

**HISTORIC LANDMARK COMMISSION  
DECEMBER 17, 2012  
NATIONAL REGISTER HISTORIC DISTRICT  
NRD-2012-0137  
Old West Austin  
1619 Watchhill Road**

**PROPOSAL**

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Add dormers and a second story rear addition to a contributing house.

**PROJECT SPECIFICATIONS**

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The existing house was constructed c. 1935. It is a one story, painted brick house with a side gable roof on the front section, and hipped and gable roofed additions on the rear. The rear gable roof addition was likely constructed in 1980.

The front elevation has a symmetrical design with a centered, projecting cross gable over the front door, which is flanked by two narrow, double hung windows. There is a decorative metal framed awning over the front door. To either side of the projecting entry are two double-hung windows. There is a tiled front patio with low painted brick columns with a decorative wrought-iron railing between.

The applicant proposes to add two dormers on the front roof elevation and construct a small rear one story and second story addition. The roof of the second floor addition will be minimally visible over the ridge of the existing front section roof, and the materials and architectural details of the additions will be compatible with the existing house.

**STANDARDS FOR REVIEW**

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The house is listed as contributing to the Old West Austin National Register Historic District. Applicable general design review guidelines state:

- The distinguishing original qualities or character of a property and its environment shall not be destroyed. Removal or alteration of any historic material or distinctive architectural features should be avoided.
- All properties shall be recognized as products of their own time. Alterations which have no historical basis and which seek to create an earlier appearance shall be discouraged.
- Changes which have taken place in the course of time may have acquired significance in their own right, and shall be recognized and respected.
- Distinctive stylistic features or examples of skilled craftsmanship which characterize a property shall be treated with sensitivity.
- Contemporary design for alterations and additions to existing properties are appropriate when such alterations and additions do not destroy significant historic, architectural, or cultural material and are compatible with the size, scale, color, material, and character of the property, neighborhood, or environment.
- Whenever, possible, new additions or alterations to structures shall be done in such a manner that if such additions or alterations were to be removed in the future, the

essential form and integrity of the structure would not be impaired.

The location of the first and second story additions, at the back of the house and behind the front roof ridge line, make them minimally visible from the public right of way. The addition of the two dormers on the front roof slope, although an alteration to the front façade, is designed to be compatible with the architecture of the house, and is a minor change to the front elevation. The design as proposed maintains the property's contributing status.

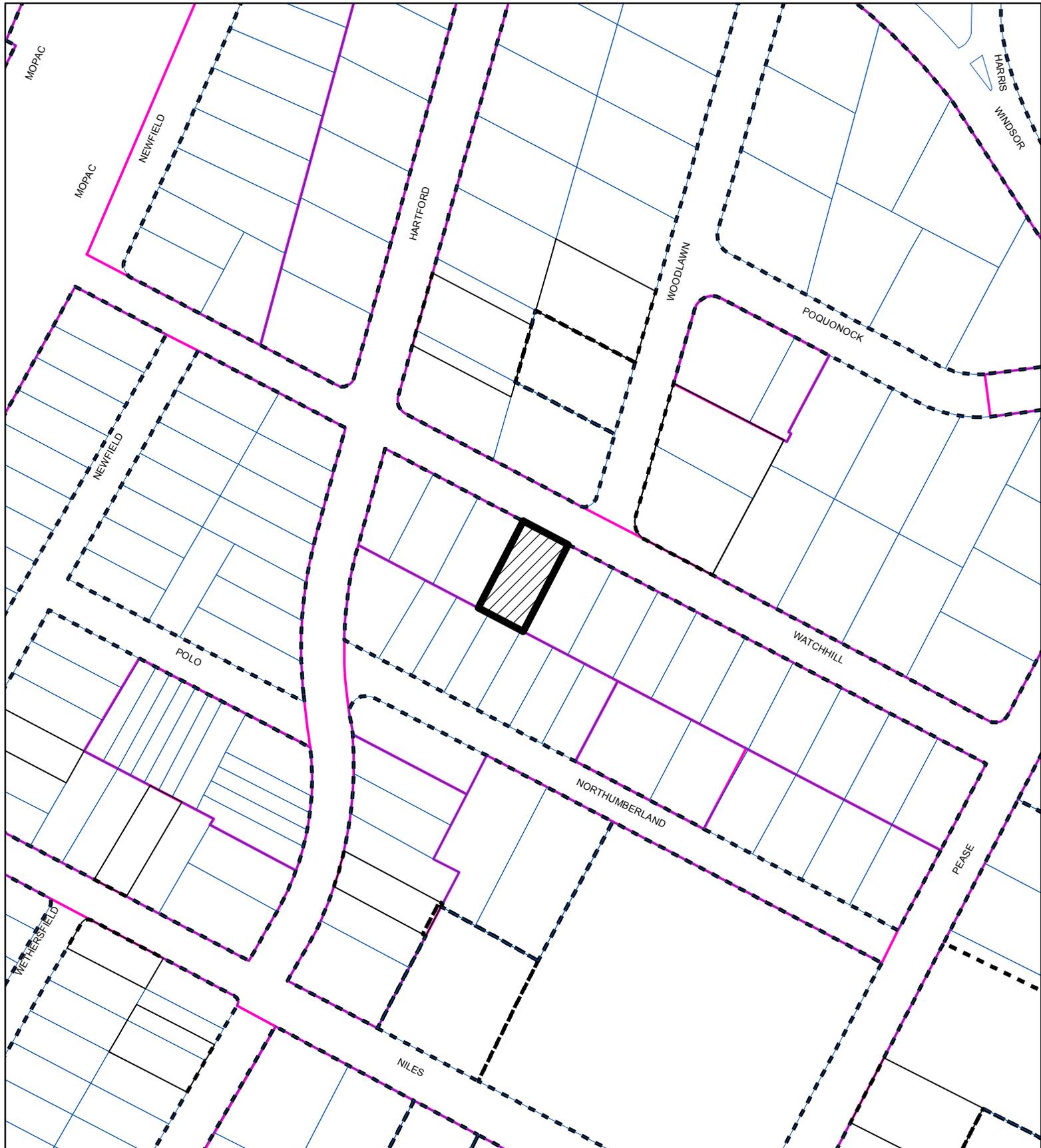
**STAFF RECOMMENDATION**

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Release the permit per the proposed design.

PHOTO





 SUBJECT TRACT

 ZONING BOUNDARY

CASE#: NRD-2012-0137  
 LOCATION: 1619 Watchhill Road



This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

This product has been produced by the Planning and Development Review Department for the sole purpose of geographic reference. No warranty is made by the City of Austin regarding specific accuracy or completeness.

LIST OF DRAWINGS		GENERAL CONDITIONS		
		A. SUMMARY OF WORK		
A-0	RENDERING	1. ALL CONSTRUCTION TO BE PERFORMED IN A GOOD WORKMANSHIP LIKE MANNER ACCORDING TO THE A.I.A. GENERAL CONDITIONS, ALL APPLICABLE CODES AND GENERALLY ACCEPTED BUILDING PRACTICES, AS REQUIRED TO CONSTRUCT A COMPLETE PROJECT. 2. CONTRACTOR TO VERIFY ALL DIMENSIONS ON THE JOB BEFORE ORDERING ANY MATERIALS OR COMMENCING WITH ANY WORK. 3. CONTRACTOR TO NOTIFY THE ARCHITECT AND OWNER OF ANY DISCREPANCIES IN THE PLANS, SPECIFICATIONS, OR ACTUAL CONDITIONS THAT AFFECT THE CONSTRUCTION COST OR EXECUTION. 4. CONTRACTORS ARE TO OBTAIN AND PAY FOR ANY BUILDING PERMITS. 5. CONTRACTORS TO EXECUTE THE CONSTRUCTION AS REQUIRED TO GET ALL GREEN TAGS AND CERTIFICATE OF OCCUPANCY. 6. SUBSTITUTIONS FOR PRODUCTS OF EQUAL QUALITY TO BE APPROVED BY THE OWNER AND ARCHITECT PRIOR TO INSTALLATION IN WRITING. 7. PROVIDE SAMPLES OR MOCK-UPS OF ALL MATERIALS TO BE SELECTED. 8. CONTRACTORS TO REMOVE ALL THEIR DEBRIS FROM THE SITE, LEAVING THE PROJECT CLEAN AND ALL INSTALLATIONS IN OPERATING CONDITION. 9. CONTRACTOR TO PROVIDE TEMPORARY SANITARY FACILITIES. 10. OWNER TO PROVIDE AND PAY FOR TEMPORARY UTILITIES.		
A-1	SITE PLAN			
A-2	FIRST FLOOR PLAN			
A-3	SECOND FLOOR PLAN			
A-4	ELEVATIONS			
A-5	ELEVATIONS			
A-6	ROOF PLAN			
A-7	FOUDATION PLAN			
A-8	SECOND FLOOR FRAMING PLAN			
A-9	BUILDING SECTION			
A-10	BUILDING SECTION	B. ALTERNATES AND CHANGE ORDERS 1. TO BE APPROVED BY OWNER AND ARCHITECT PRIOR TO INSTALLATION. 2. ALL CHANGE ORDERS TO BE IN WRITING. 3. DESCRIBE ALL CHANGES AS TO CHANGE IN CONSTRUCTION, MATERIAL, COST, AND CONSTRUCTION TIME EXTENSION OR REDUCTION.		
A-11	WALL SECTION			
A-12	INTERIOR ELEVATIONS			
AE-1	FIRST FLOOR ELECTRICAL			
AE-2	SECOND FL. ELECTRICAL			
			C. INSURANCE 1. PROVIDE BUILDERS RISK. 2. PROVIDE GENERAL LIABILITY. 3. PROVIDE WORKERS COMP.	
				D. MAINTENANCE AND WARRANTIES 1. PROVIDE GENERAL CONST. WARRANTY FOR ONE YEAR FROM COMPLETION. 2. PROVIDE RELEASE OF LIENS FOR LABOR AND MATERIALS FROM ALL SUPPLIERS AND ALL SUB CONTRACTORS. 3. PROVIDE ALL EQUIPMENT WARRANTIES.
UTILITIES			SITE WORK	
A. SERVICE		A. SUBSURFACE INVESTIGATION AND SURVEY BY OWNER, SEE CIVIL.		
1. ELEC.: EXISTING OVERHEAD TO REMAIN. NO ADDITION REQUIRED		1. OWNER TO PROVIDE SURVEY DESCRIBING MEETS AND BOUNDS. EASEMENTS, SET BACKS, BUILDINGS, AND EXISTING TREES.		
2. WATER: EXISTING TO REMAIN. 3/4" TAP EXISTING TO REMAIN.		2. CONTRACTOR TO PROVIDE SLAB SURVEY CERTIFYING THAT ALL BUILDINGS DO NOT ENCROACH INTO SET BACKS OR EASEMENTS.		
3. WASTE WATER: EXISTING TO REMAIN.		B. SITE PREP AND GRADING.		
3. GAS: EXISTING TO REMAIN.		1. ROUGH GRADE AND FILL ALL EXCAVATED AREAS AS REQUIRED TO ALLOW SURFACE WATER TO DRAIN AWAY FROM BUILDINGS AT ALL TIMES DURING CONST.		
		2. EXCAVATE SWALE AS REQUIRED TO DIVERT SURFACE WATER AROUND FROM FRONT/EAST TO SIDE/NORTH, SEE SITE PLAN. DIVERT SURFACE WATER AWAY FROM BUILDING AS REQUIRED.		
		3. FINISH GRADE AT ALL LANDSCAPED AREAS WITH A MINIMUM OF 4" OF SANDY LOAN TOP SOIL AS REQUIRED TO RECEIVE PLANTINGS.		
		C. UTILITIES: SEE SITE PLAN		
		D. LANDSCAPE		
		1. TREES, EXISTING TO REMAIN AND PROTECTED AT ALL TIMES. SEE SITE PLAN MINIMUM 6' FENCE AT ALL DRIP LINES TO PROTECT DURING CONSTRUCTION. FOR LOCATION AND DETAILS.		
		2. TREE PROTECTION TO CONFORM TO ALL CITY ORDINANCES AS REQUIRED.		
		E. PAVING AND SURFACING:		
		1. REPAIR EXISTING AS REQUIRED.		
		2. MATCH EXISTING CONSTRUCTION.		

SITE 70'X135' = 9455 SF @ .45 = 4255 SF

**LEGEND**

[Hatched Pattern]	FIRST FLOOR ADDITION
[Dotted Pattern]	SEC. FLOOR ADDITION
[Cross-hatched Pattern]	FIRST AND SEC. FLOOR ADDITION
[Diagonal Line Pattern]	COVERED PORCH ADDITION

TOT. BLDG. COVER	=32.5%	+220=	475 SF	3,548 SF	=37.5% OF 9455 SF
DRIVEWAY			915 SF		915 SF
SIDEWALKS			114 SF		114 SF
UNCOVERED PATIO			222 SF		222 SF
UNCOVERED DECK	@ 50% ALLOWED		50 SF	67 SF	67 SF
AC PADS			50 SF		50 SF
TOT. IMPERVIOUS	(@ 45%=4,255 SF)		3,909 SF	198 SF	4,107 SF =37.5% 9455 SITE

LEGAL: LOT 10 PEASE ESTATES SUBDIVISION, TRAVIS, COUNTY

**HOLLAND**  
ARCHITECTURAL  
1413 PRESTON AVE  
AUSTIN, TEXAS 78703  
512-478-6554

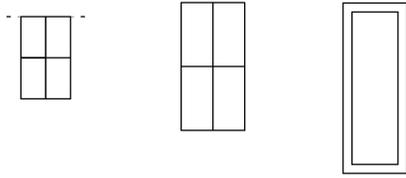
**H CHRISTIAN RESIDENCE**  
1619 WATCHHILL ROAD  
AUSTIN, TEXAS 78703

**SITE PLAN** PLAN NORTH

SCALE 1" = 20'-0"

SHEET NO.  
**A1**  
DEC. 4, 2012

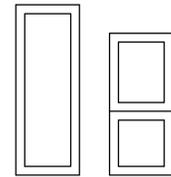
WINDOW SCHEDULE FIRST FLOOR



○ MATCH EXISTING ○ MATCH EXISTING ○ MATCH EXISTING

				JELD WEN CLAD WESTERN 2X4 MTL ELEVATION	GLASS INSULATED TEMPERED	GLASS INSULATED	GLASS TRANSLUCENT FIXED	DBL. HUNG TRANSLUCENT GLASS	HORIZ. SLIDER	DETAIL
1	FAMILY RM	2'-8" X 8'-0"	○	A-5	○	○	○			
2	FAMILY RM	3'-0" X 4'-6"	○	A-6	○	○	○			
3	FAMILY RM	3'-0" X 4'-6"	○	A-6	○	○	○			
4	FAMILY RM	3'-0" X 4'-6"	○	A-6	○	○	○			
5	FAMILY RM	3'-0" X 6'-0"	○	A-6	○	○	○			
6	MSTR. CLO.	2'-8" X 6'-0"	○	A-6	○	○	○	○	○	
7	FAMILY	2'-8" X 4'-6"	○	A-6	○	○	○			

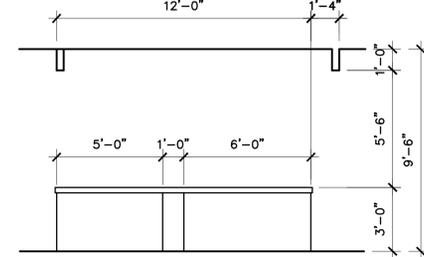
DOOR SCHEDULE FIRST FLOOR



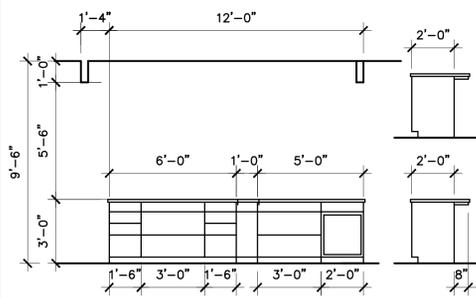
Ⓐ WOOD Ⓑ WOOD

				EXTERIOR	INTERIOR	WOOD FRENCH WOOD PANEL - MATCH EXISTING	JELD WEN SLIDING GLASS DOOR	POCKET	ELEVATION	DETAIL
1	BACK	3'-0" X 9'-0"	○	○	○				A-5	DD-1
2	PANTRY	2'-8" X 6'-8"	○	○	○				A-5	DD-2
3	POWDER	2'-6" X 6'-8"	○	○	○				A-5	DD-3
4	MSTR BR	2'-8" X 6'-8"	○	○	○				A-5	DD-4
5	MSTR CLO2	2'-6" X 6'-8"	○	○	○					DD-5

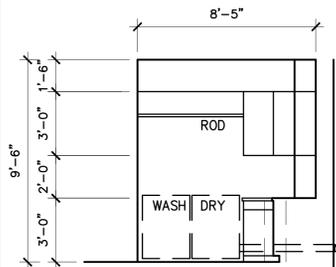
8.5X11@ 1-10"



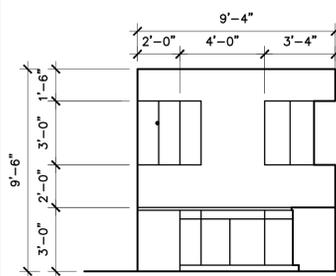
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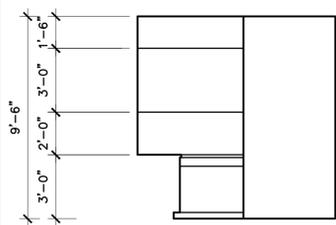
ISLAND WEST ELEV.



UTILITY NORTH ELEV.

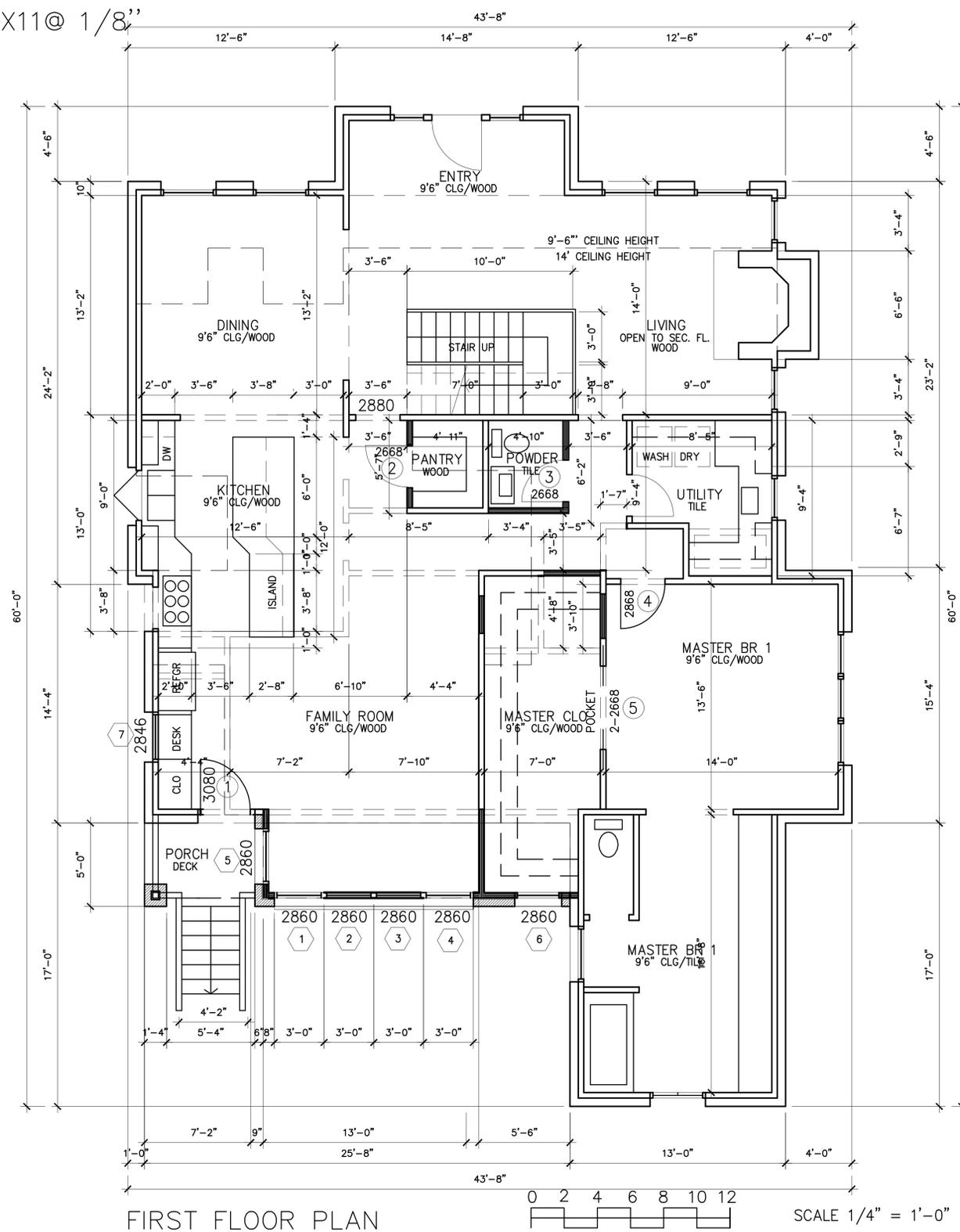


UTILITY EAST ELEV.



UTILITY SOUTH ELEV.

8.5X11@ 1/8"



FIRST FLOOR PLAN

FIRST FLOOR	SECOND FLOOR	BUILDING AREA
AC AREA	AC AREA	TOTAL AC AREA
ADDITION	ADDITION	TOTAL ADDITION
FIRST FLOOR AREA	SECOND FLOOR AREA	TOTAL LIVING AREA



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FIRST FLOOR

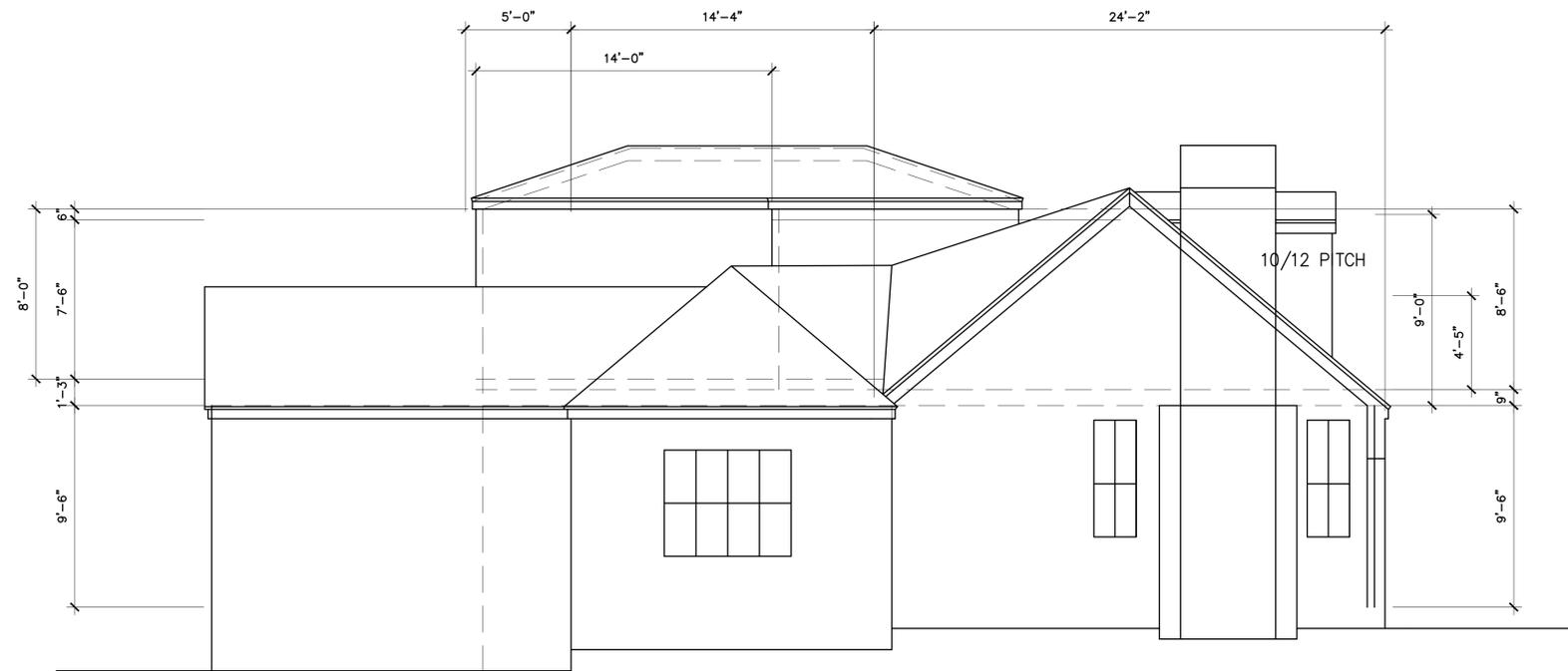
SHEET NO.

A-2

DEC. 7, 2012



8.5X11@ 1-10'



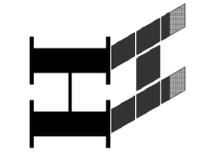
EAST ELEVATION

SCALE 1/4" = 1'-0"



NORTH ELEVATION

SCALE 1/4" = 1'-0"

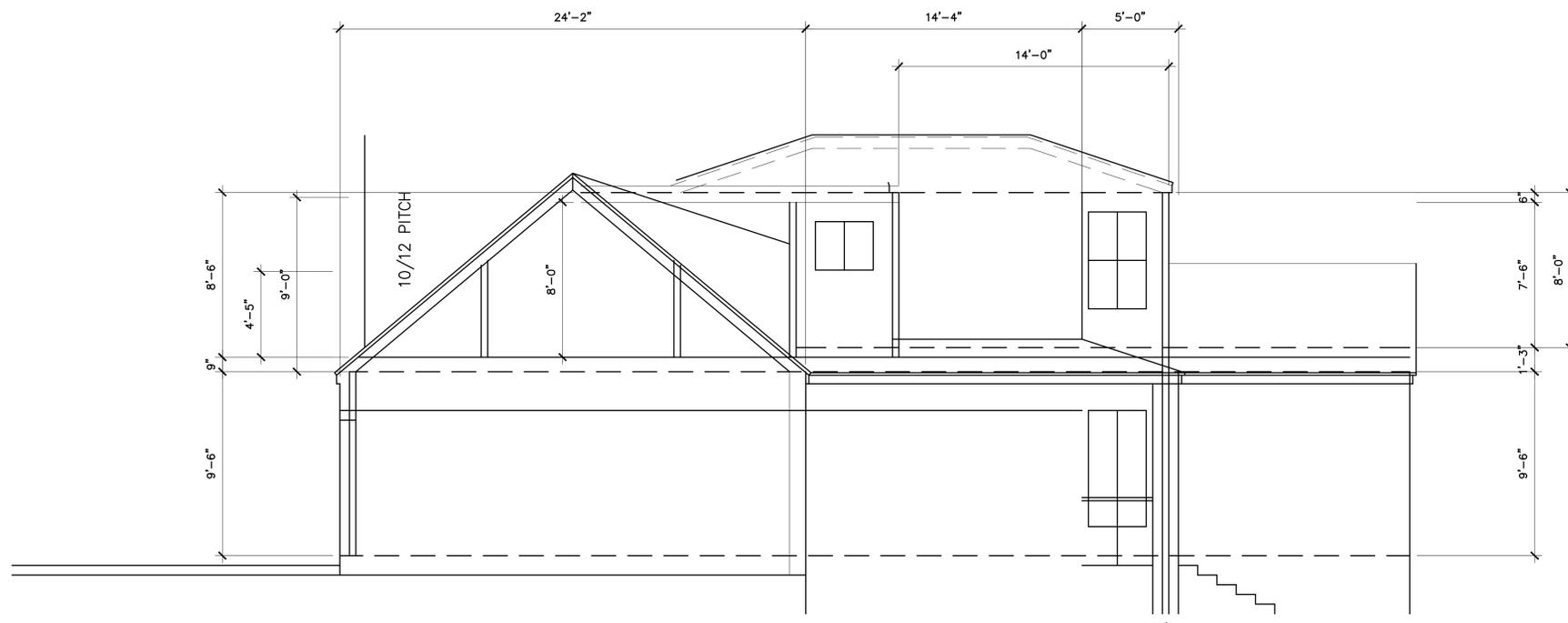


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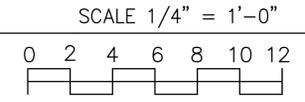


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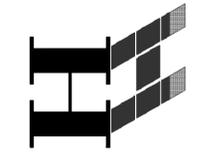
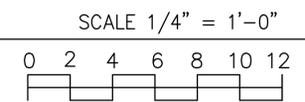
ELEVATIONS  
 SHEET NO.  
A-4  
 DEC. 7, 2012



WEST ELEVATION



SOUTH ELEVATION



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EXT. ELEV.

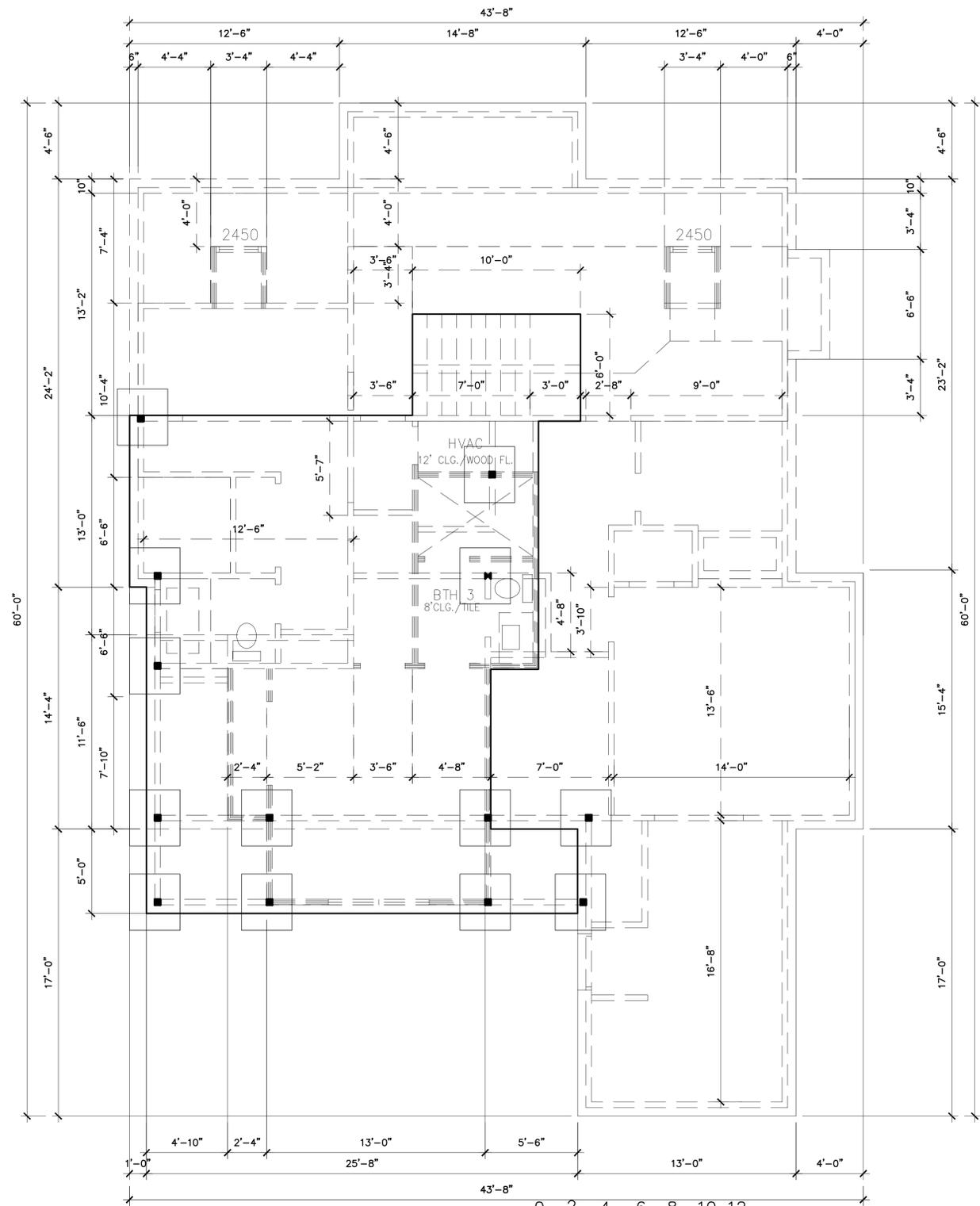
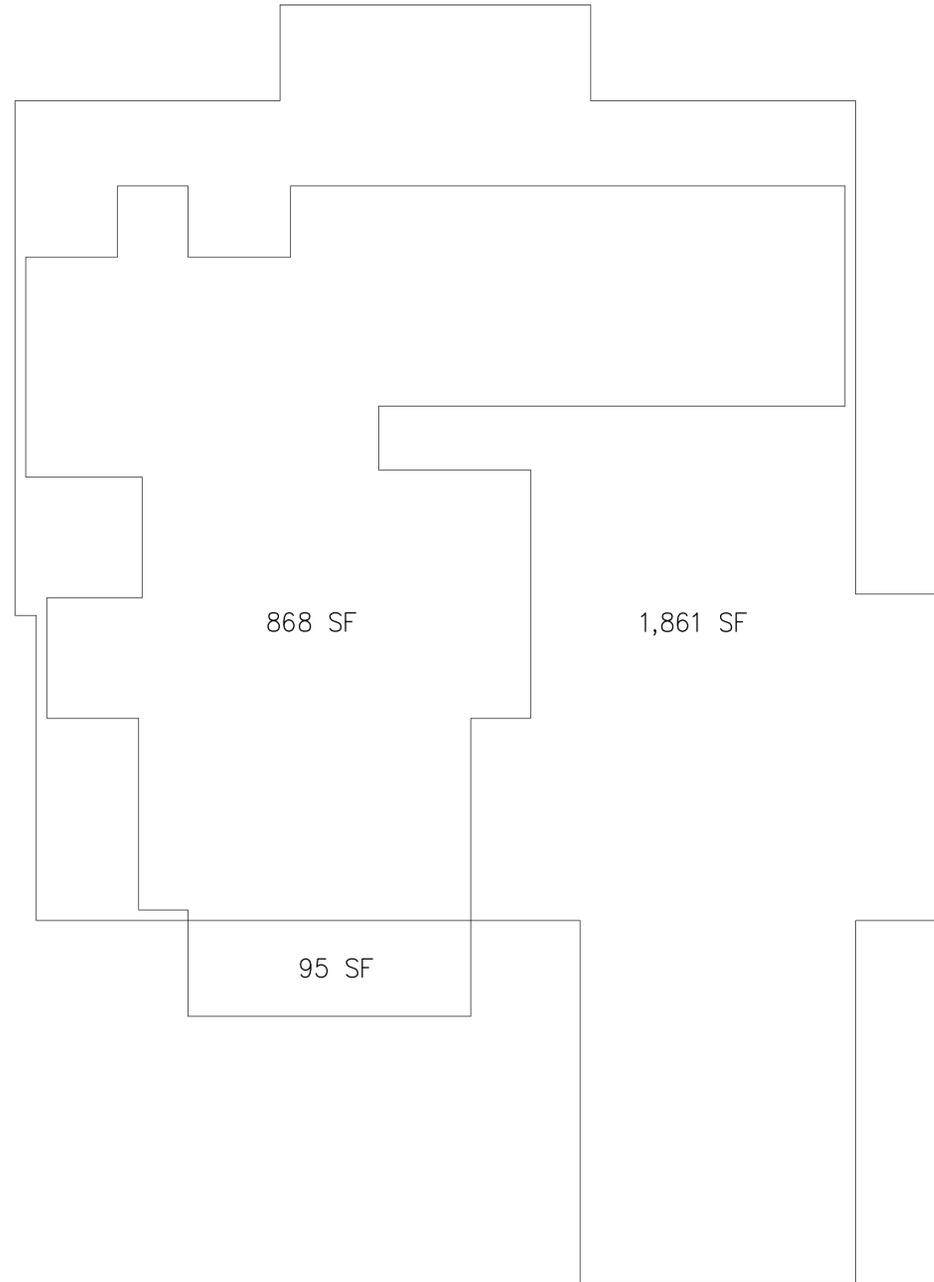
SHEET NO.

A-5

DEC. 7, 2012



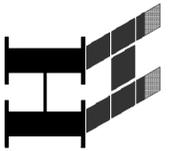
24X36@1/4"



FOUNDATION PLAN



FIRST FLOOR		SECOND FLOOR		BUILDING AREA	
AC AREA	1,861 SF	AC AREA	868 SF	TOTAL AC AREA	2,729 SF
ADDITION	95 SF	ADDITION		TOTAL ADDITION	95 SF
FIRST FLOOR AREA	1,956 SF	SECOND FLOOR AREA	868 SF	TOTAL LIVING AREA	2,824 SF



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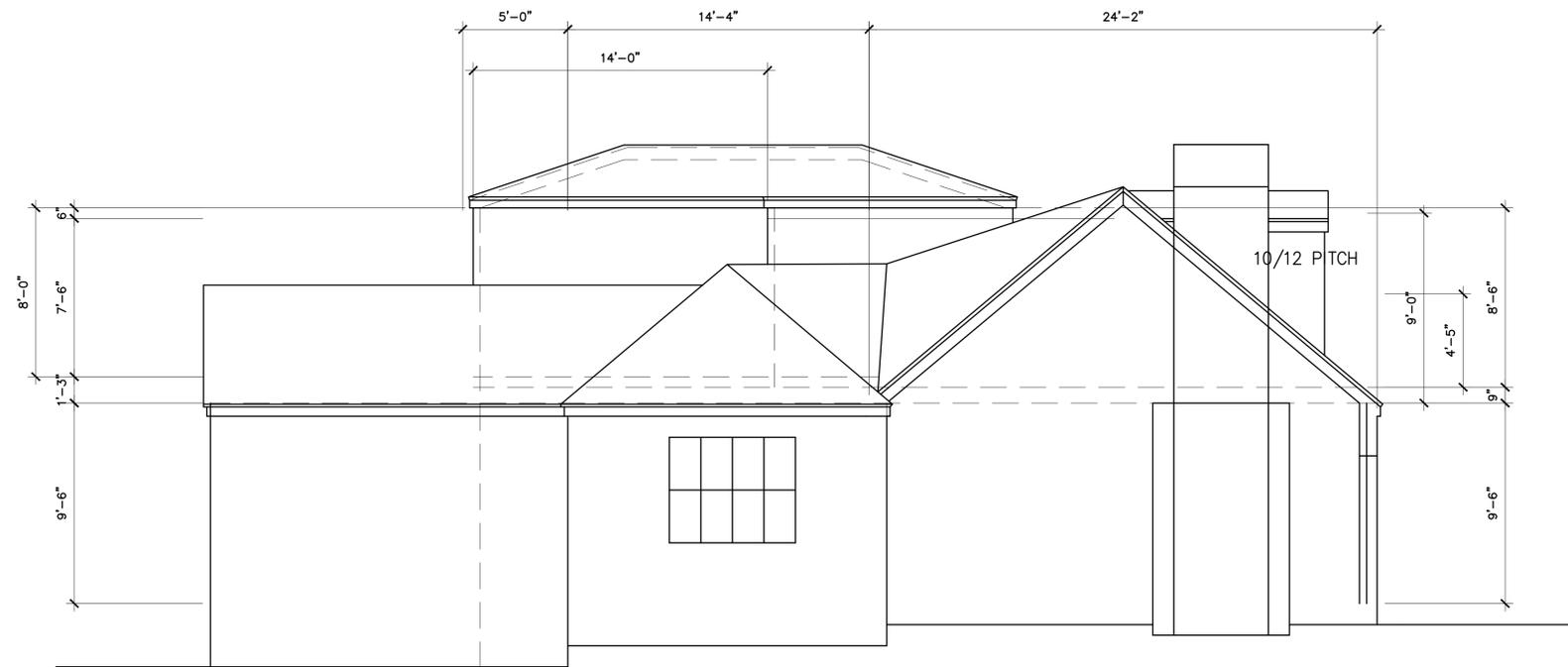
FOUNDATION  
SHEET NO.  
**A-7**  
DEC. 7, 2012





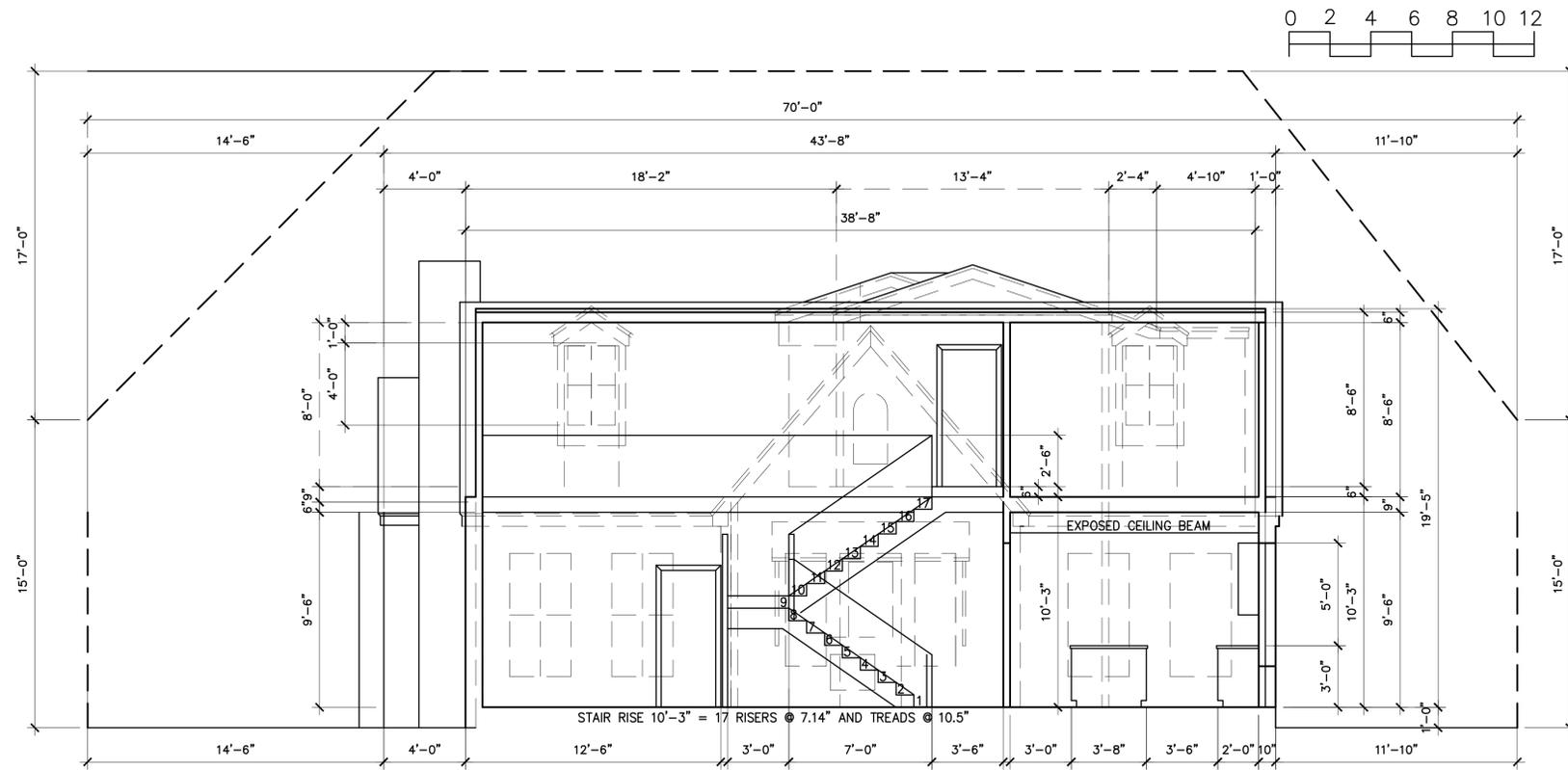


8.5X11@ 1/10



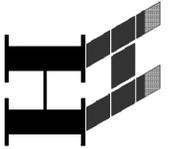
EAST ELEVATION

SCALE 1/4" = 1'-0"



NORTH ELEVATION

SCALE 1/4" = 1'-0"



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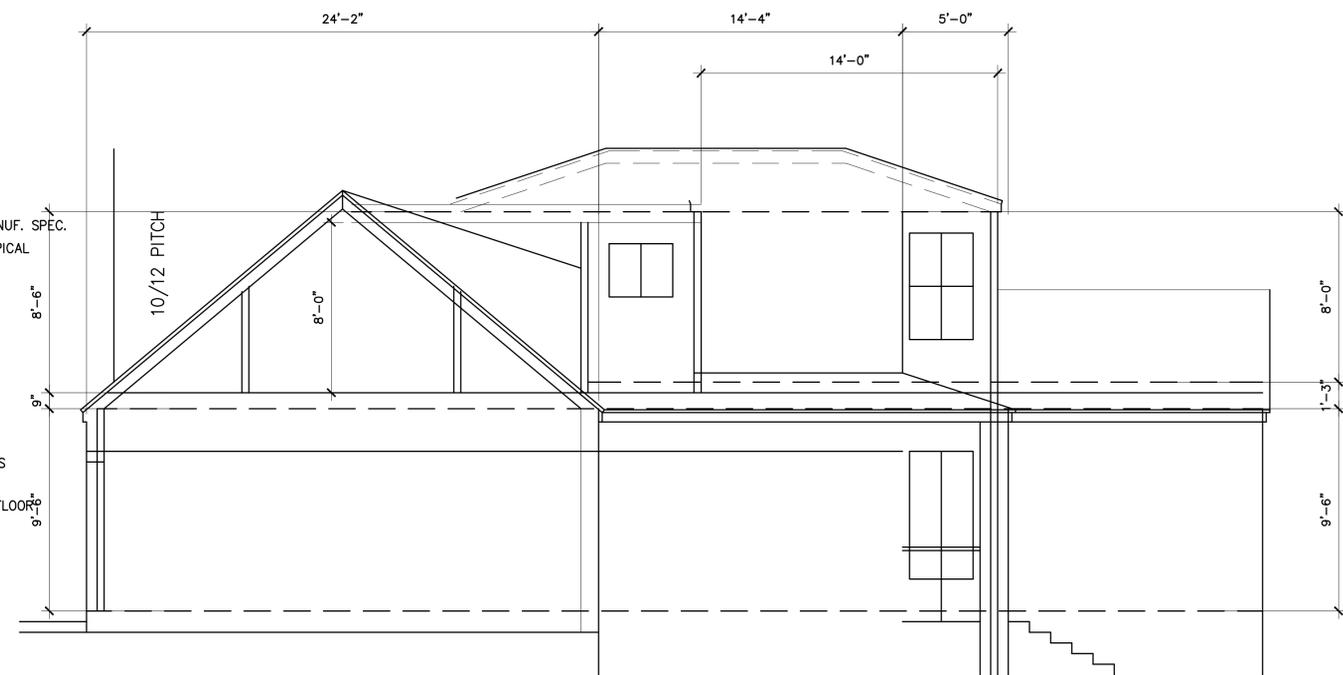
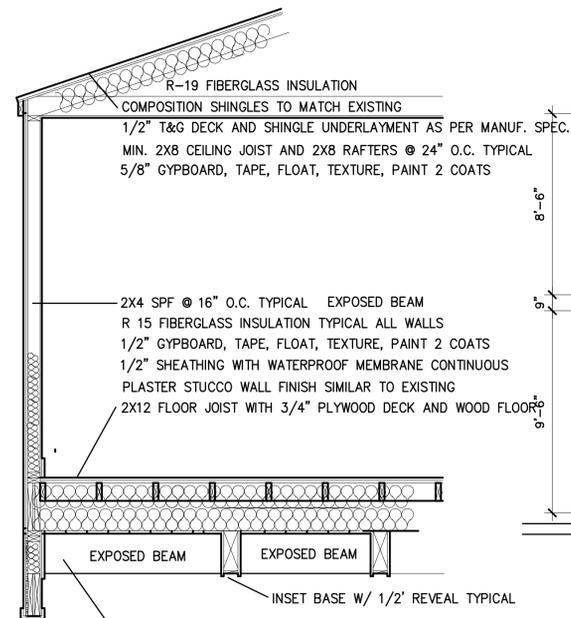
BLDG. SECTION

SHEET NO.

A-11

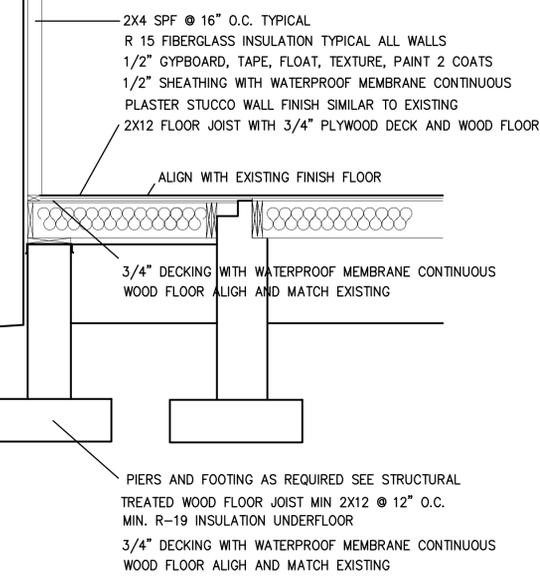
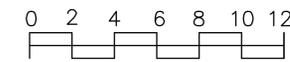
DEC. 7, 2012

24X36@1/4"



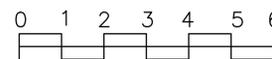
WEST ELEVATION

SCALE 1/4" = 1'-0"



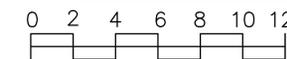
WALL SECTION

SCALE 1/2" = 1'-0"

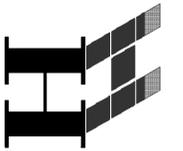


SOUTH ELEVATION

SCALE 1/4" = 1'-0"



8.5X11@ 1/4"



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BLDG. SECTION

SHEET NO.

A-12

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