDE ONE LAYER OF 5/8" EXTERIOR PLYWOOD SHEATHING, VAPOR BARRIER AND 8" HIGH PAINTED HARDIE-BOARD EXTERIOR SIDING & TRIM. PROVIDE 1/2" PAINTED DRYWALL ON INTERIOR. SEE DRAWING A-4 FOR DETAILS.
- PROVIDE INTERIOR, NON-BEARING WALLS CONSISTING OF 2 X 4 WOOD FRAMING AT 24" OC, SOUND BARRIER BATT INSULATION, AND 1/2" PAINTED DRYWALL EACH SIDE. SEE DRAWING A-4 FOR DETAILS.
- INFILL EXISTING CMU WALL OPENINGS AT REMOVED EXTERIOR WINDOW WITH WOOD STUDS & SOUND BARRIER BATT INSULATION. FINISH ONE SIDE FLUSH WITH, AND TO MATCH, EXISTING STUCCO. PROVIDE FINISHED & PAINTED DRYWALL ON THE SIDE OF THE NEW MASTER BEDROOM TO CREATE A RECESSED SHELF NICHE (EXCEPT IN NEW CLOSET LOCATION).
- PROVIDE ONE LAYER OF 1/2" DRYWALL, GLUED ONTO THE FACE OF THE EXISTING CMU/STUCCO WALL. PROVIDE CORNERBEADS AT ALL EDGES AT THE SHELF NICHE AREAS & PAINT.
- NEW FIBERGLASS BATHTUB & FAUCETS WITH FIBERGLASS WALL SURROUNDS ON THREE SIDES. ALSO SEE DRAWING P-1.
- NEW WATER CLOSET AND ASSOCIATED PLUMBING. ALSO SEE DRAWING P-1.
- NEW VANITY CABINET X 30" WIDE WITH COUNTERTOP, 16" X 19" OVAL BASIN AND ASSOCIATED PLUMBING. ALSO SEE DRAWING P-1.
- INSTALL OWNER-FURNISHED NEW EXTERIOR WINDOWS WHERE SHOWN. PROVIDE JAMB EXTENSIONS AND INTERIOR TRIM AS NECESSARY.
- INSTALL NEW OWNER-FURNISHED EXTERIOR METAL-CLAD SOLID CORE EXTERIOR DOORS AND FRAMES, AND INTERIOR PAINT-GRADE 1-3/8" THICK HOLLOW CORE PREHUNG DOORS AND FRAMES AS SHOWN. FINISH HARDWARE & KEYING ALSO TO BE AS APPROVED BY THE OWNER.
- NEW KITCHEN CABINETS, COUNTERTOPS AND APPLIANCES AS SELECTED AND APPROVED BY THE OWNER.
- NEW TWO-BOWL KITCHEN SINK WITH FAUCET AND ASSOCIATED PLUMBING. ALSO SEE DRAWING P-1.
- NEW EXTERIOR WOODEN STAIR, RAILING AND LANDING FOR NEW 2ND FLOOR APARTMENT ACCESS. SEE DRAWING A-4 FOR DETAILS.
- INFILL CMU OPENING AT REMOVED EXTERIOR DOOR. PATCH INTERIOR TO MATCH EXISTING PLASTER AS REQUIRED & REPAINT. PATCH EXTERIOR TO MATCH EXISTING STUCCO FINISH AS REQUIRED & REPAINT.
- REPAIR CEILING FRAMING & FINISHES AS REQUIRED IN THIS AREA AFTER REMOVAL OF THE EXISTING INTERIOR STAIRWAY & WALLS (SEE DEMOLITION DRAWING A-1).
- NEW 6 X 6 PT WOOD SUPPORT POSTS ON CONCRETE FOUNDATIONS FOR DECK ABOVE. SEE DRAWINGS A-3 & A-4 FOR DETAILS.
- OUTLINE OF COVERED WOODEN DECK ABOVE.
- INSTALL NEW WOODEN LATTICE PRIVACY SCREEN FROM SIDEWALK ELEVATION TO UNDERSIDE OF NEW DECK ABOVE. SEE DRAWINGS A-3 & A-4.
- NEW PATIO/LANDSCAPING IN THIS AREA AS DIRECTED BY THE OWNER.
- NEW 4 X 4 PT WOODEN SUPPORT POSTS ON CONCRETE FOUNDATION FOR NEW WOODEN DECK AT 2ND FLOOR. SEE DRAWINGS A-3 AND A-4 FOR DETAILS.
- INSTALL NEW OWNER-FURNISHED 5" DIAMETER STEEL SPIRAL STAIR WITH RAILINGS ON CONCRETE FOUNDATION. SEE DRAWINGS A-3 AND A-5 FOR DETAILS.
- NEW CONCRETE PATIO AND SIDEWALK IN THIS AREA. PROVIDE POSITIVE FALL AWAY FROM THE HOUSE FOR WATER DRAINAGE.
- OUTLINE OF NEW UNCOVERED WOODEN DECK AT 2ND FLOOR ABOVE.
- PROVIDE NEW WOOD BASE, DOOR AND WINDOW TRIM IN THIS AREA AS SELECTED BY THE OWNER (TO MATCH EXISTING AND ADJACENT).
- OWNER SHALL SELECT NEW WALL PAINT AND FLOORING FINISHES WHERE REQUIRED.
- INSTALL MASONRY OR STEEL ANGLE LINTEL OVER NEW PASS-THRU WINDOW BETWEEN KITCHEN AND LIVING ROOM AND REWORK MASONRY & PLASTER FINISHES. NEW PASS-THRU TO BE 36" WIDE X 30" HIGH WITH A WOOD SHELF AT APPROXIMATELY 42" AFF.
- INSTALL A NEW OWNER-FURNISHED STACK WASHER/DRYER UNIT, WITH SUB-FLOORING, DRAIN PAN, AND ASSOCIATED WATER, ELECTRICAL AND DRYER VENT (TO EXTERIOR) UTILITY CONNECTIONS. REWORK CASED WALL OPENING & FINISHES AS NECESSARY & AS DIRECTED BY THE OWNER.



SECOND FLOOR ARCHITECTURAL

NEW WORK PLAN + NOTES

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- PROVIDE INTERIOR, NON-BEARING WALLS CONSISTING OF 2 X 4 WOOD FRAMING AT 24" OC, SOUND BARRIER BATT INSULATION, AND 1/2" PAINTED DRYWALL EACH SIDE. SEE DRAWING A-4 FOR DETAILS.
- INFILL EXISTING CMU WALL OPENINGS AT REMOVED EXTERIOR WINDOW WITH 2 X 3 WOOD STUDS & SOUND BARRIER BATT INSULATION. FINISH ONE SIDE FLUSH WITH, AND TO MATCH, EXISTING STUCCO. PROVIDE FINISHED & PAINTED DRYWALL ON THE SIDE OF THE NEW MASTER BEDROOM TO CREATE A RECESSED SHELF NICHE (EXCEPT IN NEW CLOSET LOCATION).
- PROVIDE ONE LAYER OF 1/2" DRYWALL, GLUED ONTO THE FACE OF THE EXISTING CMU/STUCCO WALL. PROVIDE CORNERBEADS AT ALL EDGES AT THE SHELF NICHE AREAS & PAINT.
- NEW FIBERGLASS BATHTUB & FAUCETS WITH FIBERGLASS WALL SURROUNDS ON THREE SIDES. ALSO SEE DRAWING P-1.
- NEW WATER CLOSET AND ASSOCIATED PLUMBING. ALSO SEE DRAWING P-1.
- NEW VANITY CABINET X 30" WIDE WITH COUNTERTOP, 16" X 19" OVAL BASIN AND ASSOCIATED PLUMBING. ALSO SEE DRAWING P-1.
- INSTALL NEW OWNER-FURNISHED EXTERIOR WINDOWS WHERE SHOWN. PROVIDE JAMB EXTENSIONS AND INTERIOR TRIM AS NECESSARY.
- INSTALL NEW OWNER-FURNISHED EXTERIOR METAL-CLAD SOLID CORE EXTERIOR DOORS AND FRAMES, AND INTERIOR PAINT-GRADE 1-3/8" THICK HOLLOW CORE PREHUNG DOORS AND FRAMES AS SHOWN. FINISH HARDWARE & KEYING ALSO TO BE AS APPROVED BY THE OWNER.
- NEW KITCHEN CABINETS, COUNTERTOPS AND APPLIANCES AS SELECTED AND APPROVED BY THE OWNER.
- NEW TWO-BOWL KITCHEN SINK WITH FAUCET AND ASSOCIATED PLUMBING. ALSO SEE DRAWING P-1.
- NEW EXTERIOR WOODEN STAIR, RAILING AND LANDING FOR NEW 2ND FLOOR APARTMENT ACCESS. SEE DRAWING A-4 FOR DETAILS.
- INSTALL CMU OR STEEL ANGLE LINTEL OVER NEW PASS-THRU WINDOW BETWEEN KITCHEN AND LIVING ROOM AND REWORK MASONRY & PLASTER FINISHES. NEW PASS-THRU TO BE 36" WIDE X 30" HIGH WITH A WOOD SHELF AT APPROXIMATELY 42" AFF.
- REPAIR FLOOR FRAMING & FINISHES AS REQUIRED IN THIS AREA AFTER REMOVAL OF THE EXISTING INTERIOR STAIRWAY & WALLS (SEE DEMOLITION DRAWING A-1).
- NEW 29'-7-1/2" X 10' COVERED WOOD-FRAMED DECK CONSISTING OF 6 X 6 PT TIMBER POSTS ON CONCRETE FOUNDATIONS, 2 X 8 PT LEDGERS, BEAMS AND JOISTS, AND 2 X 6 PT DECKING AND RAILINGS. SEE DRAWINGS A-3 & A-4 FOR DETAILS.
- INSTALL NEW OWNER-FURNISHED 5" DIAMETER STEEL SPIRAL STAIR WITH RAILINGS ON CONCRETE FOUNDATION. SEE DRAWINGS A-3 AND A-5 FOR DETAILS.
- NEW UNCOVERED EXTERIOR WOOD-FRAMED DECK CONSISTING OF 4 X 4 PT POSTS ON CONCRETE FOUNDATIONS, 2 X 6 PT LEDGERS & JOISTS, AND 2 X 6 PT WOOD DECKING WITH RAILINGS. SEE DRAWINGS A-3 & A-4 FOR DETAILS.
- INSTALL A NEW CEILING IN THIS ROOM CONSISTING OF ONE LAYER OF 1/2" DRYWALL ATTACHED TO THE UNDERSIDE OF THE EXISTING CEILING JOIST & ROOF FRAMING SYSTEM. ENSURE A MINIMUM OF R-30 (10-1/4" THICK) IN ATTIC INSULATION ABOVE THE NEW CEILING. FURNISH & INSTALL WOOD CROWN-MOULDING AS REQUIRED TO FINISH INSIDE CORNERS BETWEEN NEW CEILING AND EXISTING PLASTER WALL. PAINT ALL NEW & DISTURBED AREAS.
- PROVIDE NEW MODIFIED QUEEN POST (OR SIMILAR APPROVED TYPE) PRE-ENGINEERED WOODEN ROOF TRUSSES AT 24" OC. EACH TRUSS SHALL HAVE A MAXIMUM BEARING SPAN OF LESS THAN 19', AND SHALL BE CONSTRUCTED OF #1 DOUGLAS FIR (OR EQUAL), AND HAVE 2 X 4 TOP AND BOTTOM CORDS. TRUSS MANUFACTURER SHALL PROVIDE STAMPED ENGINEERED SHOP DRAWINGS FOR OWNER AND PERMIT APPROVAL PRIOR TO FABRICATION OR DELIVERY TO THE JOB SITE.
- FURNISH & INSTALL A NEW CEILING IN THIS ROOM CONSISTING OF ONE LAYER OF 1/2" DRYWALL ATTACHED TO THE UNDERSIDE OF THE PRE-ENGINEERED ROOF TRUSSES. INSTALL NEW R-30 (10-1/4" THICK) FACED FIBERGLASS ATTIC INSULATION ABOVE THE NEW CEILING. THE VAPOR BARRIER FACING SHALL BE ON THE CEILING SIDE.
- PROVIDE NEW WOOD BASE, DOOR AND WINDOW TRIM IN THIS AREA AS SELECTED BY THE OWNER (TO MATCH EXISTING AND ADJACENT).
- OWNER SHALL SELECT NEW WALL PAINT AND FLOORING FINISHES WHERE REQUIRED.
- INSTALL NEW OWNER-FURNISHED STACK WASHER/DRYER UNIT WITH SUB-FLOORING, DRAIN PAN, AND ASSOCIATED WATER, ELECTRICAL AND DRYER VENT (TO EXTERIOR) UTILITY CONNECTIONS. REWORK CASED WALL OPENING & FINISHES AS NECESSARY & AS DIRECTED BY THE OWNER.

Twin Contracting Corporation



REVISIONS

DATE	DESCRIPTION

TCC JOB NO.

VR-4131
1/4" = 1' 0"

DATE 3/13/12 BY RGM



Twin Contracting Corporation
GENERAL CONTRACTORS

RONALD G. MILLER
President

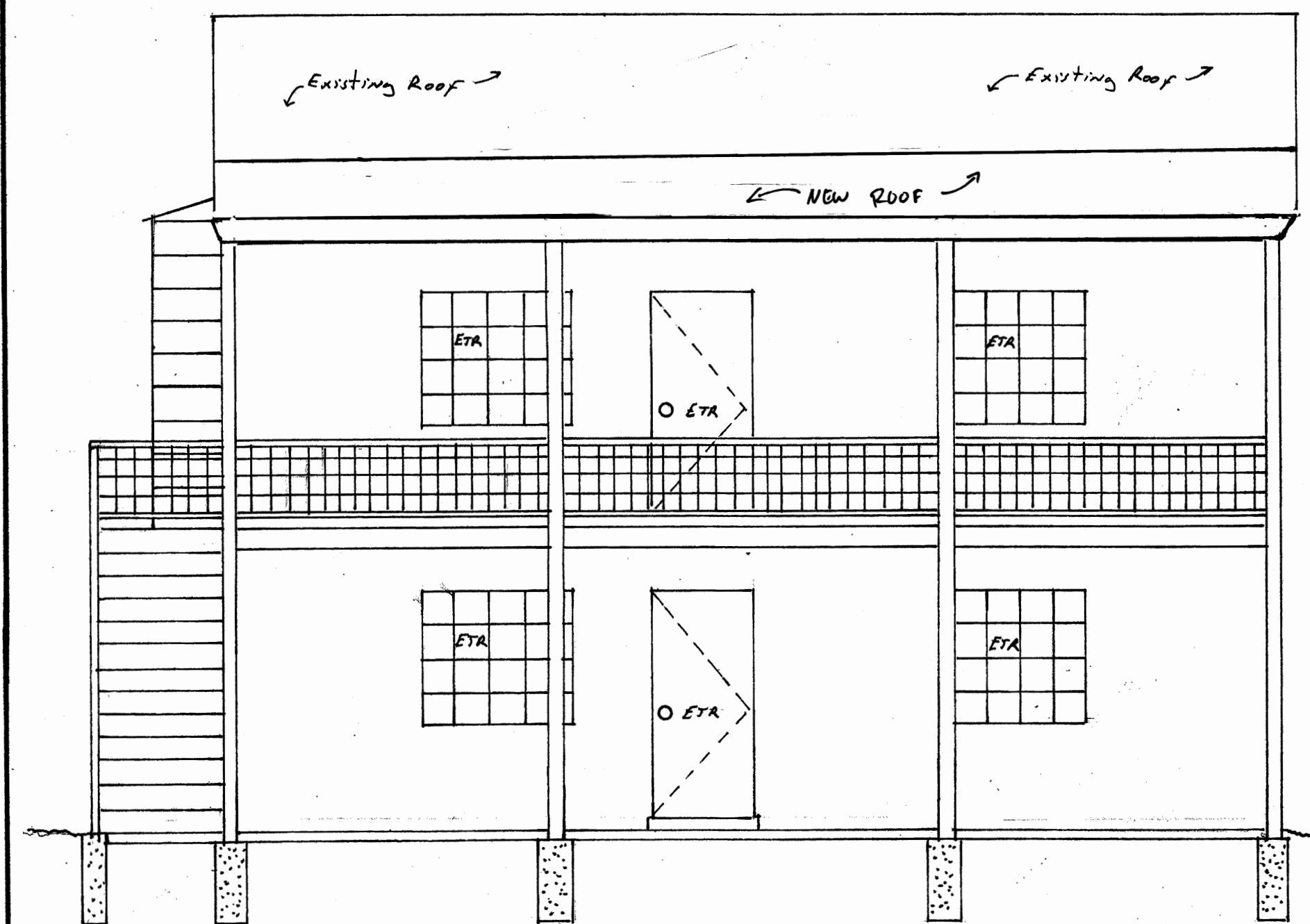
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PROJECT

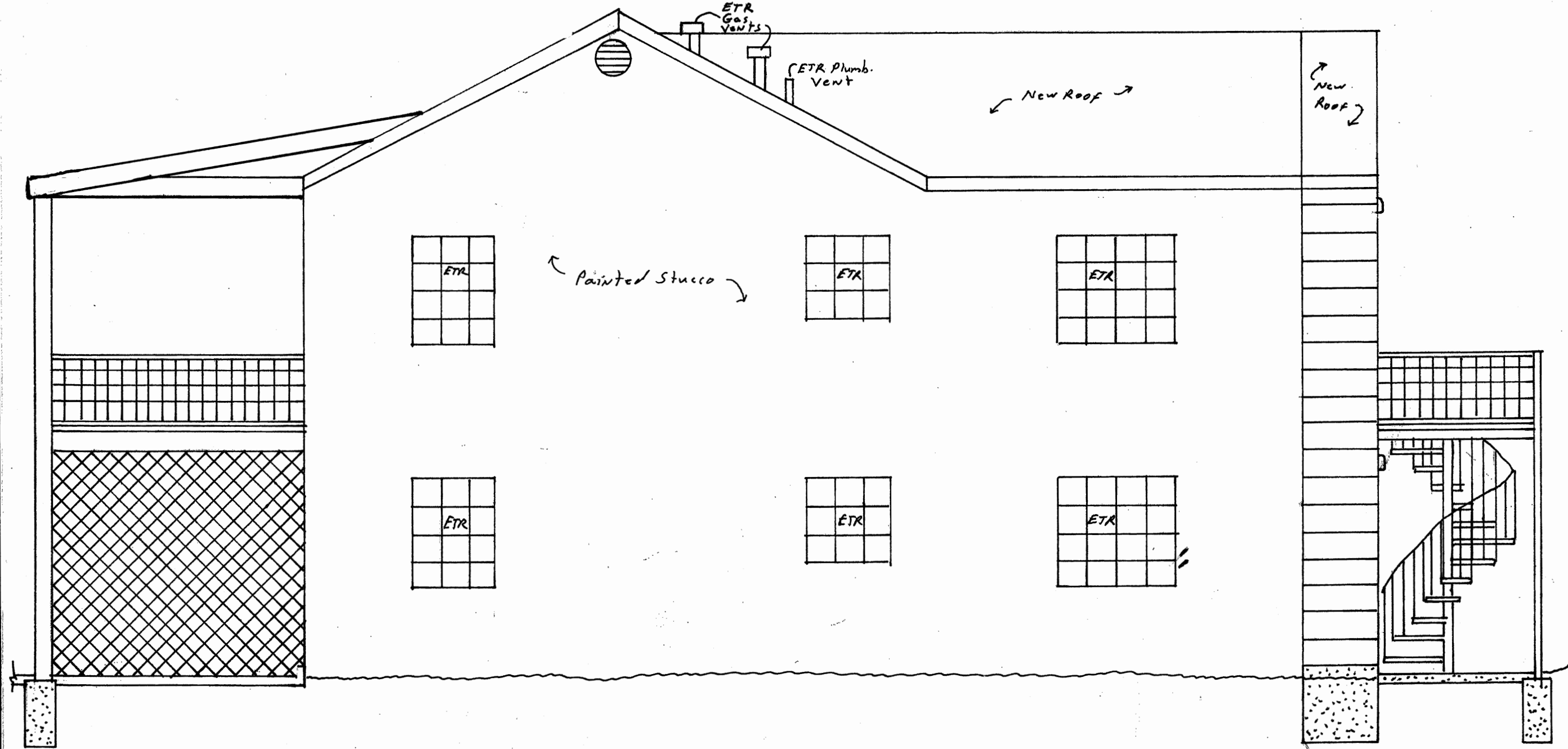
ADDITION + RENOVATION
BRIAN + JULIE MILLER RESIDENCE
1404-A/B ASHWOOD DRIVE
AUSTIN, TEXAS 78722

SHEET

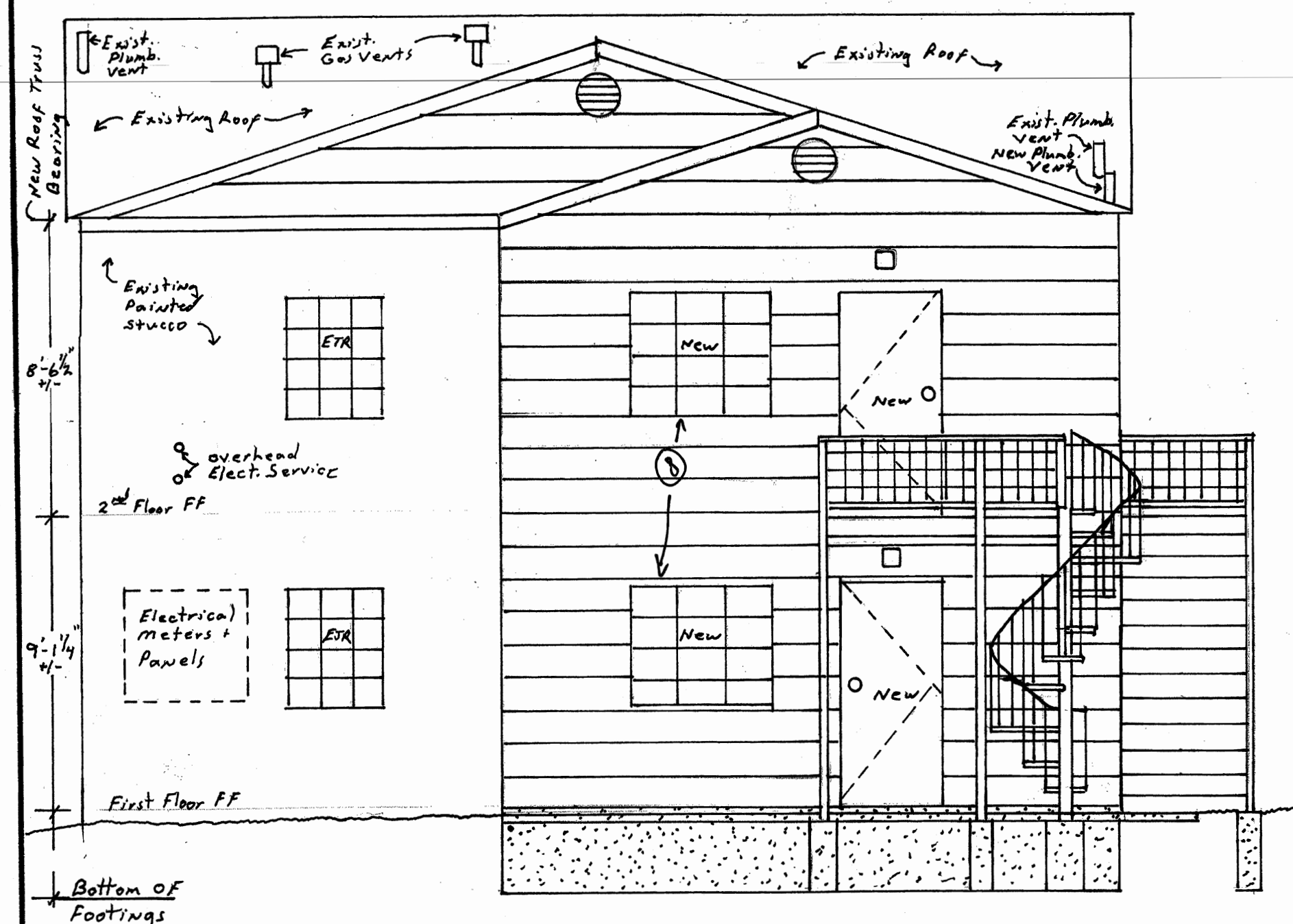
A-2



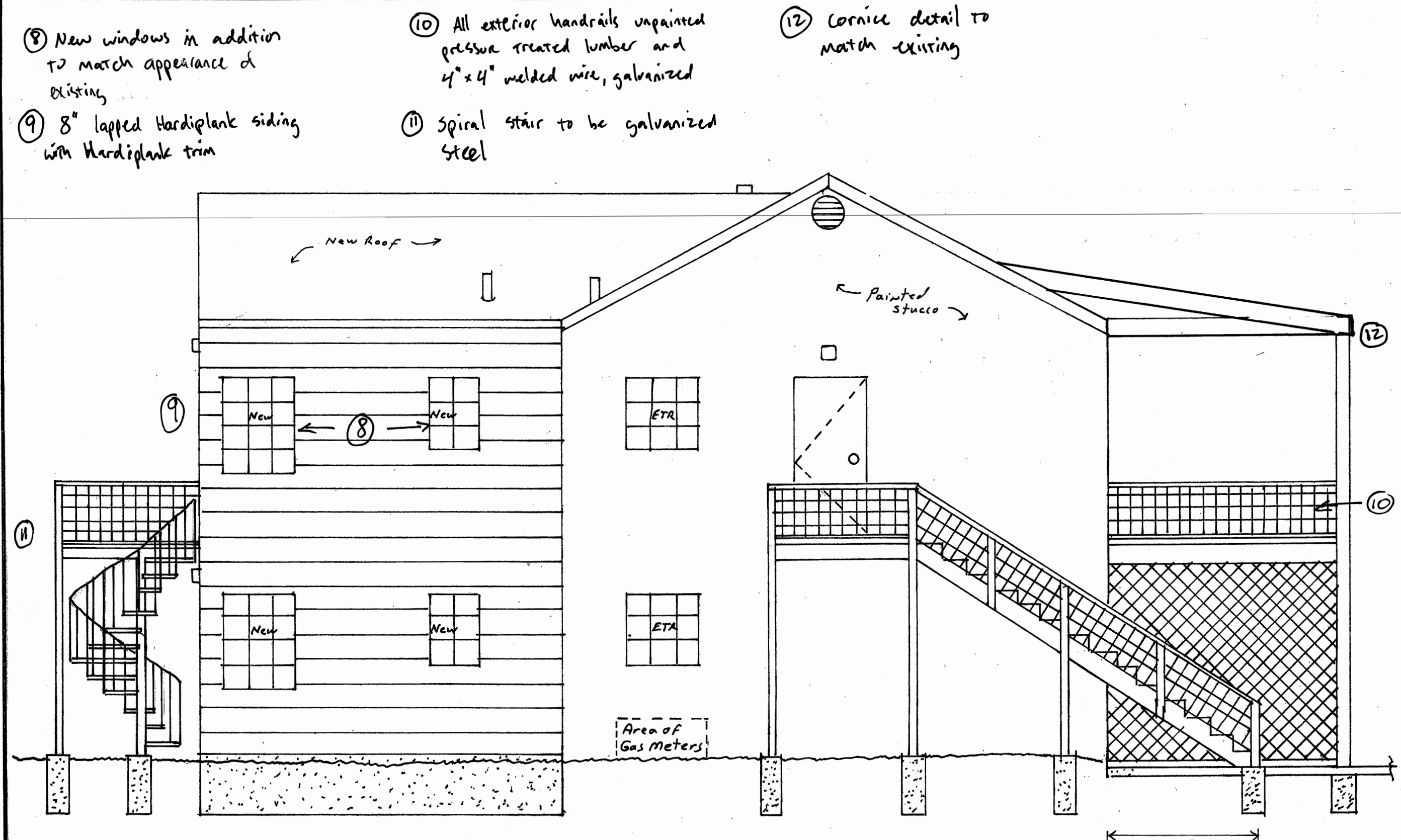
SOUTH ELEVATION



EAST ELEVATION

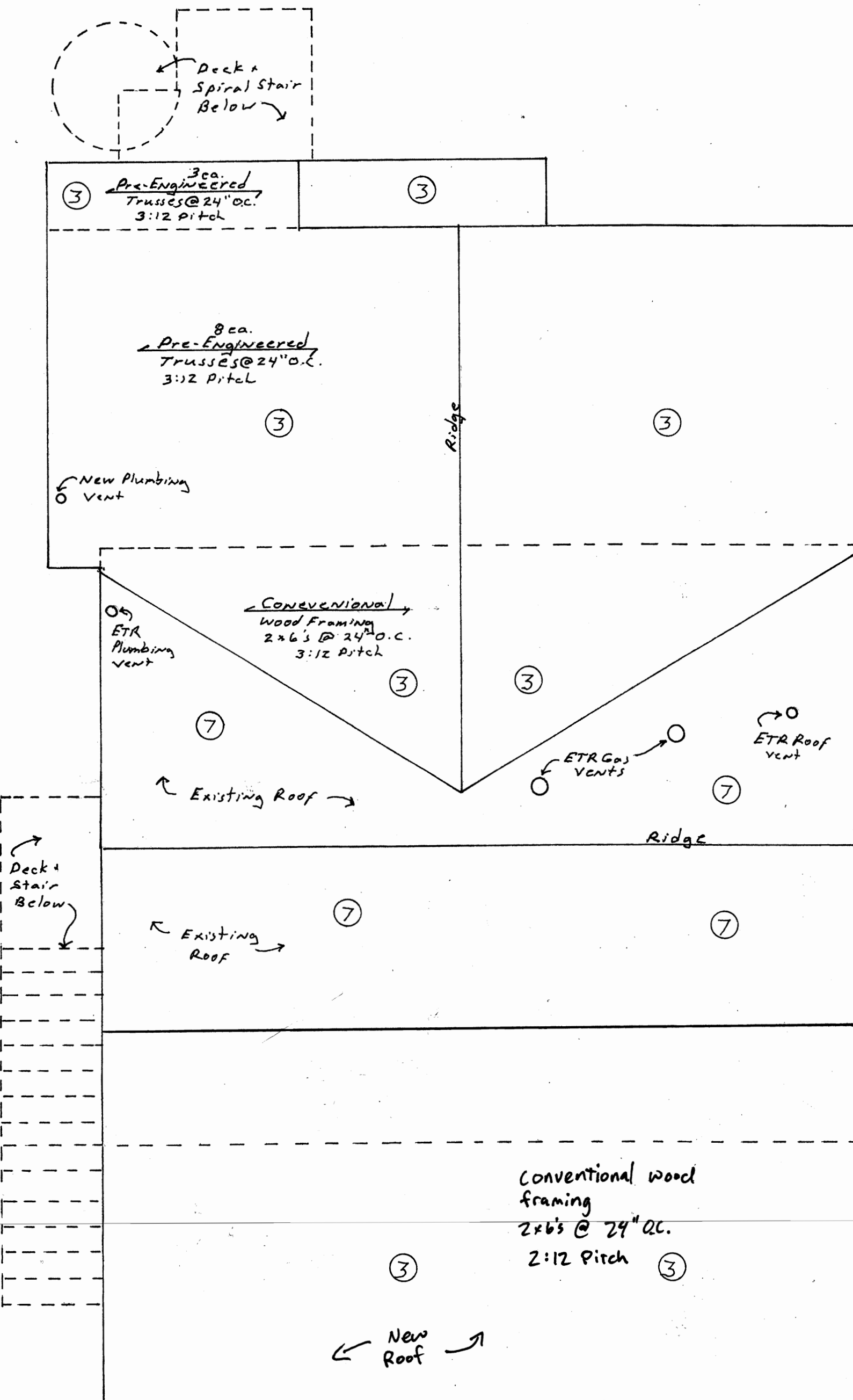


NORTH ELEVATION



WEST ELEVATION

- ⑨ New windows in addition to match appearance of existing
- ⑩ All exterior handrails unpainted pressure treated lumber and 4"x4" welded wire, galvanized
- ⑪ Spiral stair to be galvanized steel
- ⑫ Cornice detail to match existing



ROOF PLAN

ROOF PLAN NOTES

1. PROVIDE ONE LAYER OF 5/8" EXTERIOR-GRADE PLYWOOD SHEATHING ATTACHED TO THE TOP CORD OF THE NEW PRE-ENGINEERED ROOF TRUSSES AND 2 X 6 CONVENTIONAL WOOD ROOF FRAMING.
2. PROVIDE ONE LAYER OF 15-LB. ASPHALT ROOF FELT PAPER OVER PLYWOOD SHEATHING, ~~at rear of new roof~~ *at rear of new roof and two layers at front new roof*
3. PROVIDE NEW ASPHALT/FIBERGLASS ROOF SHINGLES TO MATCH EXISTING & ADJACENT.
4. CONTRACTOR SHALL TIE NEW ROOF MEMBRANE SYSTEM INTO THE EXISTING & ADJACENT ROOF SYSTEM TO ENSURE ALL VALLEYS REMAIN 100% WATERTIGHT.
5. PROVIDE NEW FLASHINGS AT ALL NEW OR MODIFIED ROOF PENETRATIONS AS REQUIRED.
6. UPON COMPLETION, THE CONTRACTOR SHALL GUARANTEE THE ENTIRE ROOFING SYSTEM TO BE LEAK-FREE FOR A PERIOD OF ONE YEAR.
7. ROOFING IN THIS AREA IS EXISTING TO REMAIN. PATCH & REPAIR WHERE DISTURBED.

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VR-4131	
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3/13/12	RGM



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GENERAL CONTRACTORS

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PROJECT

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BRIAN + JULIE MILLER RESIDENCE
1404-A ASHWOOD DRIVE
AUSTIN, TEXAS 78722

SHEET

A-3