

**HISTORIC LANDMARK COMMISSION
DECEMBER 17, 2012
NATIONAL REGISTER HISTORIC DISTRICT
NRD-2012-0128
Clarksville
1814 W. 11th Street**

PROPOSAL

Demolish a contributing house and construct a new main house and detached guest house and carport.

PROJECT SPECIFICATIONS

The existing house is a c. 1972, approximately 864 sq. ft., one-story house with a low slope, front gable roof, brick veneer, and aluminum frame windows. The applicant proposes to demolish the house and construct a new main house and detached guest house and carport.

The carport structure will be a two-bay structure located at the front of the property, set back 25' from the street. One bay will have a steep gable roof, siding on one wall and swinging, carriage house-style doors facing the street. The other bay will be an open carport with a low slop shed roof.

The main 2,156 sq. ft. house will be set further to the back of the property and will have a contemporary design with a front facing gable roof, a cross gabled projection to the rear, west side, and a shed roofed projection on the east elevation. The siding will be a combination of fiber cement lap siding with 4" exposure and brick. The roof will be clad in standing seam metal roofing. There will be a combination of fixed and casement windows in varying sizes.

A detached 847 sq. ft. guest house will be located at the rear of the property and will have similar forms and materials as the main house.

STANDARDS FOR REVIEW

The existing property is non-contributing to the Clarksville National Register Historic District. Applicable general design review guidelines for the District state:

- The distinguishing original qualities or character of a property and its environment shall not be destroyed. Removal or alteration of any historic material or distinctive architectural features should be avoided.
- All properties shall be recognized as products of their own time. Alterations which have no historical basis and which seek to create an earlier appearance shall be discouraged.
- Changes which have taken place in the course of time may have acquired significance in their own right, and shall be recognized and respected.
- Distinctive stylistic features or examples of skilled craftsmanship which characterize a property shall be treated with sensitivity.
- Deteriorated architectural features shall be repaired rather than replaced whenever possible. In the event replacement is necessary, the new material should match the

material being replaced in composition, design, color, texture, and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historical, physical, or pictorial evidence.

- Contemporary design for alterations and additions to existing properties are appropriate when such alterations and additions do not destroy significant historic, architectural, or cultural material and are compatible with the size, scale, color, material, and character of the property, neighborhood, or environment.
- Whenever, possible, new additions or alterations to structures shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the structure would not be impaired.

The design of the new buildings are compatible but differentiated from contributing properties in the District. However, the location of the carport at the front of the property and the house to the far rear is not compatible with the historic patterns of the neighborhood. Although staff understands that there are challenges in locating new buildings on this site due to the location of existing large trees, it being a narrow lot, and the lack of alley access for a rear garage, a design that accommodates a parking structure further back from the street, or that reads more like a residential building would be preferred.

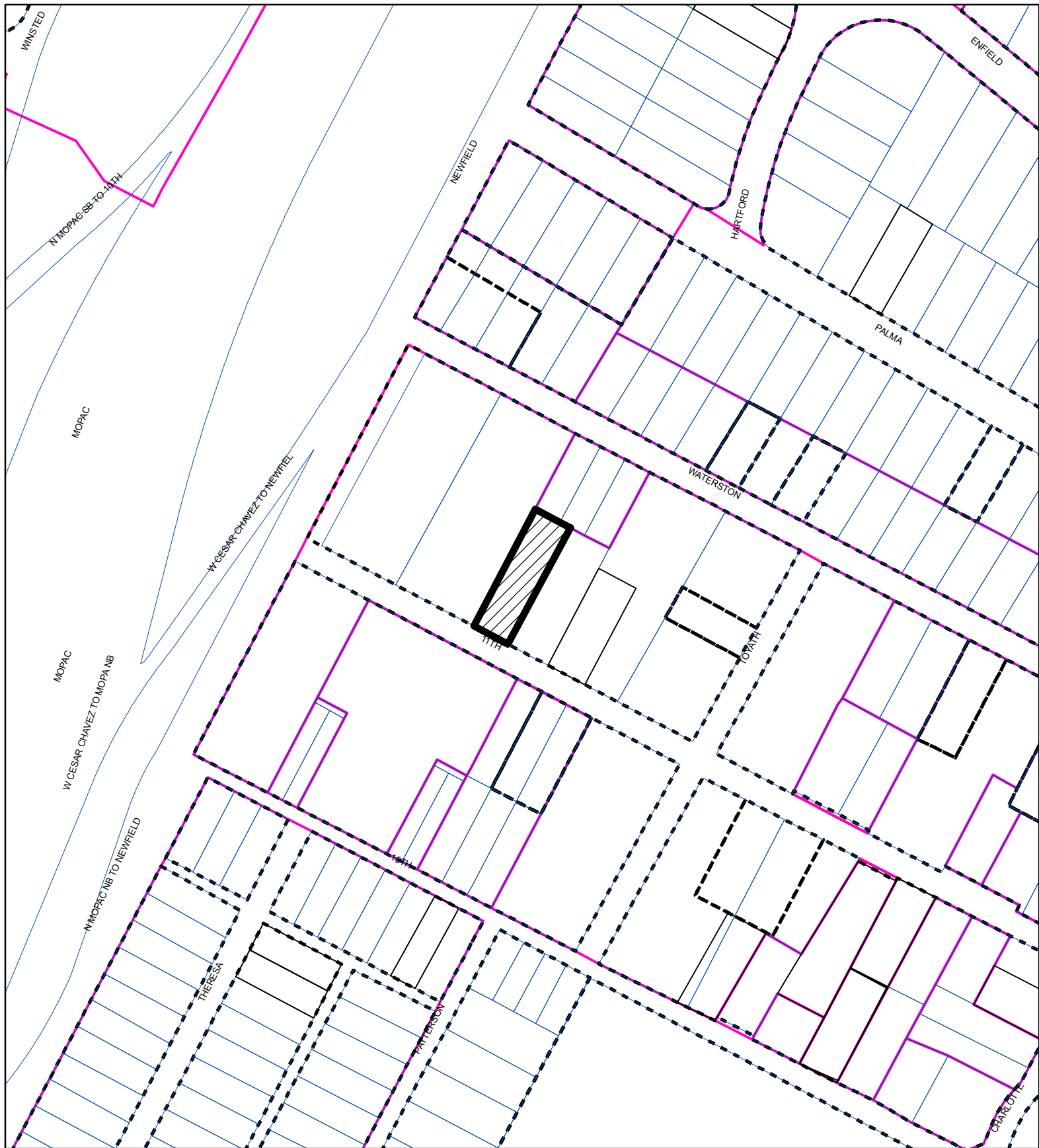
STAFF RECOMMENDATION

Release the permit requesting the applicant explore design options that are more compatible with the District.

PHOTOS







SUBJECT TRACT



ZONING BOUNDARY

CASE#: NRD-2012-0128
LOCATION: 1814 W 11th Street



This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

This product has been produced by the Planning and Development Review Department for the sole purpose of geographic reference. No warranty is made by the City of Austin regarding specific accuracy or completeness.

GENERAL NOTES

1. It is the intent of these Contract Documents to establish a high quality level of material and workmanship, but not necessarily to note and call for every last item of work to be done. Any item not specifically covered but deemed necessary for satisfactory completion of the work shall be accomplished by the Contractor in a manner consistent with the quality of work without additional cost to the owner. All material and methods of installation shall be in accordance with industry standards and manufacturer's recommendations.

2. The Contractor shall be responsible for a thorough review of all drawings specifications and existing conditions prior to commencement of work. This includes but is not limited to site utilities and the structural scope of work. The failure of the Contractor to report discrepancies and seek modification or change prior to commencement of work shall be construed as full acceptance of the condition in question by the Contractor. The Contractor shall assume responsibility for all work depicted by the Contract Documents regardless of whether the Subcontractors agree as to whose jurisdiction certain areas of the scope of work are under.

3. It shall be assumed that the Contractor and the Subcontractors are sufficiently experienced to be considered qualified in their respective work responsibilities. The Contractor shall insure that the Owner receives acceptable workmanship common to the industry from all Subcontractors and material suppliers and is responsible for hiring qualified staff personnel and/or Subcontractors as necessary.

4. The Contractor shall verify the location of all existing utilities so that the work may proceed safely and be coordinated among all Subcontractors and personnel involved. The Contractor shall notify the Owner and Designer in advance of any work required by public utility entities that will affect the cost of schedule of the work.

5. The contractor shall meet all OSHA requirements and maintain a safe working environment for all personnel and occupants during the entire project. The jobsite is to be kept orderly and as clean as possible during all construction activities.

6. This drawing set is provided to communicate only the basic design of the building. Structural design by others, all plumbing and Electrical shall also be design build and shall be coordinated by owner.

7. Any errors and omissions or inconsistencies found in these drawings shall be brought to the Designers attention immediately. Do not proceed with work until all issues have been resolved in writing.

8. Do not scale the drawings, written dimensions take precedence over scale dimensions.

9. All new construction dimensions are drawn to the face of new studs as shown on the drawings. Any inconsistencies shall be brought to the Designer's attention prior to the commencement of work.

10. The Contractor shall verify all grades and grading requirements prior to the commencement of work. Grades shown are approximate, therefore all stairs and finish floor elevations shall be coordinated in the field. Note: Two consecutive steps shall constitute a stair, and stairs shall not exceed 7 3/4" rise or a 10" run per code. Mount one handrail per stair to continue the length of the run at 34" above the nosing typical. All stairs shall be built in conformance with all codes as applicable.

11. All 'clear' and 'minimum' dimensions shall be within 1/8" along it's full length. No adjustments shall be made without the Designer's prior written consent.

12. Locations of all partitions and doors shall be approved by the Designer or Owner in the field prior to construction. The Contractor shall notify the Designer or Owner of any conflicts or discrepancies in the location of new construction.

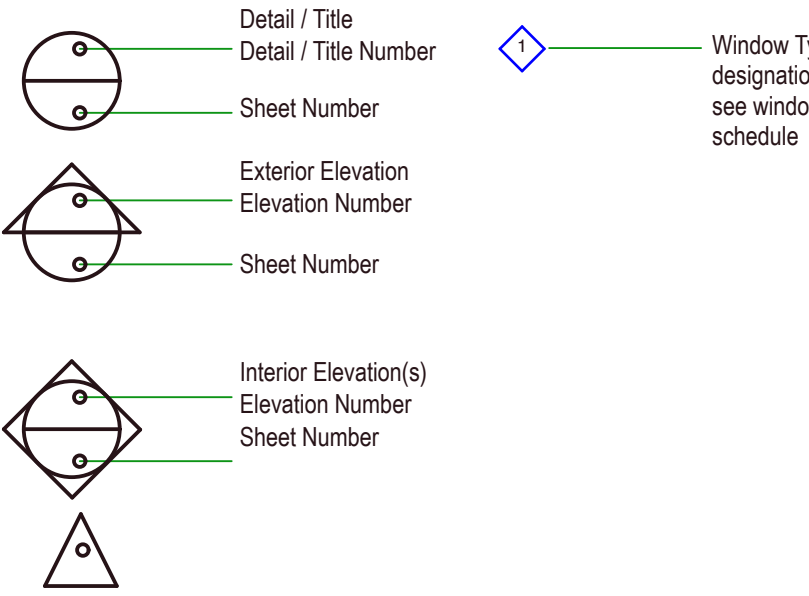
13. Larger scale drawings take precedence over small scale, details take precedence over all. Contractor shall notify the Designer of any discrepancies in writing prior to commencement of work.

14. The Contractor and Owner shall take full responsibility to meet all code and manufacturer's requirements.

It is the responsibility of the Builder/Developer to insure the project conforms to all codes applicable at the time of construction.

Note: Manufacturers installation guidelines take precedence over diagrammatic details and drawings. Any inconsistencies shall be brought to the Owner's attention prior to the commencement of work.

SYMBOLS



Note: See Electrical drawings for additional symbols.(E1)

PROJECT DESCRIPTION

Address: 1814 W 11th, Austin TX 78703
E 41.66FT OF S 197FT OF
LOT 9 BLK 14 MAAS ADDN

Scope of Work: New Home, Carport and Guest House
Zoning: SF-3

| Area Calculations | Total |
|---------------------|------------|
| Site square footage | 8,121 s.f. |
| First Floor : | 943 s.f. |
| Second Floor : | 1213 s.f. |
| Guest House: | 847 s.f. |
| Carport: | 450 s.f. |
| Covered Porches: | 355 s.f. |

Building Coverage: 2595 s.f. 32%

Driveway: 824 s.f.
Sidewalks: 100 s.f.
Air Conditioner Pads: 18 s.f.
Uncovered Porches:
Uncovered Decks: 0 s.f.

Impervious Coverage: 3537 s.f. 44%

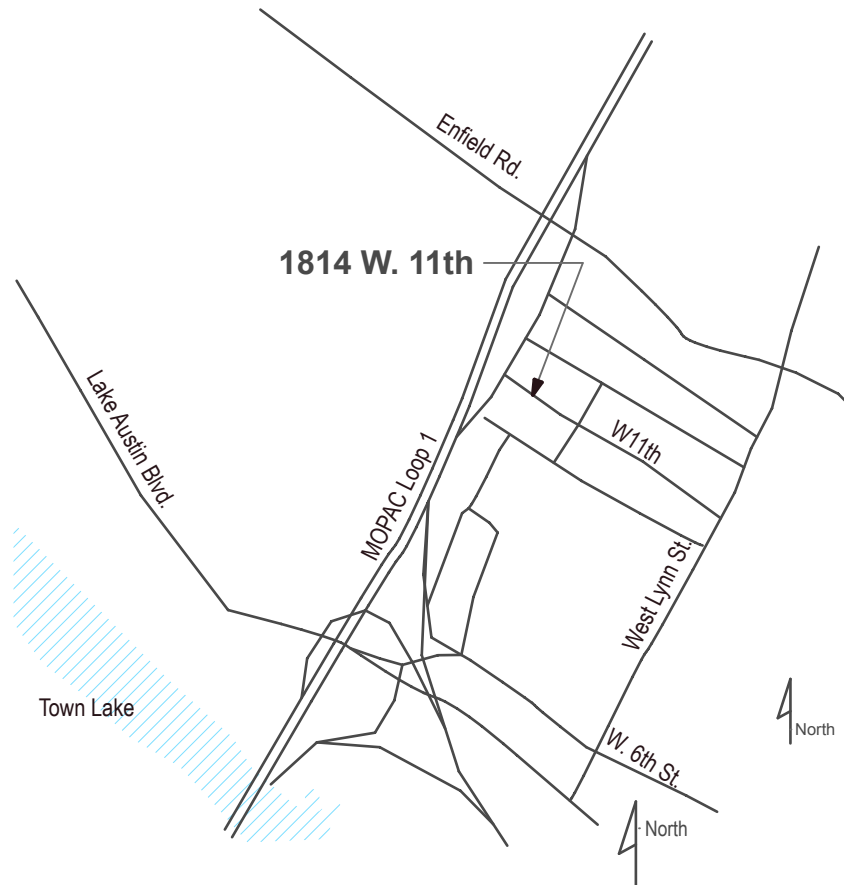
PROJECT INFORMATION

Owner: Pat Michalik and Connie Blair
1814 W 11th
Austin TX 78703

Architect: dement harris | design
Donald Harris AIA
512.297.4206

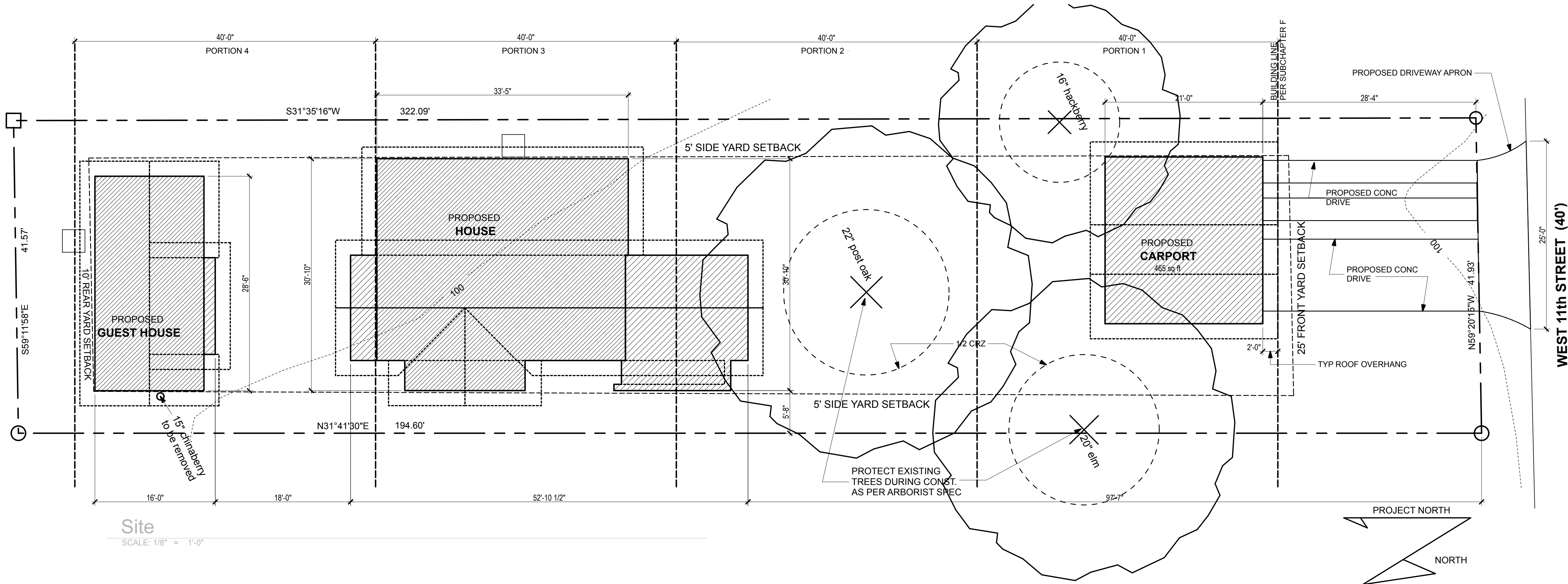
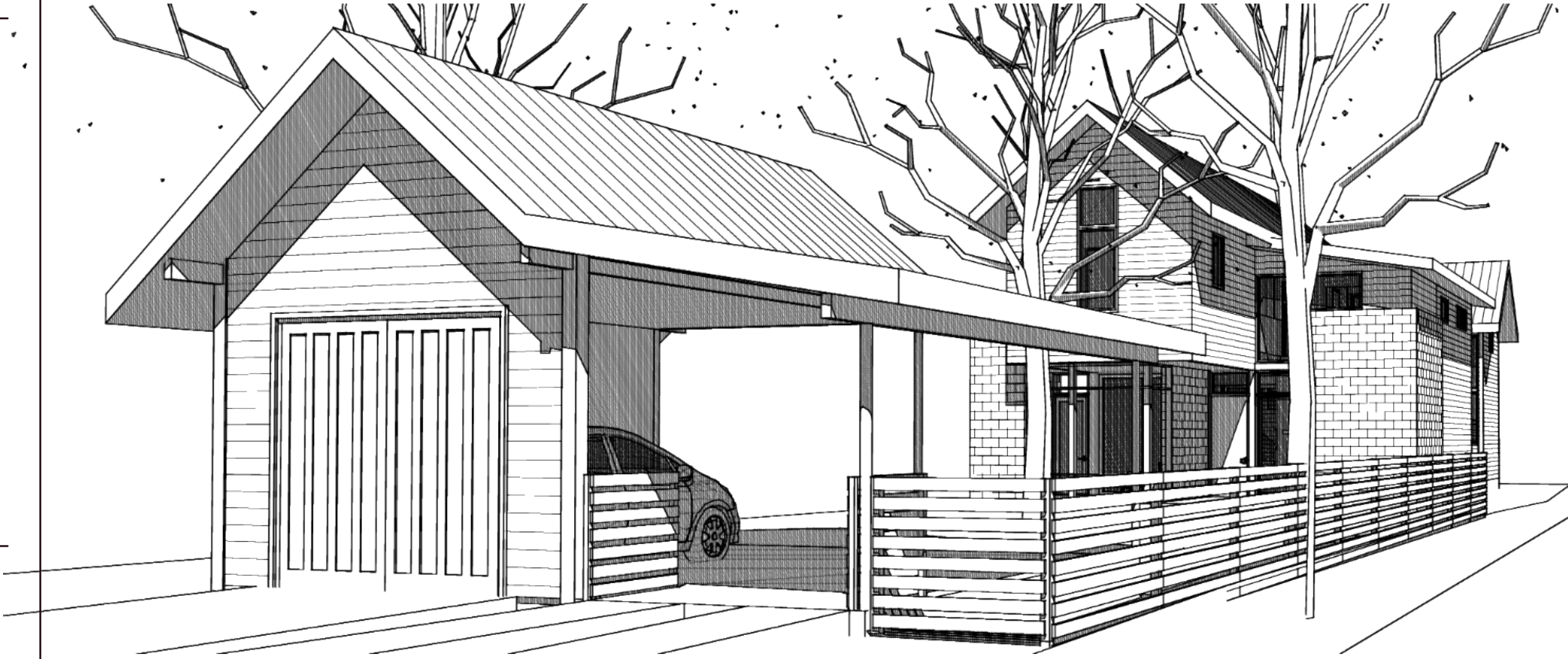
Builder: Tom Blackwell
512.925.2299

VICINITY MAP



SHEET INDEX

- A1.0 Cover Sheet / General Notes/ Site Plan
A2.0 Proposed Floor Plans
A2.1 Roof Plans/ Carport Plan
A3.0 Elevations
A3.1 Elevations



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Proposed Residence

1814 W 11th St.

Austin, Texas

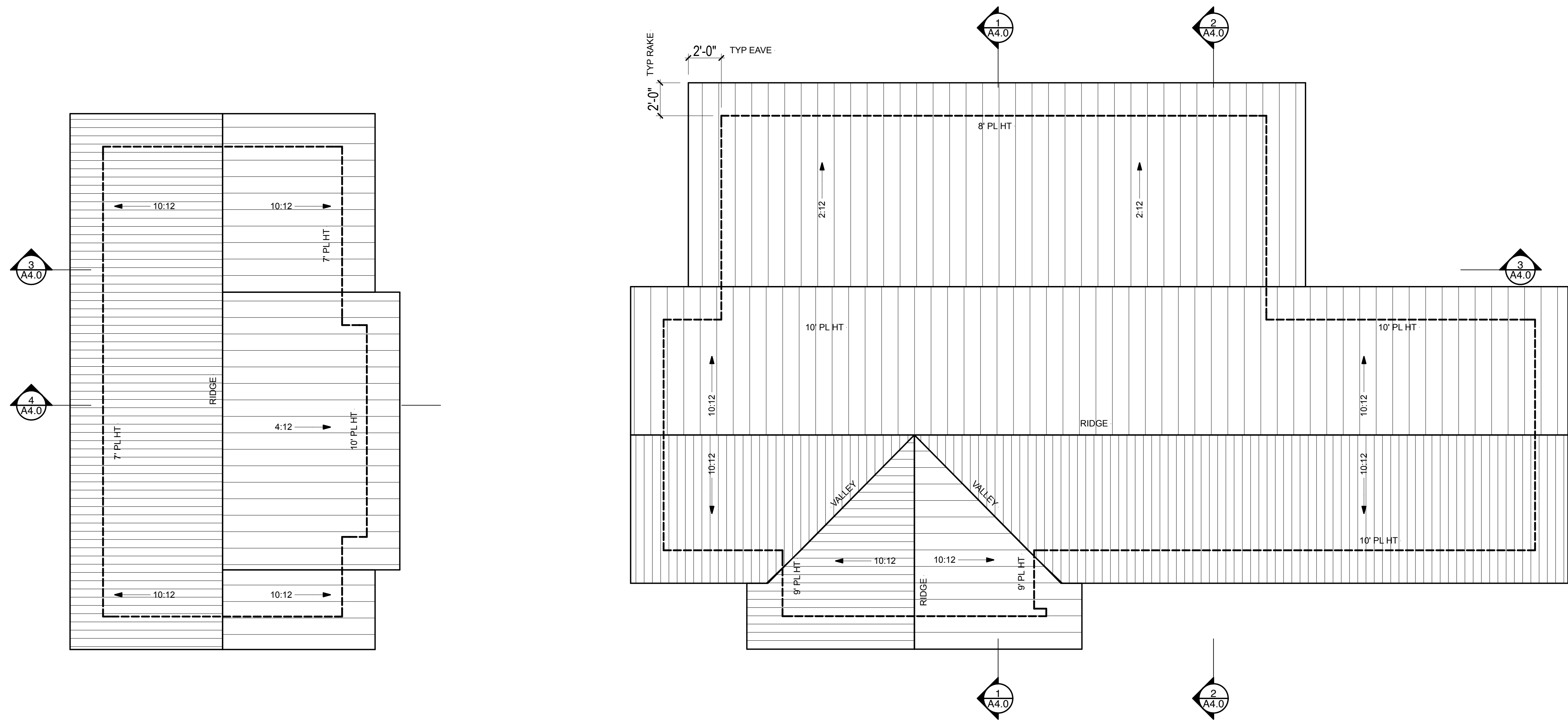
11/13/12 schematic design

11/27/12 permit set

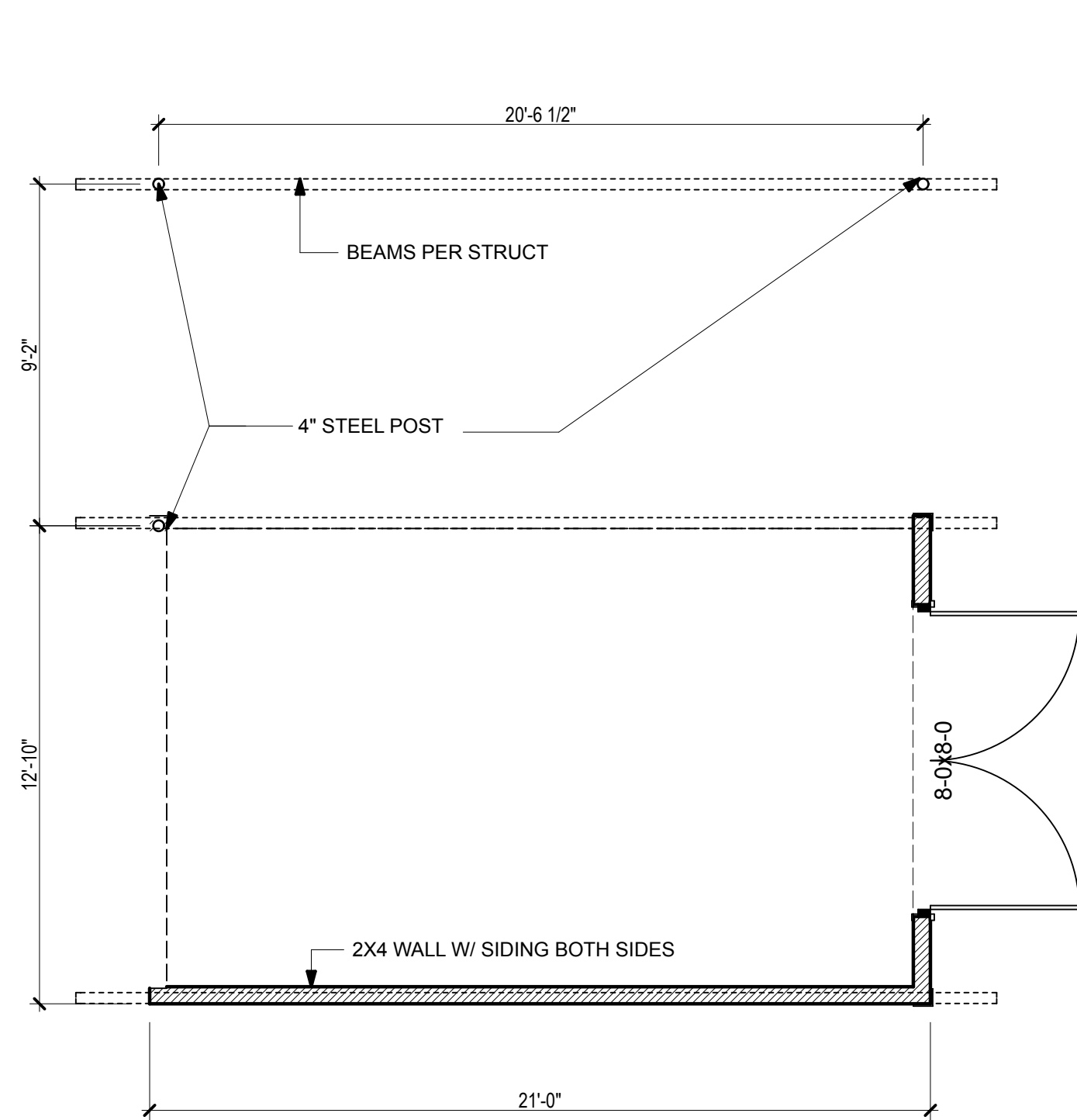
A1.0

SCALE: 1/4" = 1'-0"

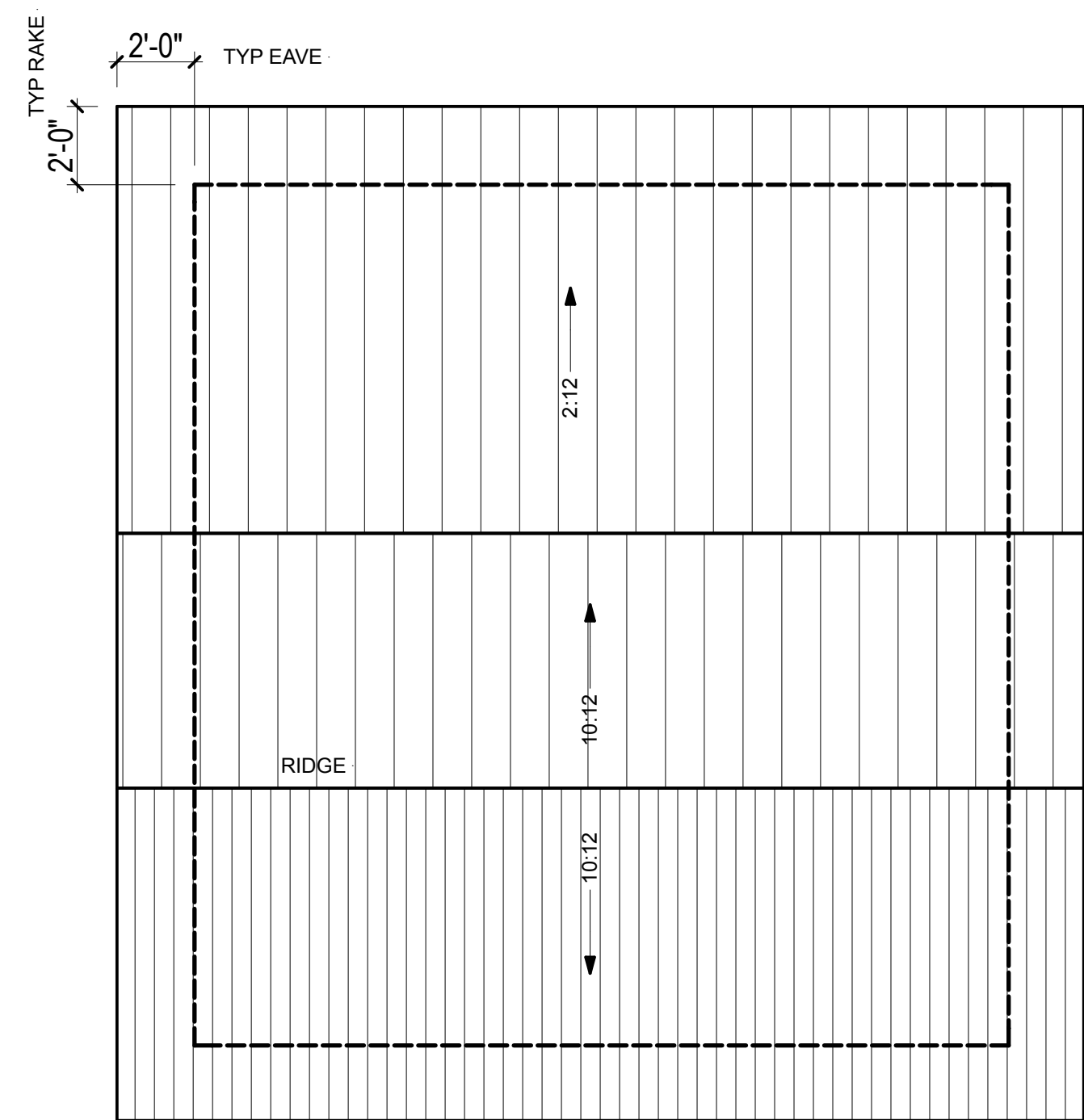
SCALE: 1/4" = 1'-0"



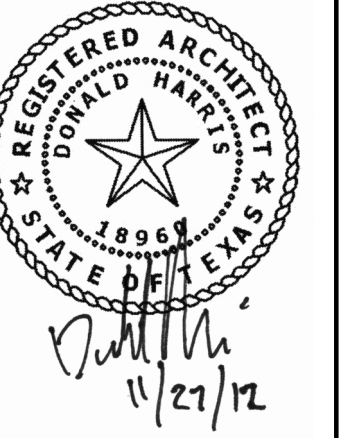
Roof
SCALE: 1/4" = 1'-0"

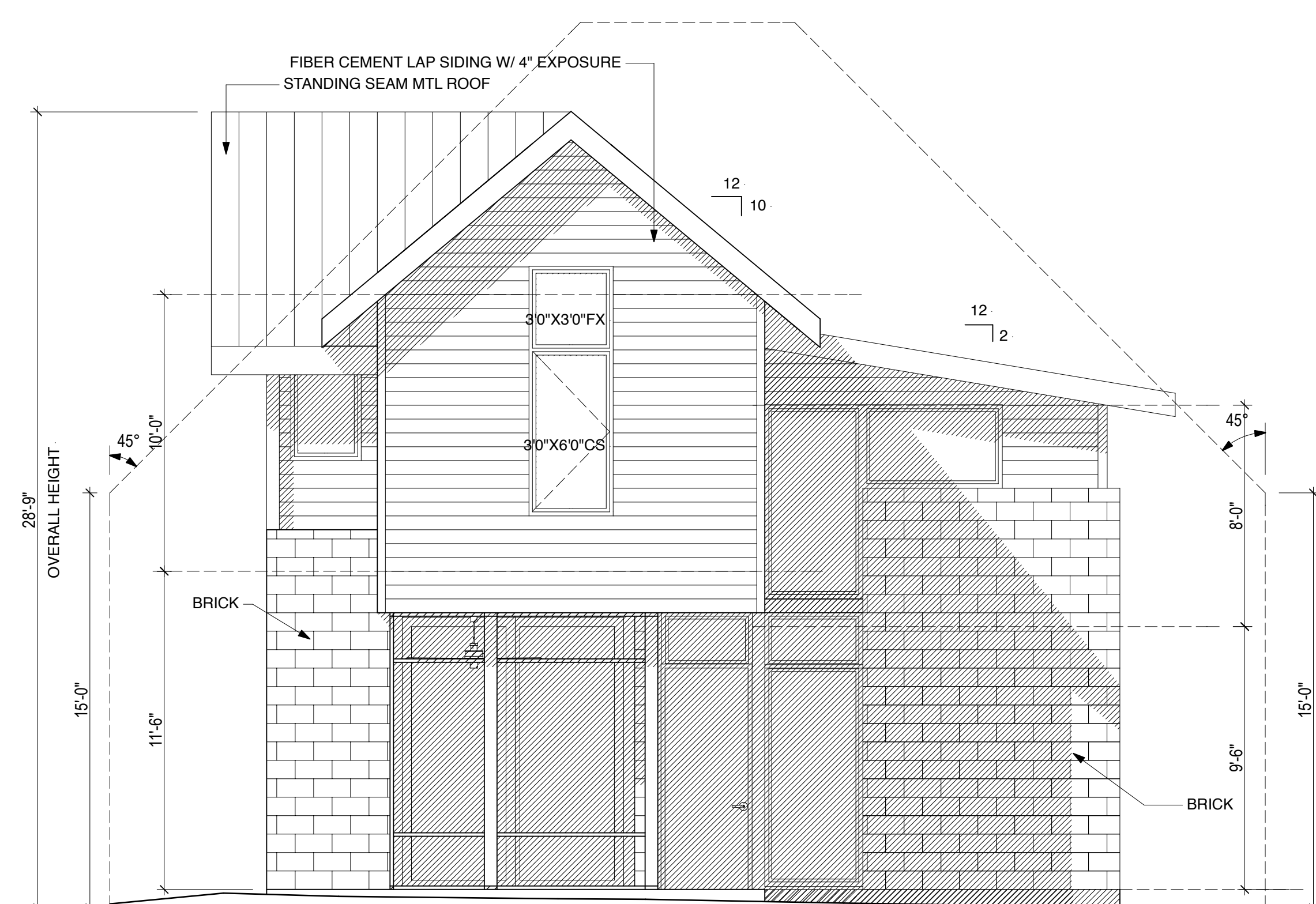


Carport Plan
SCALE: 1/4" = 1'-0"

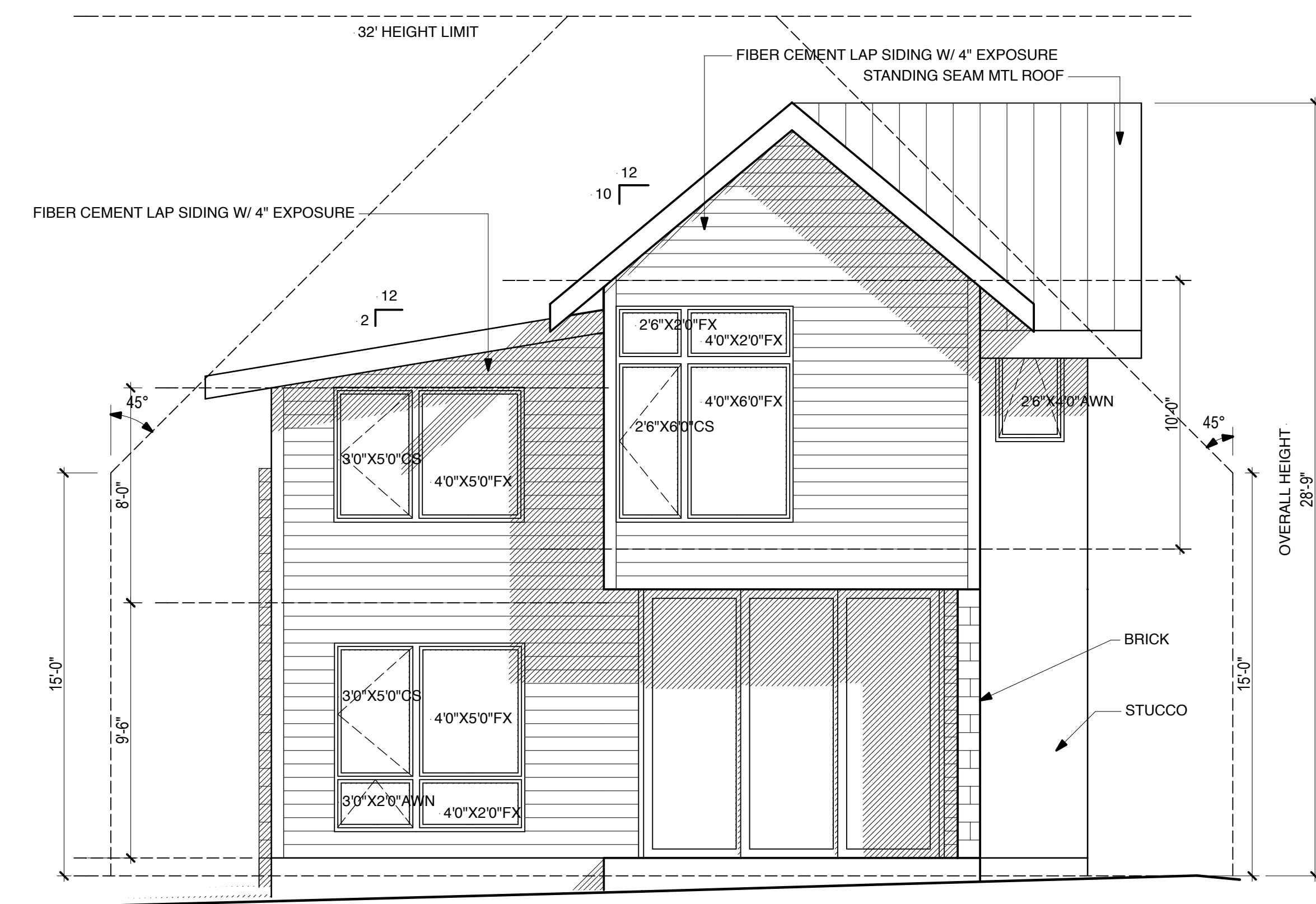


Carport Roof
SCALE: 1/4" = 1'-0"





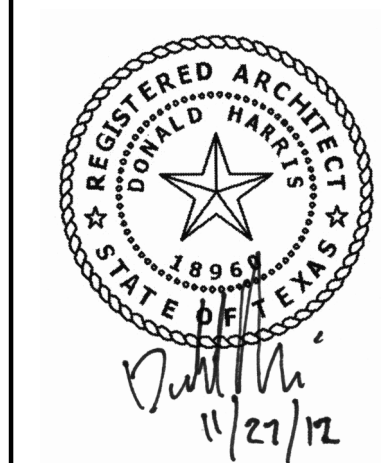
SOUTH (front house)
SCALE: 1/4" = 1'-0"



NORTH (front house)
SCALE: 1/4" = 1'-0"



EAST
SCALE: 3/16" = 1'-0"



Proposed Residence
1814 W 11th St.
Austin, Texas

11/13/12 schematic design

11/27/12 permit set



11/13/12 schematic design

11/27/12 permit set

A3.1

