

HISTORIC LANDMARK COMMISSION
APRIL 23, 2012
APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS
C14H-1990-0014
Barton Springs Pool
2100 Barton Springs Road

PROPOSAL

General grounds improvements.

PROJECT SPECIFICATIONS

The applicant proposes to make the following grounds improvements to the north and south sides of the pool:

North side –

- Provide improved root environment for existing pecan trees located in Tree Court, including incorporating paved walking surface of suspended concrete slab with drainage, new seating and planting areas, and cantilevered overlook area.
- Add natural limestone terracing with plantings between stairways.
- Reuse existing wood light poles with new fixtures.

South side –

- Extend fence line to incorporate row of pecan trees along current fence line, and to incorporate approximately one acre of the South Woods.
- Construct new ticket booth at south entrance similar to existing ticket booth, which will be removed.
- Construct new stone columns at the south gate. Gate to be decorative iron similar to the gate at the Botanical Gardens.
- Construct new ADA accessible pathways from south entrance to an overlook area in the south lawn, and through the South Woods to the pool deck.
- Provide new 10' pedestrian light fixtures along pathway.

Both sides –

- Replace entire existing chain-link perimeter fence with a non-climbable wrought iron style fence.

STANDARDS FOR REVIEW

The Commission's Standards for Review are:

- The distinguishing original qualities or character of a property and its environment shall not be destroyed. Removal or alteration of any historic material or distinctive architectural features should be avoided.
- All properties shall be recognized as products of their own time. Alterations which have no historical basis and which seek to create an earlier appearance shall be discouraged.
- Changes that have taken place in the course of time may have acquired significance in their own right, and shall be recognized and respected.

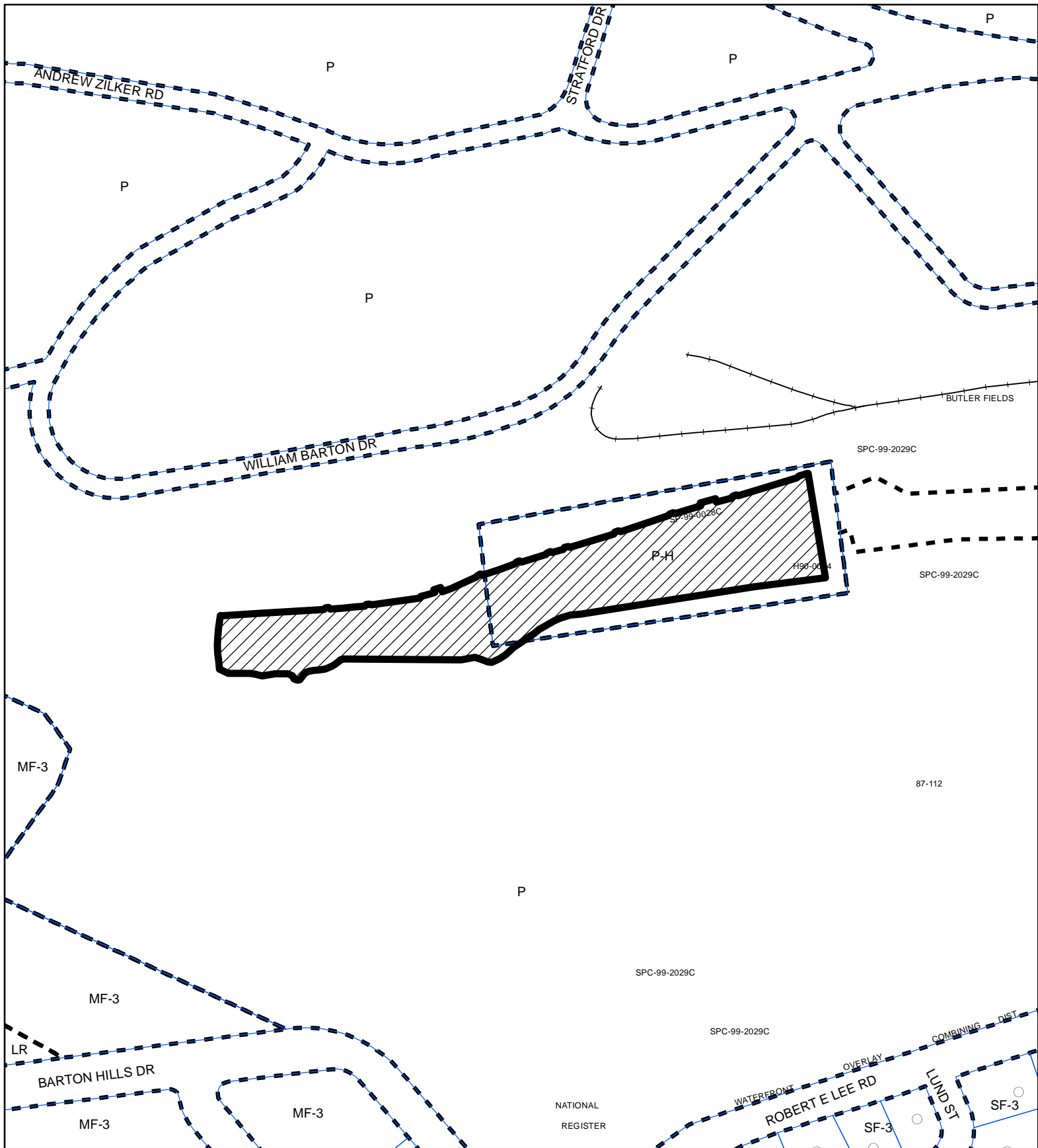
- Distinctive stylistic features or examples of skilled craftsmanship that characterize a property shall be treated with sensitivity.
- Deteriorated architectural features shall be repaired rather than replaced whenever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture, and other visual qualities. Repair or replacement of missing architectural features should be based on an accurate duplication of features, substantiated by historical, physical, or pictorial evidence.
- Surface cleaning of structure shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the historic building materials shall not be undertaken.
- Contemporary designs for alterations and additions to existing properties are appropriate when such alterations and additions do not destroy significant historic, architectural, or cultural material and are compatible with the size, scale, color, material, and character of the property, neighborhood, or environment.
- Whenever possible, new additions or alterations to structures shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the structure would not be impaired.
- The installation of protective or code-required mechanical systems shall be concealed whenever possible so as not to intrude upon or detract from the property's aesthetic and historical qualities except where concealment would result in the alteration or destruction of historically significant materials or spaces.
- Reconstruction of a part or all of a property shall be undertaken only when such work is essential to reproduce a significant missing feature in a historic district, and documentation exists to ensure an accurate reproduction of the original.

COMMITTEE RECOMMENDATIONS

Columns at south entrance gate should be differentiated from the historic stone columns by simplifying the form and articulation of the columns and light fixtures. Detailing from existing bath house might be used as a reference. Specifications should call out for protection of the historic stone gallery during construction, and any detail of connections to that material must be reviewed by HLC. Keep existing light poles to the extent possible.

STAFF RECOMMENDATION

Approve the Certificate of Appropriateness as presented.



 SUBJECT TRACT

 PENDING CASE

 ZONING BOUNDARY

HISTORIC ZONING

ZONING CASE#: C14H-90-0014

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

This product has been produced by CTM for the sole purpose of geographic reference. No warranty is made by the City of Austin regarding specific accuracy or completeness.



General Grounds Improvements for Barton Springs Pool

Austin, Texas

February 13, 2011

Please Email Your Comments To:
bspmasterplan@ci.austin.tx.us



Larson Burns & Smith

Landscape Architects / Planners

Stansberry Engineering

Civil Engineers

Saenz + Bury

MEP Engineers

Frank Lam & Associates

Structural Engineers





Barton Springs Pool

General Grounds Improvements

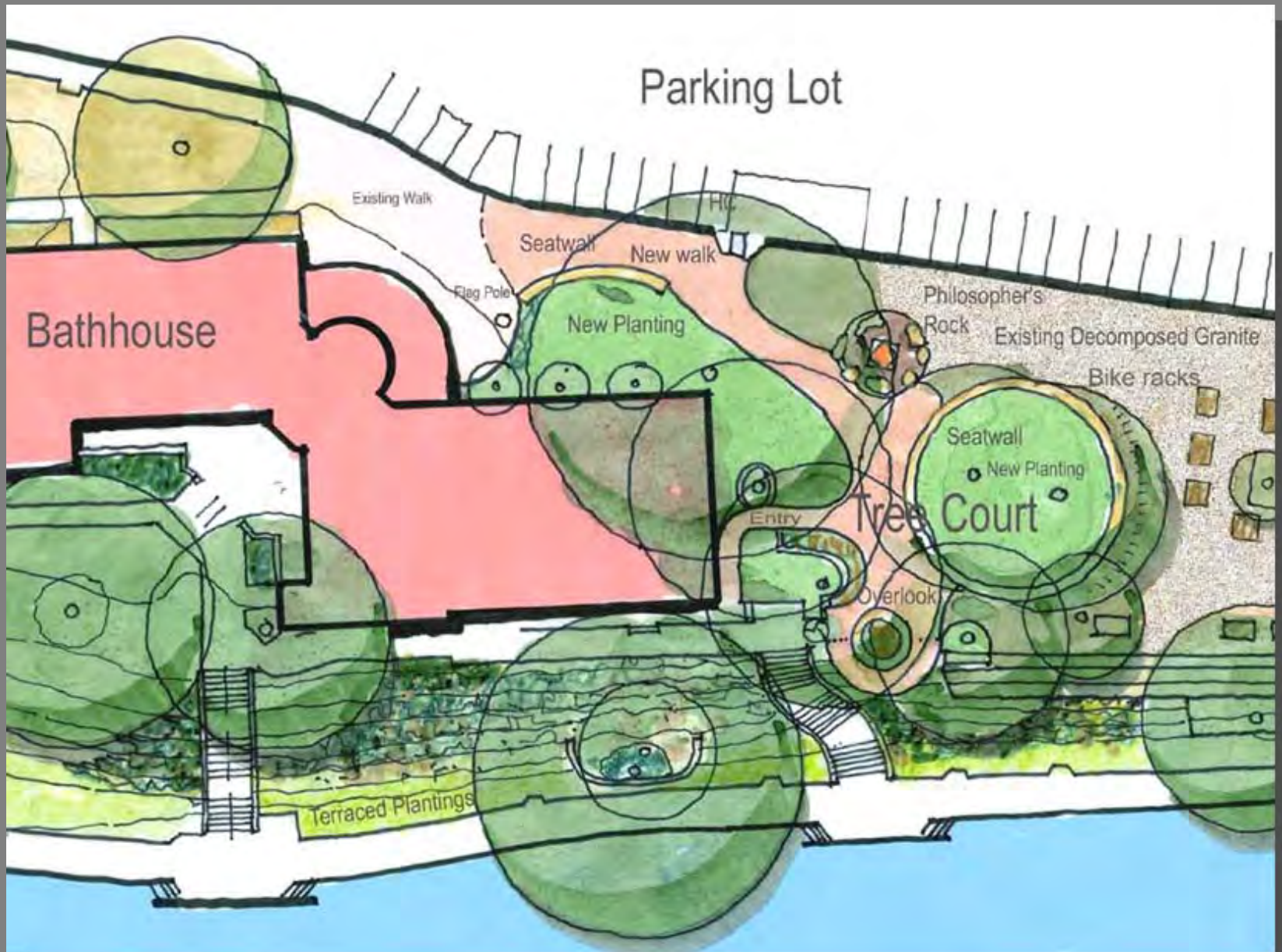
1. Tree Court Improvements
2. Landscape Improvements
3. South Trail Improvements
4. Fencing Improvements
5. Electrical Upgrades & Water Improvements

Tree Court Improvements

Goals:

- *Enhance main entry court to pool.*
- *Provide improved root environment for existing Pecan Trees.*
- *Improve pedestrian walking surface and circulation.*
- *Incorporate Philosopher's Rock into new design.*
- *Provide seating and gathering areas for small groups.*
- *Provide overlook.*
Include interpretive signage.
- *Maintain East - West Circulation*







Before

Barton Springs Pool

Tree Court Improvements

December 6, 2011





After



Barton Springs Pool

Tree Court Improvements

December 6, 2011





After



Barton Springs Pool

Tree Court Improvements

December 6, 2011





Before

Barton Springs Pool

Tree Court Improvements - Overlook

December 6, 2011





©

After

Barton Springs Pool

Tree Court Improvements - Overlook

December 6, 2011

LARSON
BURNS
SMITH



Barton Springs Pool

North Lawn Area - Terraces

December 6, 2011





Barton Springs Pool **South Entrance – South Lawn – ADA Ramp**

February 6, 2012





Existing Bathhouse Detail



**Limestone to match Bathhouse.
Shape, Material and Lighting Different
From Historic North Entry Columns.**

Barton Springs sign and lights added