

**HISTORIC LANDMARK COMMISSION
APRIL 23, 2012
NATIONAL REGISTER HISTORIC DISTRICT
NRD-2012-0036
Old West Austin
1516 W. 30th Street**

PROPOSAL

Demolish a detached garage and construct a rear addition house, add a shed roof to create a front porch, and replace the roof with metal roofing on a c. 1937 house.

PROJECT SPECIFICATIONS

The existing house is approximately 1,303 sq. ft. and was constructed c. 1937. It is a one story, Minimal Traditional style, with a gable front and wing form. The house is constructed of brick, and has an uncovered concrete slab porch with a low brick wall. The front door has a simple pilaster surround. There are two pairs of windows on the front façade that are 6:6, double-hung with decorative shutters. The existing 18' x 19' detached garage is wood frame, with a hipped roof, exposed rafter tails, and wood doors that swing on hinges.

The applicant proposes to demolish the detached garage and construct a one-story rear wing addition to add a master bedroom suite and workshop. The addition will have siding, composition shingle roof, and multiple, double-hung windows.

The applicant also proposes to construct a shed roof over the existing concrete slab porch. The roof will be supported by wood, square columns. The front windows will be repaired to the extent possible; however, as they are removed and assessed the windows that are beyond repair will be replaced by replica 6:6, double-hung wood windows to match the existing.

The existing gable end at the front is covered with vertical aluminum siding. The applicant proposed to remove the aluminum siding at which time the condition of the material underneath will be assessed for soundness. If there is material that is beyond repair due to moisture infiltration, the applicant proposed to install brick in the gable end as is found on other similar properties in the area.

At this time the applicant proposes to use composition shingles on the new addition and front porch, but may replace this with metal roofing in the coming year and requests review of that change at this time.

The side access brick driveway from the street will remain, although the new addition will not include a vehicular garage.

STANDARDS FOR REVIEW

The house is listed as contributing to the Old West Austin National Register Historic District. The Old West Austin National Register Historic District has no design guidelines for additions. Applicable general design review guidelines state:

- The distinguishing original qualities or character of a property and its environment shall not be destroyed. Removal or alteration of any historic material or distinctive architectural features should be avoided.

- All properties shall be recognized as products of their own time. Alterations which have no historical basis and which seek to create an earlier appearance shall be discouraged.
- Distinctive stylistic features or examples of skilled craftsmanship that characterize a property shall be treated with sensitivity.
- Contemporary designs for alterations and additions to existing properties are appropriate when such alterations and additions do not destroy significant historic, architectural, or cultural material and are compatible with the size, scale, color, material, and character of the property, neighborhood, or environment.
- Whenever possible, new additions or alterations to structures shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the structure would not be impaired.

The addition of a roof over the porch changes the façade appearance, however adding this feature is in keeping with the style of other similar properties in District. Other revisions are also appropriate to the general design guidelines, and the rear addition will be minimally visible from the public right-of-way.

STAFF RECOMMENDATION

Release the building permit based upon the proposed design as submitted.

PHOTOS



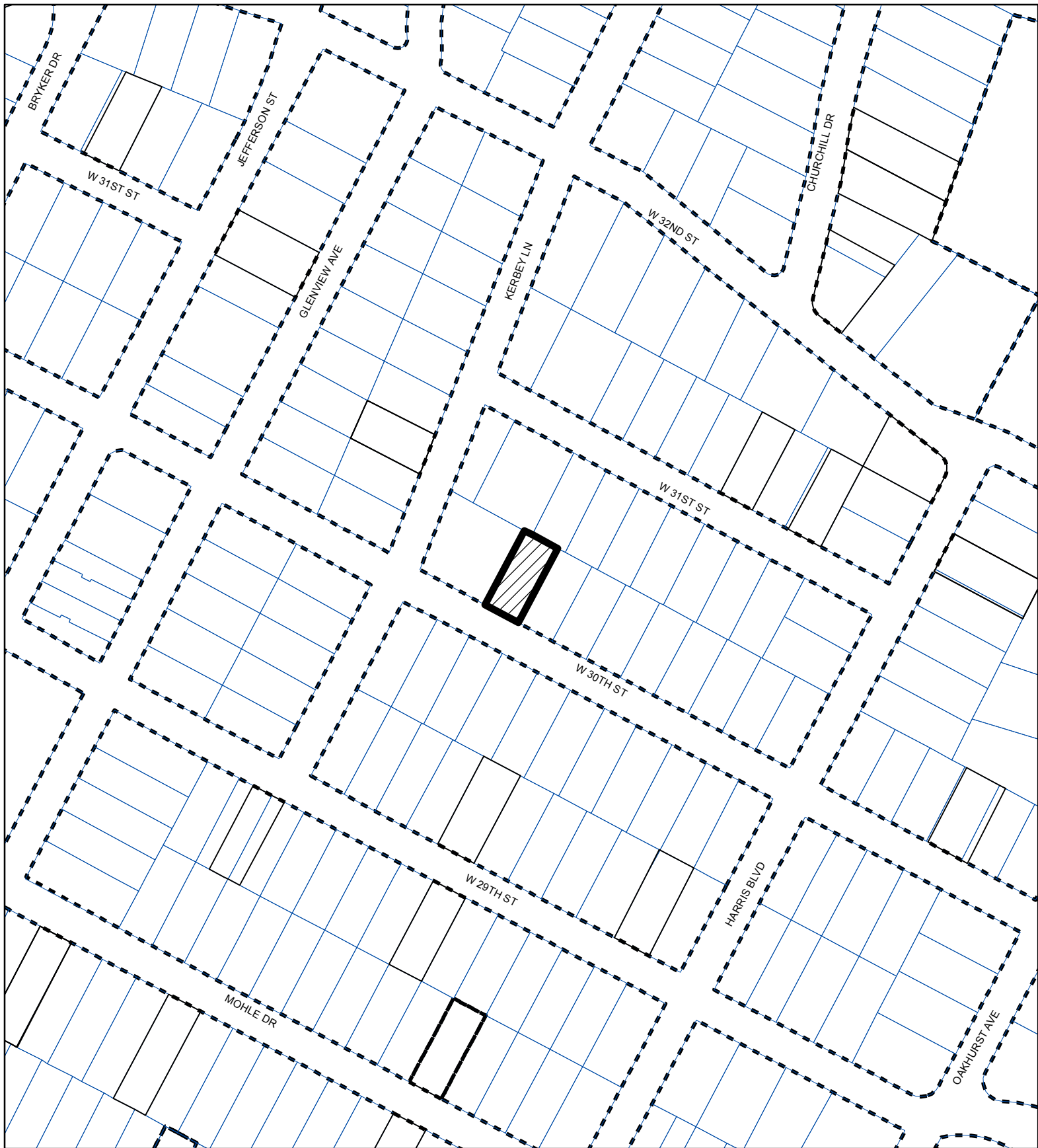
Front elevation



Detached garage



Houses of similar design and construction period in neighborhood



SUBJECT TRACT



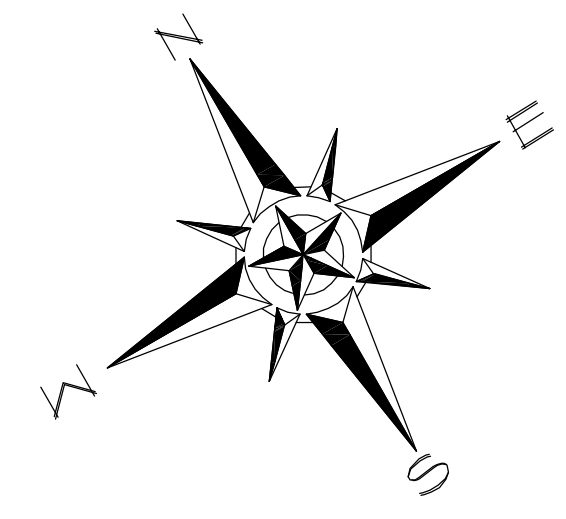
ZONING BOUNDARY

CASE#: NRD-2012-0036
LOCATION: 1516 W 30th Street



This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

This product has been produced by the Planning and Development Review Department for the sole purpose of geographic reference. No warranty is made by the City of Austin regarding specific accuracy or completeness.



BLOCK 2

SHARON G. LAMB REVOCABLE LIVING TRUST
EAST 50' OF LOT 10, BLOCK 2
(DOC. NO. 2009195149, T.C.O.P.R.)

BRYKER-WOODS "B"
(VOL. 4, PG. 12, T.C.P.R.)

KERBY LANE
(50' R.O.W.)

RANDY C. SCHRECENGOST AND KATHY F. SCHRECENGOST
N. 50' OF E. 2' OF LOT 68, BRYKER-WOODS
AND N 50' X 118.98' OF LOT 69,
BRYKER-WOODS "B"
(VOLUME 11427, PAGE 2042, T.C.R.P.R.)

THOMAS E. HADDAD
S. 70' OF THE W. 2' OF LOT 68,
BRYKER-WOODS AND S. 70' OF LOT 69,
BLOCK 2, BRYKER-WOODS "B"
(VOLUME 10786, PAGE 1254, T.C.R.P.R.)

LOT 9

DARYLE D. MCGINNIS AND CYNTHIA MCGINNIS
(DOC. NO. 2000076237, T.C.O.P.R.)

SET CAPPED 1/2" I.R.
(WINDROSE AUSTIN)

SET CAPPED 1/2" I.R.
(WINDROSE AUSTIN)

S 59°41'00" E
53.00'

LOT 68

N 30°01'00" E
120.00'

W 120.00'

JOEY S. WALKER
LOT 67

(VOL. 12020, PG. 2442, T.C.R.P.R.)

WEST 30TH STREET
(50' R.O.W.)

TBM

TAG#

214	28" ELM
215	6" OAK
216	3" MAGNOLIA
217	8"-(2)3"-(2)4" LIGUSTRUM (RATED)
218	4" CREPE MYRTLE
219	4"-3"-2" CREPE MYRTLE (RATED)
220	3"-4"-4" CREPE MYRTLE (RATED)
221	3"-4" CREPE MYRTLE (RATED)
222	4" CREPE MYRTLE
223	(4)2"-(4)3"-(2)4" CREPE MYRTLE (RATED)

TREE TABLE

SIZE/TYPE

EXISTING IMPERVIOUS COVERAGE CHART

	SQ. FT.	%
TOTAL LOT	6,360	
HOUSE	1,303	20 %
GARAGE	349	6 %
BRICK DRIVE	956	15 %
CONCRETE	279	4 %
TOTAL	2,887	45 %

LEGEND

- EM - ELECTRIC METER
- GM - GAS METER
- PP - POWER POLE
- P - OVERHEAD POWER LINE
- WM - WATER METER
- WV - WATER VALVE
- W - WOOD FENCE
- C - CHAINLINK FENCE
- XXX.XX - SPOT ELEVATION
- B.L. - BUILDING LINE
- P.U.E. - PUBLIC UTILITY EASEMENT
- Control Monument
- TBM - TEMPORARY BENCHMARK

EXISTING FLOOR AREA RATIO CHART

	SQ. FT.	%
TOTAL LOT	6,360	
HOUSE	1,303	20 %
GARAGE	349	6 %
TOTAL	1,652	26 %

EXISTING SITE PLAN

SCALE: 1/8" = 1'-0"

NOTES:

- SUBJECT TO RESTRICTIVE COVENANTS BY VOLUME 563, PAGE 152, T.C.D.R.
- ALL ELEVATIONS SHOWN HEREON ARE BASED ON AN ASSUMED ELEVATION OF 100.00' AT A MAG NAIL SET IN ASPHALT. (SEE TBM)
- BRICK DRIVE IS WITHIN 3' PUBLIC UTILITY EASEMENT AND EXTENDS ACROSS PROPERTY LINE (WEST LINE) AS SHOWN.

WALTER S. TOOLE
STUDIO

1504 Palo Duro Road
Austin, Texas 78727
Email: wstool@wstoolstudio.com

The Remodeling of the Residence for

Rhianna & Cyrus Shennum

1516 West 30th Street Austin, Texas

NOTE:
Contractor & Subcontractors are responsible for confirming & correcting dimensions at the job site. Walter S. Toole / Studio is not responsible for construction means, methods, techniques, sequences or procedures or for safety precautions & programs related to the project construction. Contractor & all Subcontractors are responsible for local code compliance.

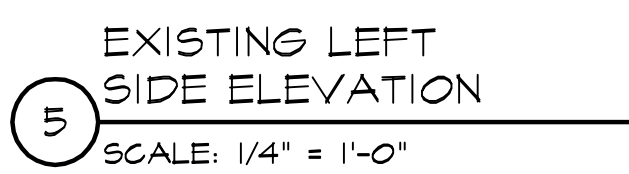
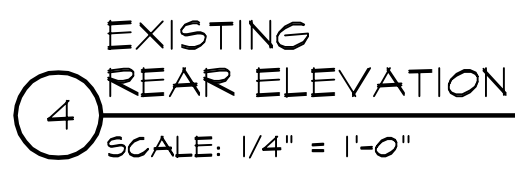
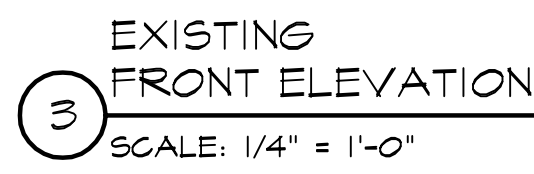
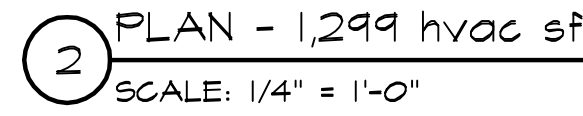
© 2012 Walter S. Toole / Studio
All Rights Reserved. All ideas, designs, drawings, plans & specifications are the property of Walter S. Toole / Studio. Purchaser's rights are conditional & limited to a lifetime use to construct a single project on the site as indicated & use is limited specifically to such property. Not use for reproduction or these plans concerning any other construction is strictly prohibited without the written permission of Walter S. Toole / Studio.

DATE
MARCH 30, 2012
DRAWN BY
WST
CHECKED BY

REVISED

SHEET

A.2



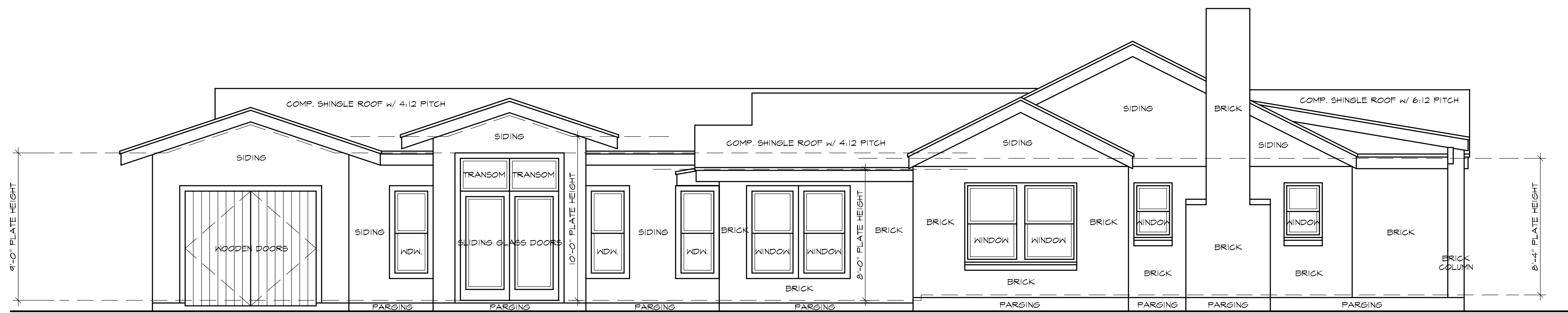
1504 Palo Duro Road Austin, Texas 78757 512 : 380 : 0789
Email: toolestudio@austin.rr.com Website: www.toolestudio.com

PRODUCED BY AN AUTODESK EDUCATIONAL PRODUCT

NOTE:
Contractor & Subcontractors are responsible for confirming & correlating dimensions at the job site. Walter S. Toole / Studio is not responsible for construction means, methods, techniques, sequences or procedures, or for safety precautions & programs related to the project construction.
Contractor & all Subcontractors are responsible for local code compliance.

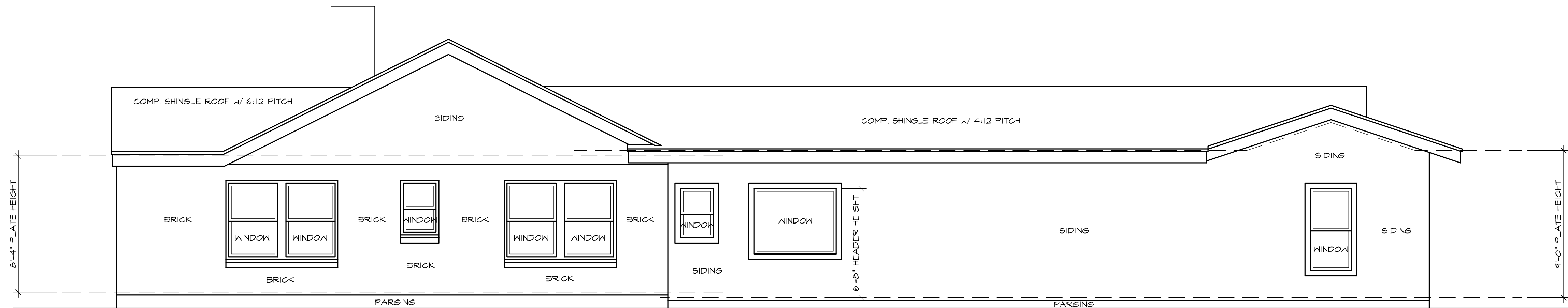
© 2012 Walter S. Toole / Studio
All Rights Reserved. All ideas, designs, drawings, plans & specifications are the property of Walter S. Toole / Studio. Purchaser's rights are conditional & limited to a one-time use to construct a single project on the site as indicated & use is limited specifically to such property. The use or reproduction of these plans concerning any other construction is strictly prohibited without the written permission of Walter S. Toole / Studio.

A.5



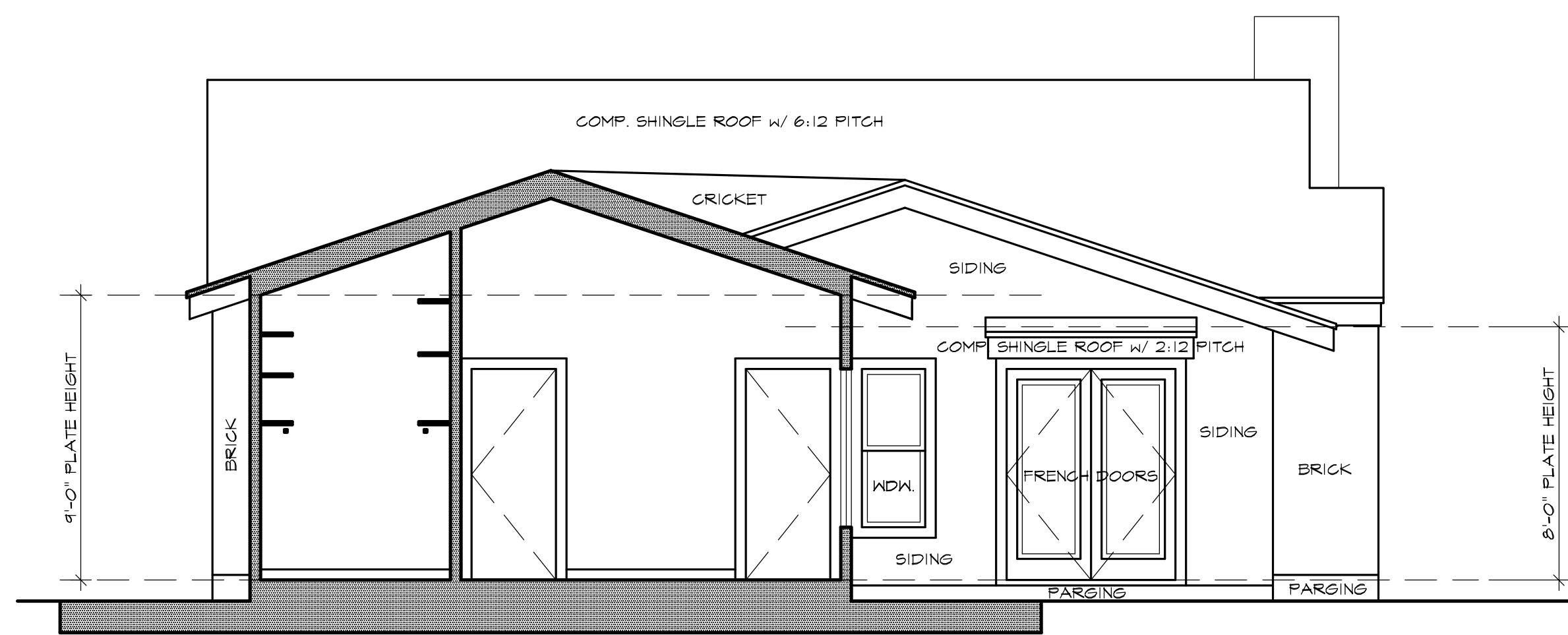
1
PROPOSED LEFT
SIDE ELEVATION
SCALE: 1/4" = 1'-0"

NOTE: PROPOSED ROOF MATERIAL, PITCH, FASCIA OVERHANGS & SOFFIT DETAILS
TO MATCH THOSE EXISTING AT REAR OF HOUSE. FIELD VERIFY WITH OWNERS.



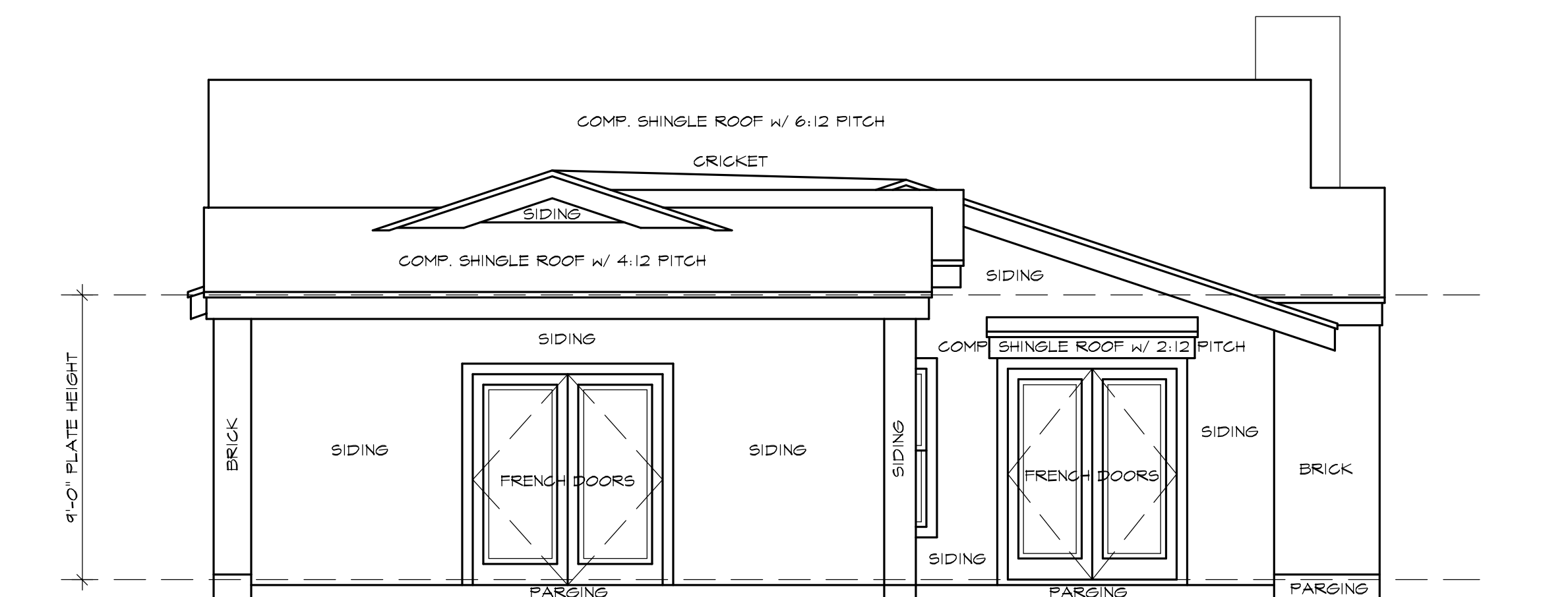
2
PROPOSED RIGHT
SIDE ELEVATION
SCALE: 1/4" = 1'-0"

NOTE: PROPOSED ROOF MATERIAL, PITCH, FASCIA OVERHANGS & SOFFIT DETAILS
TO MATCH THOSE EXISTING AT REAR OF HOUSE. FIELD VERIFY WITH OWNERS.



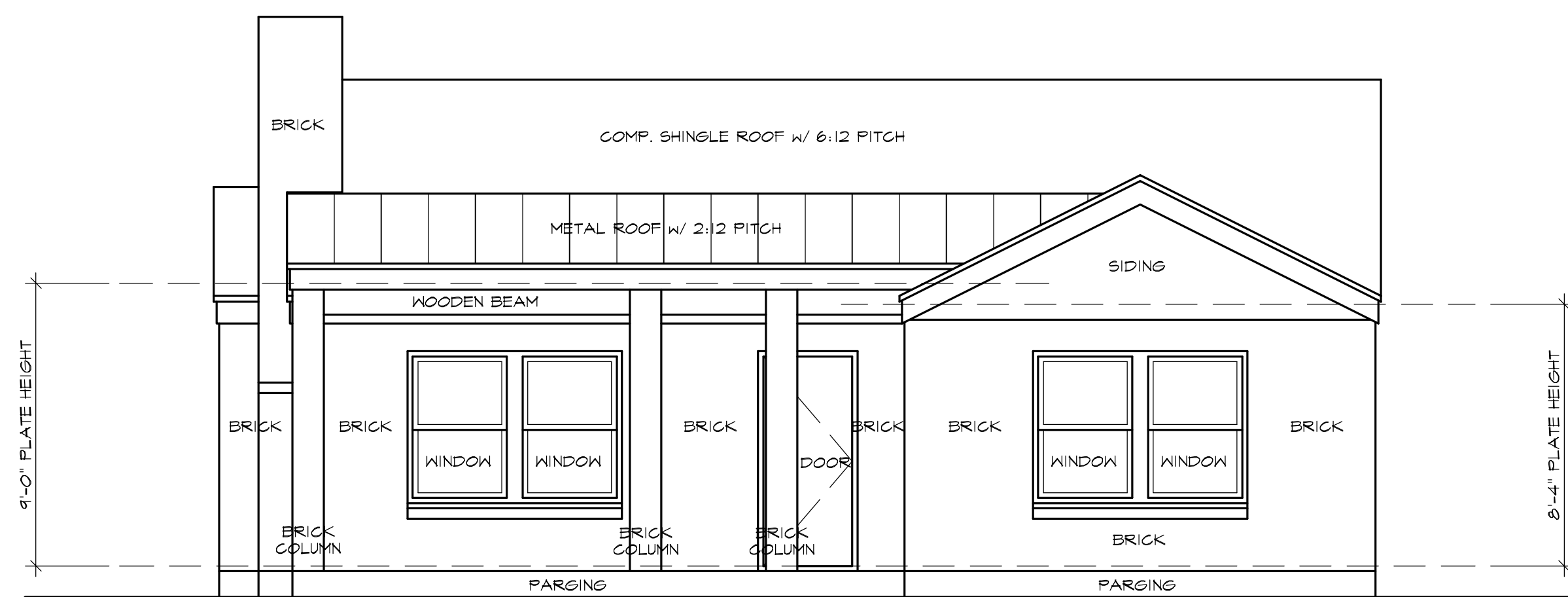
3
PROPOSED SECTION
& REAR ELEVATION
SCALE: 1/4" = 1'-0"

NOTE: PROPOSED ROOF MATERIAL, PITCH, FASCIA OVERHANGS & SOFFIT DETAILS
TO MATCH THOSE EXISTING AT REAR OF HOUSE. FIELD VERIFY WITH OWNERS.



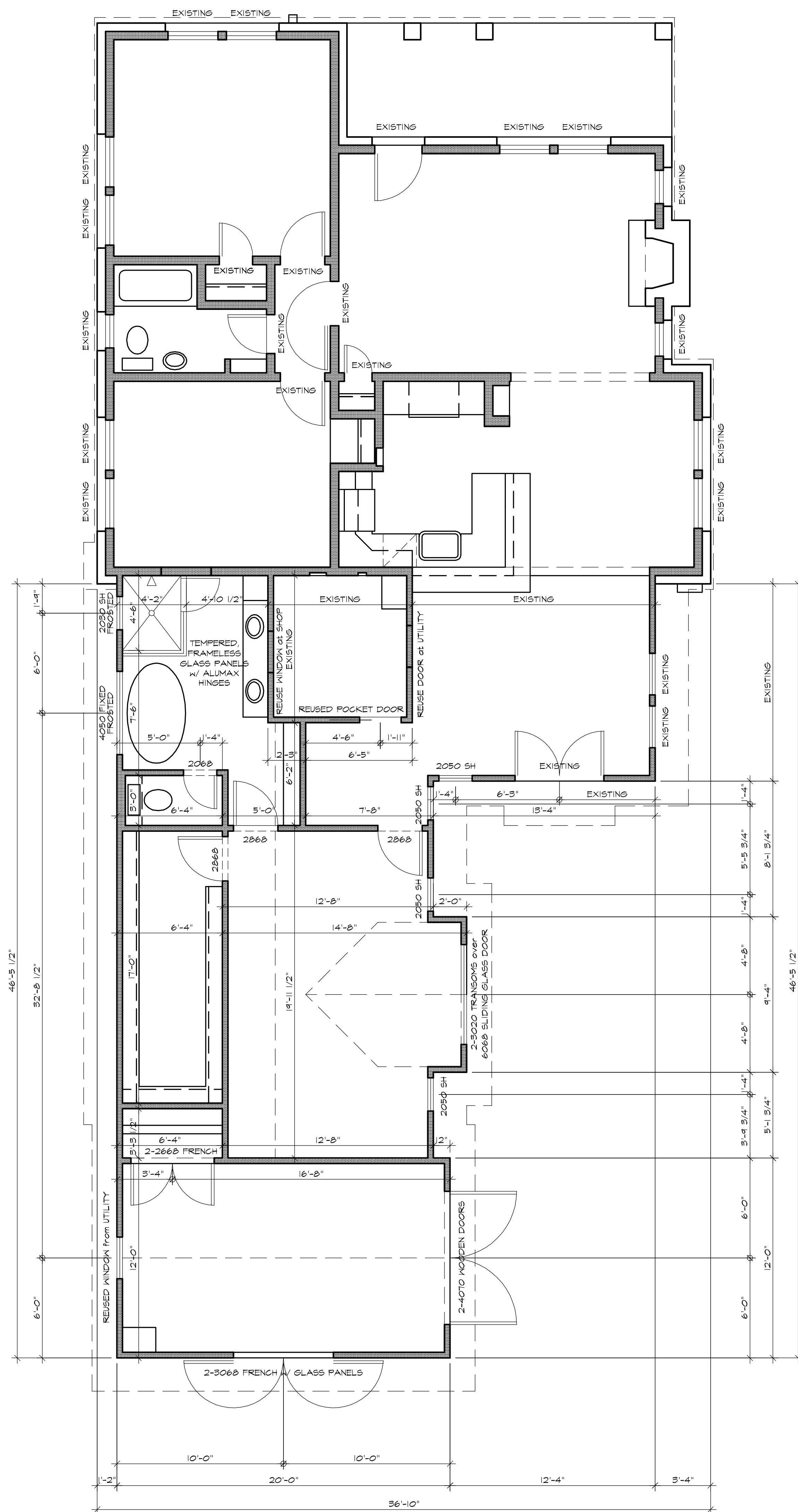
4
PROPOSED
REAR ELEVATION
SCALE: 1/4" = 1'-0"

NOTE: PROPOSED ROOF MATERIAL, PITCH, FASCIA OVERHANGS & SOFFIT DETAILS
TO MATCH THOSE EXISTING AT REAR OF HOUSE. FIELD VERIFY WITH OWNERS.



5
PROPOSED
FRONT ELEVATION
SCALE: 1/4" = 1'-0"

NOTE: PROPOSED ROOF MATERIAL, PITCH, FASCIA OVERHANGS & SOFFIT DETAILS
TO MATCH THOSE EXISTING AT REAR OF HOUSE. FIELD VERIFY WITH OWNERS.



1
PROPOSED LOWER
FLOOR PLAN WITH DIMENSIONS
SCALE: 1/4" = 1'-0"