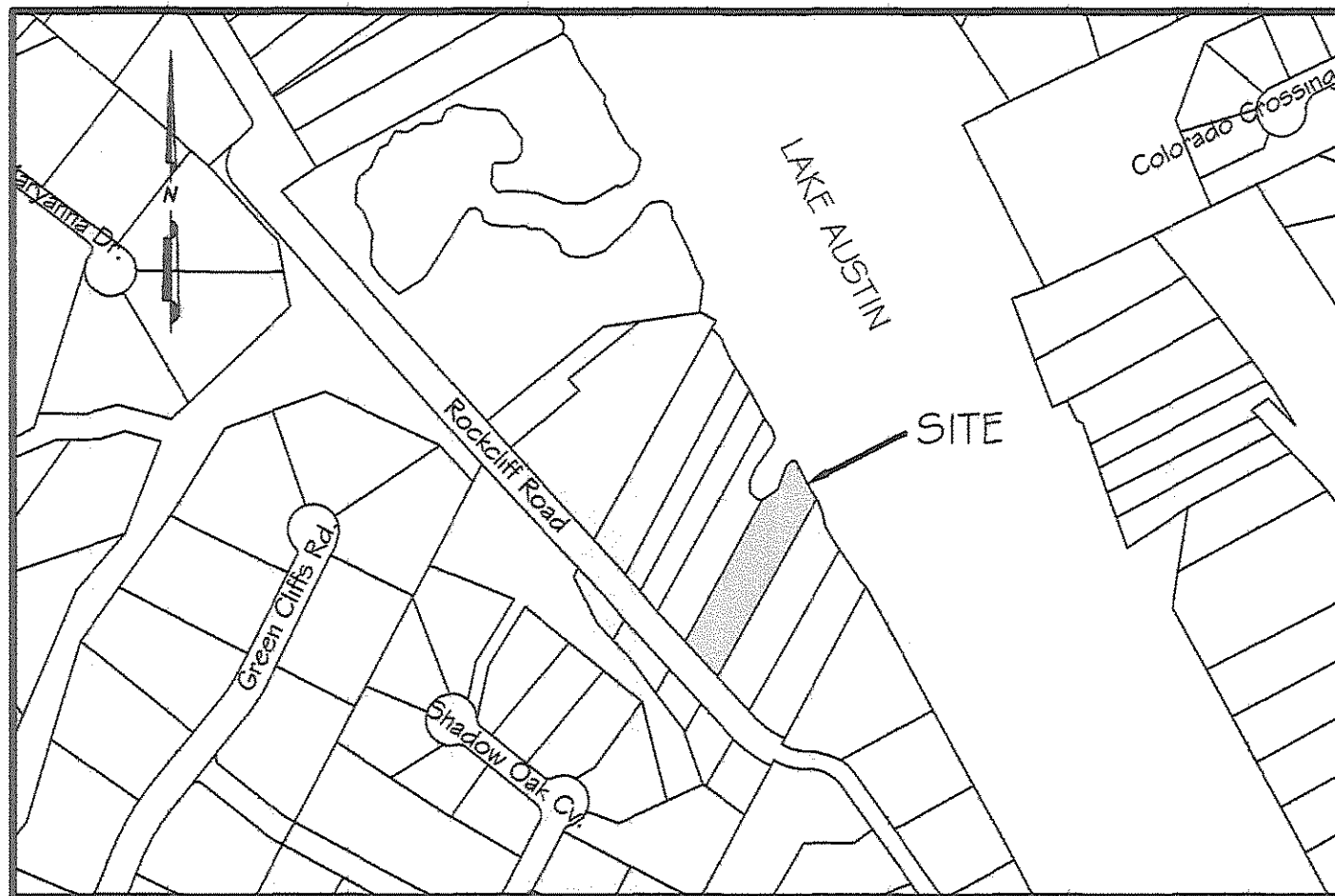


1406 ROCKCLIFF ROAD

- OWNER:**
CLIFFROCK, L.L.C.
1406 ROCKCLIFF ROAD
AUSTIN, TEXAS 78746
(512) 423-6838
- ENGINEER:**
BRUCE S. AUPPERLE, P.E.
AUPPERLE COMPANY
2219 WESTLAKE DR. STE. 110
AUSTIN, TEXAS 78746
PHONE (512) 422-7838
FAX (512) 329-8241



MAPSCO GRID A31
VICINITY MAP
1" = 360'

REMEDIAL TREE CARE NOTES AERATION AND SUPPLEMENTAL NUTRIENT REQUIREMENTS FOR TREES

- Trees will be Aerated and Provided Nutrients Prior to any Construction Activity.

As a condition of final acceptance of the site, and in conformance with Environmental Criteria Manual section 3.5.4 - All preserved trees within the limits of construction will be Aerated and provided with Supplemental Nutrients per the following guidelines. Macro and MicroNutrients are required, Humate/nutrient solutions with mycorrhizae components are highly recommended. These solutions are commonly utilized to provide remediation for trees affected by construction. Materials and methods are to be approved by the City Arborist (512)974-1876 prior to application. The owner or general contractor shall select a fertilization contractor and insure coordination with the City Arborist Phone: (512)974-1876.

Treatment is to commence prior to the beginning of construction activities and again after the completion of all construction. Areas to be treated include the entire critical root zone of trees as depicted on the City approved plans. Trees are to be saturated by water injected into the soil under pressure via a soil probe at 10-125 pounds per square inch (psi) by other method as approved by Planning and Development Review Department. The contractor shall follow all specifications set forth to be provided by the City of Austin. Proctor to application Fax # (512) 974-3010. Applicants may also specify soil injection of Doggett's X-L inject 32-77 or equivalent at recommended rates. Construction which will be completed in less than 90 days should use materials at recommended rates. Alternative organic fertilizer materials are acceptable when approved by the City of Austin. Within 7 days after fertilization is performed, the contractor shall submit to the City the work performed, the City of Austin Planning and Development Review Department P.O. Box 1089, Austin, Texas 78767. The Note should be referenced as item #1 in the Sequence of Construction.

1. This project is not located over the Edwards Aquifer recharge zone.
2. Deed restrictions or restrictive covenants are applicable to this property.
3. Business or living quarter may not be constructed on a pier or similar structure extending into or over any water body, except under a license and permit as applied.
4. Contractor to verify utility locations and ground and flow line elevations before construction.
5. Environmental Inspector has the authority to add and/or modify erosion/sedimentation controls on site to keep project in compliance with the City of Austin Rules and Regulations.
6. Approval of these plans by the City of Austin indicates compliance with applicable City regulations only. Approval of other government entities is required for the start of construction. The applicant is responsible for determining what additional approvals may be necessary.

1. Prior to excavation within tree driplines or the removal of trees adjacent to other trees that are to remain, make a clean cut between the disturbed and undisturbed root zones with a rock saw or similar equipment to minimize root damage.
2. In critical root zone areas that cannot be protected during construction with fencing and where heavy vehicular traffic is anticipated, cover those areas with a minimum of 12 inches of organic mulch to minimize soil compaction. In areas with high soil plasticity Geotextile fabric, per standard specification 6205, should be placed under the mulch to prevent excessive mixing of the soil and mulch. Additionally, material such as plywood and metal sheets, could be required by the City Arborist to minimize root impacts from heavy equipment. Once the project is completed, all materials should be removed, and the mulch should be reduced to a depth of 3 inches.
3. Perform all grading within critical root zone areas by hand or with small equipment to minimize root damage.
4. Water all trees most heavily impacted by construction activities deeply once a week during periods of hot, dry weather. Spray tree crowns with water periodically to reduce dust accumulation on the leaves.
5. When installing concrete adjacent to the root zone of a tree, use a plastic vapor barrier behind the concrete to prohibit leaching of lime into the soil.

The following site plan release notes are included in accordance with the City of Austin's request. Applicant will comply with all applicable City of Austin requirements.

1. All improvements shall be made in accordance with the released site plan. Any additional improvements will require site plan amendment and approval of the Planning & Development Review Department.
2. All signs must comply with requirements of the Land Development Code. (Section 13-2, Article VII)
3. Additional electric easements may be required at a later date.
4. All existing structures shown to be removed will require a demolition permit from the City of Austin Planning & Development Review Department.
5. A development permit must be issued prior to an application for building permit for non-consolidated or Planning Commission approved site plans.
6. For driveway construction: The owner is responsible for all costs for relocation of, or damage to utilities.
7. For construction of a new driveway, a concrete permit is required.
8. For the building permit, a signed and sealed letter shall be submitted to the City of Austin, per the Land Development Code, 25-12-3 16 I.2.4, certifying that the structure is in accordance with ASCE 24, Flood Resistant Design and Construction.
9. All work will occur within the limits of construction as shown on the plan, and that no materials or equipment will be delivered to the site from the landward side of this project.

All responsibility for the adequacy of these plans remain with the engineer who prepared them. In approving these plans, the City of Austin must rely upon the adequacy of the work of the design engineer.

[illegible]

No vegetation within the shoreline setback area shall be removed before the issuance of a building permit, except as may be required for surveying and testing. Areas cleared for surveying or testing shall be no more than 15 feet wide and no trees of six inches or more in diameter shall be removed for surveying or testing.

All areas disturbed within the shoreline setback shall be restored in accordance with City of Austin specifications

All disturbed areas shall be restored as noted in erosion control & restoration notes.

WATERSHED STATUS: This site is located in LAKE AUSTIN watershed, is classified as a WATER SUPPLY RURAL watershed and shall be developed, constructed and maintained in conformance with Chapter 25 of the Land Development Code.

SMART GROWTH ZONE: Drinking Water Protection Zone

FLOODPLAIN INFORMATION: This project is within the 100-year flood plain as shown on the F.E.M.A. panel 48453C0435H effective 26SEP2008.

LEGAL DESCRIPTION: ABS 72 SUR 1 BROWN W Acr 1.020, Deed Doc. #2011175995

PROJECT ADDRESS: 1406 ROCKCLIFF ROAD, AUSTIN, TX 78746

ZONING: LA
USE: Single-Family Residence

RELATED PERMIT NUMBERS: DA-2012-0046 (Bulkhead Repair

Release of this application does not constitute a verification of all data, information and calculations supplied by the applicant. The engineer of record is solely responsible for the completeness, accuracy and adequacy of his/her submittal, whether or not the application is reviewed for Code compliance by City engineers.

Site Plan subject to City of Austin Watershed Protection Regulations.

1. COVER SHEET & NOTES
2. SITE PLAN, BOAT DOCK ELEVATIONS & PLAN VIEW

Approved By:

Parks & Recreation Date

For Director - Planning & Development Review Department Date:

SP-2012-0063DS

Permit Number

February 17, 2012

Submittal Date

February 17, 2015

Project Duration Date

AUPPERLE COMPANY
Engineering, Planning & Development Services

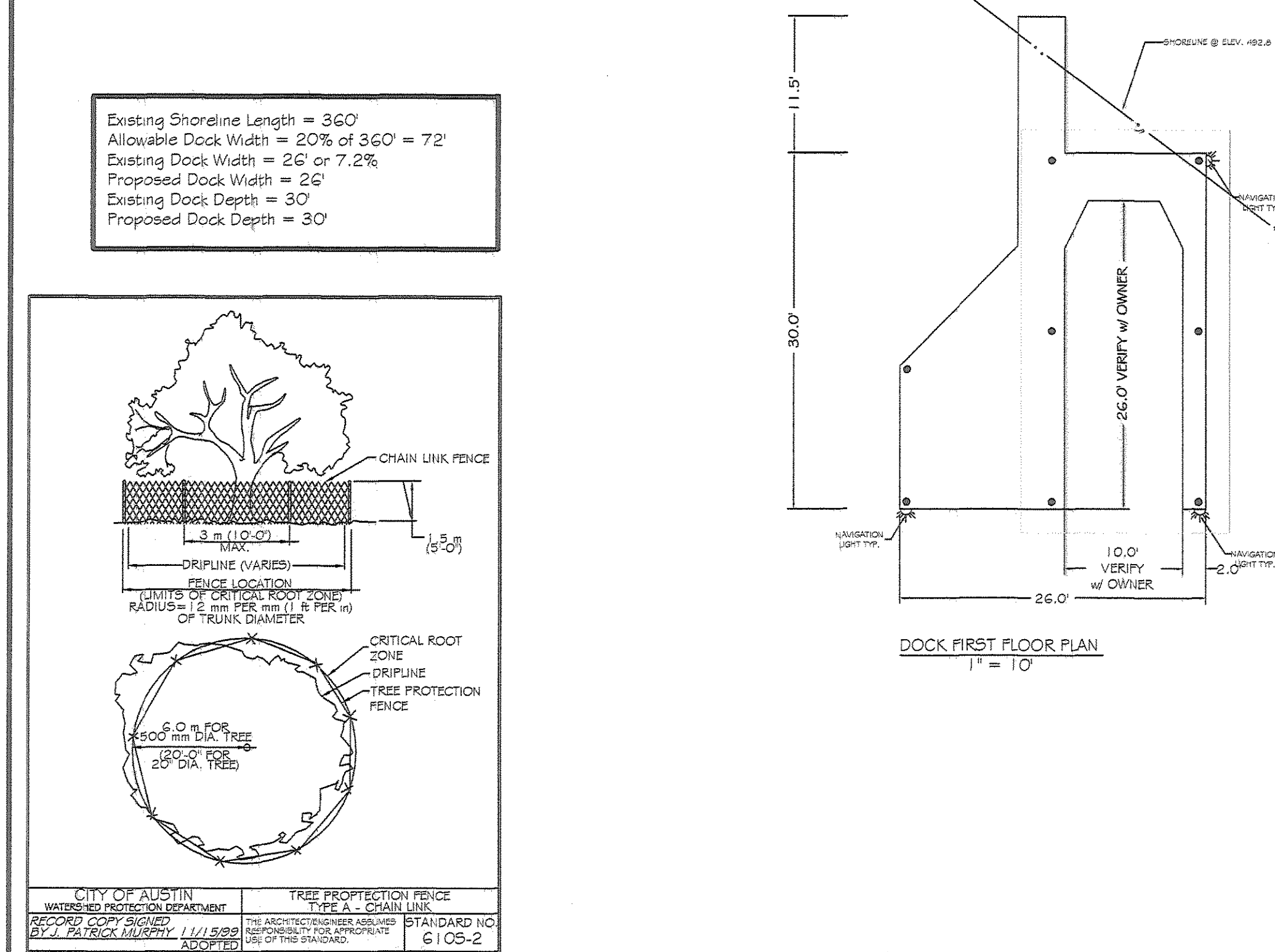
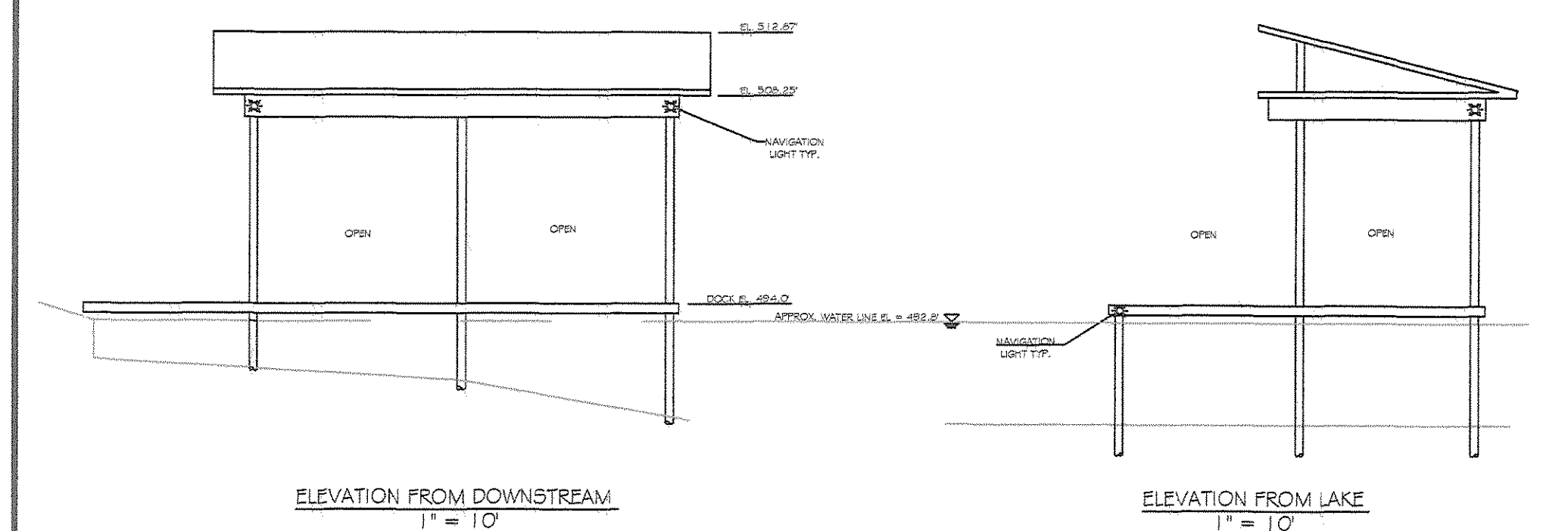
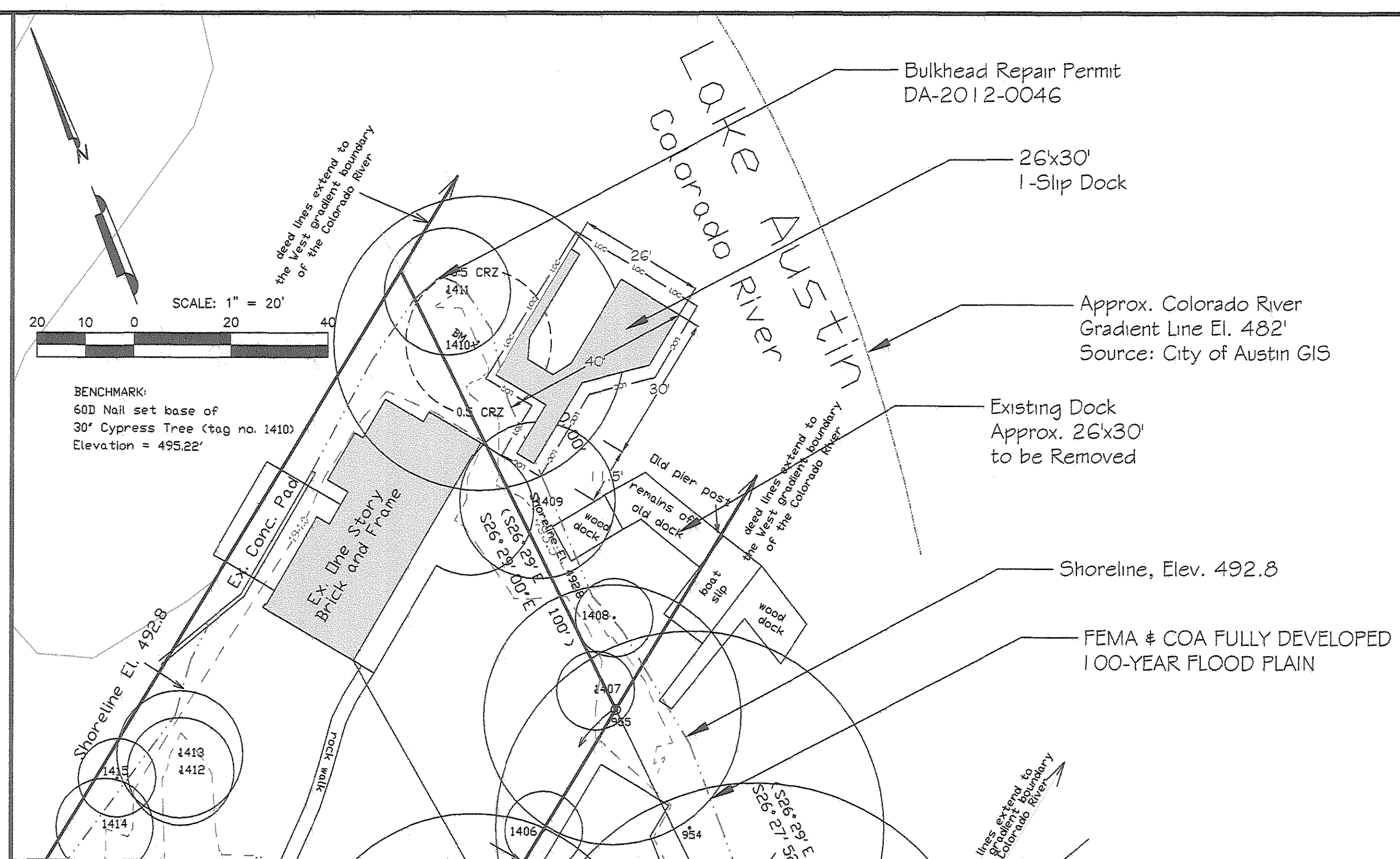
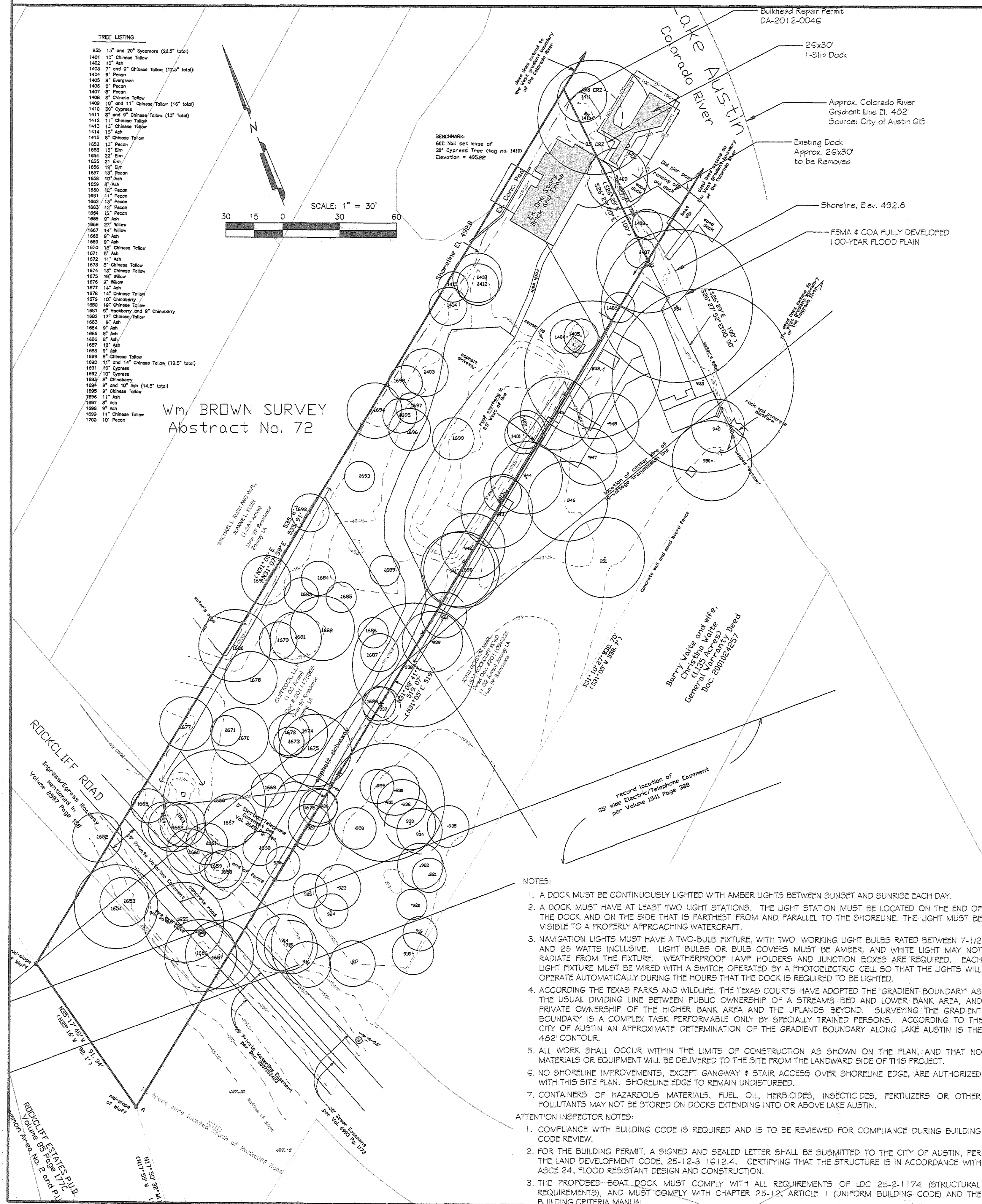
TABLE 1
FUTURE BOARD OF PROFESSIONAL ENGINEERS REGISTRATION NUMBER F. 1994

1406 ROCKCLIFF ROAD

COVER SHEET & NOTES

| |
|---------------------|
| DESIGNED: BSA |
| APPROVED: |
| SCALE: NTS |
| 1406 ROCKCLIFF Road |
| DATE: Oct. 3, 2011 |
| SHEET 1 of 2 |

1406 ROCKCLIFF ROAD

[illegible]