

**HISTORIC LANDMARK COMMISSION
APRIL 23, 2012
CERTIFICATE OF APPROPRIATENESS
LHD-2011-0006
608 Blanco Street
Castle Hill Local Historic District**

PROPOSAL

Construct a second story rear addition to c. 1915 residence.

PROJECT SPECIFICATIONS

The existing house is approximately 2,985 sq. ft. and was constructed c. 1915. It is 1 ½ story with a high pitched front gable roof that extends over the full width front porch. The house has minimal Queen Anne detailing including spindlework railings and frieze, and shingled skirting on the porch. The front door has oval glazing and sidelights. There is a large double-hung window to one side of the front door, and multi-paned, French doors to the other side that appears to be a later addition. There is a set of three double-hung, wood windows flanked by symmetrical vents in the gable end, as well as a latticed decorative vent in the peak. The house is sided with narrow lap, wood siding, and has numerous wood, double-hung windows. The large dormers toward the rear of the roof were added c.1980 to accommodate a second level apartment.

The applicant proposes to remove the existing dormers and construct a new second story addition, returning the house to a single-family residence. The addition will be set back approximately 22' from the front gable wall. The roof on the addition will have a hipped form and asphalt composition shingles. The peak of the roof on the addition will be approximately 4'-6" higher than roof of the original house.

The second level walls will have Hardiplank siding and trim, and numerous wood, double-hung windows. Existing window openings on the side elevations will be reconfigured as indicated in the drawings to accommodate changes to the interior floor plan. Additionally, the chimney will be relocated slightly and extended to accommodate its adjacency to the new second story roof. Existing siding will be reused as possible. A horizontal Hardiplank trim piece will be installed between the existing walls and new walls.

The non-original French doors on the front elevation will be replaced with a wood, double-hung window to match the existing façade window. All other elements on the façade will be repaired as needed.

The existing concrete walk to the front porch will be replaced with a brick walk, and parking, accessed from the alley will be located to the side and rear of the house.

STANDARDS FOR REVIEW

The existing house is a contributing property in the Castle Hill Local Historic District.

The Castle Hill Local Historic District Design Standards for additions to contributing buildings state:

C. Rehabilitation or Alteration of Contributing Buildings

1. Required Standards.

(a) Maintain the historic style and retain character-defining features. Character-defining features generally include exterior wall materials, windows and window screens, doors and entryway details, roof form, porches, chimneys, railings, and trim.

(b) Do not install new materials that obscure or endanger original materials, including but not limited to painting of original masonry or installation of vinyl or aluminum siding over original wood siding.

(c) Repair existing original windows unless determined infeasible due to excessive deterioration that is adequately documented in the application for a certificate of appropriateness. Utilize recommended repair practices listed below where feasible.

(d) Replacement windows, where permitted, must match the *original*, size, profile, muntin shape, configuration, and details. Do not use vinyl-clad windows. Do not use false muntins attached to or inserted between insulated glass panels.

(e) Roofs.

- (1) When replacing a roof, maintain the original roof form and other character defining features of the roof including overhangs, barge boards, rafter tails, and cresting, where existing.
- (2) Unacceptable roof materials are those that are not used elsewhere in the district, are not appropriate for the subject property, or have otherwise been determined incompatible with the district or the subject property.

2. Recommendations/Advisory standards

(a) Materials, general. When replacement materials are required, consider sustainably-harvested or reclaimed materials where appropriate.

(b) Wood. Repair original wood wherever possible using epoxy repair techniques.

(d) Roofs.

(1) Acceptable roof materials include but may not be limited to composition shingle, metal roofs of all types except corrugated metal, fiberglass shingles, metal shingles, as determined appropriate.

(2) When appropriate, consider Energy Star qualified roof products, which lower roof surface temperature and can reduce peak cooling demand by 10-15 percent.

(3) Consider adding a radiant barrier in the attic or underneath the roof deck to reduce summer heat gain and reduce air-conditioning loads.

D. Additions to Existing Buildings

This section applies to all additions with specific standards that apply to contributing and non-contributing buildings as noted.

1. Required Standards

(a) For contributing buildings, a new addition shall not visually overpower the existing building, compromise its historic character, or destroy any unique character defining features. Large additions may be constructed as a separate building and connected to the existing building with a linking element such as a breezeway, as long as they comply with other sections of these Standards and applicable codes.

(b) For contributing buildings, two-story additions to one-story buildings must be set back a minimum of 1/3 the depth of the building measured from the front wall of the house (excluding the porch), or 15 feet measured from the front wall of the house (excluding the porch), whichever number is greater.

(c) Design an addition using appropriate scale and detailing to avoid creating a top-heavy appearance.

(d) Materials of the addition (walls, roofing materials, and windows) shall be compatible with the original building, and may include use of modern materials such as fiber-cement siding, as appropriate.

(e) New roof forms must match the pitch of the roof on the existing house to the greatest extent possible.

(f) Windows shall be compatible in form and materials with the existing building, and can be used to define contemporary design when determined appropriate for the particular application.

The design as presented meets the Castle Hill Local Historic District Design Standards. The second story addition is set more than 20' from the front wall of the ½ story living space. The combination of the hip roof form and low ridge height of the new roof and the lot sloping down toward the street minimizes the visibility of the 2nd story addition from the street.

The proposal differentiates the addition from the existing house through the use of a compatible, but different siding material and horizontal trim board. The proposal also restores the front façade by returning the non-historic French doors to a single, double-hung window.

COMMITTEE RECOMMENDATION

Replace the French doors with a replica window to match the original. Do not install shutters. Provide existing elevations or photographs to indicate changes to windows on side elevations. Reuse existing siding to greatest extent possible, replace with like material on first level as needed, and use wider dimension siding on addition with a trim separation.

Note: The current plans have eliminated the rear 2-story apartment addition presented at the time of the Committee meeting.

STAFF RECOMMENDATION

Approve the Certificate of Appropriateness as presented, except request that the relocated chimney be constructed in a similar manner to the original chimney.

PHOTOS



Front facade



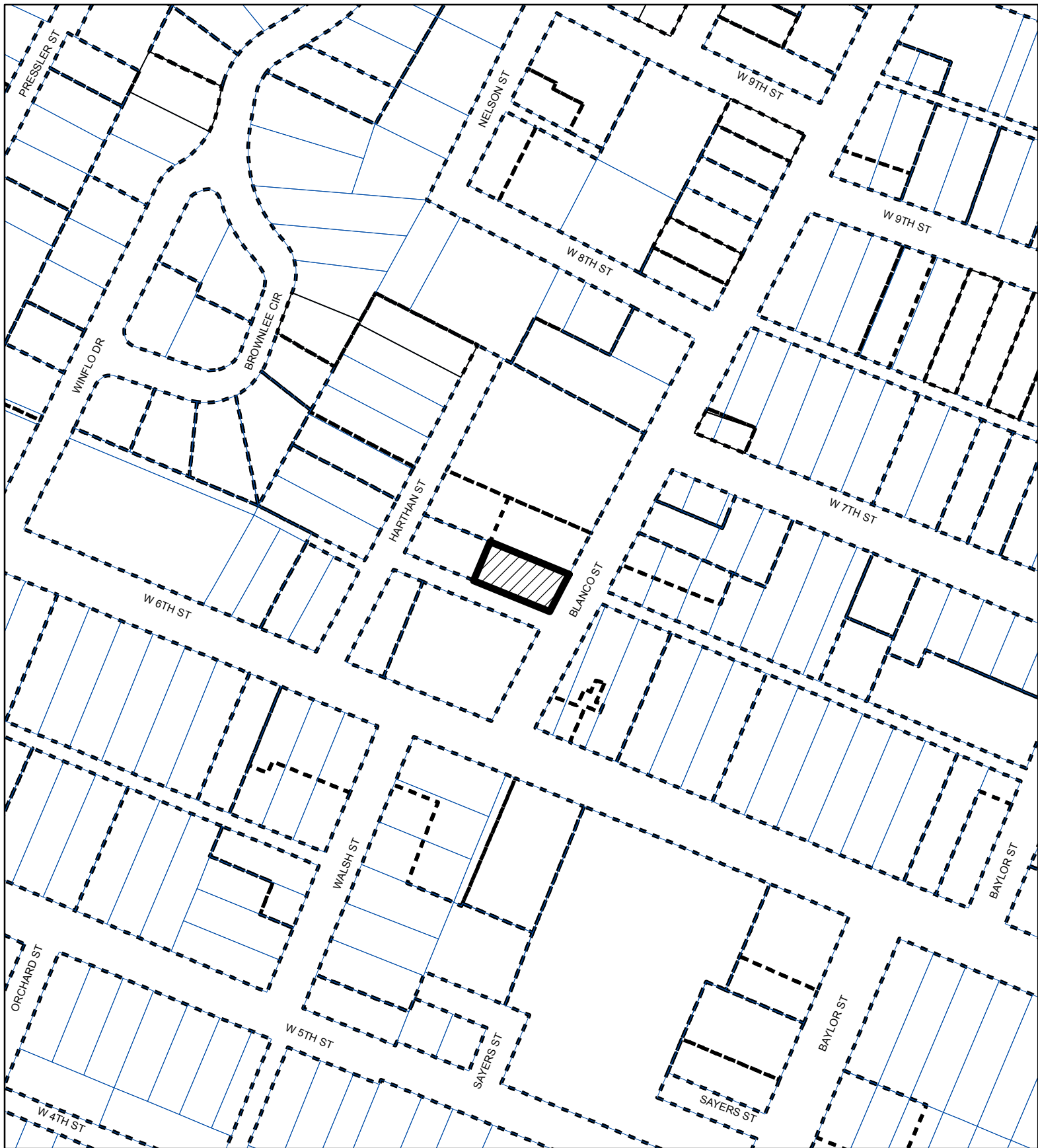
Side (north) elevation



Side (south) elevation



Side (south) elevation



SUBJECT TRACT



ZONING BOUNDARY

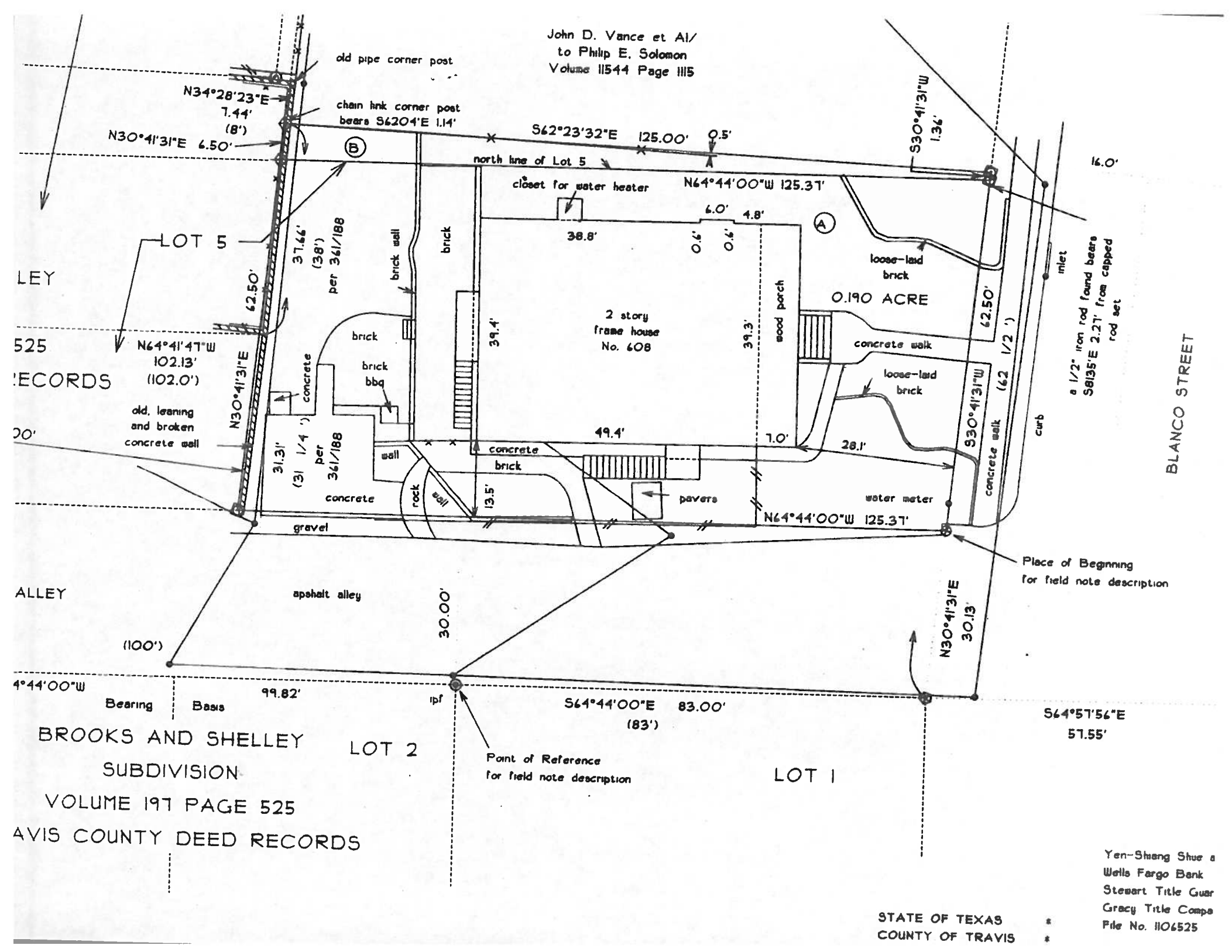
CASE#: NRD-2012-0024
LOCATION: 608 Blanco Street



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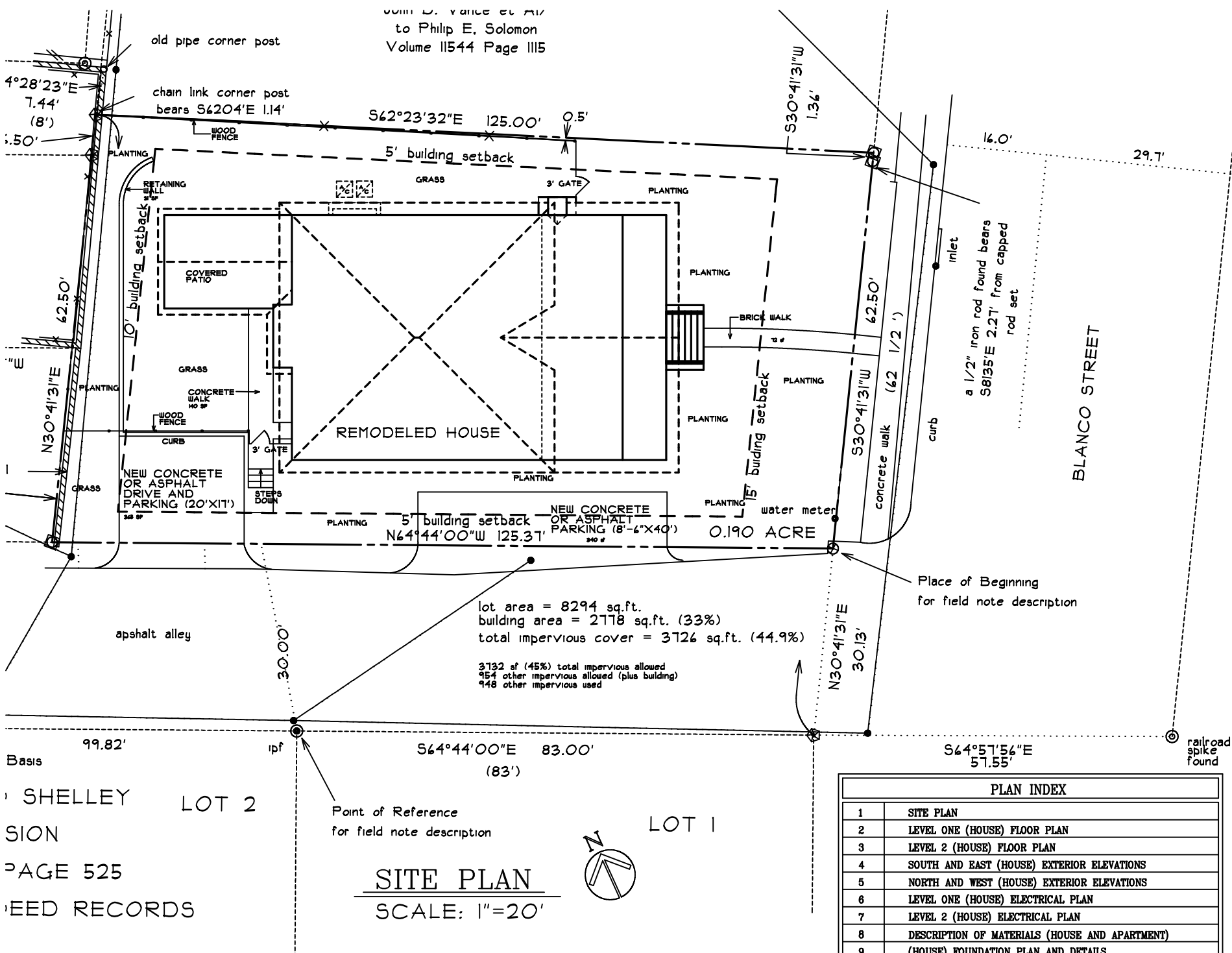
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John D. Vance et Al/
to Philip E. Solomon
Volume 11544 Page 1115

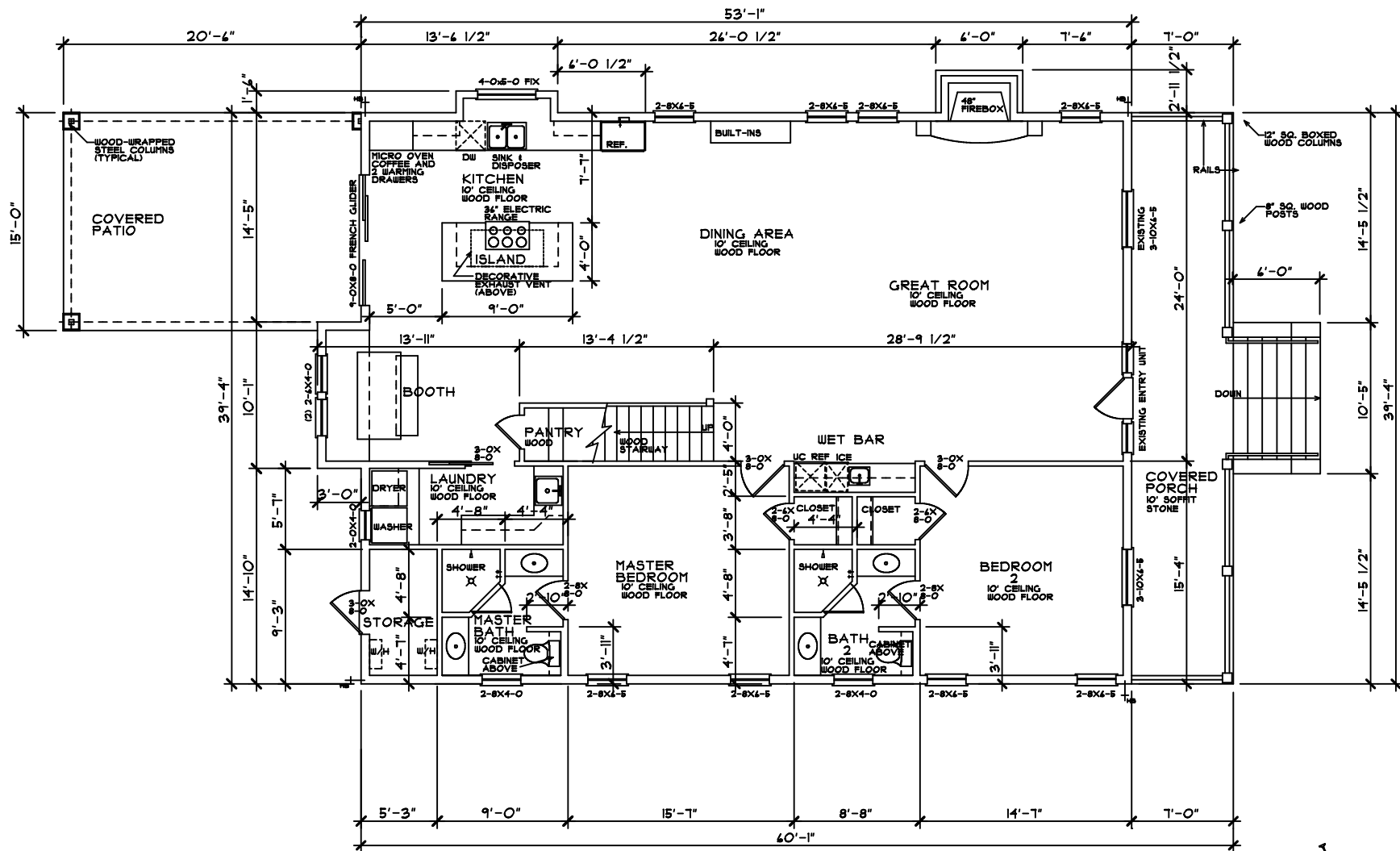


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STATE OF TEXAS
COUNTY OF TRAVIS



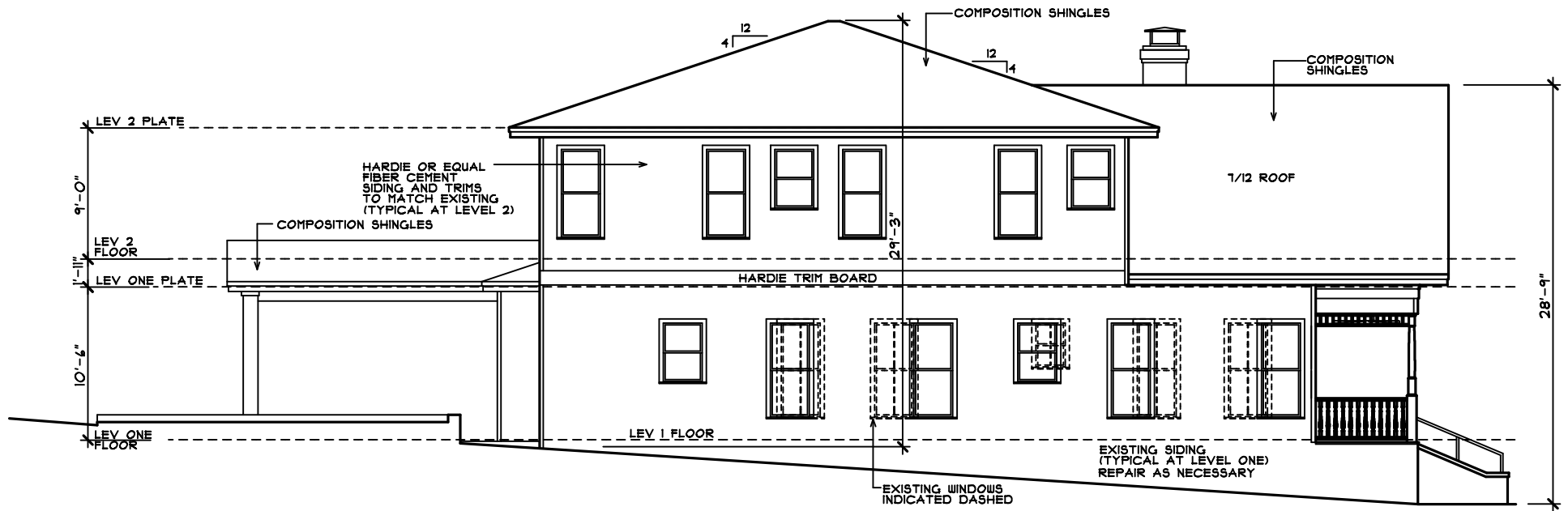
SHEET 1 OF 11	608 BLANCO ST. REMODEL 2012	PLAN DATE 4/17/12
	608 BLANCO ST., AUSTIN, TRAVIS COUNTY, TX DESIGN BY JAN CURRIER, HORSESHOE BAY, TX 830-598-9700 DRAWN BY HOUSE PLANS, ETC., MARBLE FALLS, TX 78664 830-201-4150	REVISION



PLAN DATE	4/11/12
REVISION	
608 BLANCO ST. REMODEL 2012	
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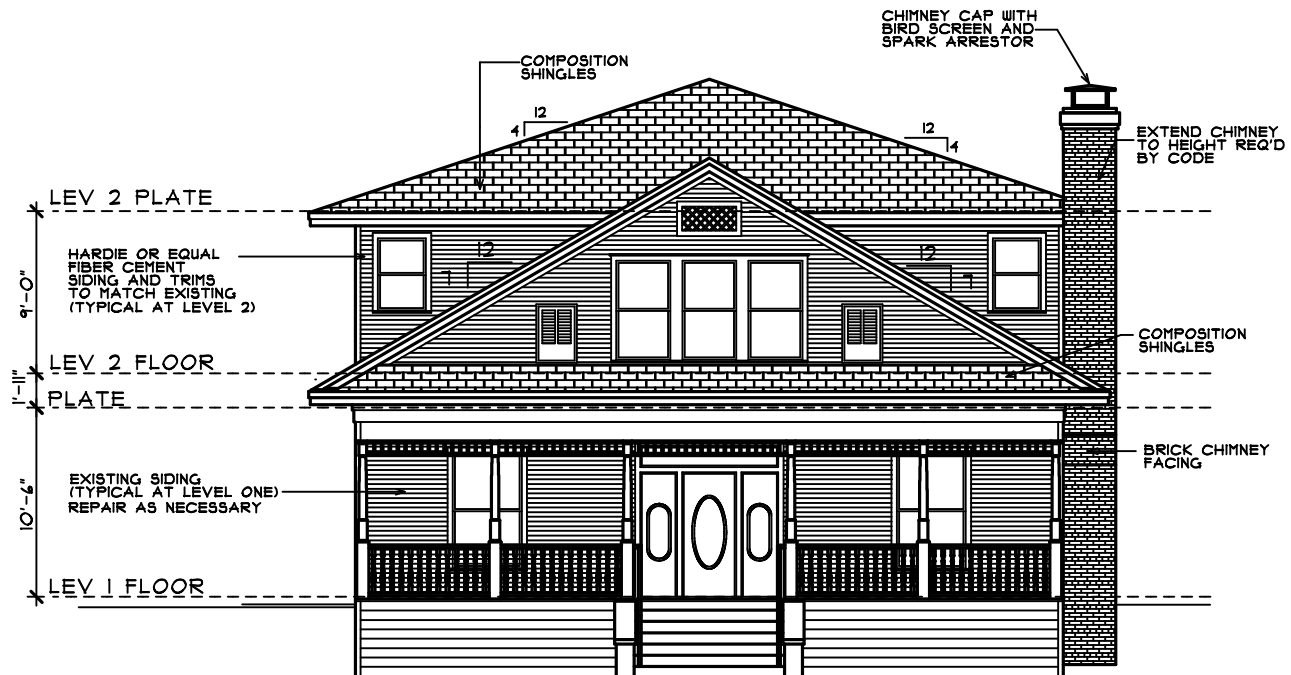


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SOUTH ELEVATION

SCALE: 3/32" = 1'-0"



EAST ELEVATION

SCALE: 3/32" = 1'-0"

PLAN DATE
4-17-12

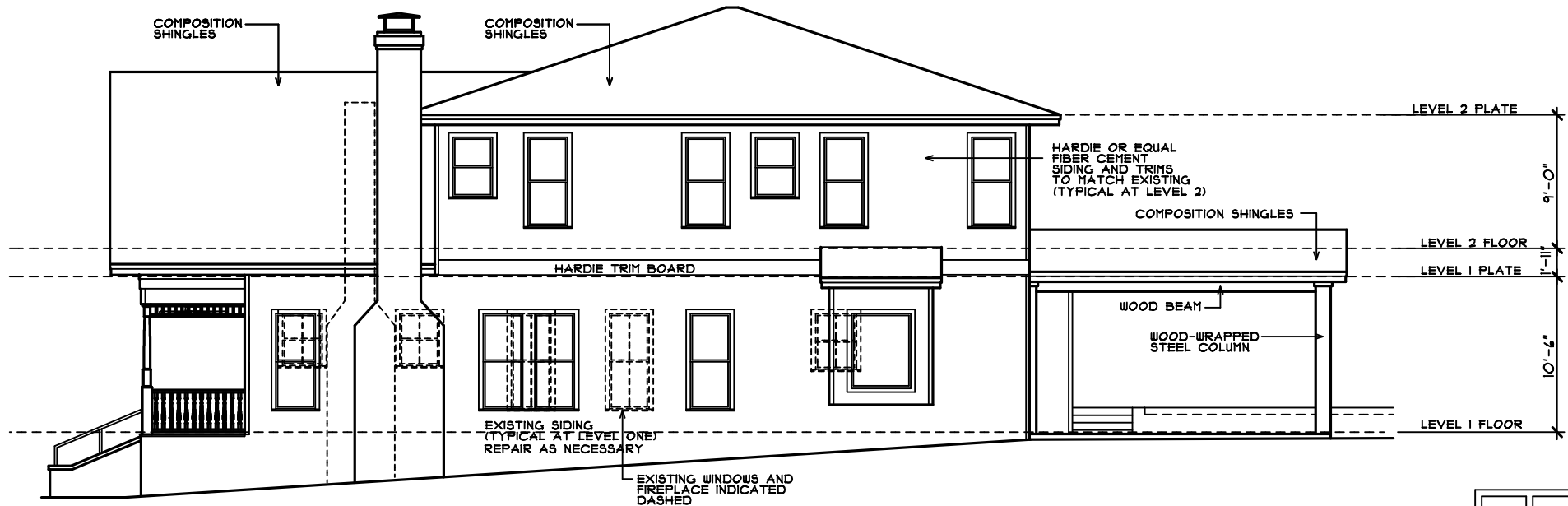
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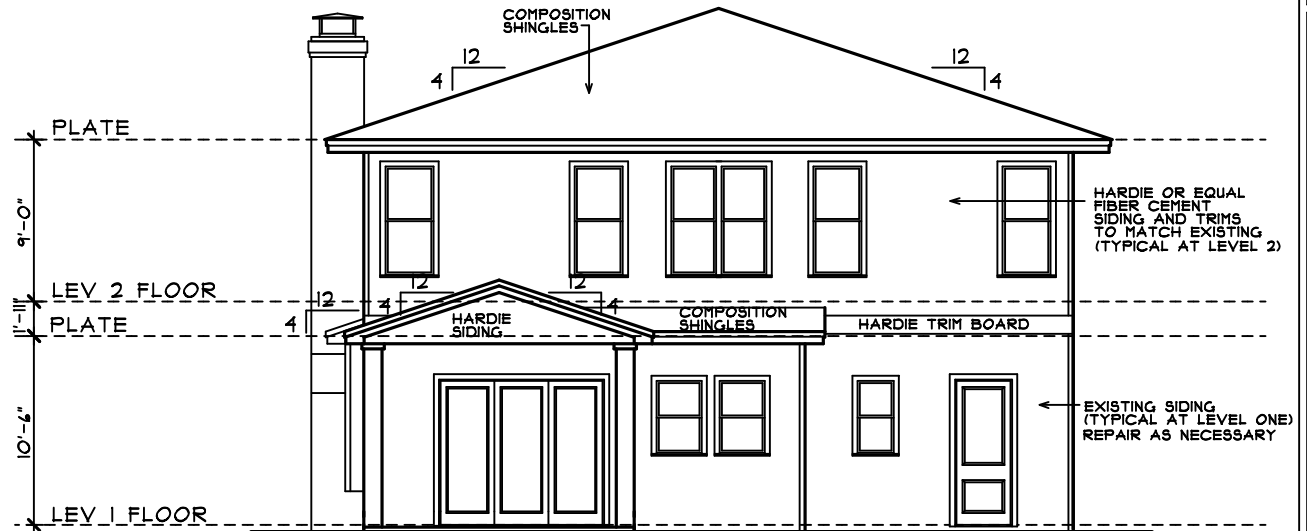
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4 OF 11



NORTH ELEVATION

SCALE: 3/32" = 1'-0"



WEST ELEVATION

SCALE: 3/32" = 1'-0"

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