

Electric Transmission Notes:

- 1. Barricades must be erected 10 feet from Austin Energy transmission structures during construction.
2. Any relocation or outages caused by this project will be charged to the contractor...

Appendix P-1 - Erosion Control Notes:

- 1. The contractor shall erosion/sedimentation controls and tree/natural area protective fencing prior to any site preparation work (clearing, grubbing or excavation).
2. The placement of erosion/sedimentation controls shall be in accordance with the Environmental Criteria Manual...

Table with 3 columns: Texture Class, Minimum, Maximum. Rows include Clay, SIL, and Sand.

Topsoil salvaged from the existing site may often be used, but it should meet the same standards as set forth in these standards.

TEMPORARY VEGETATIVE STABILIZATION:

- 1. From September 15 to March 1, seeding shall be with cool season cover crops (Wheat) at a rate of 1000 SF.
2. From March 2 to September 14, seeding shall be with hulled Bermuda at a rate of 1 pound per 1000 SF.

TEMPORARY VEGETATIVE STABILIZATION: CONTINUED.....

Table 1: Hydromulching for Temporary Vegetative Stabilization. Columns: Material, Description, Longevity, Typical Applications, Application Rates.

PERMANENT VEGETATIVE STABILIZATION:

- 1. From September 15 to March 1, seeding is considered to be temporary stabilization only. If cool season cover crops exist when permanent vegetative stabilization is desired...
2. From March 2 to September 14, seeding shall be with hulled Bermuda at a rate of 1 pound per 1000 SF.

Table 2: Hydromulching for Permanent Vegetative Stabilization

Table with 5 columns: Material, Description, Longevity, Typical Applications, Application Rates. Rows include Bonded Fiber Matrix (BFM) and Fiber Reinforced Matrix (FRM).

Developer Information:

Owner: Ted Thomson Phone #
Address: 3008 Edgewater Drive Austin, Texas
Owners representative responsible for plan alterations: WHATS UP DOCK Phone # 512-263-7430

Appendix P-2 - Standard Notes for Tree and Natural Area Protection:

- 1. All trees and natural areas shown on plan to be preserved shall be protected during construction with temporary fencing.
2. Protective fences shall be erected according to City of Austin Standards for Tree Protection.

Appendix P-2 - Standard Notes for Tree and Natural Area Protection: Continued.....

- 7. Where any of the above exceptions result in the fence being closer than 4 feet to a tree trunk, protect the trunk with stakes-on planning to the height of 6 feet (or to the limits of lower branching) in addition to the reduced fencing provided.
8. Trees approved for removal, shall be removed in a manner which does not impact trees to be preserved.

Appendix P-6 - Remedial Tree Care Notes Aeration and Supplemental Nutrient Requirements For Trees Within Construction Areas:

- 1. Trees will be aerated and provided nutrients prior to any construction activity.
2. As a condition of final acceptance of the site, and in conformance with Environmental Criteria Manual section 3.5.4 - All preserved trees within the limits of construction will be Aerated and provided with Supplemental Nutrients per the following guidelines.

Dock Construction Notes:

- 1. All work on this project is to be accomplished via barge. There will be no site access by land, nor will any construction materials storage be located on land.
2. Install dock plans.
3. Secure 5" steel pilings into lake bed with mechanical pile driver.

GENERAL SITE NOTES

DOCK CONTRACTOR: Where's Up..... Dock 1704 Sid Slope Austin, Tx 78733 512-263-7430
OWNER: Ted Thomson
OWNERS MAILING ADDRESS: 3008 Edgewater Austin, Texas
PROPERTY ADDRESS: 3008 Edgewater Austin, Texas
LEGAL ADDRESS: Lot 1, Blk 24, Austin Lake Estates Section one and the West 75' of Lot 8, CE Bar Ranch, Lakewood Acres, City of Austin

SITE DIMENSIONS:

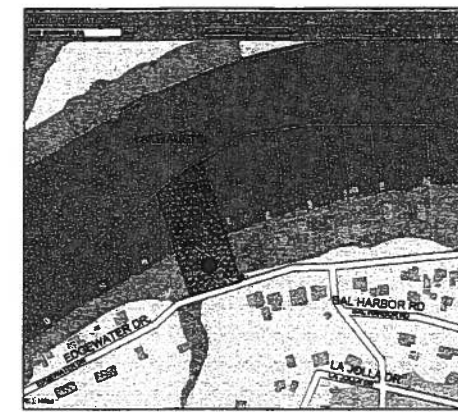
Existing Shoreline Length: 158'
Allowable Dock Width: 31.6'
Proposed Dock Width: 14'
Proposed Dock Length From Shoreline: 51'
Existing Pier Length (not in scope of work): 74-10'

Environmental:

- 1. This project is located in the Lake Austin Watershed, which is classified as a Water Supply Rural Watershed as per the date of this permit.
2. A portion of this property does not lie in the 100 year flood-plain. The FIRM number is flood-plain. The FIRM number is with the effective date of September 26, 2008.

Site Plan Release Notes:

- 1. All improvements shall be made in accordance with the released site plan.
2. Any additional improvements will require site plan amendment and approval of the Planning and Development Review Department.
3. Approval of the site plan does not include building or fire code approval.



PROJECT LOCATION MAP

SUBMIT DATE: January 31, 2012
DURATION DATE: January 31, 2015

Development Permit # SP-2012-0032DS

Planning and Development Review Department

Reviewed By

Parks Department Certification

- For the construction of the proposed boat dock, this site plan DOES require any variance from, and is in full compliance with the following:
- Section 25-2-1178 10' Side Yard Set Back
- Section 25-2-1173 Lighting and Electrical standards

TABLE OF CONTENTS

- 1 OF 3 CONSTRUCTION NOTES
2 OF 3 SITE PLAN
3 OF 3 ARCHITECTURAL PLANS

APPROVAL STAMP

Approval stamp grid with columns for Date, Description, and Approval Signature.

STONE CAD DESIGNS

TEL: 512.787.7455
FAX: 866.268.1810

www.stonecaddesigns.com

KYLE, TX 78640

WHAT'S UP...DOCK

P.O. BOX 1430
DRIPPING SPRINGS, TX 78620

TEL: 512.940.0185
TEL: 512.844.2434

THOMSON BOAT DOCK

3008 EDGEWATER DRIVE
AUSTIN, TEXAS

Table with columns for Date, Description, and Approval Signature.

DEVELOPMENT PERMIT # SP-2012-0032DS

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1 OF 3



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**WHAT'S UP...DOCK**

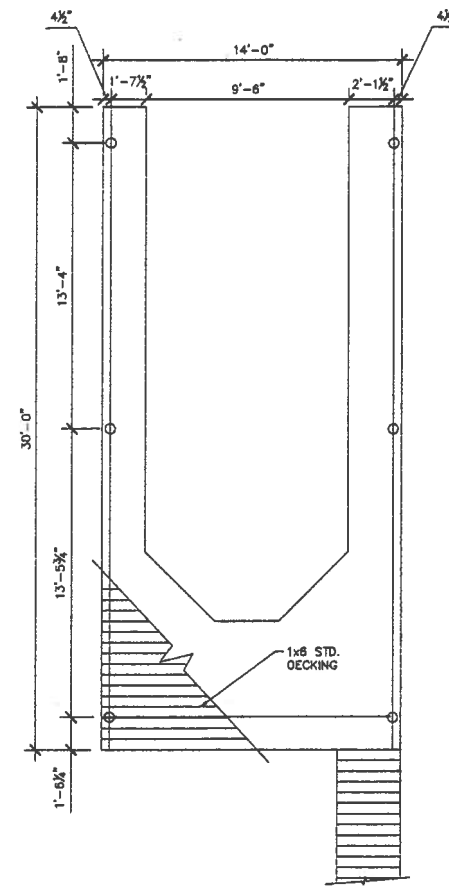
P.O. BOX 1430  
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TEL: 512.940.0185  
TEL: 512.844.2434

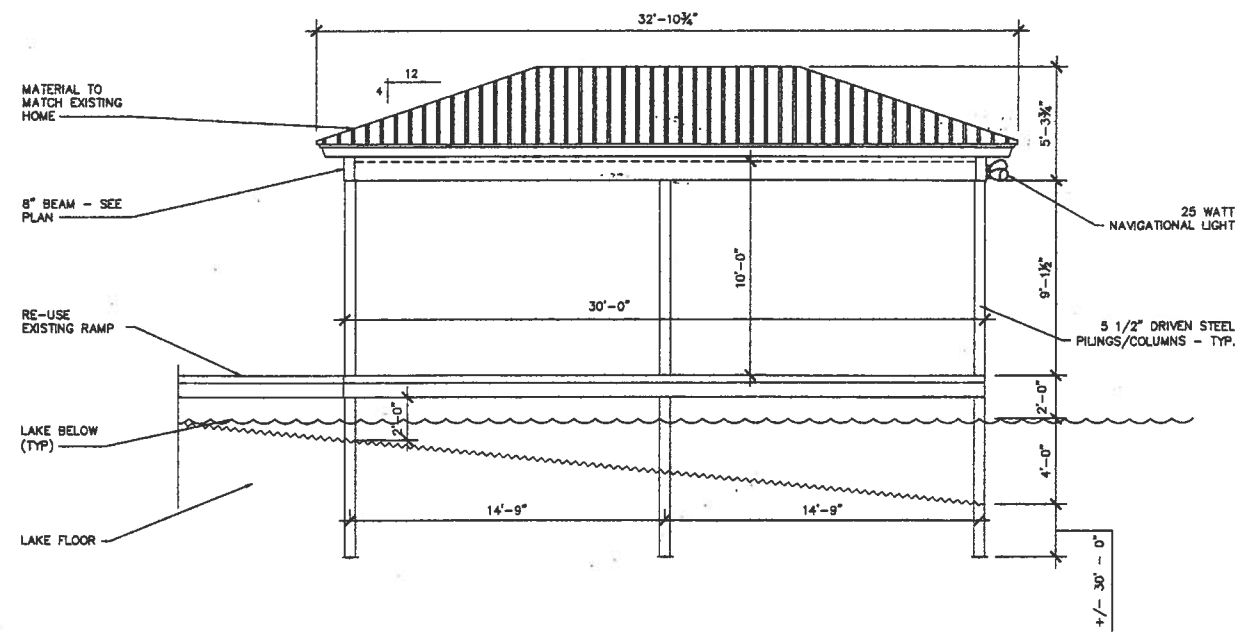
**THOMSON BOAT DOCK**  
3008 EDGEWATER DRIVE  
AUSTIN, TEXAS

THE PROPOSED BOAT DOCK MUST COMPLY WITH ALL REQUIREMENTS OF LDC 25-2-1174 ("STRUCTURAL REQUIREMENTS"), AND WITH CHAPTER 25-12, ARTICLE 1 (UNIFORM BUILDING CODE) AND THE BUILDING CRITERIA MANUAL.

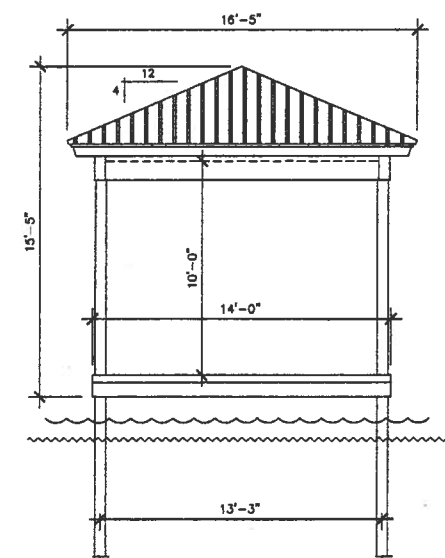
THE BOAT DOCK STRUCTURE WILL NOT BE MORE THAN THIRTY PERCENT (30%) ENCLOSED.



3 DECK PLAN  
1/4" = 1'-0"



1 SIDE ELEVATION  
1/4" = 1'-0"



2 FRONT ELEVATION  
1/4" = 1'-0"

**APPROVAL STAMP**

REVISION/CORRECTION:	No.	Page	Description	Approval Signature

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SP-2012-0032DS

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