

**HISTORIC LANDMARK COMMISSION
MARCH 25, 2013
NATIONAL REGISTER HISTORIC DISTRICT
NRD-2013-0017
Old West Austin
1611 Preston Avenue**

PROPOSAL

Construct a porch on the front of a contributing house.

PROJECT SPECIFICATIONS

The c. 1940 residence is an approximately 2,500 sq. ft. Minimal Tradition house with a hipped roof. In 2010 the house was re-clad with horizontal hardi-plank siding, to replace aluminum siding, and the original windows were replaced with wood, double-hung windows.

The applicant proposes to add a front porch with a very low-pitch, standing seam, metal roof supported by squared, wood columns. The floor of the porch will be wood planks and will be raised to the height of the existing front door threshold.

STANDARDS FOR REVIEW

The existing property is contributing to the Old West Austin National Register Historic District. Applicable general design review guidelines for the District state:

- The distinguishing original qualities or character of a property and its environment shall not be destroyed. Removal or alteration of any historic material or distinctive architectural features should be avoided.
- All properties shall be recognized as products of their own time. Alterations which have no historical basis and which seek to create an earlier appearance shall be discouraged.
- Changes which have taken place in the course of time may have acquired significance in their own right, and shall be recognized and respected.
- Distinctive stylistic features or examples of skilled craftsmanship which characterize a property shall be treated with sensitivity.
- Contemporary design for alterations and additions to existing properties are appropriate when such alterations and additions do not destroy significant historic, architectural, or cultural material and are compatible with the size, scale, color, material, and character of the property, neighborhood, or environment.
- Whenever, possible, new additions or alterations to structures shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the structure would not be impaired.

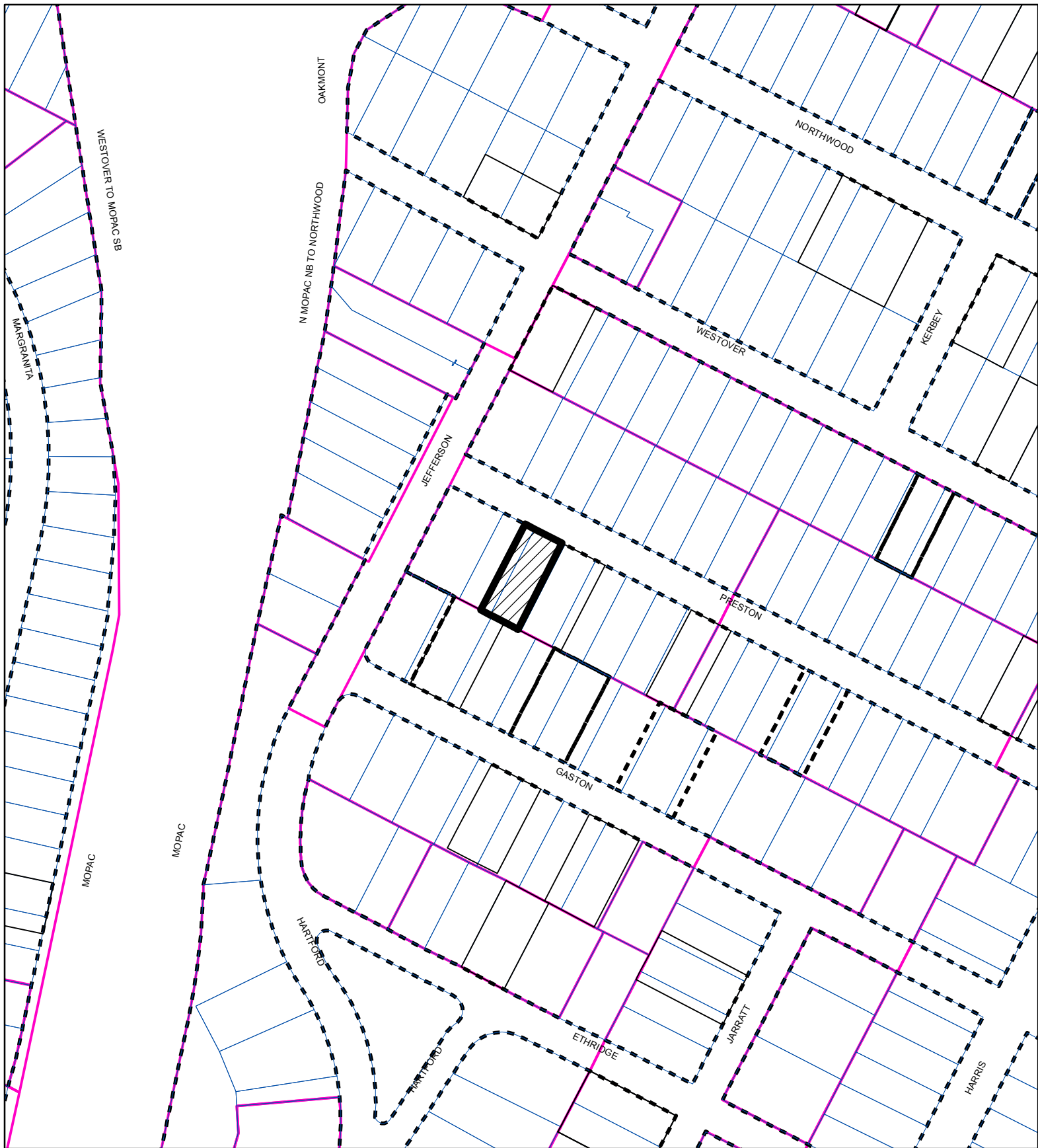
The new porch does not block the visibility of the existing façade and so does not significantly impact the existing architectural character of the house. Additionally, front porches are not uncommon in the district so the addition is compatible with the character of the surrounding district.

STAFF RECOMMENDATION

Release the permit with the recommendation that the columns and floor be painted to match the trim on the house.

PHOTOS





SUBJECT TRACT



ZONING BOUNDARY

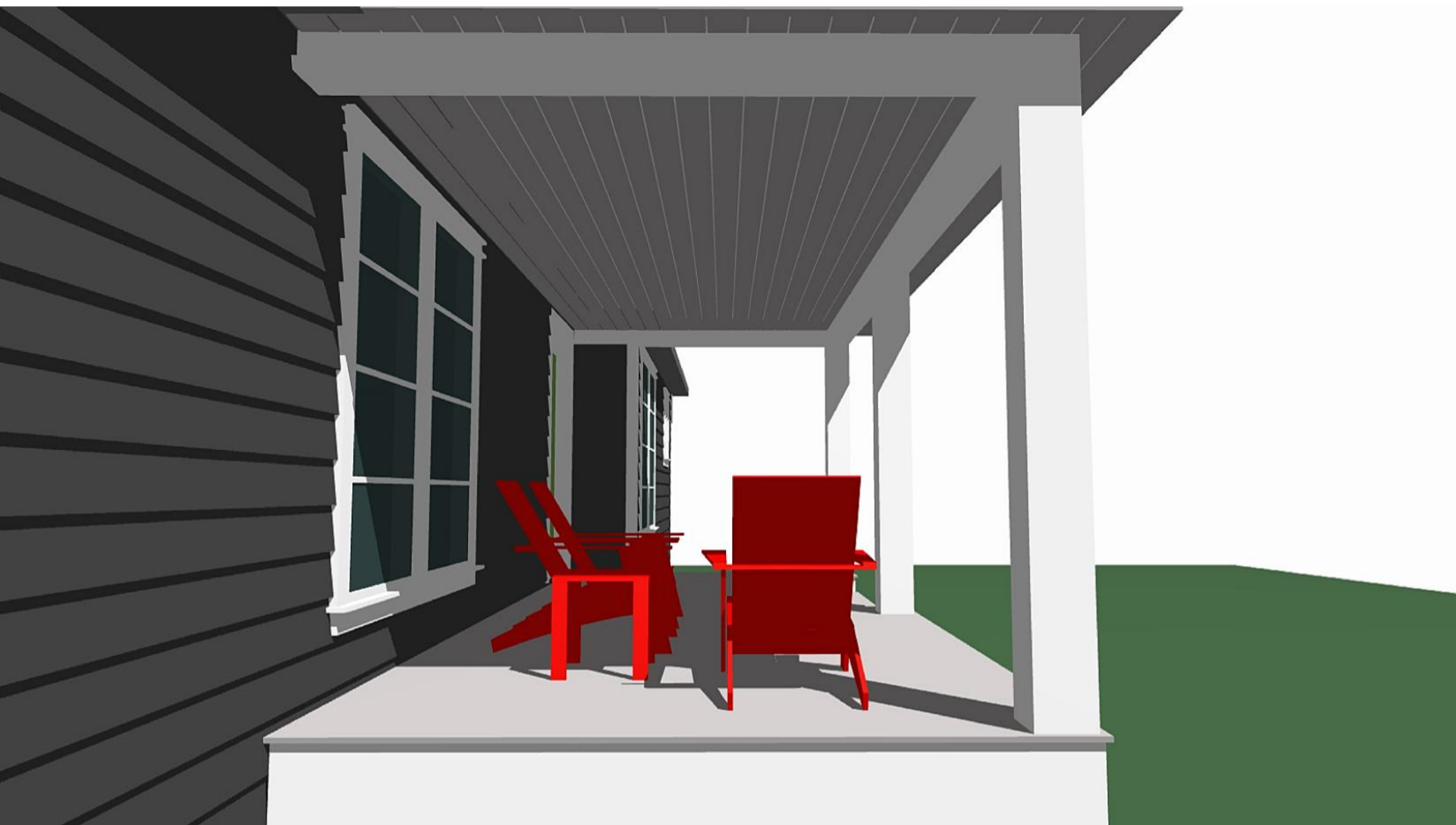
CASE#: NRD-2013-0017
LOCATION: 1611 Preston Avenue

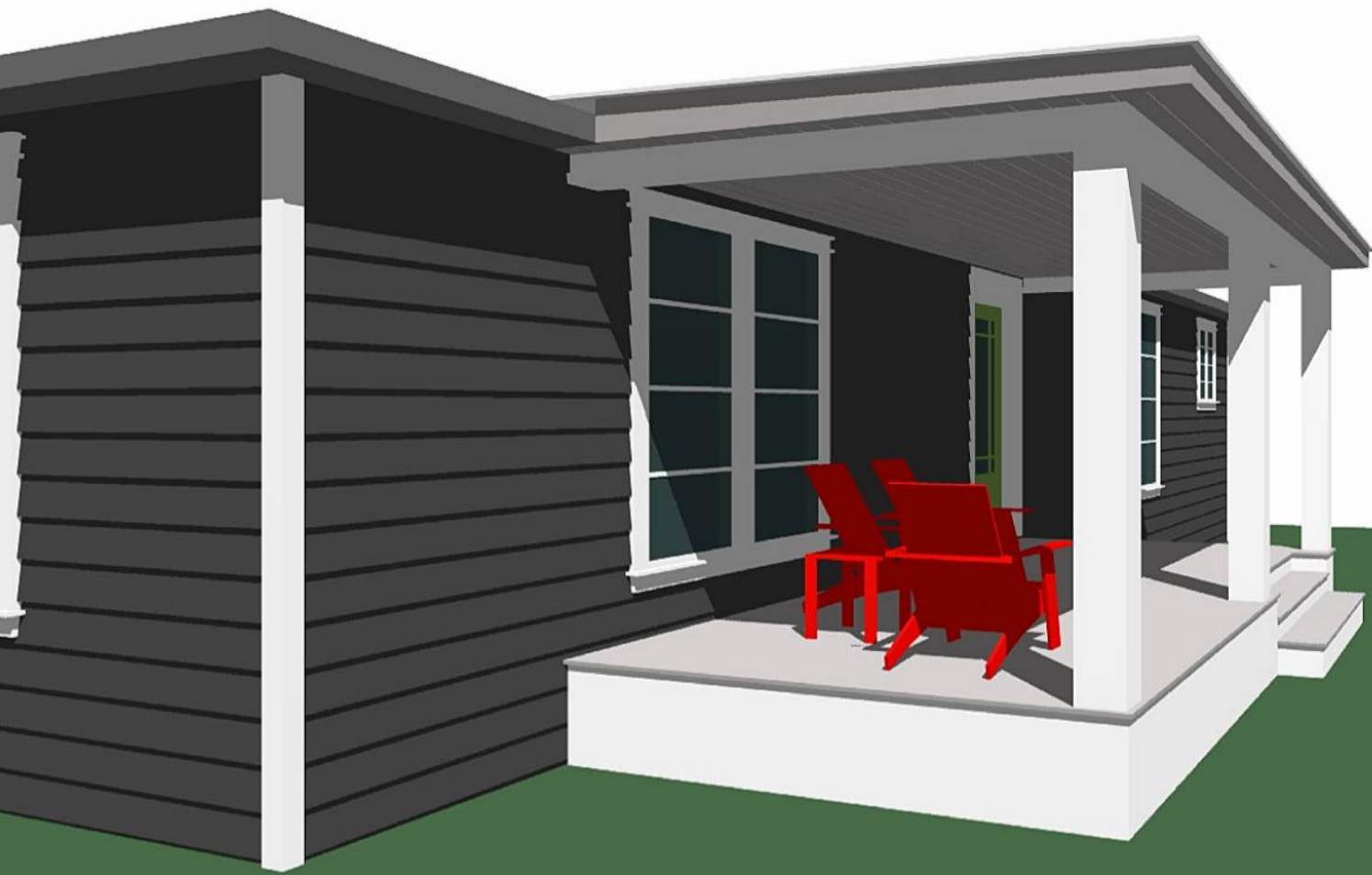


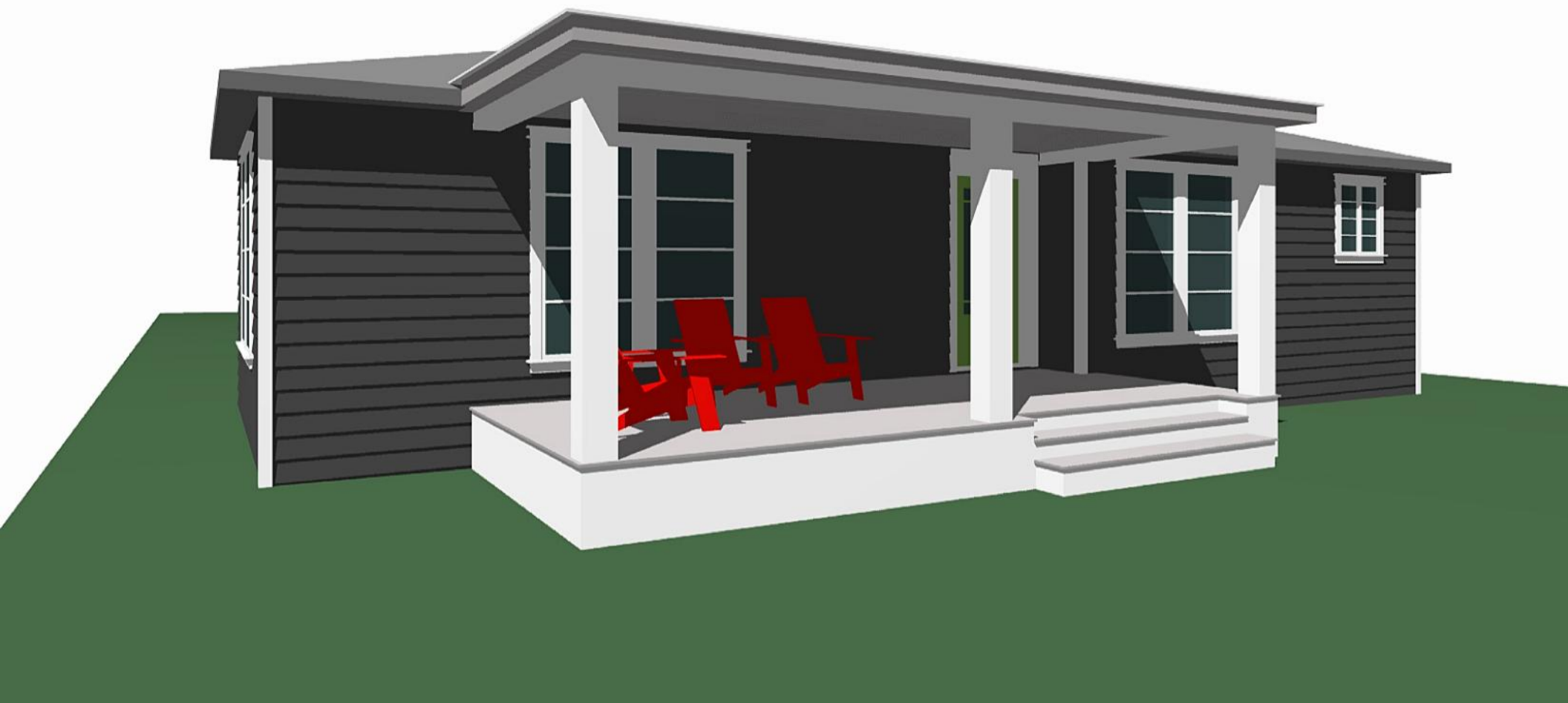
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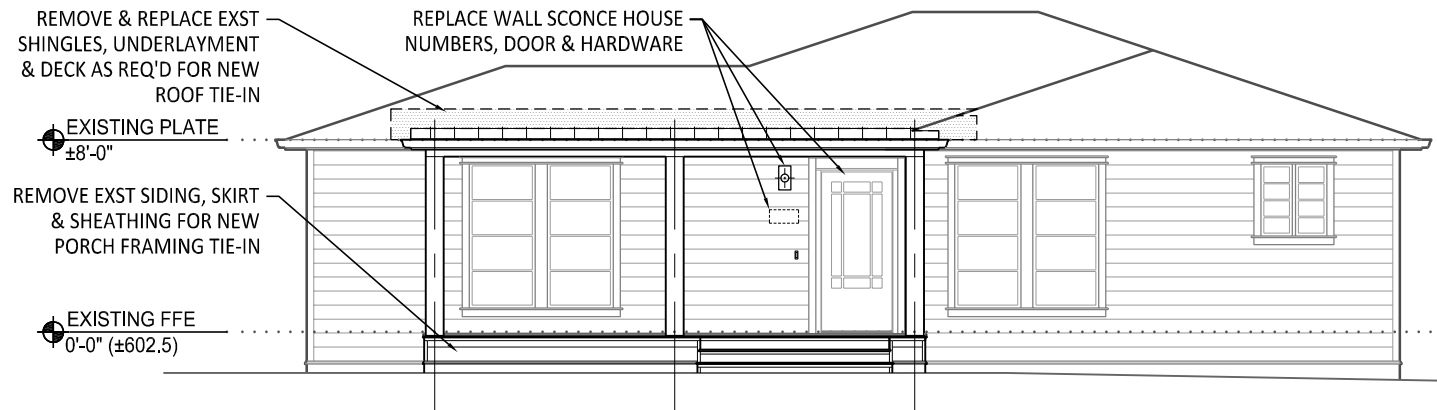
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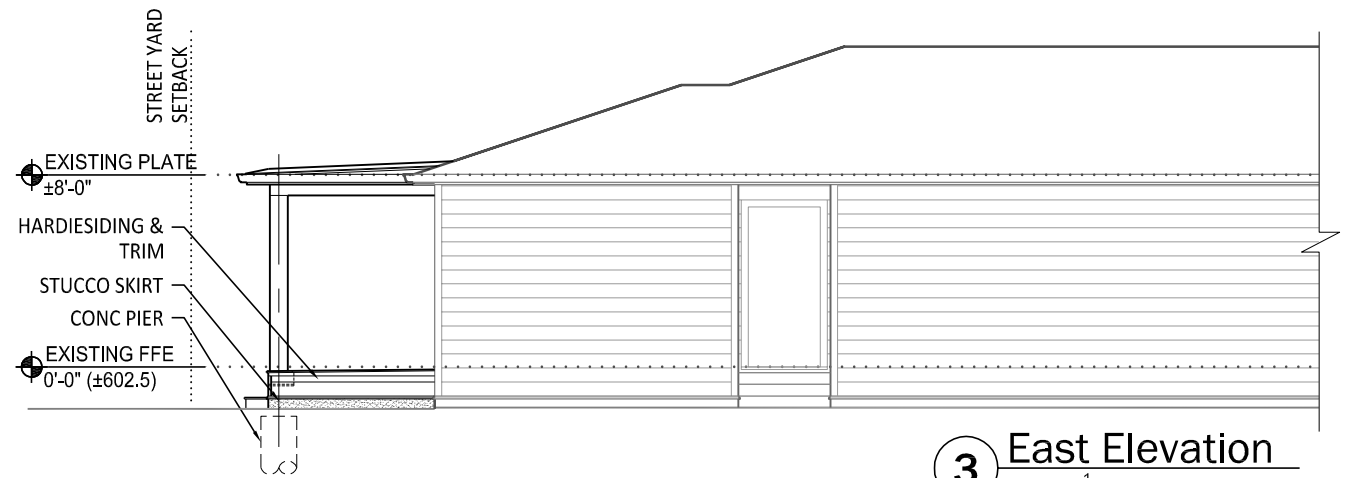




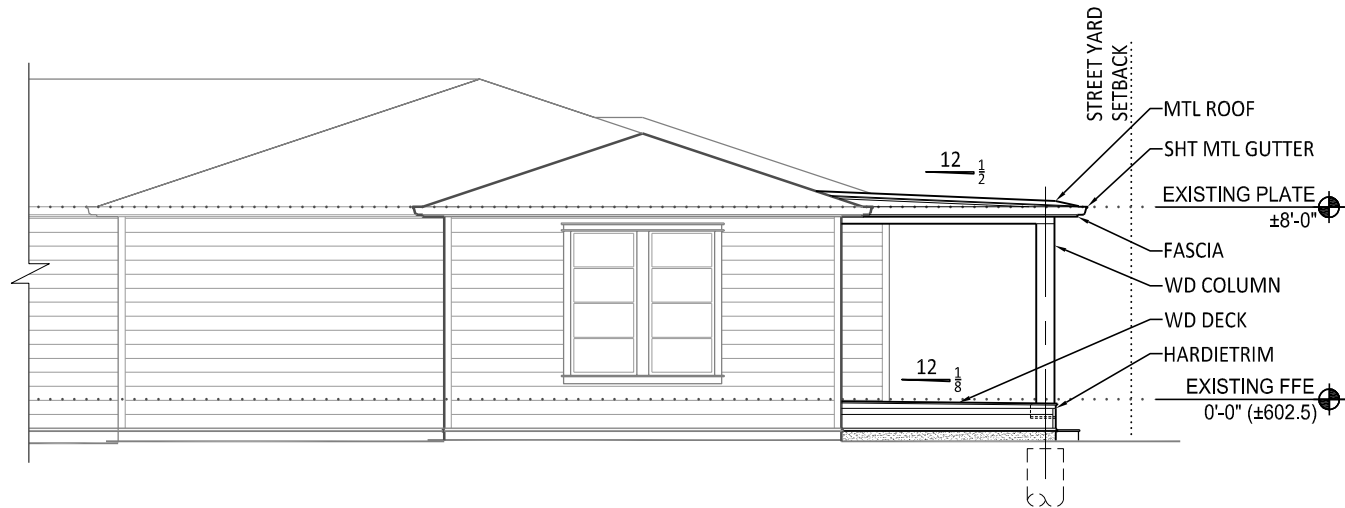




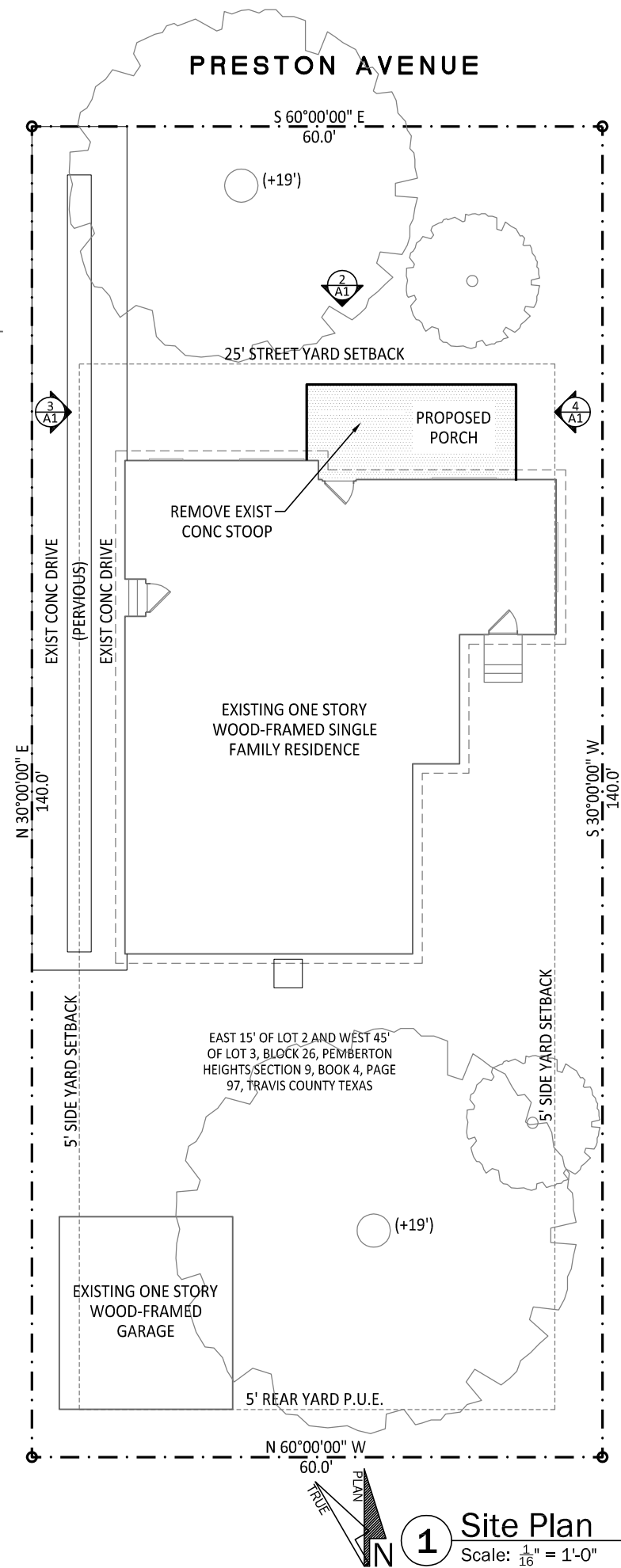
2 North Elevation
Scale: $\frac{1}{8}" = 1'-0"$



3 East Elevation
Scale: $\frac{1}{8}" = 1'-0"$



4 West Elevation
Scale: $\frac{1}{8}" = 1'-0"$



1 Site Plan
Scale: $\frac{1}{16}" = 1'-0"$

- ### GENERAL NOTES
- DO NOT SCALE DRAWINGS
 - DIMENSIONS ARE TO THE FACE OF FINISH UNLESS NOTED OTHERWISE
 - VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION START. NOTIFY ARCHITECT OF DISCREPANCIES OR UNFORESEEN CONDITIONS PRIOR TO WORK COMMENCEMENT

- ### CODE SUMMARY
- ALL CODES LISTED INCLUDE LOCAL AMENDMENTS; REFER TO CITY OF AUSTIN CODES & STANDARDS
- 2009 INTERNATIONAL BUILDING CODE
 - 2011 NATIONAL ELECTRICAL CODE
 - 2009 UNIFORM MECHANICAL CODE
 - 2009 UNIFORM PLUMBING CODE
 - 2006 INTERNATIONAL RESIDENTIAL CODE
 - 2009 INTERNATIONAL ENERGY CONSERVATION CODE

- ### SITEWORK NOTES
- PROTECT EXISTING TREES W/ TEMPORARY FENCING AND ACCORDING TO CITY OF AUSTIN REQUIREMENTS
 - COORDINATE SITE CLEARING, STAGING, & STORAGE LOCATIONS WITH OWNER
 - PROTECT ALL ITEMS NOTED FOR REMOVAL, SALVAGE, AND REINSTALLATION FROM THEFT, LOSS, OR DAMAGE
 - RELOCATE EXISTING SPRINKLER HEADS AS REQUIRED TO FACILITATE WORK
 - COORDINATE W/ OWNER FOR ASSOCIATED LANDSCAPING WORK
 - ADJUST GRADE AT PERIMETER OF NEW PORCH FOR POSITIVE DRAINAGE SLOPE AWAY FROM CONSTRUCTED ELEMENTS; ELIMINATE PONDING

COVERAGE CALCS

| | | |
|---------------------------|-------------|----------|
| ZONING: SF-3 | | |
| LOT SIZE: 8,400 SF | | |
| IMPERVIOUS COVER: | | |
| ALLOWABLE | 45% | 3,780 SF |
| EXISTING | 37% | 3,126 SF |
| PROPOSED | 39% | 3,258 SF |
| BUILDING COVER: | | |
| ALLOWABLE | 40% | 3,360 SF |
| EXISTING | 29% | 2,510 SF |
| PROPOSED | 31% | 2,642 SF |
| BUILDING HEIGHT: | | |
| ALLOWABLE | 35ft | |
| EXISTING | 15ft | |
| PROPOSED | (NO CHANGE) | |

- ### SITE LEGEND
- ITEM TO BE DEMOLISHED
 - EXISTING FENCE
 - EXISTING ITEM TO REMAIN
 - PROPERTY LINE

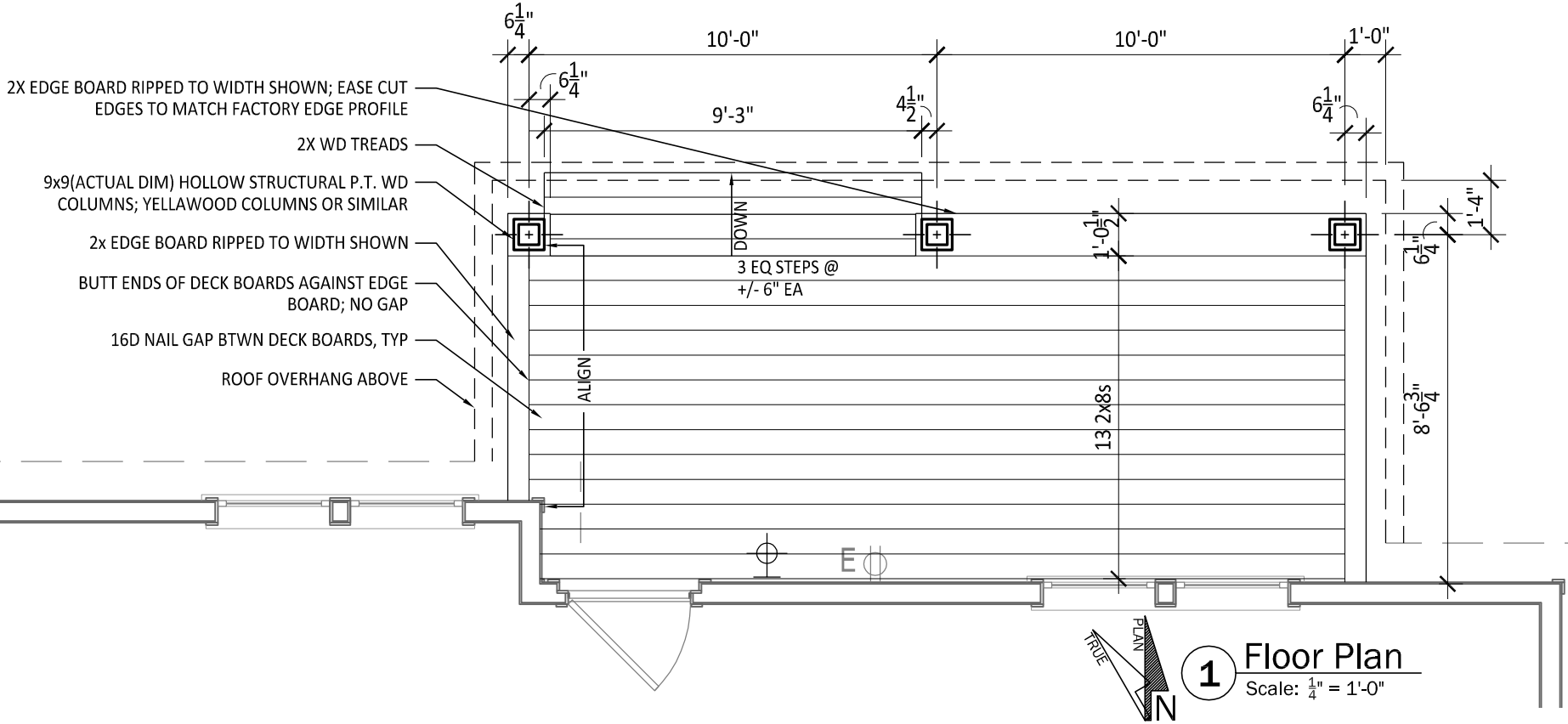


TRAVIS LUCY
ARCHITECT
1611 Preston
AUSTIN TEXAS
78703

2.22.2013
Permit Set

Site Plan &
Elevations

A1



DEMOLITION NOTES

1. PRIOR TO DEMOLITION START, CONTRACTOR SHALL INSPECT ALL ELEMENTS TO BE REMOVED AND DETERMINE WHETHER THEY ARE LOAD-BEARING OR NOT. CONTRACTOR SHALL DESIGN AND INSTALL SHORING AND BRACING TO PRESERVE ALL REMAINING STRUCTURE, UNDAMAGED
2. PROTECT EXPOSED INTERIOR WALL & ROOF CONSTRUCTION DURING CONSTRUCTION WHERE A SEAMLESS PATCH BETWEEN EXISTING AND NEW (WALL, FLOOR, CEILING, OR TRIM) IS NOT POSSIBLE OR WILL NOT RESULT IN "LIKE NEW" APPEARANCE, REMOVE EXISTING ELEMENT AND REPLACE WITH NEW TO MATCH
4. PROTECT ALL FINISHES TO REMAIN FROM DAMAGE DURING CONSTRUCTION
5. MAINTAIN A CLEAN JOBSITE. REMOVE DEBRIS AT THE END OF EACH WORK DAY. COORDINATE WITH OWNER FOR ACCEPTABLE MATERIAL LAYDOWN & WASTE STORAGE AREAS

GENERAL NOTES

1. VERIFY ALL EXISTING CONDITIONS BEFORE BEGINNING CONSTRUCTION. NOTIFY ARCHITECT/OWNER OF ANY DISCREPANCIES BETWEEN CONSTRUCTION DOCUMENTS AND EXISTING CONDITIONS BEFORE BEGINNING WORK.
2. STRUCTURAL ENGINEERING OF FLOOR FRAMING, CONCRETE PIERS, COLUMN, AND ROOF FRAMING PROVIDED BY OTHER
3. COORDINATE ALL LANDSCAPING, IRRIGATION, SELECTIONS OF FINISHES & COLORS WITH OWNER PRIOR TO CONSTRUCTION START
4. ANY ITEMS, PRODUCTS, OR MATERIALS NOT SPECIFIED SHALL BE SELECTED BY OWNER BUT IN NO CASE LESS THAN THOSE REQ'D BY IBD 2009 OR IECC 2009
5. INSTALL ALL COMPONENTS AND SYSTEMS PER MANUFACTURER'S RECOMMENDATIONS, AS REQUIRED FOR WARRANTY
6. ROOF ASSEMBLY:
STANDING SEAM METAL ROOF WARRANTED TO 1/2" 12" SLOPE
2 LAYERS #30 ROOFING FELT UNDERLAYMENT
GRACE ICE & WATER SHIELD (24" WIDE) @
TIE-IN JOINT WITH EXISTING ROOF & EAVES
ROOF SHEATHING
ROOF FRAMING
7. GUTTER TO MATCH EXISTING PROFILE & SIZE
8. PRESERVE CODE-REQUIRED MINIMUM VENTILATION AREA FOR CRAWL SPACE



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Plan