

**HISTORIC LANDMARK COMMISSION**  
**JULY 30, 2012**  
**NATIONAL REGISTER HISTORIC DISTRICT**  
**NRD-2012-0087**  
**Rainey Street**  
**73 Rainey Street**

**PROPOSAL**

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Demolish a 512 sq. ft. rear addition and construct a new 700 sq. ft. addition on a c. 1914 house.

**PROJECT SPECIFICATIONS**

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The existing c. 1914 house is an approximately 1,220 sq. ft., one-story, Greek Revival cottage with a pyramidal roof form and partial width, inset front porch. The house has minimal Greek Revival details, such as the slender, un-fluted columns and simple frieze trim under the eaves. There are two entry doors from the front porch and two double-hung, wood windows on the façade. The porch has a low railing with turned spindles and the house is sided with narrow, drop siding, and has a composition shingle roof.

The applicant proposes to demolish a rear addition that appears to not be original to the house and construct a 700 sq. ft. side addition. The applicant further proposes to restore original features of the house, including the drop siding, and porch railings. The side addition as presented is a flat roofed structure with a parapet to shield proposed rooftop equipment. The proposed exterior finishes for the addition are antique brick veneer on the facade and rear walls, and hardi-plank siding on the side wall. The façade of the addition as shown features a large, multi-paned window. The proposal also includes a deck on the rear of the house with a canopy and an accessibility ramp on the side of the house.

**STANDARDS FOR REVIEW**

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The existing property is listed as contributing to the Rainey Street National Register Historic District. The Rainey Street National Register Historic District has no specific design guidelines for rehabilitation and additions. Applicable general design review guidelines state:

- The distinguishing original qualities or character of a property and its environment shall not be destroyed. Removal or alteration of any historic material or distinctive architectural features should be avoided.
- All properties shall be recognized as products of their own time. Alterations which have no historical basis and which seek to create an earlier appearance shall be discouraged.
- Changes which have taken place in the course of time may have acquired significance in their own right, and shall be recognized and respected.
- Distinctive stylistic features or examples of skilled craftsmanship which characterize a property shall be treated with sensitivity.
- Deteriorated architectural features shall be repaired rather than replaced whenever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture, and other visual

qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historical, physical, or pictorial evidence.

- Contemporary design for alterations and additions to existing properties are appropriate when such alterations and additions do not destroy significant historic, architectural, or cultural material and are compatible with the size, scale, color, material, and character of the property, neighborhood, or environment.
- Whenever, possible, new additions or alterations to structures shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the structure would not be impaired.
- The installation of protective or code-required mechanical systems shall be concealed whenever possible so as not to intrude upon or detract from the property's aesthetic and historical qualities except where concealment would result in the alteration or destruction of historically significant materials or spaces.

The rehabilitation of the original architectural materials and features of the house meets the general design guidelines, however the design and materials proposed for the addition are commercial in nature and are not compatible with the historic character of the house, nor the Rainey Street Historic District. Use of siding materials and building forms that reference the residential historic character would be more appropriate.

**STAFF RECOMMENDATION**

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Release the building permit with the recommendation that the applicant work with staff to redesign the addition to have a more compatible appearance.

**PHOTOS**

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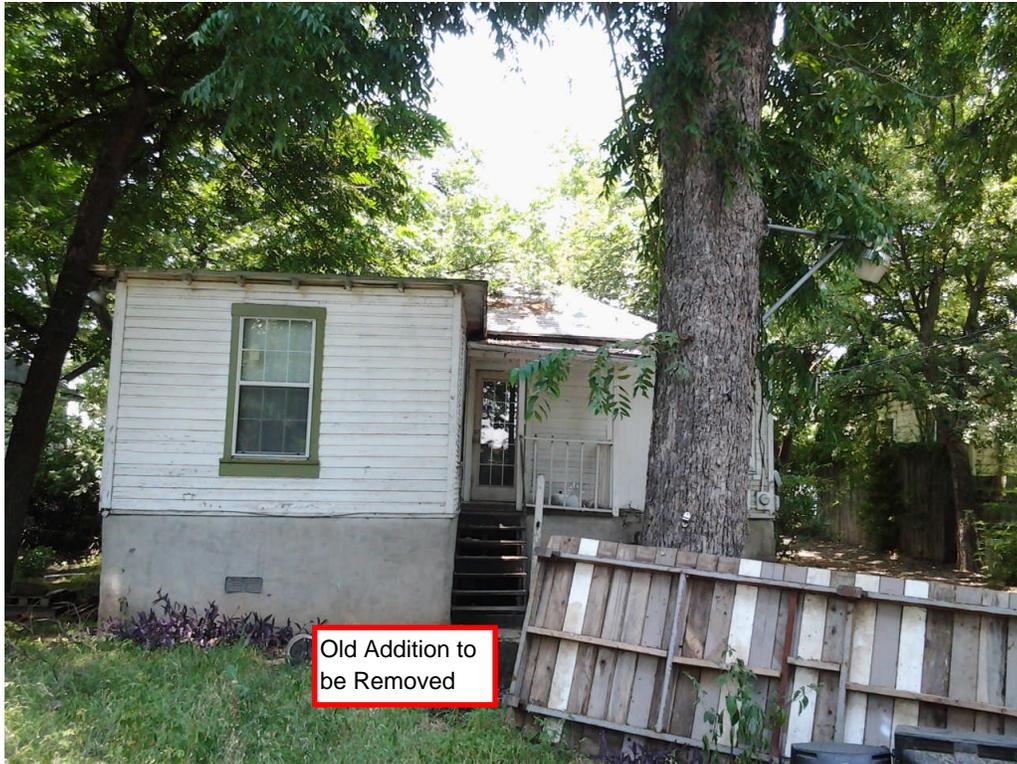
See next page.



**Picture 1 – Front facing Rainey Street**



**Picture 2 – North Face of Existing**



Old Addition to be Removed

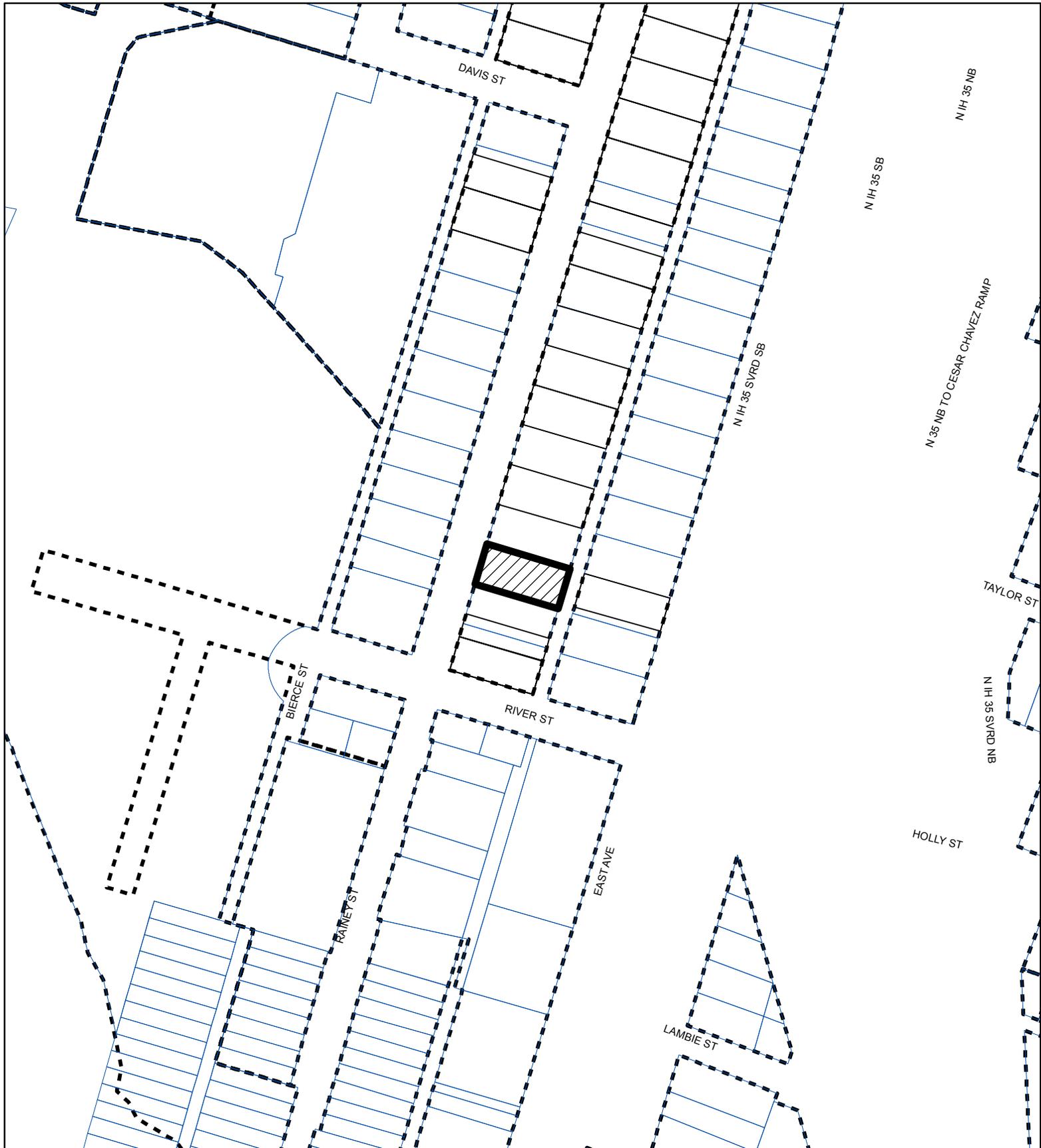
Picture 3 – Rear of Building Facing Alley



Original Building to Remain

Old Addition to be Removed

Picture 4 – South Face of Building



SUBJECT TRACT



ZONING BOUNDARY

CASE#: NRD-2012-0087  
 LOCATION: 73 Rainey Street



This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

This product has been produced by the Planning and Development Review Department for the sole purpose of geographic reference. No warranty is made by the City of Austin regarding specific accuracy or completeness.

*RAINEY STREET*  
(60' R.O.W.)

FACE OF CURB

GRASSY AREA

WEST PROPERTY LINE 60.83'

UTILITY POLE

WAITING BENCH

WAITING BENCH

WAITING BENCH

LOT 16

NORTH PROPERTY LINE 128.00'

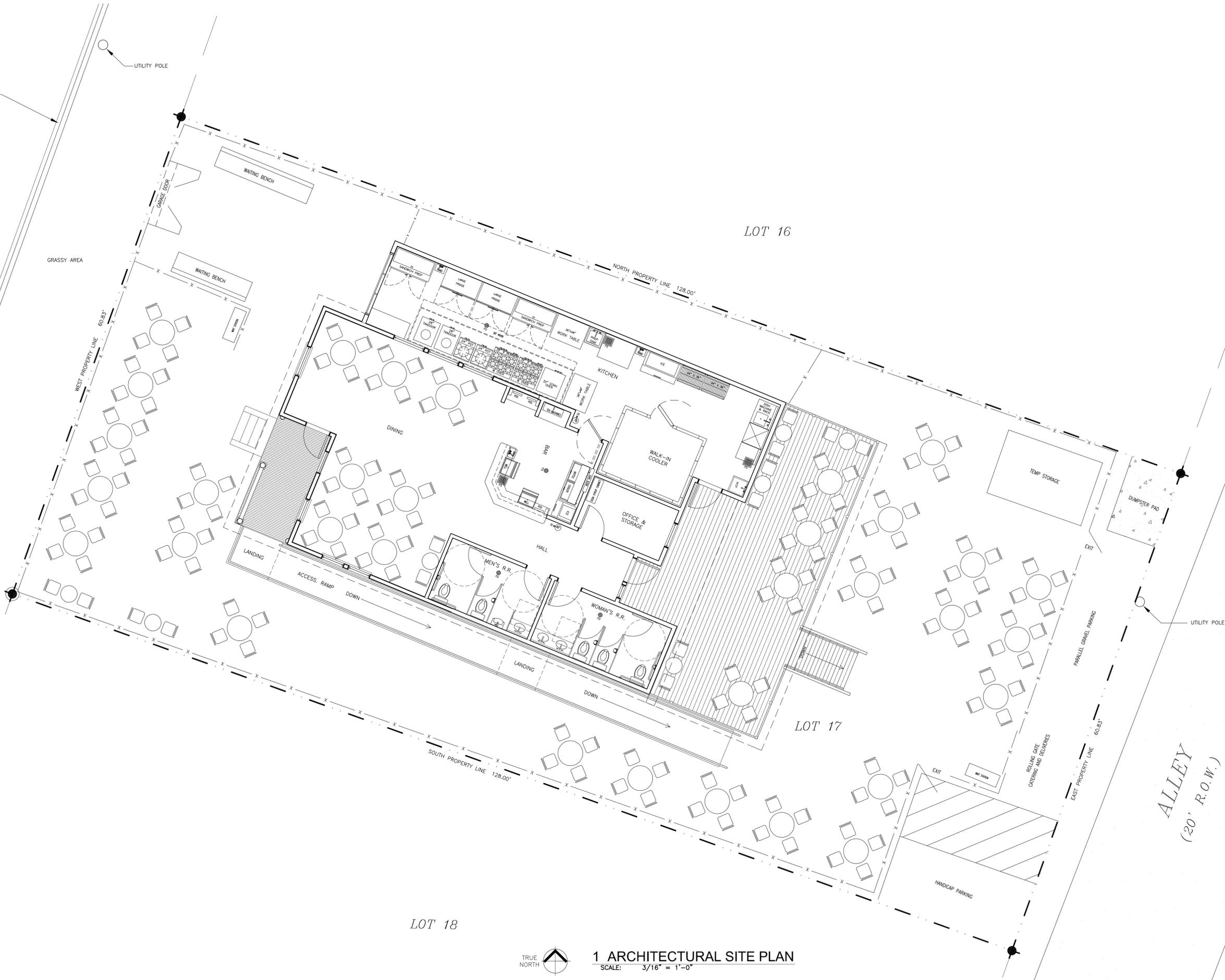
SOUTH PROPERTY LINE 128.00'

LOT 17

LOT 18

*ALLEY*  
(20' R.O.W.)

UTILITY POLE



**1 ARCHITECTURAL SITE PLAN**  
SCALE: 3/16" = 1'-0"

**SCHEMATIC DESIGN**  
6-20-2012  
**NOT FOR CONSTRUCTION**

**LOC**onsultants  
Civil, Structural and Environmental Engineers  
1000 E. CESAR CHAVEZ ST. STE. 100 PH. (512) 499-0908  
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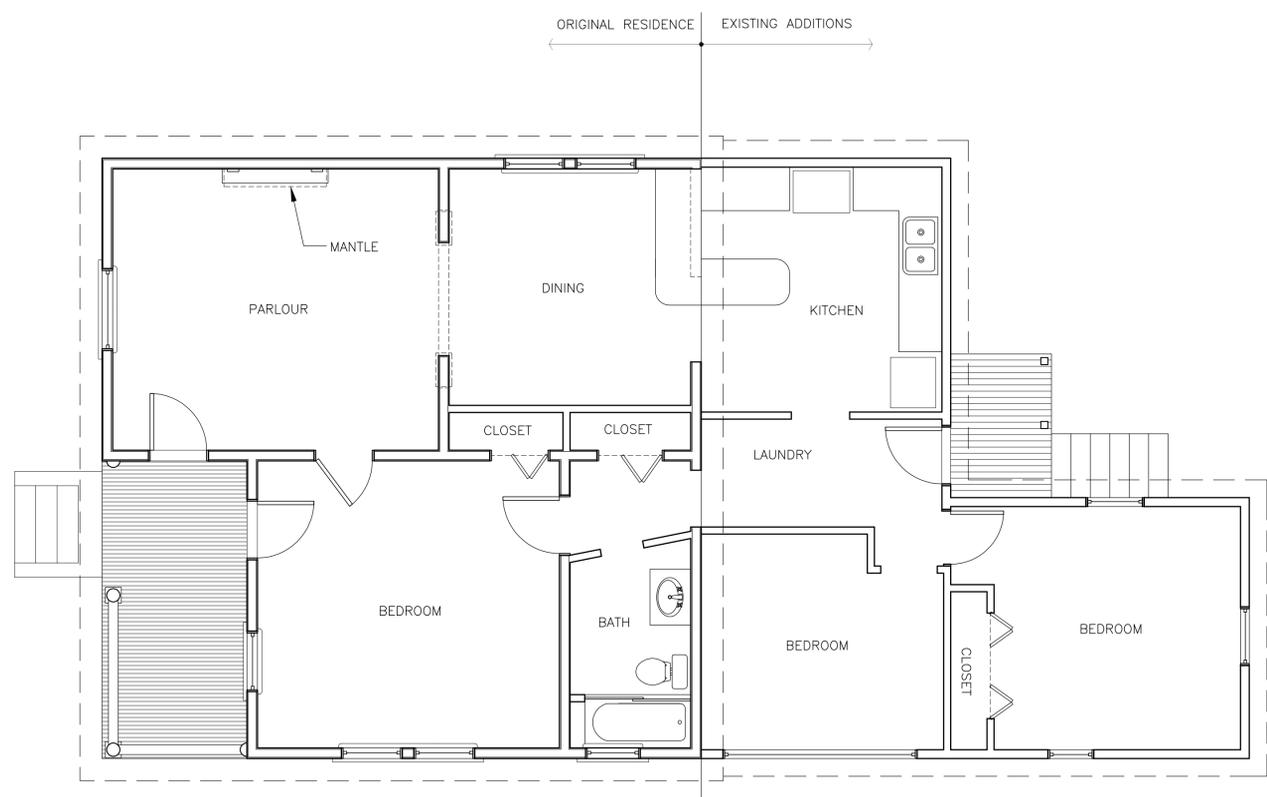
**SIDNEY ROBERTS**  
73 RAINEY STREET  
AUSTIN, TX. 78701  
(218) 260-1912

**G' RAJ MAHAL**  
73 RAINEY STREET  
AUSTIN, TX. 78701

ARCHITECTURAL  
SITE PLAN

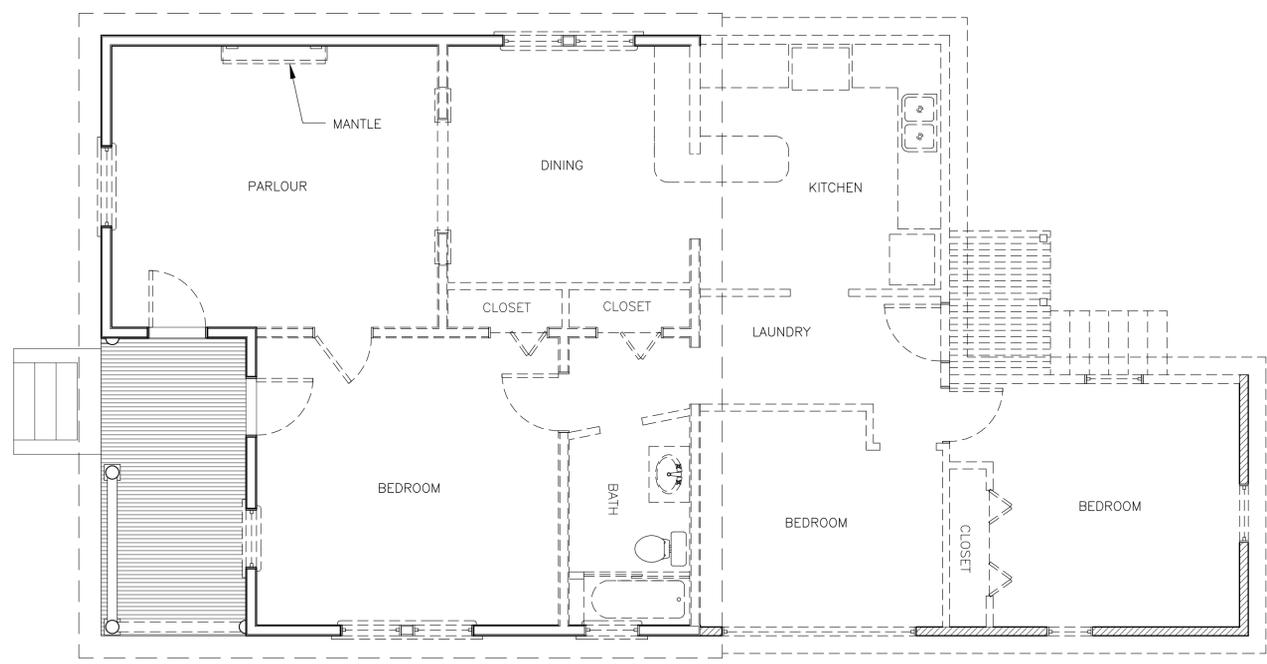
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CHECKED BY: TO  
REVISIONS:

**A-101**



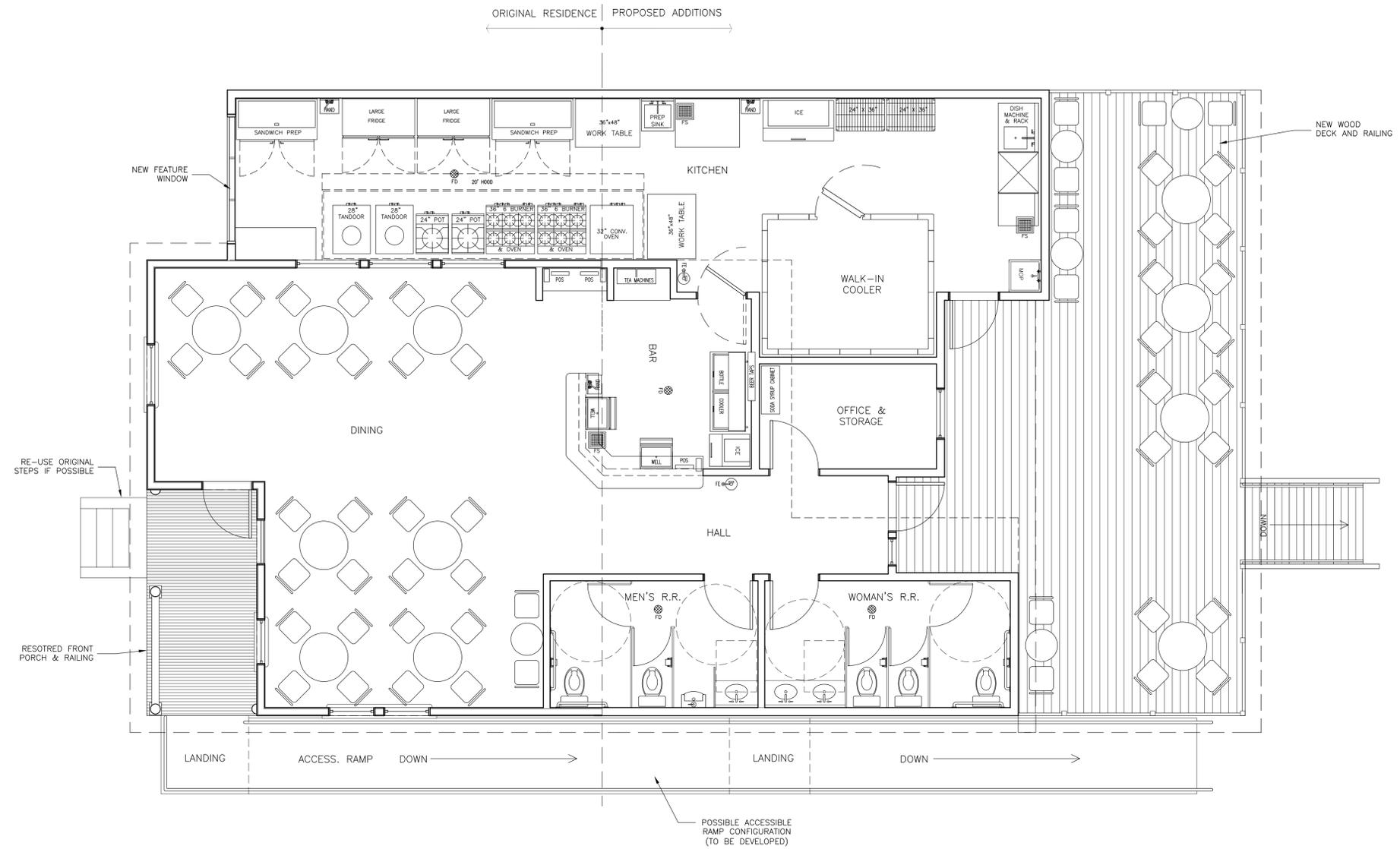
PLAN NORTH  
**2 EXISTING FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"

LEGEND	
ORIGINAL WALLS TO REMAIN	=====
WALL FRAMING TO REMAIN	=====
ITEMS TO BE DEMOLISHED	-----



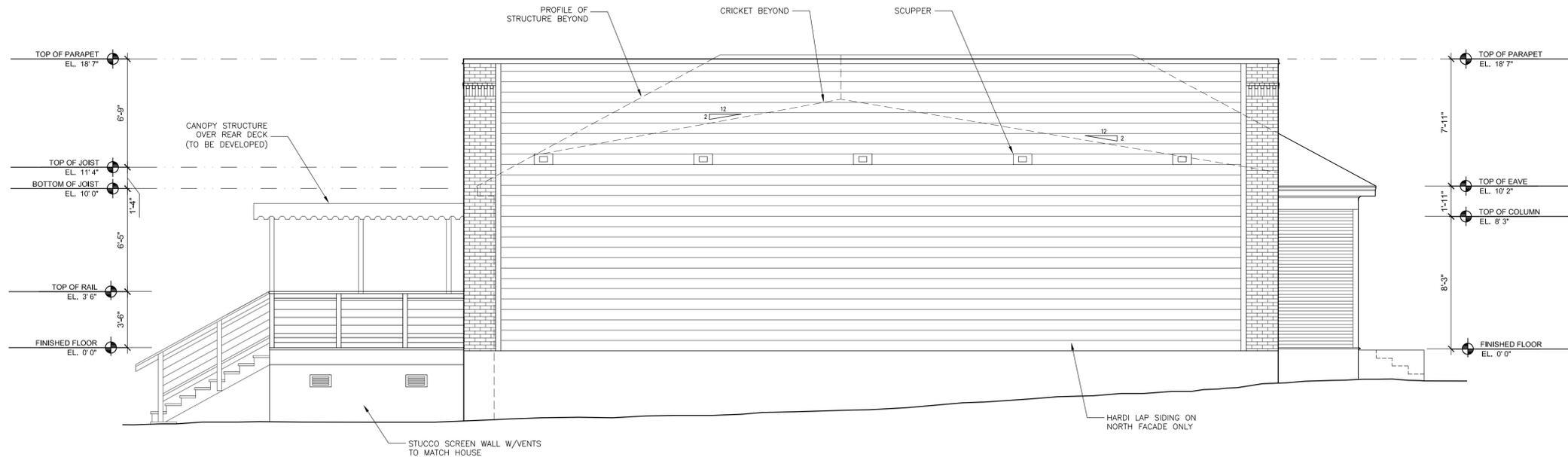
PLAN NORTH  
**1 DEMOLITION PLAN**  
 SCALE: 1/4" = 1'-0"

**SCHEMATIC DESIGN**  
 6-20-2012  
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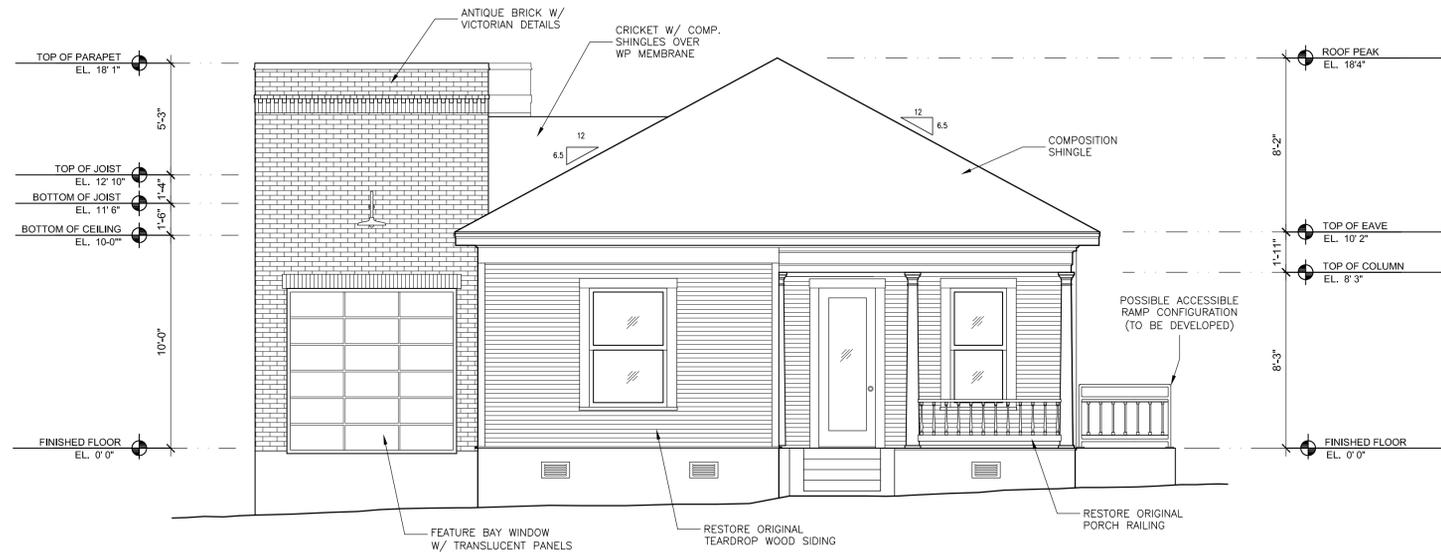


**SCHEMATIC DESIGN**  
6-20-2012  
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**2 NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**1 WEST ELEVATION**  
SCALE: 1/4" = 1'-0"

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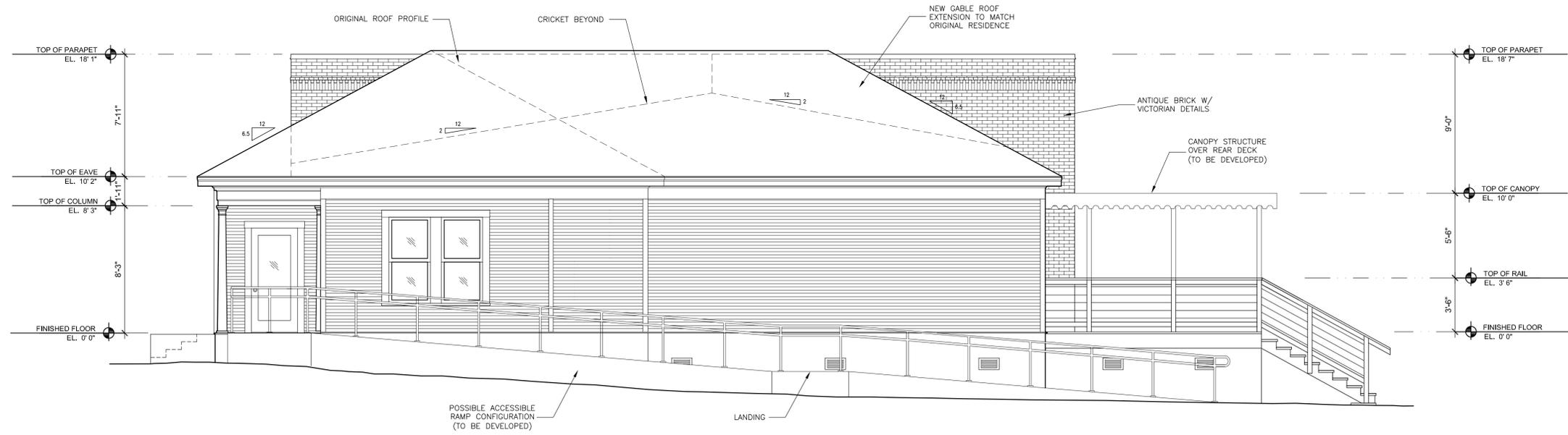
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EXTERIOR  
ELEVATIONS

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REVISIONS:

**A-201**



1. SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"



1. EAST ELEVATION  
SCALE: 1/4" = 1'-0"