Electric Transmission Notes:

- 1. Barricades must be erected 10 feet from Austin Energy transmission
- 2. Any relocation or outsides caused by this ordect will be charged to the contractor
- to the contractor/owner,

 3. Warning signs must be placed under the overhead transmission
 lines to make all personnel evere of the electrical hazard.

 4. No dumpaters, staging or spols areas allowed within or 20
 feet adjacent to the transmission essement for safety reasons.

 5. Prior to mobilizing stall equipment such as cranes, cell Jeen
 Evridge at 512-322-5050, to coordinate with transmission
 personnel.
- Property Owner is to provide free and easy access 24 hours at
- day to the transmission essement.

 7. Land owner is responsible for dust controls for insulations and to prevent flashing. Owner is responsible for all outages caused by the dust from this project.

Appendix P-1 - Erosion Control Notes:

- The contractor shall erceion/sadimentation controls and tree/netural area protective fencing prior to any site preparation work (cleaning, grubbing or expression)

- any site preparation work (cleaning, grubbing or excavetion).

 2. The piscement of eroston/sedimentation controls shall be in accordance with the Environmental Citate's Manual and the approved Eroston and Sedimentation Control Plan.

 3. The Piscement of inserhatural are protective fancing shall be in accordance with the City of Austin standard Notes for Tree and Natural Area Phone and the approved Grading Tree and Natural Area Plan.

 4. A pre-construction conference shall be half on-either with the contractor, design Engineer/parmit, applicant and Environmental Inspector after Installation of the aroston/sedimentation controls and Inserhatural are protection measures and prior to beginning any site preparation work. The contractor, shall notify the Planning and Development Review Department, 974-2278, at sisest three days prior to the meeting diste.
- date.

 5. Any major variation in materials or locations of controls or fances from those shown on the approved plans will require a revision and must be approved by the reviewin Engineer, Environmental Specialist or City-Arborist as appropriate. Major revisions must be approved by the Planning and Development Review Department. Minor minning and Development Review Department, changes to be made as field revisions to the Eros and Sedimentation Control Plans ential trapector during the course of construction to correct control inadequacies. he contractor is required to inspect the controls and
- The commerce is request to inspect the controls and fences at weekly intervals and first significant rainfall events to insure that they are functioning properly. The person(s) responsible for melintenence of controls and fences shall immediately make any necessary repeirs to damaged areas. Sit accumulation at controls must be nemoved which the depth reaches six (6) Inches.
- 7. Prior to final acceptance by the City, haul roads and waterway crossings constructed for temporary contractor access must be ramoved, accumutated sediment removed from the waterway and the area restored to the origins 8. All work must stop if a void in the rock substrate is
- discovered which is, one square foot of total area; blows air from within the substrate and/or consists receives water during any rain event. AT this time it is the responsibility of the project manager to immediately contact a City of Austin Environmental Inspector for tur contact a City of Austin Environmental Irrepector for further investigation Permisnent Ercelon Control: All disturbed areas shall be restored as noted below.

 A. All disturbed areas to be revegebated are required to place a minimum of site (5) inches or toposit [see Standard
- - a minimum of abt (8)-inches of topacit (see Standard Specification tam No. 6013,40). Do not add topacil within the critical root zone of existing trees. The topacil shall be composed of 3 parts of soil mixed with 1 part compost, by votume. The compost shall be 0ftli-0bt or an equal approved by the Engineer, or designed representative. The approved equal, if used, mast the definition of composities defined by TxDOT Specification em161). The soil shall be locally available native soil
 - net meets the following specification a shall be tree of trash, weeds, dele
 - shalf be free of treats, weeds, deletantous massnass, node and deletals.
 100% shalf pass through a 0.375-inch (3/6") screen
 Soil Texture class to be Losm, Sardy Clay Losm, or Sandy Losm in accordance with the USAs texture transja. Soil known locally as "red death" or Austin Sandy Losm is not allowable soil. Textural compositishell meet the following oriteria:

Texture Class	Minimum	Maximum	
Clay	5%	25%	
Silit	10%	50%	
Sand	30%	80%	

Topsoli salvaged from the existing site may often be used, but it should meet the same standards as set forth in these standards. forth in these standards.

The vegetative stabilization of areas disturbed by construction shall be as follows:

TEMPORARY VEGETATIVE STABILIZATION:

- From September 15 to March 1, seeding shell be with cool season cover crops (Wheet at 0.5 pounds per 1000 SF, Careel Rys Grain at 0.5 pounds per 1000 SF, Careel Rys Grain at 0.5 pounds per 1000 SF) with a total rate of 1.5 pounds per SF, Cool Season cover crops are not
- From Merch 2 to September 14, seeding shall be with hulled Bermuda at a rete of 1 pounds per 1000 SF.
 Fortilbor shall be water-soluble with an analysis of 15-15-15 to be applied orios at planting and. once during the period of establishment at a rate of 1/2 pound per 1000 SF.
 - B. Hydromatch shall comply with Tabler 1, below.
 C. Temporary erosion-control shall be acceptable when the grass has grown at less 1 1/2 inches high with 95% coverage, provided no bare spots larger than 16 square feet edit.
 - D. When required, native grass seeding shall comply with requirements of the City of Austin Environmental Citarte Manual.

TEMPORARY VEGETATIVE STABILIZATION: CONTINUED.....

Table 1: Hydomulching for Temporary Vegetative Stabilization

Material	Description	Longevity	Typical Appfications	Application Rates
100% or any blend of wood cellulose, straw, snd/or cotton plant material (accept no mulch shall exceed 30% paper)	70% or greater Weod/Straw 30% or less Paper or Natural Fibers	0-3 months	Moderate slopes; from flat to 3:1	1500 to 200 lbs per scre

PERMANENT VEGETATIVE STABILIZATION:

- From September 15 to March 1, seeding is conside to be temporary stabilization only. If cool season of to be camporary stabilization only. If cool season cover crope exist whee permanent vegetable stabilization is dealed, the grassed shall be moved to a height of less than onehalf (1/2) inch and the area shall be re-seaded in accordance with table 2 below. 2. From March 2 to September 14, seeding shall be with hulfed Sermude at a rise of i pound per 100 SF with a purity of 95% with 65% germination. Bermuda grass a purity of 95% with 65% germination. Bermuda grass
- - A. Fertilizer shall be water soluble with an analysis of
- A. Fertiber shall be water soluble with an analysis of 15-15-15 be applied once at planting and once during the period of establishment at a rate of 1/2 pound per 1000 SF.

 B. Hydromulch shall comply with Teble 2, below.

 C. The plantide area shall be integrated or sprintided in a manner that will not erode the topsoil, but will sufficiently sout the soil to a depth of sic inches. The integration shall cocur at daily intervals (minimum) during the first two months. Railhaffe coursences of 1/2 inch or more shall postpone the watering schedule for one week.
- one week.

 D. Permanent erosion control shall be acceptable when
- E. When required native grass seeding shall comply with requirements of the City of Austin Environmental Criteria

Meterial	Description	Longevity	Typical Applications	Application Rates
Bonded Fiber Matrix (BFM)	80% Organic defibrated fibers 10% Tackfier	6 months	On slopes up to 2:1and - erosive soil conditions	2500 to 4000 lbs per acre (see manufacturers recommendations)
Fiber Reinforced Matrix (FRM)	85% Organic defibrated fibers 25% Reinforcing Fibers or less 10% Tackifier	Up to 12 months	On slopes up to 1:1and erosive soil conditions	3000 to 4500 lbs per acre (see manufacturers recommendations)

10,	Developer	informetic
-----	-----------	------------

vddress	3008 Edgewa	ter Drive Aust	n. Texas
Owners repre	esentative responsible	for plan eltera	tions:
,	WHATS UP DOCK	Phone #	512-263-7430

WHATS UP DOCK __Phone # ___ 512-263-7430

WHATS UP DOCK __Phone # ____ \$12-263-7430 ____ Person or firm responsible for tree/natural area protection Maintenance:

The contractor shall not dispose of surplus exceivated material from the sits without notifying the Wetershed Protection Depe at 974-2278 at least 48 hours prior with the location and copy

Appendix P-2 - Standard Notes for Tree and Natural Area Protection:

- All trees and natural areas shown on plan to be preserved shall be protected during construction with temporary fencing.
 Protective fences shall be erected according to City of Austin
- Standards for Tree Protection.

 3. Protective fences shall be installed prior to the start of any site preparation work (dearing, grubbing, or grading), and shall be maintained throughout all phases of the construction
- Erosion and sedimentation control barriers shall be installed
- Erosion and sedimentation control barriers shall be installed or meistralised in a manner which does not result in soil build-up within tree trip lines. Protective fences shall surround the trees or group of trees, and will be located at the outermost first of branches (drip line), for natural areas, protective fences shall follow the Linst of Construction line, in order to prevent the following: A. Soil compaction in the root zone erea resulting from
- vehicuter traffic or storage of equipment or materials; B. Root Zone disturbances due to grade changes (greater than 6 inches cut or fill), or tranching not reviewed and authorized by the City Arborist; C. Wounds to expose rooks, trunk or limbs by mechanical

- C. Wounds to expose rocks, trunk or limbs by mechanical equipment;
 D. Other activities detrimental to trees such as chemical strange, cernent truck cleaning, and fines.
 Exceptions to installing fances at tree drip-fines may be permitted in the following cases:
 A. Where there is to be an approved grade change, impermeable paving surface, tree well, or other such site development, eract the fance approximately 2 to 4 feet beyond the area disturbed;
 B. Where premeable paving is to be installed within a tree's drip-line, eract the fence at the other limits off the permeable paving and cyfor to talte grading so that this area is graded separately prior to paving installation to minimize rock damage);
 C. Where trees are close to proposed buildings, eract the fence to allow 6-10 fact of work space between the fence to allow 6-10 fact of work space between the fence and the buildings.
- fence to allow 6-10 mer or man person to the fence and the brilliong.

 D. Where there are severe space constraints due to tract also, or other special requirements, contact the City Abortist at 512-674-1875 to discuss alternatives, expericial, NOTES: For the protection of natural areas, no 498-CIAL NOTES: For the protection of natural areas, no SPECIAL NOTES: For the protection of natural a exceptions to installing fances at the Limit of Cor

Appendix P-2 - Standard Notes for Tree and Natural Area

- 7. Where any of the above exceptions result in the fence being closer than 4 fact to a tree trunk, protect the trunk with with strapped-on planking to the height of 6 fact (or to the limits of lower branching) in eddition to the reduced fencing
- provided.

 5. Trees approved for removal, shall be removed in a manner which does not impact trees to be preserved.

 6. Any roots exposed by construction activity shall be pruned flush with soil. Backfill root areas with good quality top soil as soon as possible. If exposed root areas are not becirfield within 2 days, cover them with organic meterial in a manner
- Any trenching required for the installation of landscape irrigation shall be placed as far from existing tree trunks
- No landscape topsoil dressing greater than 4 Inches shall be permitted within the drip-line of trees. No soil is permitted on the root flare of any tree. 12. Pruning to provide clearance for structures, vehicular traffic
- and equipment shall take place before damage occurs (ripping of branches, etc.)

 13. All finished pruning shall be done according to recognized, approved standards of the industry (Reference the Natio Arborist Association Pruning Standards for Shade Trees available on request from the City Arborist).
- Deviations from the above notes may be considered ordinance violations if there is substantial non-cornolismos or if a tree sustains damage as a result.

Appendix P-6 - Remedial Tree Care Notes Aeration and Supplemental Nutrient Requirements For Trees Within

- 1. Trees will be sensied and provided nutrients prior to any
- Trees will be aerated and provided nutrients prior to any
 construction activity.
 As a condition of final acceptance of the site, and
 in continuance with Environmental Critaria Manual section
 3.5.4 All preserved trees within the firsts of construction
 will be Aerated and provided with Supplemental Nutrients
 per the following guidelines. Maior and MicroNutrients are
 required. Humsterhutteria colutions with mycornitizes
 are highly recommended: These solutions are commonly
 utilized to provide remodelation to trees affected by
 construction. Melistrials and methods are to be approved
 by the City Arborist ((51.2974-1976) prior to application.
 The owner or general contractor shall select a fertilization
 contractor and insure coordination with the City Arborist
 (Phone;151.2974-1879).
- (Phone; (312)974-1879).

 3. Trestrivent is to commence prior to beginning of construction schivities and again after the completion of all construction 4. Areas to be treated include the entire ortical root zone of the trees as depicted on the City approved plans.
- of the trees as deptated on the City approved plans.

 5. Trees to be arrated by weath injected into the soil (under pressure via a soil probe at 50-125 pounds per equare inch) or by other method, as approved by Wetarshed Protection Development Review.

 6. The Proposed Nutrient Mix Specifications need to be provided to end approved by the City Arborist prior to application (Fexit; (5/12)974-5010), applicants may also specify soil injection of Logget X-L injecto 32-7-7 or equivalent at recommended rists.

 7. Constitution which will be combined in less than 90 days.
- Construction which will be completed in less than 90 days should use materials at 1/2 recommended rates.
- Alternative organic fertilizer materials are acceptable when approved by the City Arborist.
 Within 7 days after fertilization is performed, the contractor shell provide documentation of the work performed to the City Arborist, Planning and Development Review Departm P.O. Box 1088, Austin, Texas 78787, this note should be referenced as item #1 in the Sequence of Construction.
- 10. No vegetation within the shoreline setback area shall be smoved before the issuance of the building permit, excep removed details are assumed on the business parisin, wavely, as may be required for surveying end testing. Areas cleared for surveying or testing shall be no more than 15 feet wide and no trees of six inches or more in diameter shall be

Dock Construction Notes:

- All wok on this project is to be accomplished via barge. There will be no site access by lend, nor will barge the sound on lend.
- Install dock plans:
 Secure 5.5' steel pilings into take bed with mechanical pile driver: Steel pilings will be with "no lead: PS24 Rad Primer"
- 5. Construct lower level deck, 24" out of the water.
- 5. Lower deck framing is 2" x 10" Wolmer 7: Decking is 1" x 6" composite decking.
- 8. Construct dock. 9. Construct railing system (If required) to be metal
- and conform to City of Austin Building codes.
- Contact Environment Inspection 974-2278 at least
 72 hours for final inspection. Obtain final release. Obtain Engineering concurrence letter and provide to City of Austin Inspectors.
- 13. Prior to the issuance of the building permit, The applicant will turn in documentation that is signed and sealed by a Screened professional that states the proposed buildings in the floodplain comply with ASCE 24 (flood resistant design

GENERAL SITE NOTES

DOCK CONTRACTOR:	What's UpDock
	1704 Sid Slope
	Austin, Tx.
	78733
	512-263-7430
OWNER:	Ted Thomson
OWNERS MAILING ADDRESS:	3008 Edgewater
	Austin, Texas
PROPERTY ADDRESS:	3008 Edgewater
	Austin, Texas
LEGAL ADDRESS:	Lot 1, Blk 24, Austin Lake Estates
	Section one and the West 75' of
	Lot 8, CE Bar Ranch, Lakeview
	Acres, City of Austin
WATER SHED:	Lake Austin (LA)
WATER SHED CLASSIFICATION:	Water Supply Rural
USE:	Single-Family Home
NEW CONSTRUCTION HOME PERMIT:	-Existing Residence
SUBDIVISION CASE NUMBER:	Not Found
F.E.M.A. FIRM NUMBER:	
PROPERTY ZONING:	LA
PROJECT DURATION DATE:	
DRINKING WATER PROTECTION ZONE: -	LA
RELATED PERMIT NUMBERS:	None

SLIBMIT DATE: January 31, 2012

SITE DIMENSIONS: Existing Shoreline Length: Allowable Dock Width: -- 31.6 Proposed Dock Width: EX. Dock, With 1: Proposed Dock Length From Shoreline: disting Pier Length (not in scope of work); ------ 74'-10"

Environmental:

Environmental.

1. This project is located in the Lake Austin Watershed, which is classified as a Water Supply Rural Watershed as per the date of this permit.

2. A portion of this property X_dose__dose not lie in the 100 year flood-platin. The FIRM number is flood-platin. The FIRM number is

TOTAL DOCK WIDTH _______ 31' (A.6%)

- with the effective date of September 26, 2008.
- Environmental inspector has the authority to add/modify erosion/sediment controls on site to 4. Containers of hazardous materials, fuel oil, herbloides
- insecticities, fertilizers, or other pollutants may not lateral on doctor extending into or above Lake Austi Lady Bird Lake, or Walter E. Long.

Site Plan Release Notes:

- All improvements shall be made in accordance with the released site plan.
 Any additional improvements will require site plan.
- vry accusors improvements we require use pen-plein amendment and approved of the Planning and Development Review Department. Approved of the site plan does not include building
- 4. Additional electrical easements may be required at a etab retal
- 5. Water and wastewater service will be provided by the City of Austin.
- ure usy or ALSEN.

 8. Any existing structures shown to be removed will require a demolition permit from the City of Austin Planning and Development Review Department.

 7. developmental accommendation developmental permit must be issued prior to application for building permit for non-consolida
- . Approval for these plans by the City of Austin indicates compliance with applicable city regulation only. Approval by other governmental entities may be required prior to the start of construction. The applicant is responsible for determining what applicant is responsible for determining what approvals may be required or necessary.

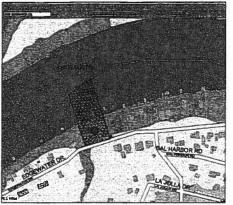
 9. Site Plan subject to City of Austin Wetershed
- Protection Regulations.

 10. This bost dock is an accessory use for a single
- 11. A business or living Guarter may not be constructed on a pier or similar structure extending into or above Lake Austin, except under
- extending into or above Late Austin, except under a license agreement approved by the CIV Council.

 12. This project ___ is/_X is not located over the Edwards Aguiller rechange zone.

 13. Contractor to verify utility locations end ground and flow line elevations before construction.

 14. Prior to the issuance of the building permit, the applicant will furn in documentation that is eigned and sealed by a illoaned professional that states the proposed buildings in the floodpish comply with ASCE 24 (flood resistant design and construction) as per LID c2-12-3 Section 1612.4° or include this documentation site plan review process.
- instruction meeting with the Environmental for is required plor to any site disturbence.



PROJECT LOCATION MAP

SOBMIT DATE.	
DURATION DATE:	January 31, 2015
Development Permi	t # SP-2012-0032DS

Planning and Development

Reviewed By

Parks Department Certification

For the construction of the proposed bost dock, this site plan DOES require any varience from, and is in full compilance with the following:

- Section 25-2-1176 10' Side yard Set Bac
- Section 25-2-1175 Lighting and electrical standards
- Section 25-2-1176 A varience ___will X_will not be requested for greater than 20% of shoreline.
- Section 25-2-1176 20% of shoreline Section 25-2-1176 - A varience with be requested to extend greater than 30' feet maximum extension of
- dock into water perpendicular to shoreline. This site plan does not create navigation hazards

TABLE OF CONTENTS

1 OF 3 CONSTRUCTION NOTES 2 OF 3 SITE PLAN

3 OF 3 ARCHITECTURAL PLANS

APPROVAL STAMP

KYLE, TX 78640 WHAT'S UP...DOCK

TEL: 512.787.7455 FAX: 866.268.1810

www.stonecaddesigns.com

STONE CAD

DESIGNS

P.O. BOX 1430 DRIPPING SPRINGS, TX 78820

TEL: 512.940.0185 TEL: 512,844,2434

C 0 DRIVIS **AUSTIN**,

4 EWATER 0 0 NO EDGI S 3008 0

DEVELOPMENT PERMIT # SP-2012-0032DS

© COPYRIGHT

STORE CAD DESIGNS RESERVES THE COPYRIGHT AND OTHER LEGAL RIGHTS RESTRICTING USE OF THESE OCCUMENTS TO THE ORIGINAL SITE OF RUPPOSE FOR WHICH THEY WERE PREPARED. CHANGES, REPRODUCT AND ASSIGNMENTS ARE PROPISITED WITHOUT FROM WRITTEN PERMISSION BY STONE CAD DESIGNS.

1 OF 3

EASEMENT AND RESTRICTIVE COVENANT NOTES:

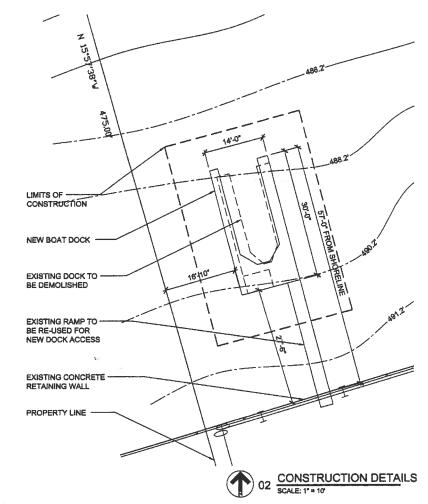
- 1) A perpetual right to overflow, as conveyed to the City of Austin by instrument recorded in Volume 275, Page 80 of the Deed Records of Travis County, Texas, DOES AFFECT the subject Lot 8.
- Restrictive covenants, as conveyed by instrument recorded in Volume 1992, Page 34 of the Deed Records of Travis County, Texas, DO AFFECT the subject LOT 1.
- 3) Restrictive covenants, as conveyed by plat recorded in Book 5, Page 22 of the Plat Records of Travis County. Texas, DO AFFECT the subject Lot 8.
- 4) Restrictive covenants, as conveyed by plat recorded in Book 9, Page 34 of the Plat Records of Travis County, Texas, DO AFFECT the subject Lot 1.

PERMANENT IMPROVEMENTS ARE PROHIBITED WITHIN THE SHORELINE SETBACK AREA, EXCEPT FOR RETAINING WALLS, PIERS, WHARVES, BOATHOUSES, MARINAS OR A DRIVEWAY TO ACCESS STRUCTURES. [LDC 25-2-551 (B)(2)]

SURVEY PROVIDED BY:

terra LAND SURVEYING AND PLANNING, INC.

AS-BUILT SURVEY OF LOT 1, BLK 24, AUSTIN LAKE **LEGEND** ESTATES, SECTION ONE AND THE WEST 75' OF CALCULATION POINT LOT 8, CE BAR RANCH, LAKEVIEW ACRES 1/2" IRON PIPE FOUND CITY OF AUSTIN, TRAVIS COUNTY, TEXAS RECORD INFORMATION per Subdivision Plet (Bk. 9, Pg. 34) RECORD INFORMATION per Subdivision Plat (Bk. 5, Pg. 43) CONCRETE APPROXIMATE WOOD GRAIDIENT BOUNDARY OF COLO. RIVER ROCK 8 (SOURCE: CITY OF AUSTIN GIS) IRON FENCE CE BAR RANCH, CHAIN LINK FENCE LAKEVIEW ACRES POWER POLE OVERHEAD ELECTRIC LINE OHE-EXISTING PIER BUILDING LINE TO REMAIN _____ EDGE OF ASPHALT (NOT WITHIN LOCE) EXISTING SWIM PLATFORM TO BE REMOVED LIMITS OF CONSTRUCTION EXISTING DOCK TO BE DEMOLISHED AND REBUILT AUSTIN LAKE ESTATES. EXISTING RAMP TO BE RE-USED FOR ACCESS TO NEW DOCK SECTION ONE ZONED LA or Pale UTE CONT LAKE AUSTIN SHORELINE 492.8 BLQCK-24 LOT 1 EXISTING CONCRETE WALL ZONEDLA 75' CRITICAL WATER ZONED\SF CE BAR RANCH, LAKEVIEW ACRES ZONED LA 100 YR FEMA FLOOD PLAIN @ 502.8 -EDGEWATER DRIVE OVERALL SITE PLAN



STONE CAD **DESIGNS**

TEL: 512.787.7455 FAX: 888.268.1810

www.stonecaddeslgns.com

KYLE, TX 78640

WHAT'S UP...DOCK

P.O. BOX 1430

DRIPPING SPRINGS, TX 78620

TEL: 512.940.0185

TEL: 512.844.2434

BOAT DOCK 3008 EDGEWATER DRIVE AUSTIN, TEXAS THOMSON

DEVELOPMENT PERMIT # SP-2012-0032DS

COPYRIGHT

APPROVAL STAMP

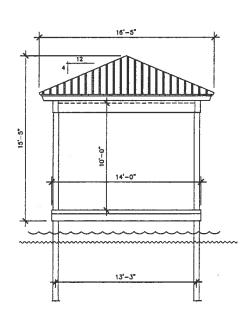
2 OF 3

32"-10%" MATERIAL TO MATCH EXISTING HOME 25 WATT NAVIGATIONAL LIGHT 30'-0" RE-USE EXISTING RAMP 5 1/2" DRIVEN STEEL PILINGS/COLUMNS - TYP. LAKE BELOW 14"-9" LAKE FLOOR -

THE PROPOSED BOAT DOCK MUST COMPLY WITH ALL REQUIREMENTS OF LDC 25-2-1174 ("STRUCTURAL REQUIREMENTS"), AND WITH CHAPTER 25-12, ARTICAL1 (UNIFORM BUILDING CODE) AND THE BUILDING

THE BOAT DOCK STRUCTURE WILL NOT BE MORE THAN THIRTY PERCENT (30%) ENCLOSED.

CRITERIA MANUAL.



SIDE ELEVATION

FRONT ELEVATION

STONE CAD **DESIGNS**

TEL: 512.787.7455 FAX: 866.266.1810

www.stonecaddesigns.com

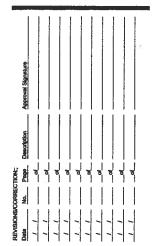
KYLE, TX 78640

WHAT'S UP...DOCK

P.O. BOX 1430 DRIPPING SPRINGS, TX 78620

TEL: 512.940.0185 TEL: 512.844.2434

THOMSON BOAT DOCK 3008 EDGEWATER DRIVE AUSTIN, TEXAS



DEVELOPMENT PERMIT # SP-2012-0032DS

APPROVAL STAMP

3 OF 3