

HISTORIC LANDMARK COMMISSION
JULY 30, 2012
NATIONAL REGISTER HISTORIC DISTRICT
NRD-2012-0086
Old West Austin
3301 Bryker Drive

PROPOSAL

Revise garage facade, add a front porch and construct a 650 sq. ft. rear addition on existing house.

PROJECT SPECIFICATIONS

The existing c. 1941 house is an approximately 1,567 sq. ft., one-story, Minimal Traditional style house with a side gabled roof, and a separate, lower side gabled, two car garage. On the façade the roof edge extends over a bay window and front stoop. The house has horizontal, wood, drop siding and multi-paned, wood, double-hung windows. The front facing garage door has a panelized, overhead door.

The applicant proposes to construct a small addition to the front of the garage that will have a front-facing double gable roof with false brackets under the side eaves, and vertical siding in the gable end. The garage will have a double-car, panelized door similar to the existing door. Also proposed on the façade is a new porch with a front-facing, double-gabled roof above. The porch roof will have vertical siding and a vent in the gable end and will be supported by three, narrow, classical columns. The steps leading up to the porch will have a handrail. The existing 4:2, double-hung window will be replaced and the opening enlarged to create a window with a fixed center pane flanked by two 2:2, double-hung windows.

The applicant further proposes to construct an approximately 650 sq. ft. rear addition behind the existing garage. The addition will have siding and windows similar to the existing house.

STANDARDS FOR REVIEW

The existing property is listed as contributing to the Old West Austin National Register Historic District. The Old West Austin National Register Historic District has no specific design guidelines for additions. Applicable general design review guidelines state:

- The distinguishing original qualities or character of a property and its environment shall not be destroyed. Removal or alteration of any historic material or distinctive architectural features should be avoided.
- All properties shall be recognized as products of their own time. Alterations which have no historical basis and which seek to create an earlier appearance shall be discouraged.
- Changes which have taken place in the course of time may have acquired significance in their own right, and shall be recognized and respected.
- Distinctive stylistic features or examples of skilled craftsmanship which characterize a property shall be treated with sensitivity.
- Contemporary designs for alterations and additions to existing properties are

appropriate when such alterations and additions do not destroy significant historic, architectural, or cultural material and are compatible with the size, scale, color, material, and character of the property, neighborhood, or environment.

- Whenever, possible, new additions or alterations to structures shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the structure would not be impaired.
- The installation of protective or code-required mechanical systems shall be concealed whenever possible so as not to intrude upon or detract from the property's aesthetic and historical qualities except where concealment would result in the alteration or destruction of historically significant materials or spaces.

The design as proposed, although compatible with the architectural character and scale of the neighborhood, is a significant change to the appearance of the historic façade and would render the property non-contributing to the Old West Austin National Register District.

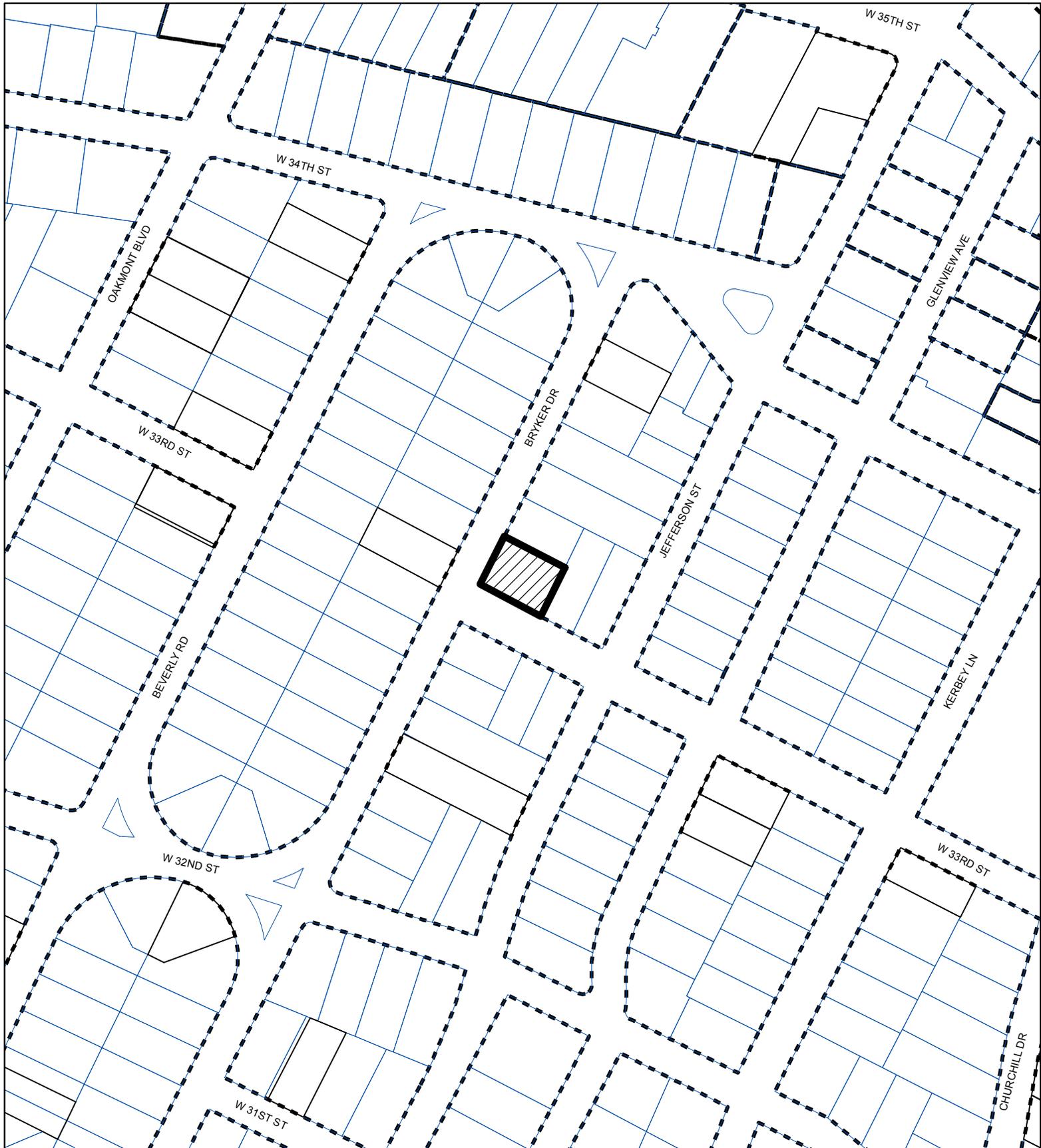
STAFF RECOMMENDATION

Release the building permit with the recommendation that the applicant consider revisions to the façade design that would maintain the properties contributing status. If the applicant pursues the proposed design, require submittal of a City of Austin documentation package.

PHOTOS







SUBJECT TRACT



ZONING BOUNDARY

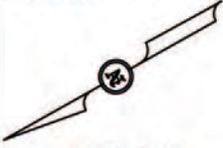
CASE#: NRD-2012-0086
 LOCATION: 3301 Bryker Drive



This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

This product has been produced by the Planning and Development Review Department for the sole purpose of geographic reference. No warranty is made by the City of Austin regarding specific accuracy or completeness.

SCALE: 1"=20'

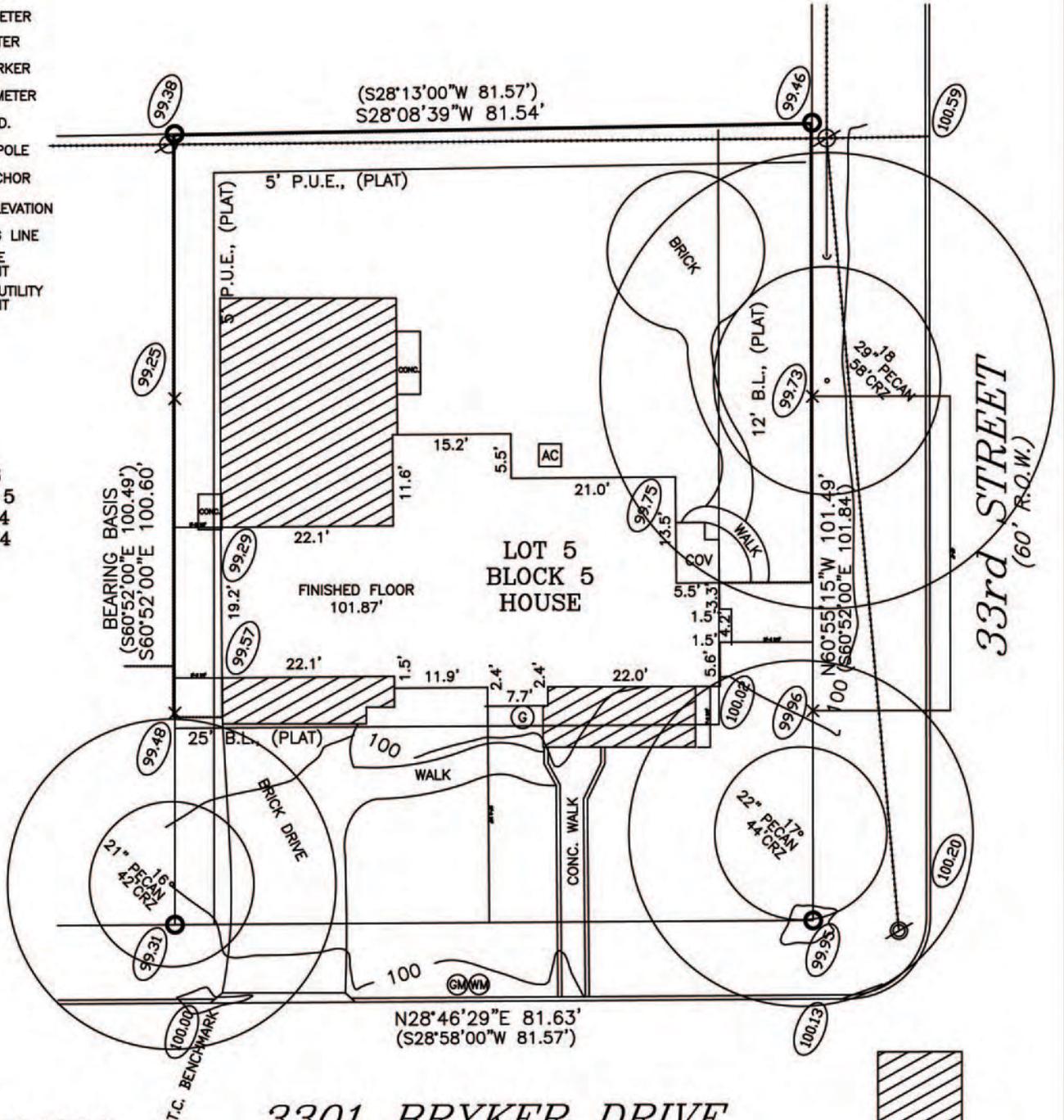


LEGEND

- WOOD FENCE
- UTILITY LINE
- A/C UNIT
- ELEC. METER
- GAS METER
- GAS MARKER
- WATER METER
- PIPE FND.
- UTILITY POLE
- GUY ANCHOR
- SPOT ELEVATION
- B.L.
- D.E.
- P.U.E.

LOT 4
BLOCK 5
BOOK 4
PG. 104

LOT 6
BLOCK 5
BOOK 4
PG. 104



SURVEYOR'S NOTES

() DENOTES RECORD INFORMATION

THIS MAP DOES NOT REFLECT BUILDING REQUIREMENTS WHICH MAY BE IMPOSED BY THE LOCAL GOVERNING AUTHORITY OR HOME OWNER'S ASSOCIATION.

THIS LOT IS SUBJECT TO ALL EASEMENT RIGHTS AND/OR CONDITIONS WHICH MAY APPEAR ON THE PLAT OF RECORD.

ALL POINTS DOES NOT MAKE OR WARRANT ANY FLOOD ZONE DETERMINATION.

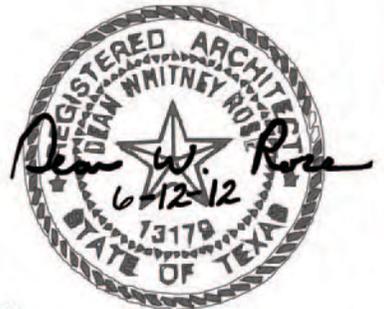
3301 BRYKER DRIVE
(50' R.O.W.)



NEW CONSTRUCTION

IMPERVIOUS CALCULATIONS

LOT AREA =	8,243	S.F.
ORIGINAL FOOTPRINT =	1,567	S.F.
ORIGINAL IMPERVIOUS COVER =	2,754	S.F.
NEW FOOTPRINT =	2,340	S.F.
DRIVEWAY =	397	S.F.
WALKWAYS =	206	S.F.
UNCOVERED PATIO =	442	S.F.
COVERED PATIO =	186	S.F.
A/C PAD =	8	S.F.
NEW IMPERVIOUS COVER =	3,579	S.F.
IMPERVIOUS % =	43.4%	
(45% ALLOWED)		



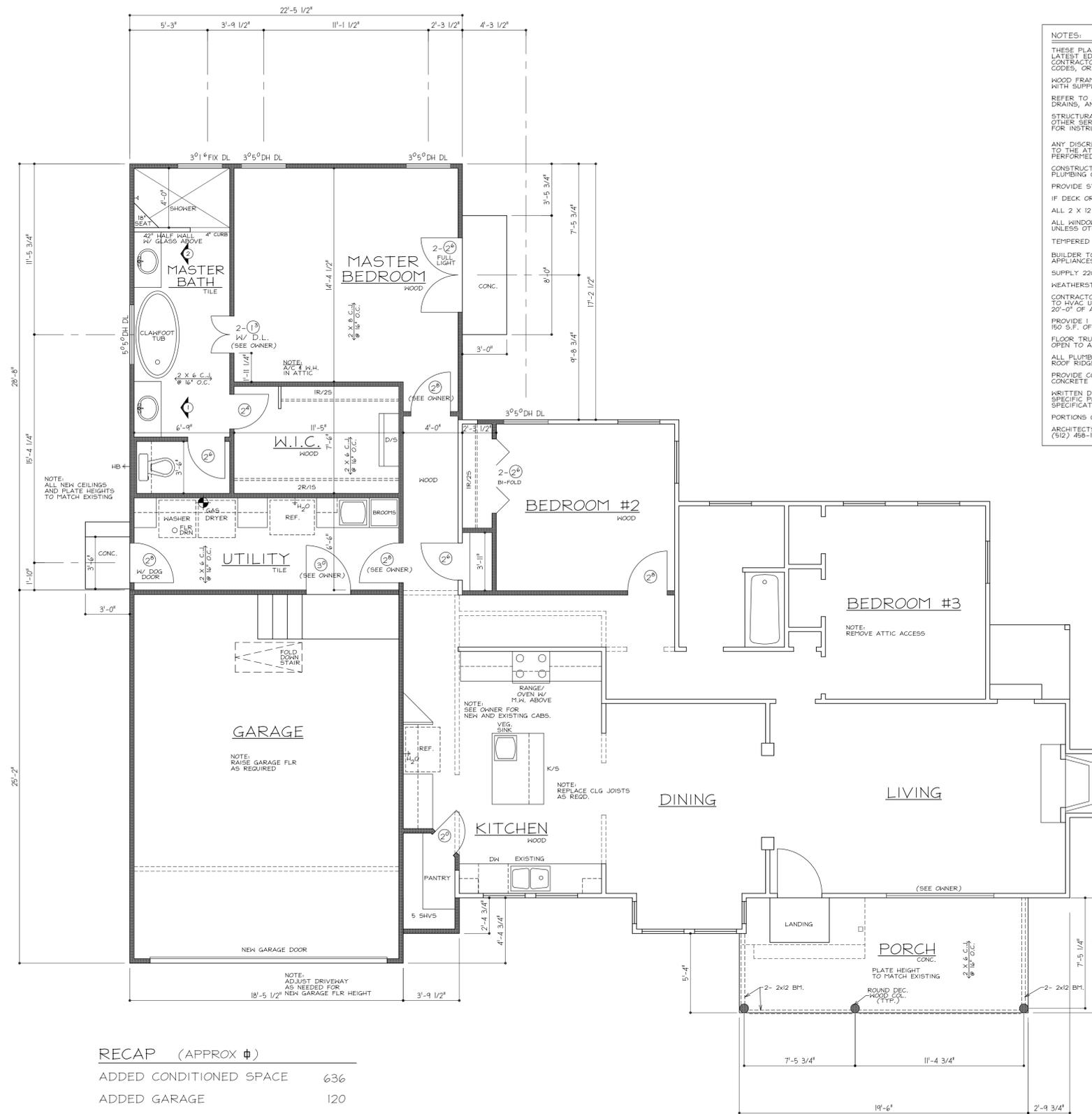
*** IMPORTANT NOTICE ***

THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND DEPICTS ONLY THOSE BOUNDARIES, EASEMENTS AND BUILDING LINES SHOWN ON THE RECORDED PLAT. BOUNDARY AMENDMENTS, ADDITIONAL EASEMENTS AND SETBACKS MAY AFFECT LOT 5.

AT STAKE OUT, BEFORE PROCEEDING WITH ANY OTHER WORK, SUCH AS ORDERING MATERIALS, THE CONTRACTOR AND/OR SUB-CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND MEASUREMENTS, LOCATIONS OF ALL LOT LINES, EASEMENTS, BUILDING SET-BACK LINES INCLUDING SIDE AND REAR YARD REQUIREMENTS (WHETHER SHOWN OR NOT ON DRAWINGS); AND SHALL BE RESPONSIBLE FOR THEIR CORRECTNESS.

NOTE: "BUILDER'S PLANS"

THE CONTRACTOR WARRANTS TO PFA DESIGN GROUP THAT HE/SHE POSSESSES THE PARTICULAR COMPETENCE AND SKILL IN CONSTRUCTION NECESSARY TO BUILD THIS PROJECT. THE CONTRACTOR OR OWNER HAS RESTRICTED PFA DESIGN GROUP SCOPE OF PROFESSIONAL SERVICES. IN RELIANCE ON THE CONTRACTOR'S WARRANTY AND AT THE EXPRESS REQUEST OF THE CONTRACTOR OR OWNER, PFA DESIGN GROUP HAS UNDERTAKEN A LIMITED SCOPE OF PROFESSIONAL SERVICES. THE CONSTRUCTION DOCUMENTS PROVIDED BY THE LIMITED SERVICES SHALL BE TERMED "BUILDER'S PLANS" IN RECOGNITION OF THE CONTRACTOR'S SOPHISTICATION. CONSTRUCTION WILL REQUIRE THAT THE CONTRACTOR ADAPT THE "BUILDER'S PLANS" TO THE FIELD CONDITIONS ENCOUNTERED AND MAKE LOGICAL ADJUSTMENT IN FIT, FORM, DIMENSION, AND HE/SHE TAKES FULL RESPONSIBILITY. IN THE EVENT THAT ADDITIONAL DETAIL OR GUIDANCE IS NEEDED BY THE CONTRACTOR OR OWNER FOR CONSTRUCTION OF ANY ASPECT OF THE PROJECT, HE/SHE SHALL IMMEDIATELY NOTIFY PFA DESIGN GROUP. FAILURE TO GIVE A NOTICE SHALL RELIEVE PFA DESIGN GROUP OF RESPONSIBILITY FOR THE CONSEQUENCES. ANY DISCREPANCY OR AMBIGUITY DISCOVERED BY THE USE OF THESE PLANS SHALL BE REPORTED IMMEDIATELY TO THE BUILDER AND CHANGES MADE FROM THE PLANS WITHOUT THE CONSENT OF PFA DESIGN GROUP ARE UNAUTHORIZED AND SHALL RELIEVE PFA DESIGN GROUP OF RESPONSIBILITY FOR ALL CONSEQUENCES ARISING OUT OF SUCH CHANGES.



NOTES:

THESE PLANS AND SPECIFICATIONS ARE INTENDED TO MEET LATEST EDITION INTERNATIONAL RESIDENTIAL CODE. CONTRACTOR TO COMPLY WITH ALL LOCAL CODES, ORDINANCES, AND DEED RESTRICTIONS.

WOOD FRAMING, NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION WITH SUPPLEMENT, LATEST EDITION.

REFER TO ARCHITECTURAL DRAWINGS FOR FLOOR ELEVATIONS, SLOPES, DRAINS, AND LOCATIONS OF DEPRESSED AND ELEVATED FLOOR AREAS.

STRUCTURAL SERIES DRAWINGS SHALL BE COMPARED WITH DRAWINGS OF OTHER SERIES. DIFFERENCES SHALL BE REFERRED TO THE ARCHITECT FOR INSTRUCTION.

ANY DISCREPANCIES IN CONTRACT DOCUMENTS TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO WORK BEING PERFORMED OR MATERIALS BEING ORDERED.

CONSTRUCTION SHALL COMPLY WITH THE UNIFORM MECHANICAL AND PLUMBING CODES AND THE NATIONAL ELECTRICAL CODE, LATEST EDITIONS.

PROVIDE STEPS TO GRADE AS REQUIRED.

IF DECK OR PATIO IS MORE THAN 30" ABOVE GRADE PROVIDE GUARDRAIL.

ALL 2 X 12 BEAMS SHALL HAVE 1/2" CONTINUOUS PLYMD.

ALL WINDOWS WILL BE DIMENSIONED TO ROUGH OPENINGS, UNLESS OTHERWISE NOTED. GLASS SIZE PER MFR. SPECS.

TEMPERED GLASS TO BE USED IN ALL LOCATIONS AS REQUIRED BY CODE.

BUILDER TO VERIFY SIZES AND LOCATION OF ALL APPLIANCES & RELATED COMPONENTS.

SUPPLY 220V AND 110V OR GAS AND 110V TO HVAC UNIT(S) IN ATTIC (REF. SPECS).

WEATHERSTRIP ATTIC ACCESS DOOR(S).

CONTRACTOR TO PROVIDE A 3/4" PLYWOOD CATWALK FROM ATTIC ACCESS TO HVAC UNITS (IF APPLICABLE). UNITS TO BE LOCATED WITHIN 20'-0" OF ACCESS.

PROVIDE 1 S.F. NET FREE AREA OF ATTIC VENTILATION PER 150 S.F. OF TOTAL COVERED ROOF AREA AS PER CODE.

FLOOR TRUSS AREA TO BE DRAFT STOPPED WHERE TRUSSES OPEN TO ATTIC SPACE.

ALL PLUMBING & APPLIANCE VENTS TO VENT TO REAR OF ROOF RIDGE WHEREVER POSSIBLE.

PROVIDE CONTROL AND EXPANSION JOINTS AS REQUIRED ON CONCRETE DRIVES, WALKS, AND PATIOS.

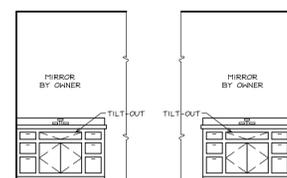
WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS, SPECIFIC PLAN INFORMATION TAKES PRECEDENCE OVER GENERAL SPECIFICATIONS AND DETAILS.

PORTIONS OF THIS WORK MAY NOT HAVE BEEN DONE BY A REGISTERED ARCHITECT.

ARCHITECTS ARE GOVERNED BY THE TEXAS BOARD OF ARCHITECTURAL EXAMINERS, (SIC) 498-1363.

RECAP (APPROX Φ)

ADDED CONDITIONED SPACE	636
ADDED GARAGE	120
ADDED FRONT PORCH	150



○ MASTER BATH ○ MASTER BATH

FLOOR PLAN

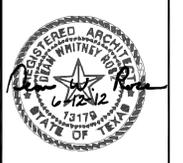
SCALE: 1/4" = 1' - 0"

— DENOTES NEW CONSTRUCTION
 = DENOTES EXISTING WALL
 - - - - - DENOTES WALL TO BE REMOVED

THESE PLANS ARE THE PROPERTY OF PFA DESIGN GROUP, INC. AND SHALL NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM. WITHOUT THE WRITTEN PERMISSION OF PFA DESIGN GROUP, INC. ALL RIGHTS ARE RESERVED. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE JOB SITE PRIOR TO CONSTRUCTION. PFA DESIGN GROUP, INC. SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THESE PLANS.

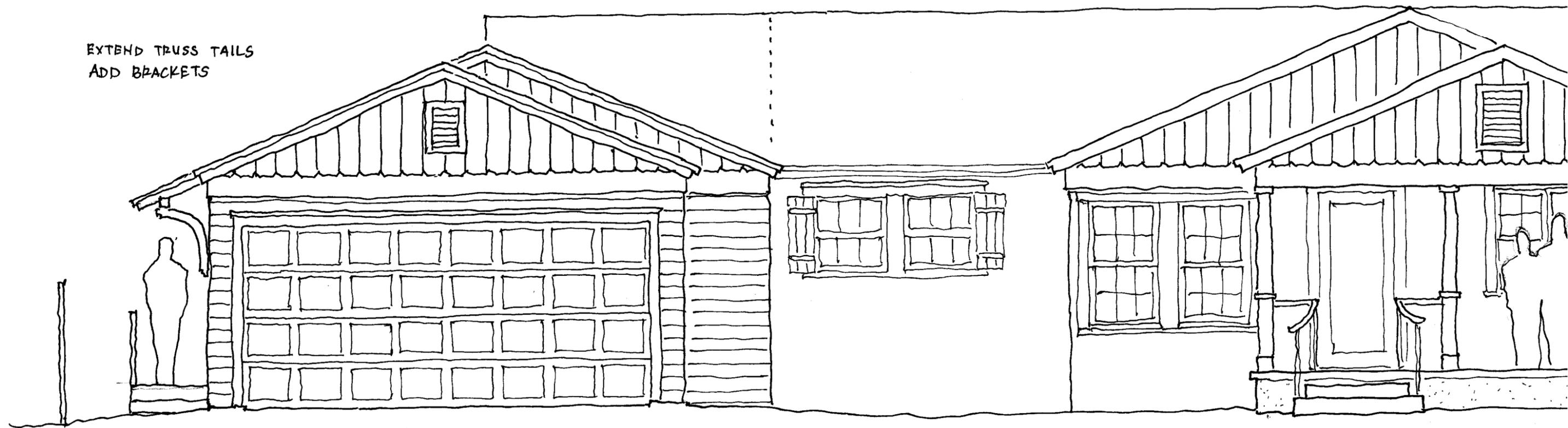
5511
 Parkcrest Drive
 Suite 102
 Austin, Texas 78731
 (512)328-2209

The PFA Design Group
 ARCHITECTS AND PLANNERS



PLAN
 BROWNE
 3301 BRYKER
 SHEET
A-1
 OF 3

EXTEND TRUSS TAILS
ADD BRACKETS



TYP. B.W.
CONC PORCH

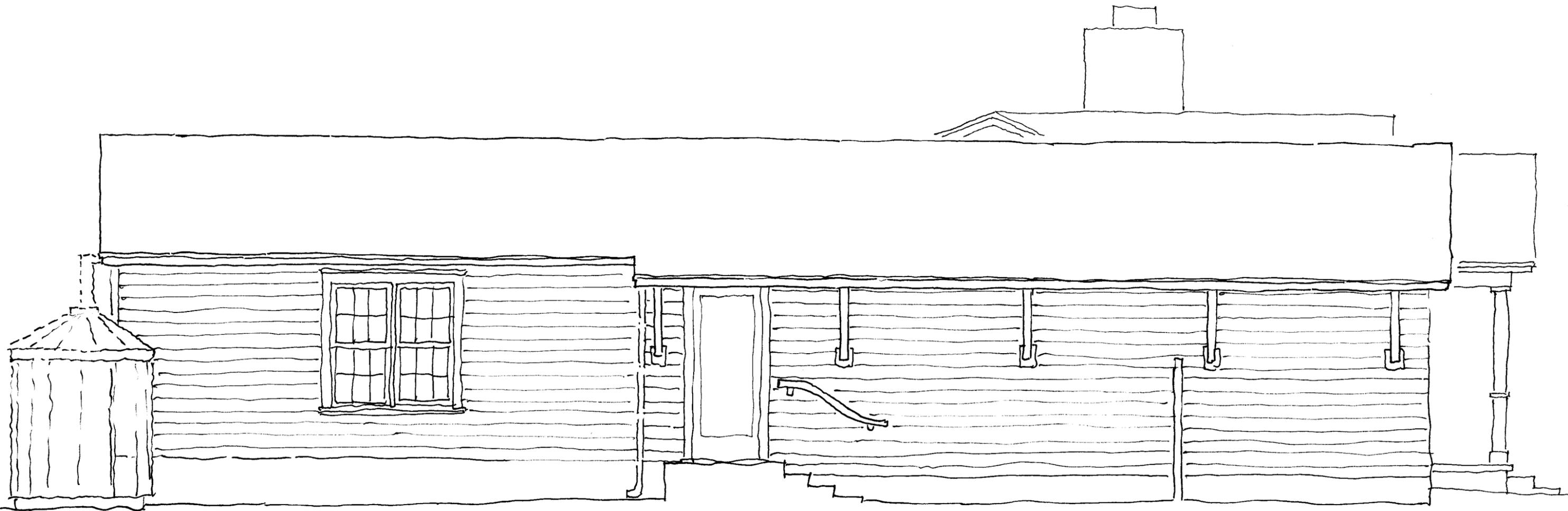
HANDRAIL
PER OWNERS



TYP. B.W.
CONC PORCH

HANDRAIL
PER OWNERS

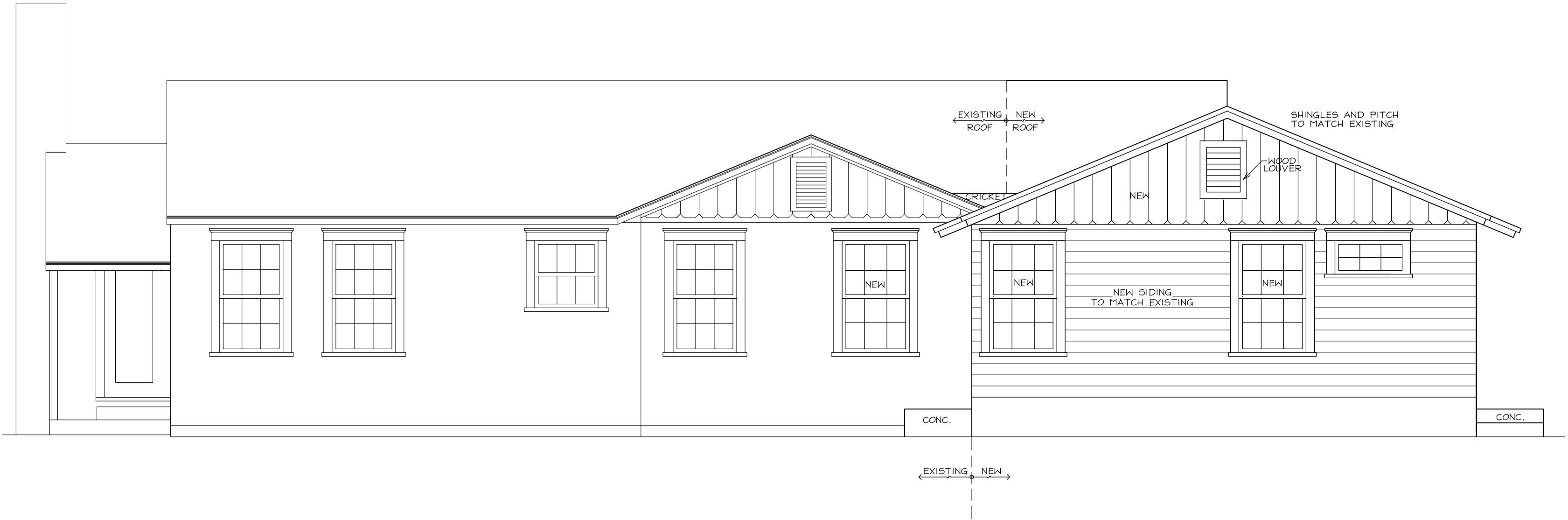
TURNCRAFT
COLONIAL RHD
COL ✓/ PED. BASE



FUTURE
CISTERN ?

PROVIDE D.S
& SWALE TO
CONTROL RUNOFF

FIVE BRACKETS



REAR ELEVATION

SCALE:

SCALE: 1/4" = 1' - 0"



RIGHT SIDE ELEVATION

SCALE:

1/4" = 1' - 0"