

**HISTORIC LANDMARK COMMISSION  
DECEMBER 17, 2012  
NATIONAL REGISTER HISTORIC DISTRICT  
NRD-2012-0139  
Old West Austin  
1712 W. 29th Street**

**PROPOSAL**

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Demolish existing attached garage and construct a new attached two-story garage and carport.

**PROJECT SPECIFICATIONS**

The existing house was constructed c. 1941. It is a two-story, wood frame house with a side gable roof. The front elevation has a partial width, inset, two-story porch with squared columns. There are multiple pairs of 6:6, double-hung windows with shutters. There is an existing, flat-roofed, attached garage set far back from the front elevation.

The applicant proposes to demolish the existing garage and construct a new two-story, attached garage with living space on the second floor. The addition will be set back as far from the front elevation as the existing garage, and will have a front facing gable roof with a ridge height that is lower than the main house. The windows and siding materials will match those on the original house. There will also be carport constructed in front of the new addition with a roof supported by columns similar to those on the two-story front porch.

**STANDARDS FOR REVIEW**

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The house is listed as contributing to the Old West Austin National Register Historic District. Applicable general design review guidelines state:

- The distinguishing original qualities or character of a property and its environment shall not be destroyed. Removal or alteration of any historic material or distinctive architectural features should be avoided.
- All properties shall be recognized as products of their own time. Alterations which have no historical basis and which seek to create an earlier appearance shall be discouraged.
- Changes which have taken place in the course of time may have acquired significance in their own right, and shall be recognized and respected.
- Distinctive stylistic features or examples of skilled craftsmanship which characterize a property shall be treated with sensitivity.
- Contemporary design for alterations and additions to existing properties are appropriate when such alterations and additions do not destroy significant historic, architectural, or cultural material and are compatible with the size, scale, color, material, and character of the property, neighborhood, or environment.
- Whenever, possible, new additions or alterations to structures shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the structure would not be impaired.

The two-story addition, set back from the front elevation of the main house, and designed with compatible features and materials, maintains the property's contributing status.

**STAFF RECOMMENDATION**

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Release the permit per the proposed design.

**PHOTO**

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See next page.





# The McCartt Residence

1712 W 29th St, Austin, TX 78703

#### BUILDER:

Jeff Turner Homes  
1400 Chisholm Trail Suite E  
Round Rock, TX 78661

#### ENGINEER:

T.B.D.

#### CLIENT:

Marty and J McCartt  
1712 W 29th St  
Austin, TX 78703

#### BUILDING DESIGNER:



PROJ. DESIGNER: Ron Van Sickle  
P.O. Box 93003  
Austin, Texas 78709-3003  
Phone/Fax: 512.330.9309

#### NOTE TO CONTRACTORS:

WITHIN 48 HOURS OF YOUR JOB'S COMMENCEMENT,  
YOU MUST CALL 811 OR 800-DIG-TESS BEFORE YOU DIG  
INTO THE SOIL. YOUR PROJECT SITE'S UNDERGROUND  
PIPING AND CABLING WILL BE PROPERLY MARKED ON-SITE,  
FREE OF CHARGE, AND YOU CAN AVOID COSTLY  
(OR DEADLY) REPAIRS.

#### GENERAL NOTES:

ENGINEERING FOR FOUNDATION TO BE PROVIDED BY  
LOCAL ENGINEER

BUILDER TO VERIFY PLANS / SPECIFICATIONS & COMPLY  
TO IRC & LOCAL BUILDING CODES AS REQUIRED.

APPLICABLE CODES:  
2006 INTERNATIONAL ENERGY CONSERVATION CODE  
2008 INTERNATIONAL BUILDING CODE - COMMERCIAL  
CONSTRUCTION  
2006 INTERNATIONAL RESIDENTIAL CODE - RESIDENTIAL  
BUILDING & MECHANICAL CONSTRUCTION  
2003 UNIFORM PLUMBING CODE - RESIDENTIAL &  
COMMERCIAL CONSTRUCTION  
2008 UNIFORM MECHANICAL CODE - COMMERCIAL  
2005 NATIONAL ELECTRICAL CODE - ALL  
ELECTRICAL INSTALLATIONS



BUILDER TO VERIFY PLANS AND SPECIFICATIONS AND COMPLY  
WITH IRC AND LOCAL BUILDING CODES AS REQUIRED

INDEX OF SHEETS	
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D1.0	EXISTING FLOOR PLANS
D2.0	EXISTING EXT. ELEVATIONS
A1.0	FIRST FLOOR PLAN
A1.1	SECOND FLOOR PLAN
A2.0	EXTERIOR ELEVATIONS
A2.1	EXTERIOR ELEVATIONS
A3.0	ROOF SCHEMATIC

#### COVER SHEET

SHEET  
**CVR**  
1 of 9

Scale: 1/4" = 1'-0" unless noted otherwise

The McCartt Residence  
1712 W 29th St, Austin, TX 78703

Revisions:  
PRELIM 6-28-12 RVS  
CITY 11-30-12 RVS  
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CDS12.0024 McCartt

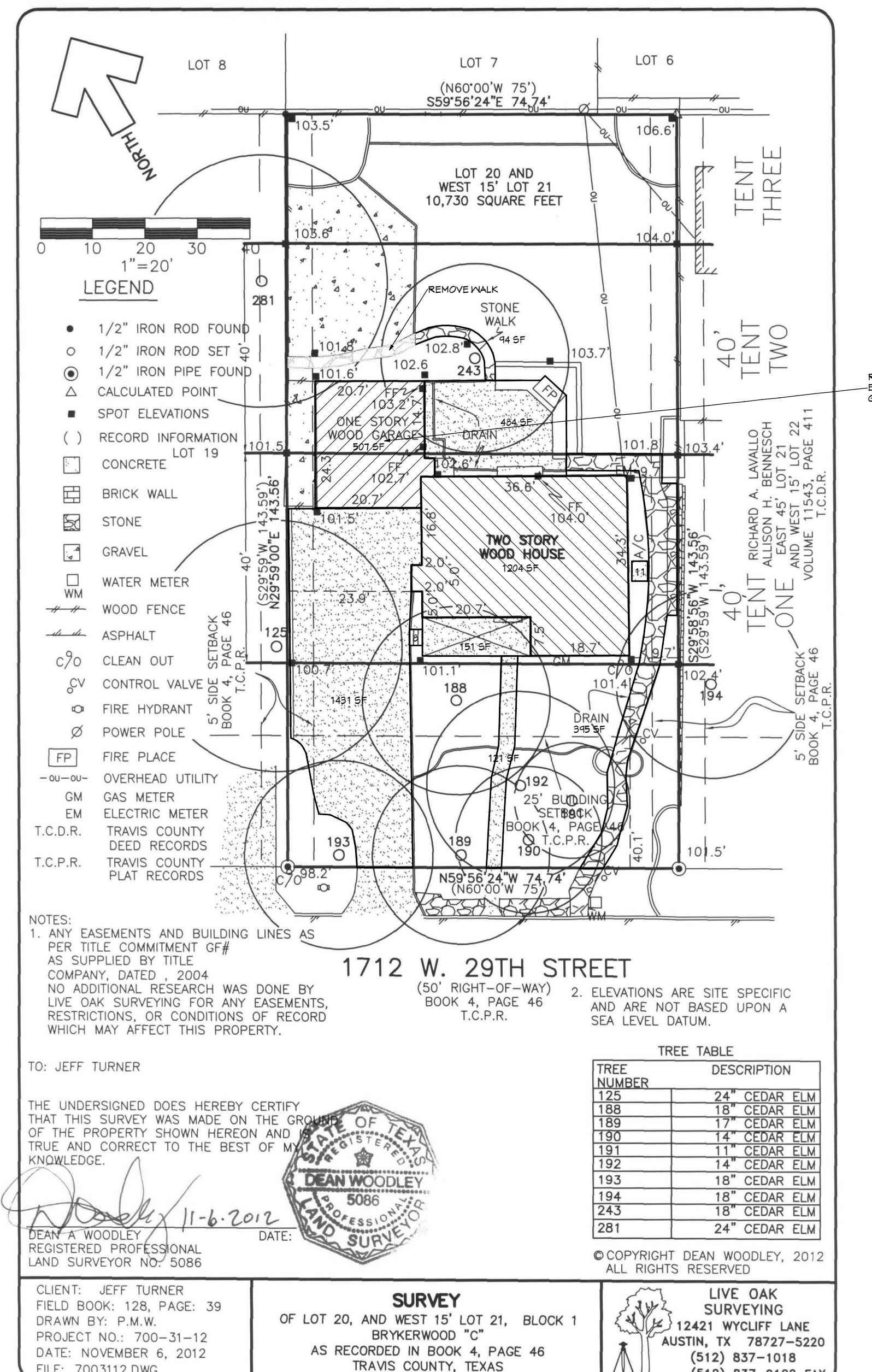
CUSTOM DESIGN SERVICES  
SUSTAINABLE BUILDING DESIGN  
P.O. Box 93003, Austin, TX 78709-3003  
Phone and Fax: 512.330.9309 www.CDShomeDesign.com  
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The McCant Residence  
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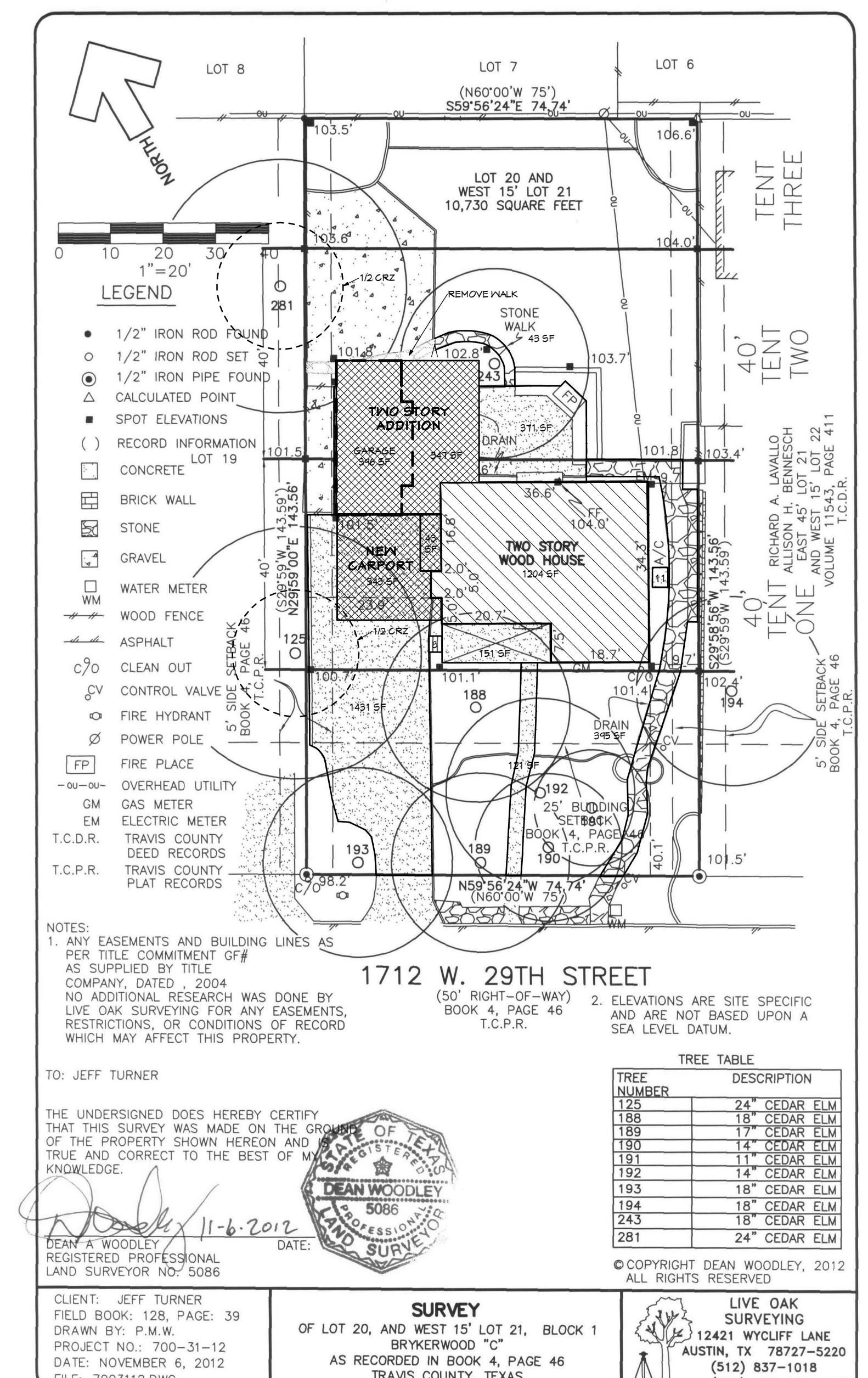
**Revisions:**  
PRELIM 6-28-12 RVS  
CITY 11-30-12 RVS  
  
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**EXISTING SITE PLAN**  
Scale: 1/4" = 1'-0" unless noted otherwise

**SHEET**  
S1.0  
2 of 9

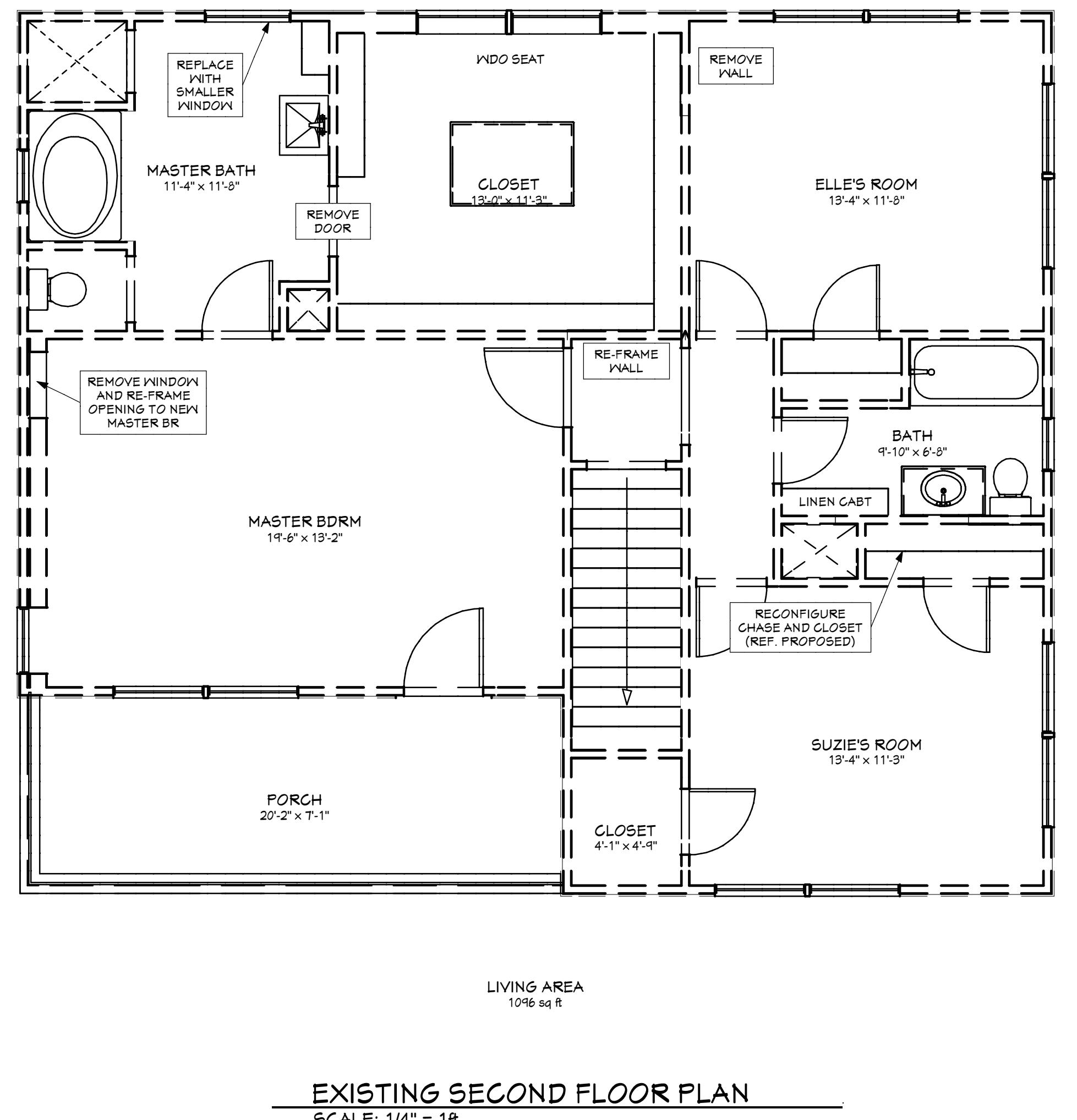
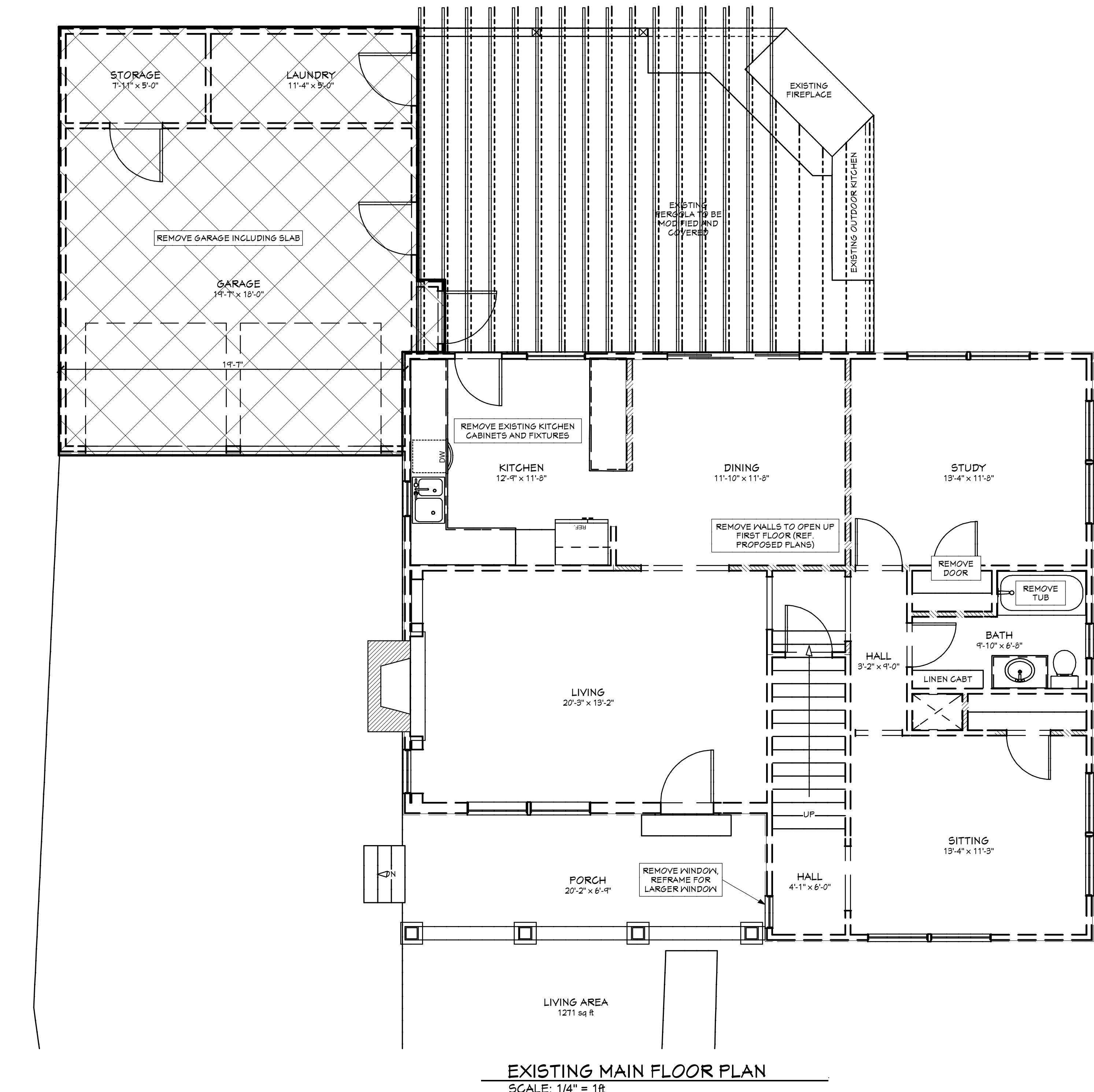


**EXISTING SITE PLAN**  
SCALE: 1" = 20ft



**PROPOSED SITE PLAN**  
SCALE: 1" = 20ft

BUILDER TO VERIFY PLANS AND SPECIFICATIONS AND COMPLY  
WITH IRC AND LOCAL BUILDING CODES AS REQUIRED



## EXISTING FLOOR PLANS

Scale: 1/4" = 1'-0" unless noted otherwise

## The McCatt Residence 1712 W 29th St, Austin, TX 78703

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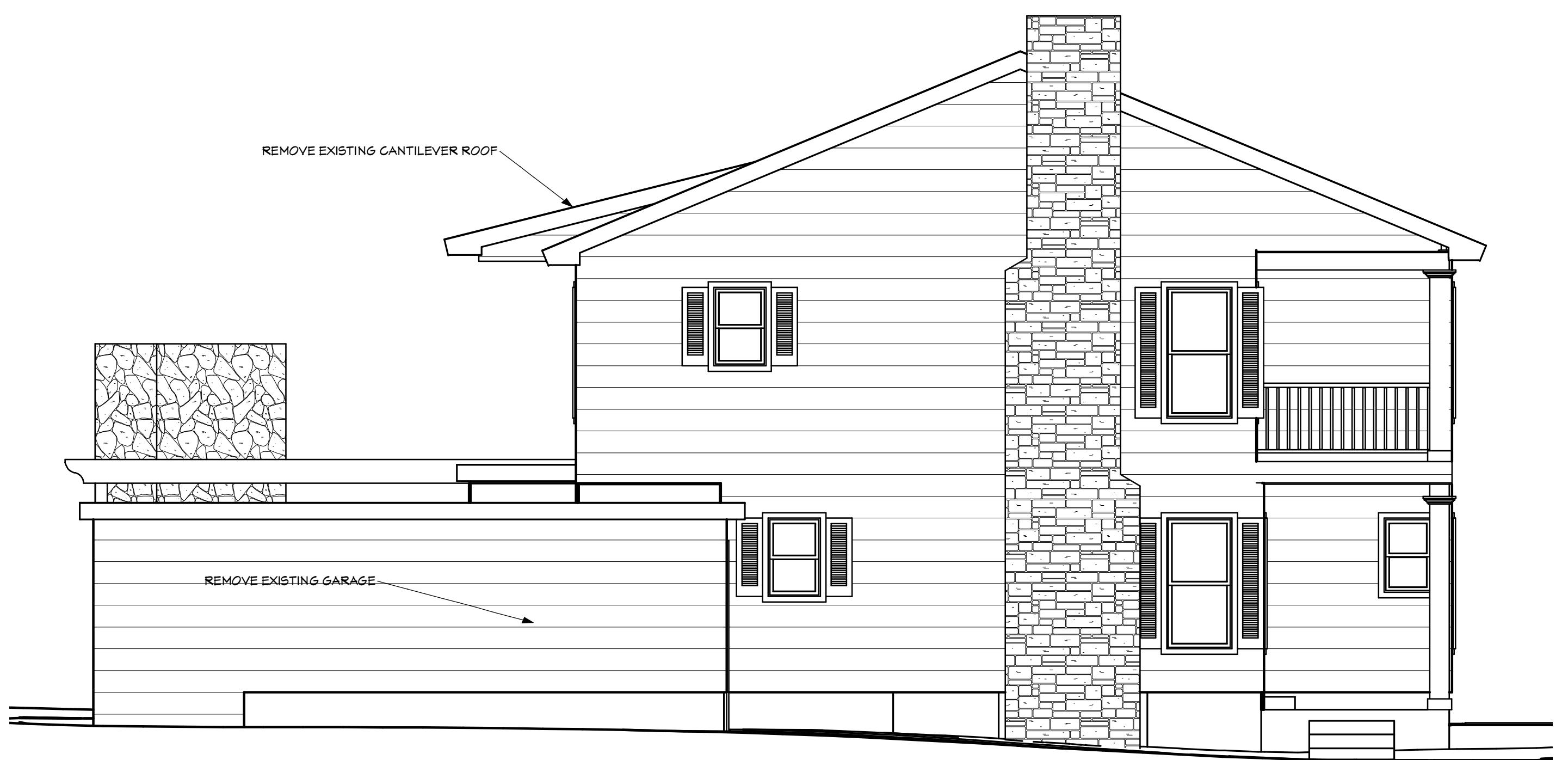
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**D1.0**  
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BUILDER TO VERIFY PLANS AND SPECIFICATIONS AND COMPLY  
WITH IRC AND LOCAL BUILDING CODES AS REQUIRED



EXISTING FRONT ELEVATION

SCALE: 1/4" = 1ft



EXISTING LEFT ELEVATION

SCALE: 1/4" = 1ft



EXISTING REAR ELEVATION

SCALE: 1/4" = 1ft



EXISTING RIGHT ELEVATION

SCALE: 1/4" = 1ft

The McCann Residence  
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**Revisions:**  
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CITY 11-30-12 RVS  
  
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**EXISTING ELEVATIONS**  
Scale: 1/4" = 1'-0" unless noted otherwise

**SHEET**  
**D2.0**  
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BUILDER TO VERIFY PLANS AND SPECIFICATIONS AND COMPLY  
WITH IRC AND LOCAL BUILDING CODES AS REQUIRED

## GENERAL NOTES

ENGINEERING FOR FOUNDATION TO BE PROVIDED BY LOCAL CONTRACTOR

BUILDER TO VERIFY PLANS AND SPECIFICATIONS AND COMPLY WITH IRC AND LOCAL BUILDING CODES AS REQUIRED

APPLICABLE CODES:  
 2006 INTERNATIONAL ENERGY CONSERVATION CODE  
 2003 INTERNATIONAL BUILDING CODE - COMMERCIAL  
 2006 INTERNATIONAL RESIDENTIAL CODE - (RESIDENTIAL & MECH CONST.)  
 2003 UNIFORM PLUMBING CODE (COMMERCIAL AND RESIDENTIAL)  
 2003 UNIFORM MECHANICAL CODE (COMMERCIAL)  
 2005 NATIONAL ELECTRICAL CODE (ALL ELECTRICAL INSTALLATIONS)

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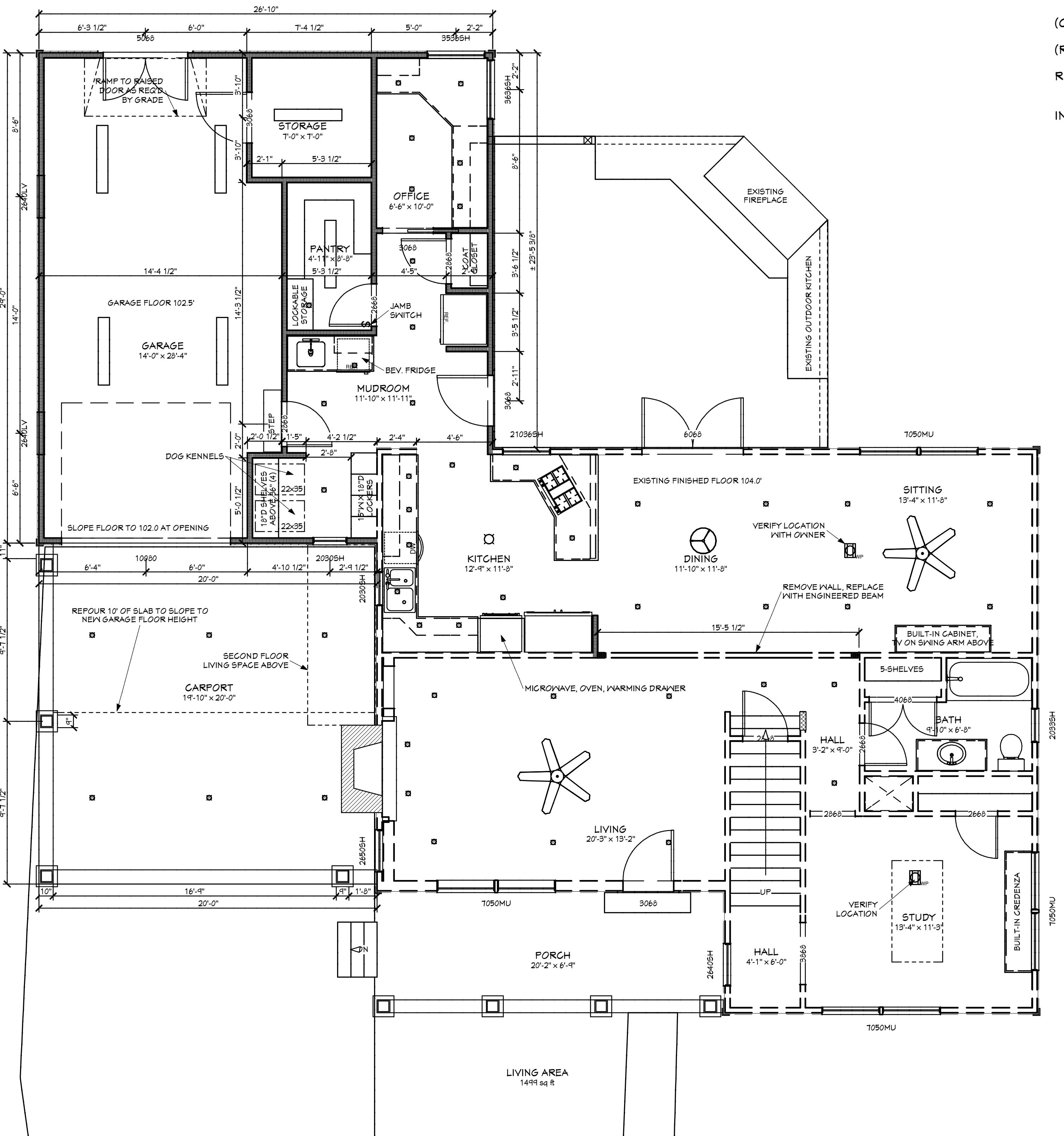
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**1ST FLOOR PLAN**

Scale: 1/4" = 1'-0" unless noted otherwise



**PROPOSED MAIN FLOOR PLAN**  
SCALE: 1/4" = 1'0"

BUILDER TO VERIFY PLANS AND SPECIFICATIONS AND COMPLY WITH IRC AND LOCAL BUILDING CODES AS REQUIRED

## ELECTRICAL LEGEND

- SWITCH
- 3-WAY SWITCH
- 4-WAY SWITCH
- DIMMER SWITCH
- TIMER SWITCH
- 110V DOUBLE-RECEPTACLE
- 220V DOUBLE-RECEPTACLE
- WATERPROOF DOUBLE-RECEPTACLE
- GFCI
- GROUND FAULT CIRCUIT INTERRUPTER DOUBLE-RECEPTACLE
- AFCI
- ARC FAULT CIRCUIT INTERRUPTER DOUBLE-RECEPTACLE
- CABLE OUTLET
- TV OUTLET
- PHONE
- CATEGORY 5 CABLE
- ELECTRICAL PANEL
- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR
- SURFACE MOUNTED CEILING LIGHT FIXTURE
- RECESSED CAN CEILING LIGHT FIXTURE
- WALL MOUNTED LIGHT FIXTURE
- EXHAUST FAN
- OUTDOOR FLOOD LIGHTING
- TRACK LIGHTING
- 40 20 SURFACE MOUNTED FLUORESCENT LIGHTING
- 40 10 FLUOR. LT.
- CEILING FAN

### NOTE:

BUILDER TO VERIFY PLANS & SPECIFICATIONS & COMPLY TO IRC & LOCAL BUILDING CODES AS REQUIRED.

### GENERAL ELECTRICAL NOTES:

- 1.0 ALL WORK DONE UNDER THIS SECTION SHALL COMPLY WITH THE CURRENT NATIONAL ELECTRICAL CODE AND LOCAL CODE REQUIREMENTS. THE CONTRACTOR SHALL PERFORM ALL WORK IN CONFORMITY WITH THESE REGULATIONS WHETHER OR NOT SUCH WORK IS SPECIFICALLY SHOWN ON DRAWINGS.
- 2.0 ELECTRICAL SUBCONTRACTOR TO MAKE ALL NECESSARY ELEC. CONNECTIONS AND BE RESPONSIBLE FOR ALL ELECTRICAL SERVICE AT MECHANICAL ROOM. ELECTRICAL CONTRACTOR TO COORDINATE AS REQUIRED WITH MECHANICAL SUBCONTRACTOR.
- 3.0 THE ELECTRICAL CONTRACTOR SHALL COORDINATE HIS WORK WITH THE WORK OF OTHER TRADES AND HAVE HIS WORK SCHEDULED SO AS NOT TO DELAY THE WORK OF OTHERS.
- 4.0 THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTION AND APPROVAL OF WIRING, INSTALLATION OF FIXTURES AND EQUIPMENT, AND FOR FINAL ACCEPTANCE OF THE COMPLETE ELECTRICAL INSTALLATIONS BY THE UNDERWRITERS AND BY LOCAL ELECTRICAL INSPECTORS.
- 5.0 COORDINATE WITH CONSTRUCTION SPECIFICATIONS FOR ANY APPLICABLE ALLOWANCES FOR ELECTRICAL.
- 6.0 ALL RECESSED DOWNLIGHTS TO BE THERMAL RATED AND INCLUDED IN BASE BID WITH TRIM RINGS AS SPECIFIED BY INTERIOR DESIGNER/ OWNER TO MATCH ADJACENT FINISH. PROVIDE SAMPLE OF FINISH FOR APPROVAL PRIOR TO PURCHASE.
- 7.0 ALL SWITCHES TO BE @ 3'-6" A.F.F. TO CENTER LINE OF SWITCH PLATE UNLESS NOTED OTHERWISE. PLACE RECEPTICALS @ 3'-6" TO CENTERLINE UNLESS NOTED OTHERWISE.
- 8.0 PREWIRE FOR SECURITY SYSTEM PER OWNERS REQUEST.
- 9.0 GANG ALL SWITCHES AND OUTLETS WHERE POSSIBLE.
- 10.0 VERIFY LOCATION & TYPE OF POWER TO ALL APPLIANCES.
- 11.0 OUTLETS WITHIN 36" OF A SINK OR LAVATORY TO BE ON A G.F.I. CIRCUIT. ADDITIONAL GFI AS REQUIRED BY CODE.
- 12.0 NO SWITCHES TO BE WITHIN 5'-0" OF A TUB OR SHOWER.

### GENERAL ELECTRICAL NOTES (CONT'D):

- 13.0 NOT USED
- 14.0 LOCATION OF ALL FLOOR OUTLETS & FLOOR PHONE OUTLETS TO BE VERIFIED BY OWNER.
- 15.0 PROVIDE PHONE & CATV OUTLETS PER PLAN OR PER OWNERS REQUEST.
- 16.0 NOTE TO SUBCONTRACTOR: CENTER LIGHT OVER PEDESTAL LAV. WHERE SHOWN.
- 17.0 SUPPLY 220V & 110V OR GAS & 110V TO HVAC UNIT(S) IN ATTIC. (REFER TO SPECS) PROVIDE POWER AS REQ'D AT A/C COMPRESSOR UNITS.
- 18.0 PROVIDE FOR LIGHT NEAR HVAC UNIT(S) IN ATTIC.
- 19.0 PROVIDE 2 GROMMET AT ALL KNEE SPACES OF DESKS FOR CORD & CABLE ACCORDING TO PLUGS BELOW. PROVIDE GROMMETS AS REQ'D FOR CABLE & ENTERTAINMENT CENTERS, MEDIA CENTERS &/OR AUDIO/VIDEO CENTERS.
- 20.0 MEDIA COMBINATION OUTLET(S) TO PROVIDE CONNECTIONS FOR ELECTRICAL & VARIOUS MEDIALTELECOMMUNICATIONS SYSTEMS.
- 21.0 PROVIDE BLOCKING FOR CEILING FANS WHERE SPECIFIED.
- 22.0 PROVIDE FOR MOTION SENSORS AT ALL GARAGE DOORS WITH OPENERS.
- 23.0 PROVIDE ELECTRIC FOR POOL &/OR SPA EQUIP. & LIGHTS. PROVIDE ELECTRIC AND SWITCHING FOR LANDSCAPE LIGHTING, FOUNTAINS, ETC. VERIFY LOCATION WITH BUILDER OR OWNER.
- 24.0 SMOKE DETECTORS SHOULD BE LOCATED IN EACH BEDROOM AND AS SHOWN. ALL SMOKE DETECTORS SHALL BE HARD WIRED TO PRIMARY ELECTRICAL SERVICES WITH BATTERY BACKUP.
- 25.0 ALL LIGHTING TO BE LIGHT EMITTING DIODE OR COMPACT FLUORESCENT LAMPED WHERE POSSIBLE

**SHEET**  
**A1.0**  
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## GENERAL NOTES

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**Revisions:**  
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 CDS12.0024 McCatt

**2ND FLOOR PLAN**

Scale: 1/4" = 1'-0" unless noted otherwise

**SHEET**  
**A1.1**  
6 of 9

## ELECTRICAL LEGEND

- SWITCH
- 3-WAY SWITCH
- 4-WAY SWITCH
- DIMMER SWITCH
- TIMER SWITCH
- 110V DOUBLE-RECEPTACLE
- 220V DOUBLE-RECEPTACLE
- WATERPROOF DOUBLE-RECEPTACLE
- GFCI GROUND FAULT CIRCUIT INTERRUPTER DOUBLE-RECEPTACLE
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### NOTE:

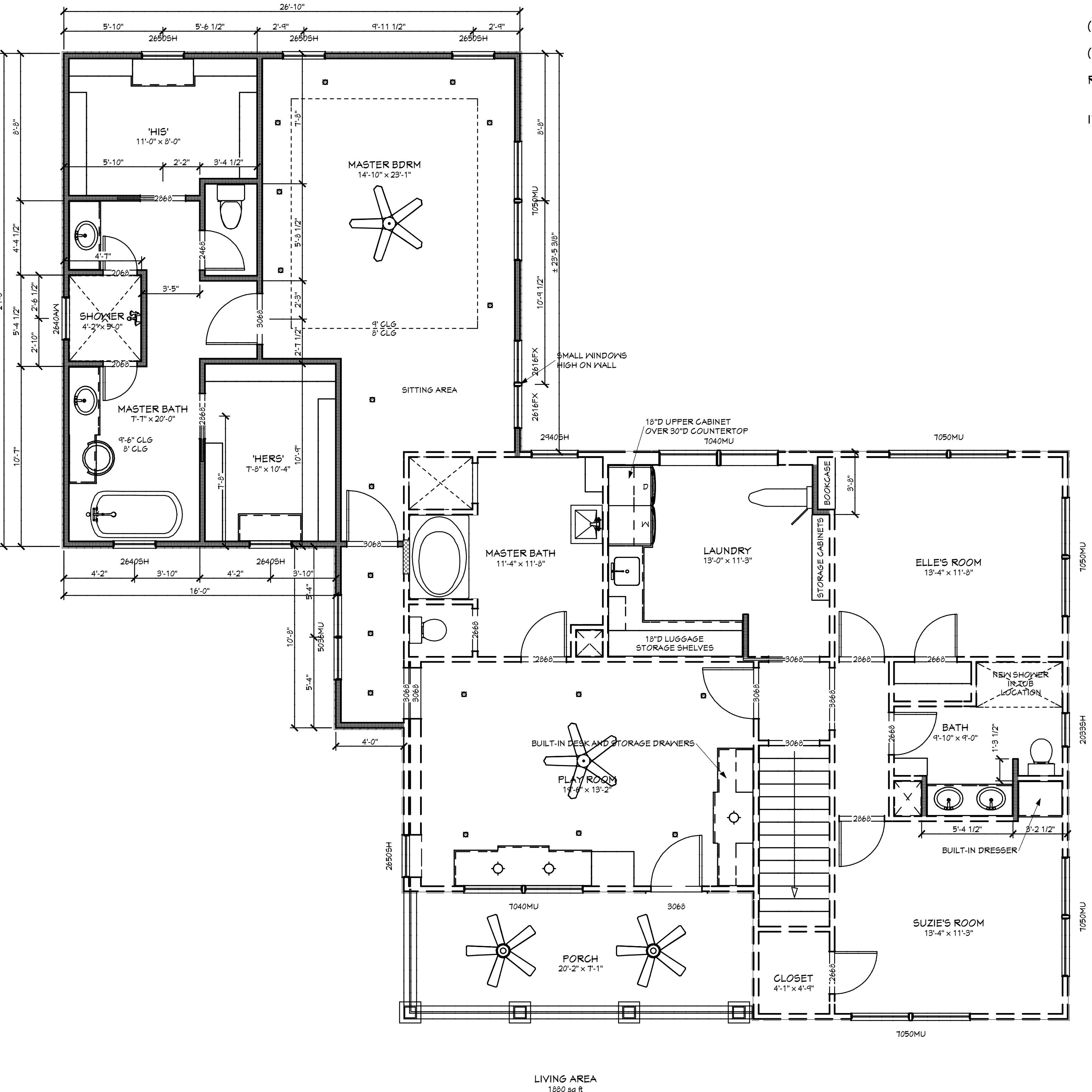
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- 8.0 PREWIRE FOR SECURITY SYSTEM PER OWNERS REQUEST.
- 9.0 GANG ALL SWITCHES AND OUTLETS WHERE POSSIBLE.
- 10.0 VERIFY LOCATION & TYPE OF POWER TO ALL APPLIANCES.
- 11.0 OUTLETS WITHIN 36" OF A SINK OR LAVATORY TO BE ON A G.F.I. CIRCUIT. ADDITIONAL GFI AS REQUIRED BY CODE.
- 12.0 NO SWITCHES TO BE WITHIN 5'-0" OF A TUB OR SHOWER.

### GENERAL ELECTRICAL NOTES (CONT'D):

- 13.0 NOT USED
- 14.0 LOCATION OF ALL FLOOR OUTLETS & FLOOR PHONE OUTLETS TO BE VERIFIED BY OWNER.
- 15.0 PROVIDE PHONE & CATV OUTLETS PER PLAN OR PER OWNERS REQUEST.
- 16.0 NOTE TO SUBCONTRACTOR: CENTER LIGHT OVER PEDESTAL LAV. WHERE SHOWN.
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- 18.0 PROVIDE FOR LIGHT NEAR HVAC UNIT(S) IN ATTIC.
- 19.0 PROVIDE 2 GROMMET AT ALL KNEE SPACES OF DESKS FOR CORD & CABLE ACCES TO PLUGS BELOW. PROVIDE GROMMETS AS REQ'D FOR CABLE & ENTERTAINMENT CENTERS, MEDIA CENTERS & OR AUDIO/VIDEO CENTERS.
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- 24.0 SMOKE DETECTORS SHOULD BE LOCATED IN EACH BEDROOM AND AS SHOWN. ALL SMOKE DETECTORS SHALL BE HARD WIRED TO PRIMARY ELECTRICAL SERVICES WITH BATTERY BACKUP.
- 25.0 ALL LIGHTING TO BE LIGHT EMITTING DIODE OR COMPACT FLUORESCENT LAMPED WHERE POSSIBLE



### PROPOSED SECOND FLOOR PLAN

SCALE: 1/4" = 1ft

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**Revisions:**  
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CITY 11-30-12 RVS  
  
CD512.0024 McCatt

**PROPOSED EXTERIOR ELEVATIONS**  
Scale: 1/4" = 1'-0" unless noted otherwise

**SHEET**  
**A2.0**  
1 of 9

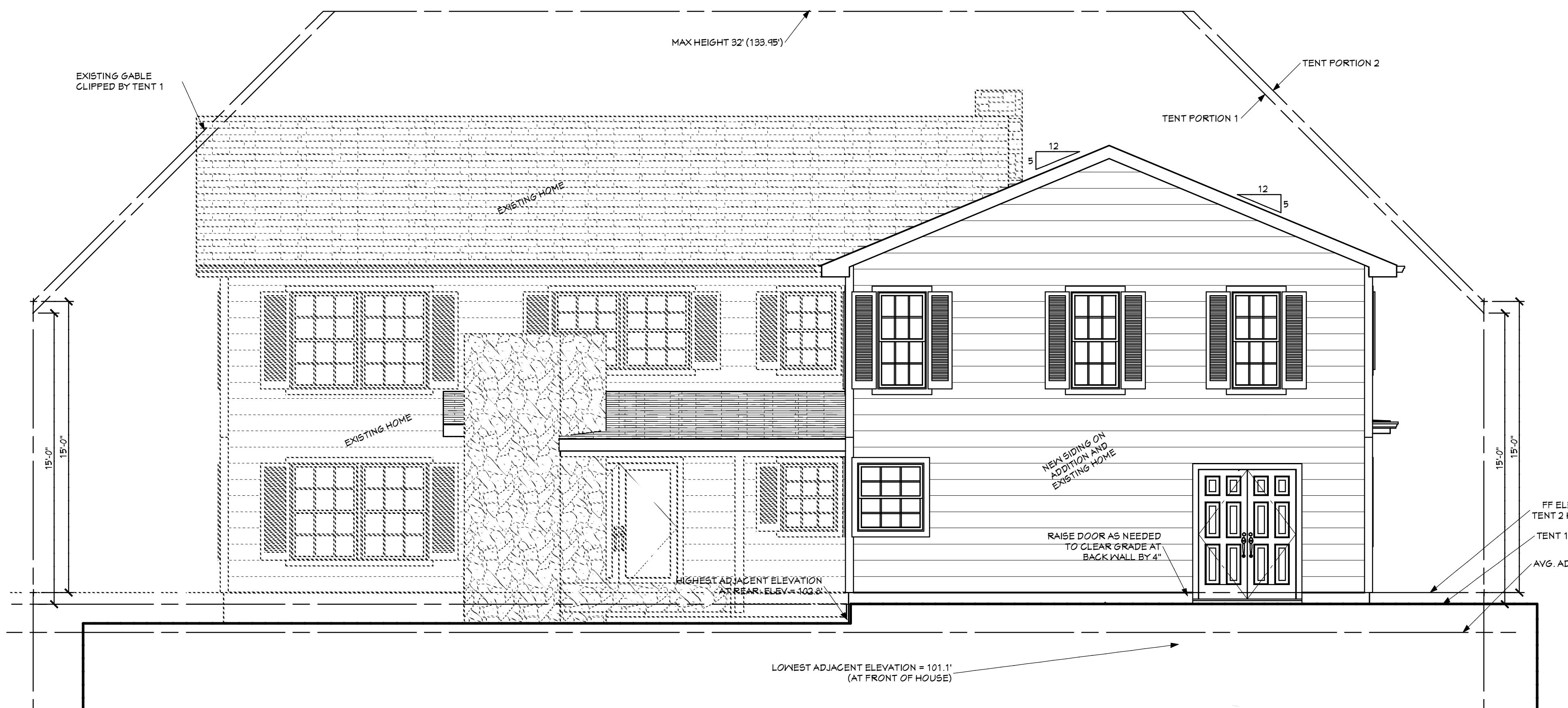


**PROPOSED FRONT ELEVATION**

SCALE: 1/4" = 1ft

**ELEVATION NOTES**

MATCH EXISTING PLATE HEIGHTS, ROOF PITCHES, OVERHANGS, AND MATERIALS BETWEEN NEW AND OLD AS CLOSELY AS POSSIBLE.  
ALL EXTERIOR SIDING IS TO BE REPLACED WITH 8" LAP HARDI-SIDING  
ALL WINDOWS ARE TO BE REPLACED WITH WOOD WINDOWS  
ROOF PITCHES ARE APPROX. 5:12  
ROOF MATERIAL IS COMPOSITE SHINGLE - NEW ROOF TO MATCH  
BUILDER TO VERIFY PLANS / SPECIFICATIONS & COMPLY WITH IRC & LOCAL BUILDING CODES



**PROPOSED REAR ELEVATION**

SCALE: 1/4" = 1ft

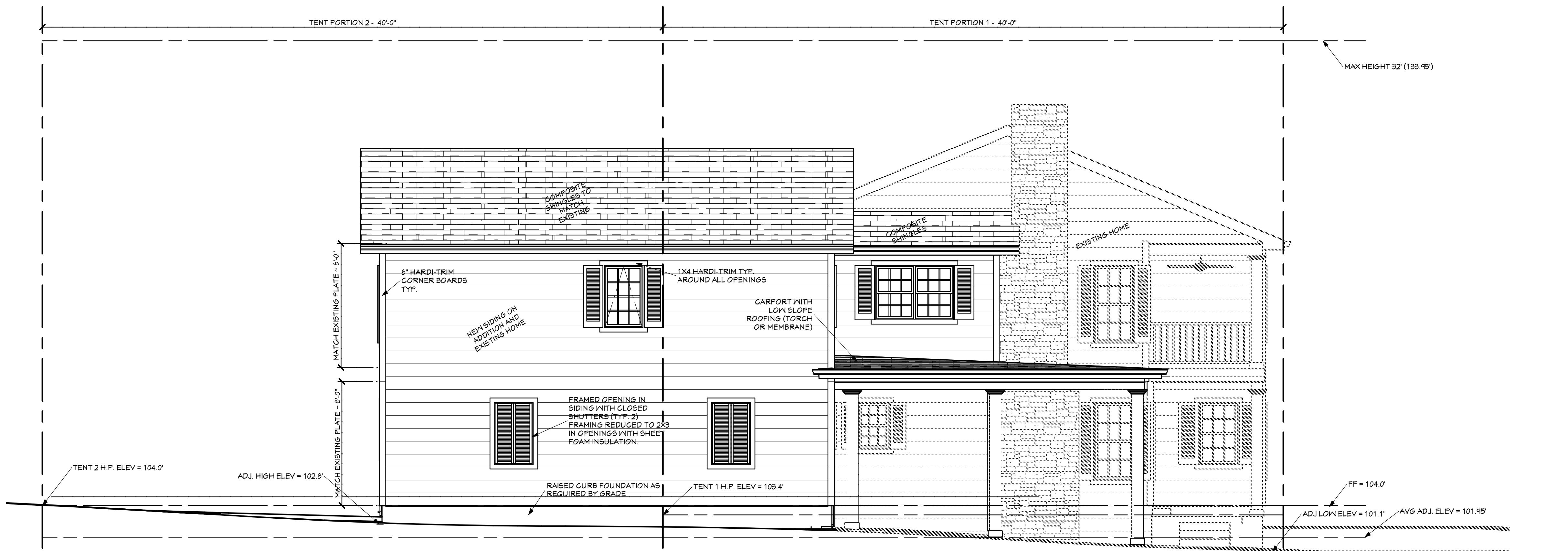
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**PROPOSED EXTERIOR ELEVATIONS**  
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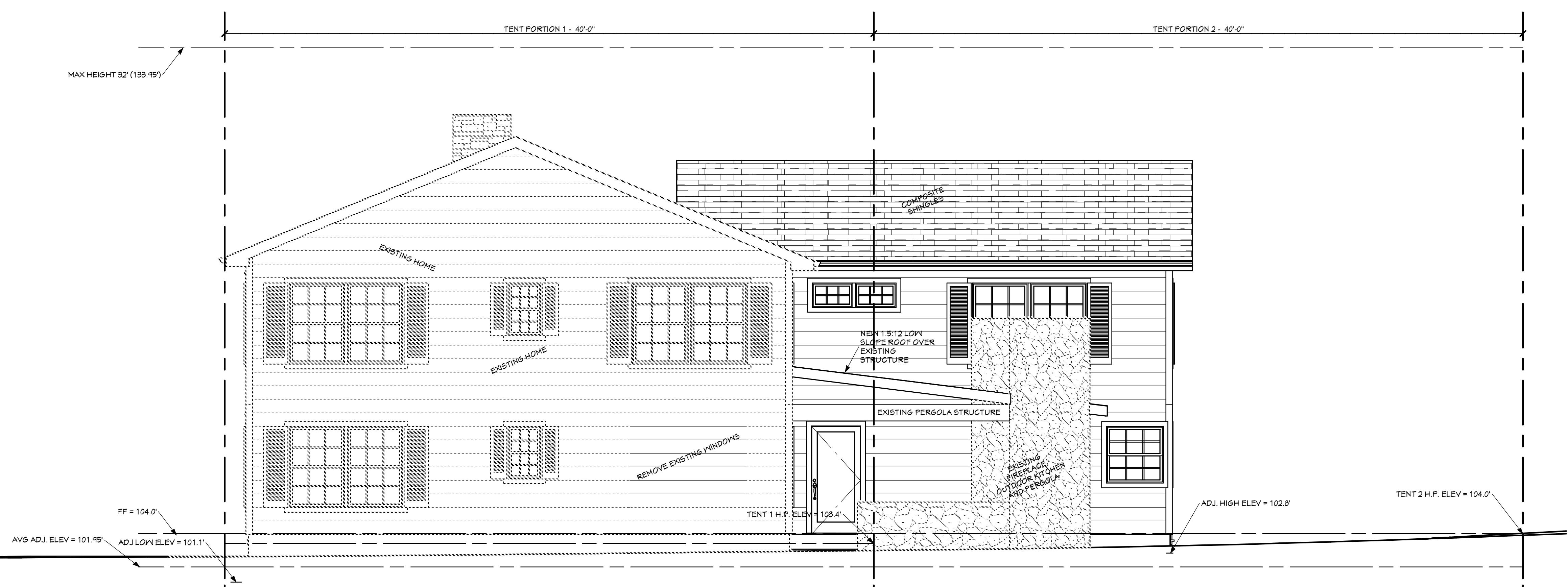
**SHEET**  
**A2.1**  
8 of 9



**PROPOSED LEFT ELEVATION**  
SCALE: 1/4" = 1ft

**ELEVATION NOTES**

MATCH EXISTING PLATE HEIGHTS, ROOF PITCHES, OVERHANGS, AND MATERIALS BETWEEN NEW AND OLD AS CLOSELY AS POSSIBLE.  
ALL EXTERIOR SIDING IS TO BE REPLACED WITH 8" LAP HARDI-SIDING  
ALL WINDOWS ARE TO BE REPLACED WITH WOOD WINDOWS  
ROOF PITCHES ARE APPROX. 5:12  
ROOF MATERIAL IS COMPOSITE SHINGLE - NEW ROOF TO MATCH  
BUILDER TO VERIFY PLANS / SPECIFICATIONS & COMPLY WITH IRC & LOCAL BUILDING CODES



**PROPOSED RIGHT ELEVATION**  
SCALE: 1/4" = 1ft

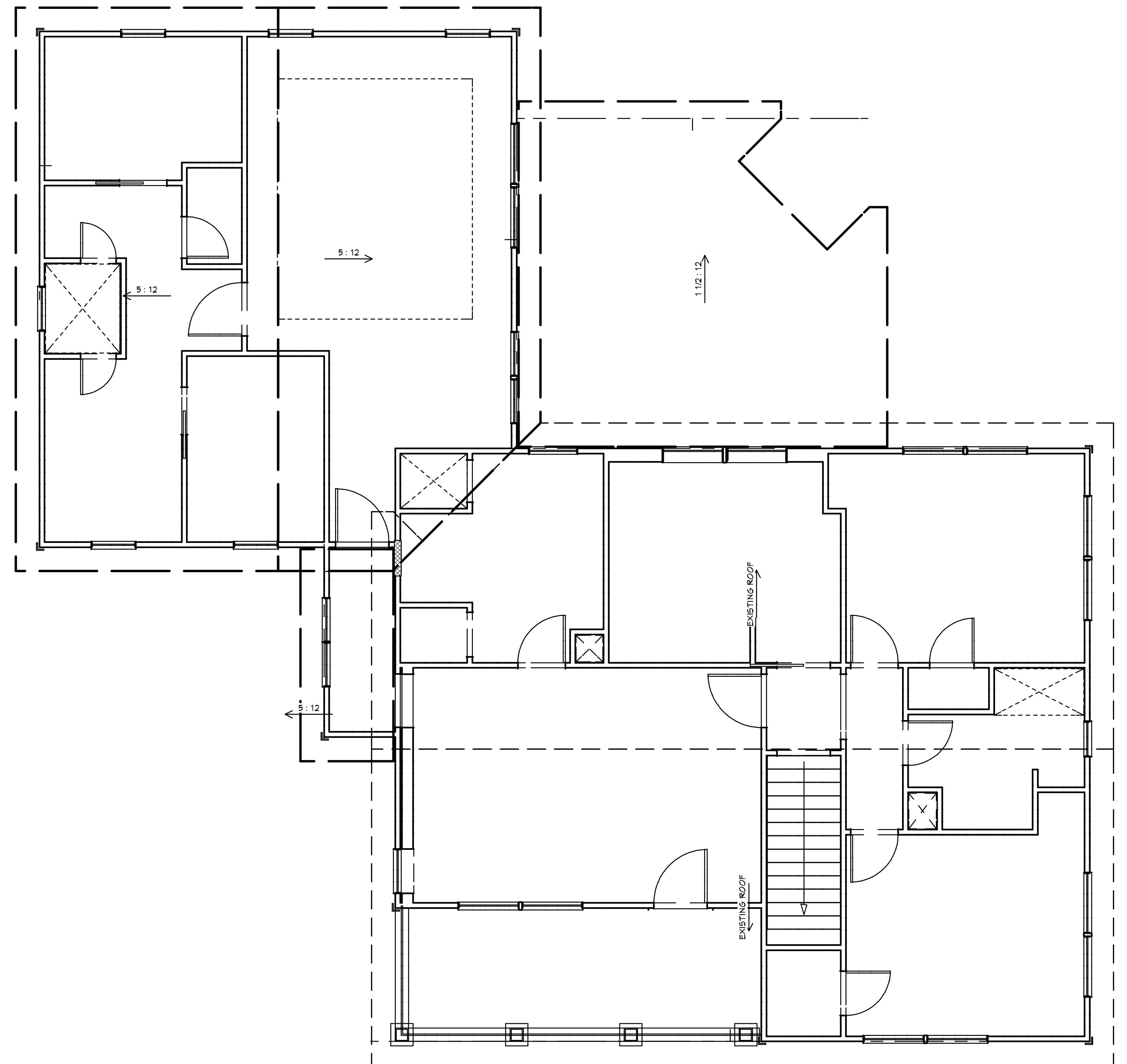
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**ROOF SCHEMATIC**  
Scale: 1/4" = 1'-0" unless noted otherwise

**SHEET**  
**A3.0**  
9 of 9



**ROOF SCHEMATIC**  
SCALE: 1/4" = 1'-0"

BUILDER TO VERIFY PLANS AND SPECIFICATIONS AND COMPLY  
WITH IRC AND LOCAL BUILDING CODES AS REQUIRED