

**HISTORIC LANDMARK COMMISSION  
MARCH 25, 2013  
NATIONAL REGISTER HISTORIC DISTRICT  
NRD-2012-0127  
Old West Austin  
2301 Hartford Road**

**PROPOSAL**

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Exterior remodel and additions on a contributing house.

**RESEARCH**

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The existing house was constructed c. 1951 for Joe C. Franzetti and his wife Martha Sunderberg Franzetti. Joe Franzetti is the son of Angelo and Guilitta Franzetti, originally from Italy, who owned the grocery store at 901 E. 6th Street, which is no longer standing. Other members of the Franzetti family owned grocery stores as well; however, Joe Franzetti was in the real estate and insurance business. After his death on February 19, 1995 Martha Franzetti moved to 210 W. 11th Street and she later died on December 26, 1999.

**PROJECT SPECIFICATIONS**

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The existing c. 1951 house is an approximately 3,200 sq. ft., one-story "rambling" ranch with a low-pitched cross-gable roof form. The house is clad in limestone set in a random ashlar pattern, and has numerous steel framed casement-style windows. The house is on a corner lot so three of the elevations are clearly visible from the public right-of-way.

The applicant proposes to make significant revisions to the exterior of the house including changing the roof forms, relocating the main entrance to Watchhill Road, adding stucco cladding, removing all windows and installing new window openings, and constructing two-story additions on both the Hartford and Watchhill Road elevations. Further the application proposes to install a 6' concrete privacy wall surrounding the yard on the Hartford Road side of the property. The style of the revisions is contemporary with multiple shed roofs, and windows of various sizes and shapes.

**STANDARDS FOR REVIEW**

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The existing property is contributing to the Old West Austin National Register Historic District. Applicable general design review guidelines state:

- The distinguishing original qualities or character of a property and its environment shall not be destroyed. Removal or alteration of any historic material or distinctive architectural features should be avoided.
- All properties shall be recognized as products of their own time. Alterations which have no historical basis and which seek to create an earlier appearance shall be discouraged.
- Changes which have taken place in the course of time may have acquired significance in their own right, and shall be recognized and respected.
- Distinctive stylistic features or examples of skilled craftsmanship which characterize a property shall be treated with sensitivity.

- Contemporary design for alterations and additions to existing properties are appropriate when such alterations and additions do not destroy significant historic, architectural, or cultural material and are compatible with the size, scale, color, material, and character of the property, neighborhood, or environment.
- Whenever, possible, new additions or alterations to structures shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the structure would not be impaired.

The changes proposed do not retain any of the original qualities or characteristics of the house and render it no longer contributing to the National Register Historic District so do not meet the guidelines. Further, the design and form is not compatible with contributing properties in the district in terms of form, patterns, or character.

**STAFF RECOMMENDATION**

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Recommend that the applicant reconsider the design to maintain the property's contributing status; however release the permit after submittal of a City of Austin Documentation Package consisting of photographs of all elevations, a dimensioned sketch plan, and a narrative history for archiving at the Austin History Center.

PHOTOS

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Existing front elevation (Hartford Road)



Existing side elevation (Watchhill Road)

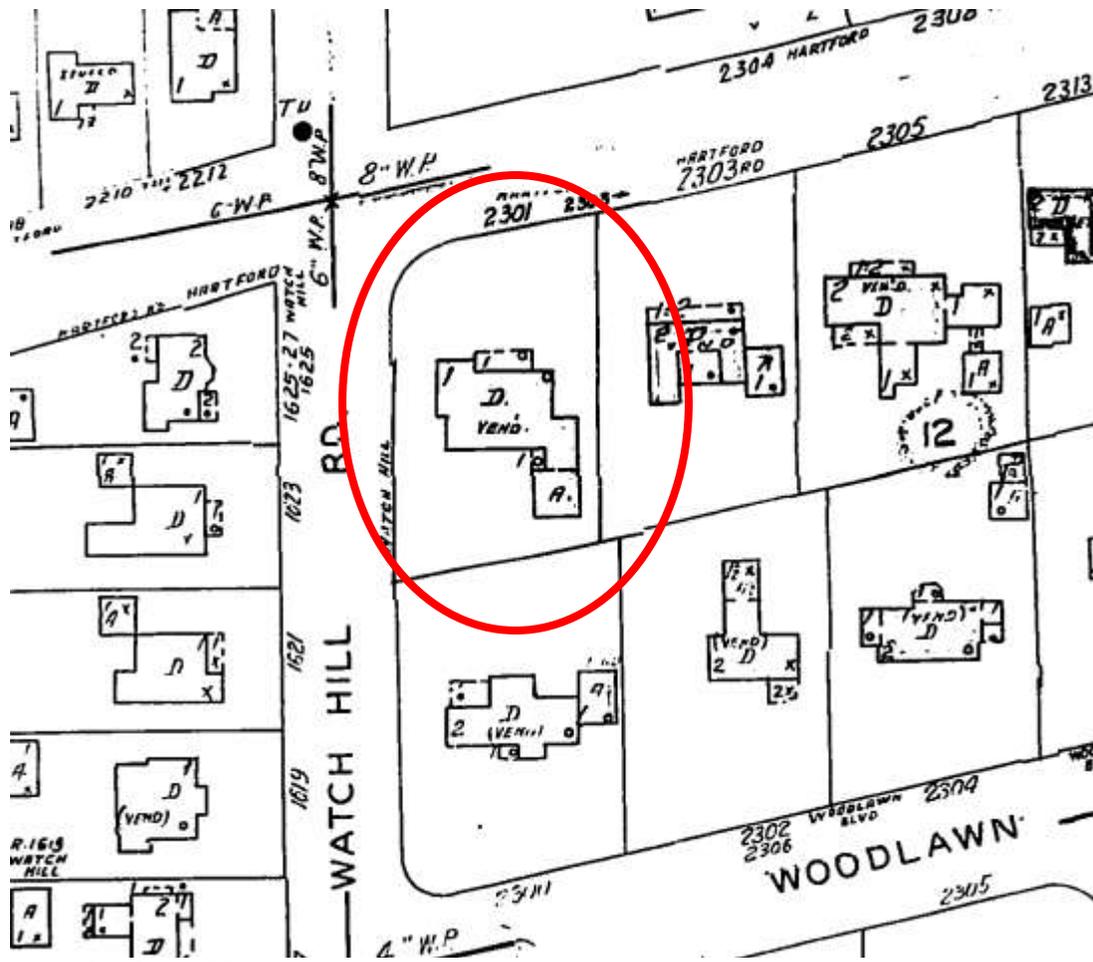
OCCUPANCY HISTORY  
2301 Hartford Road

From City Directories, Austin History Center

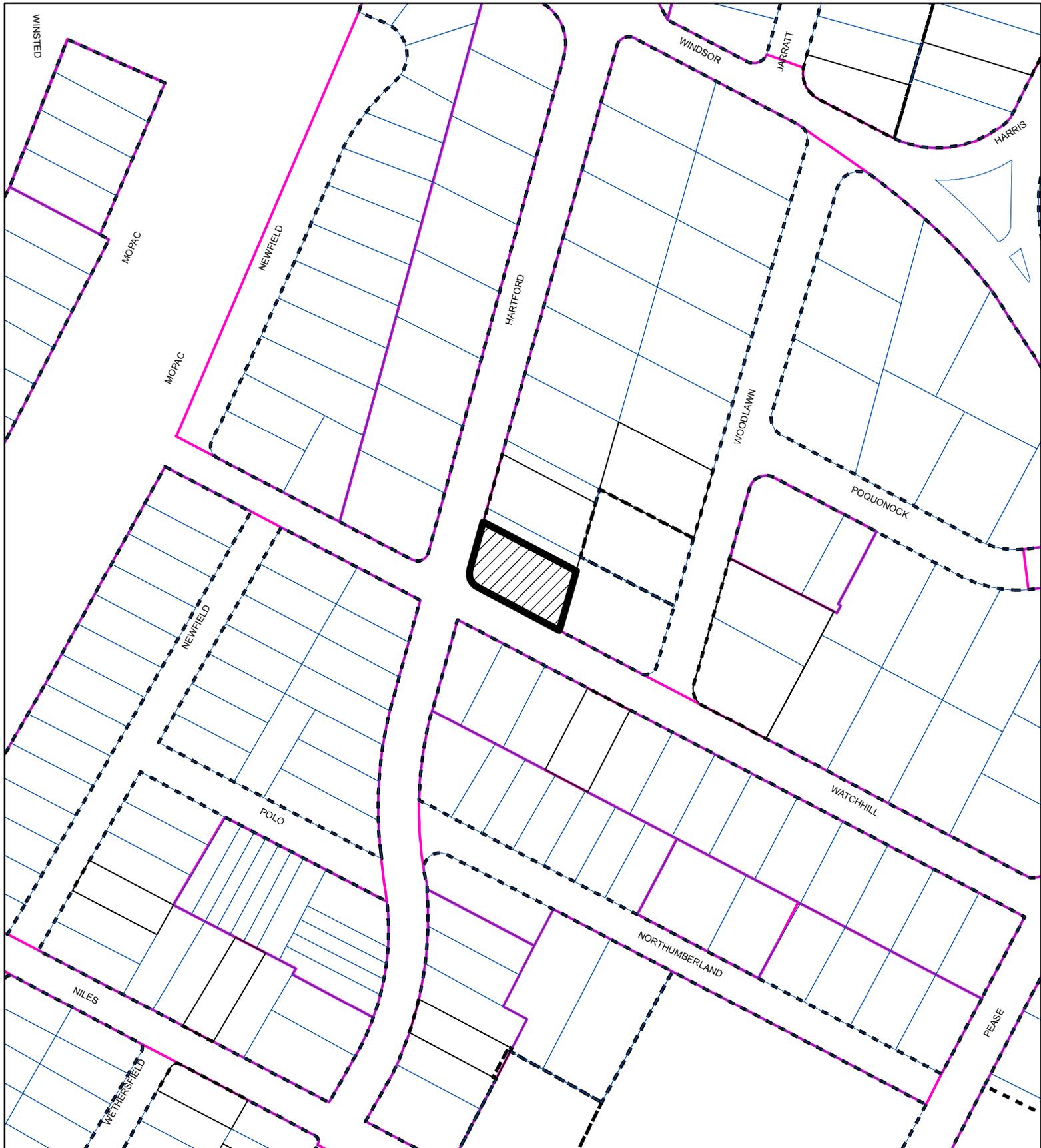
City of Austin Historic Preservation Office  
March 2013

2000	No listing for Joe or Martha Franzetti
1997	Joe C. Franzetti listed at 210 W. 11th Street
1996	Joe C. and Martha Franzetti, owners
1970	Joe C. and Martha Franzetti, owners Real Estate and Insurance
1965	Joe C. and Martha Franzetti, owners Real Estate and Insurance
1963	Joe C. and Martha Franzetti, owners Real Estate and Insurance
1961	Joe C. and Martha Franzetti, owners Real Estate and Insurance
1959	Joe C. and Martha Franzetti, owners Real Estate and Insurance
1957	Joe C. and Martha Franzetti, owners Real Estate and Insurance
1955	Joe C. and Martha Franzetti, owners Real Estate and Insurance
1953	Joe C. and Martha Franzetti, owners Real Estate and Insurance
1952	Joe C. and Martha Franzetti, owners Real Estate and Insurance
1949	No listing Joe C. and Martha Franzetti listed at 2008 Chicon





1961 Sanborn Map



 SUBJECT TRACT

 ZONING BOUNDARY

CASE#: NRD-2012-0127  
 LOCATION: 2301 Hartford Road



This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

This product has been produced by the Planning and Development Review Department for the sole purpose of geographic reference. No warranty is made by the City of Austin regarding specific accuracy or completeness.

LOT 28

LOT 29

N 60°30'00" W 236.53'  
BEARING BASIS

JOSEPH LARRY & ANNA DRAYER  
NORTH 17.5 OF LOT 30  
AND SOUTH 86' OF LOT 31  
4054/1422

TAG NO.	TREE DESCRIPTION
1	31" OAK TREE
2	18" OAK TREE
4491	28" OAK TREE
4490	30" OAK TREE
3	24" PALM TREE
4	19" OAK TREE
5	17" PALM TREE
6	7" OAK TREE
7	7" OAK TREE
8	11" PALM TREE
9	6" OAK TREE



**IMPORTANT NOTICE**  
This Survey was prepared without the benefit of a title commitment. There may be additional setback lines, easements and interests which are relevant to this property and unknown to B&G SURVEYING INC.



### TOPOGRAPHIC & TREE SURVEY

TO THE LIENHOLDER AND / OR PRESENT OWNERS OF THE PREMISES SURVEYED

#### LEGEND

- 1/2" REBAR FOUND
- 1/2" CAPPED REBAR SET
- 1/2" IRON PIPE FOUND
- 600 WALL FOUND
- CAPPED REBAR FOUND
- \* SET IN CONCRETE
- \* FOUND IN CONCRETE
- SPRINKLE FOUND
- CHAIN LINK FENCE
- WOOD FENCE
- METAL FENCE
- BUILDING LINE
- PUBLIC UTILITY EASEMENT
- DRAINAGE EASEMENT
- PER PLAT
- CONTROL MONUMENT
- RIGHT OF WAY
- PLACE OF BEGINNING
- OVERHEAD ELECTRIC
- POWER POLE

STREET ADDRESS: **2301 HARTFORD ROAD**  
 LOT: **92.12' OF LOT 30**  
 SUBDIVISION: **SUNSET HILL ENFIELD**  
 REFERENCE NAME: **SUNIL PATEL**

CITY: **AUSTIN** COUNTY: **TRAVIS** STATE OF TEXAS  
 VOL/CAB **3** PG/SLD **164** PLAT RECORDS:

*[Signature]*  
 TO THE LIENHOLDER AND / OR PRESENT OWNERS OF THE PREMISES SURVEYED



**B & G SURVEYING, INC.**  
**DEWEY H. BURRIS & ASSOCIATES, INC.**  
 Surveyed by: **B & G Surveying, Inc.**  
 www.bandgsurveying.com  
 1404 West North Loop Blvd. Austin, Texas 78756  
 Office 512\*458-6969, Fax 512\*458-9845

JOB #:	B0202413_TA
DATE:	02/18/13
SCALE:	1" = 20'
FIELD WORK BY:	RESE
CALCD. BY:	TONI
DRAWN BY:	JOSE
CHECKED BY:	M.L.
DATE:	02/11/13
DATE:	02/13/13
DATE:	02/13/13
DATE:	02/13/13



Wall Area Tile  
 Ceiling & Floor  
 Color: Thessalon White  
 Material: Plaster  
 Finish: Painted  
 Product Type: Wallboard  
 Version: 1200  
 Thickness: 0.5 inch  
 Size: 48" x 96"

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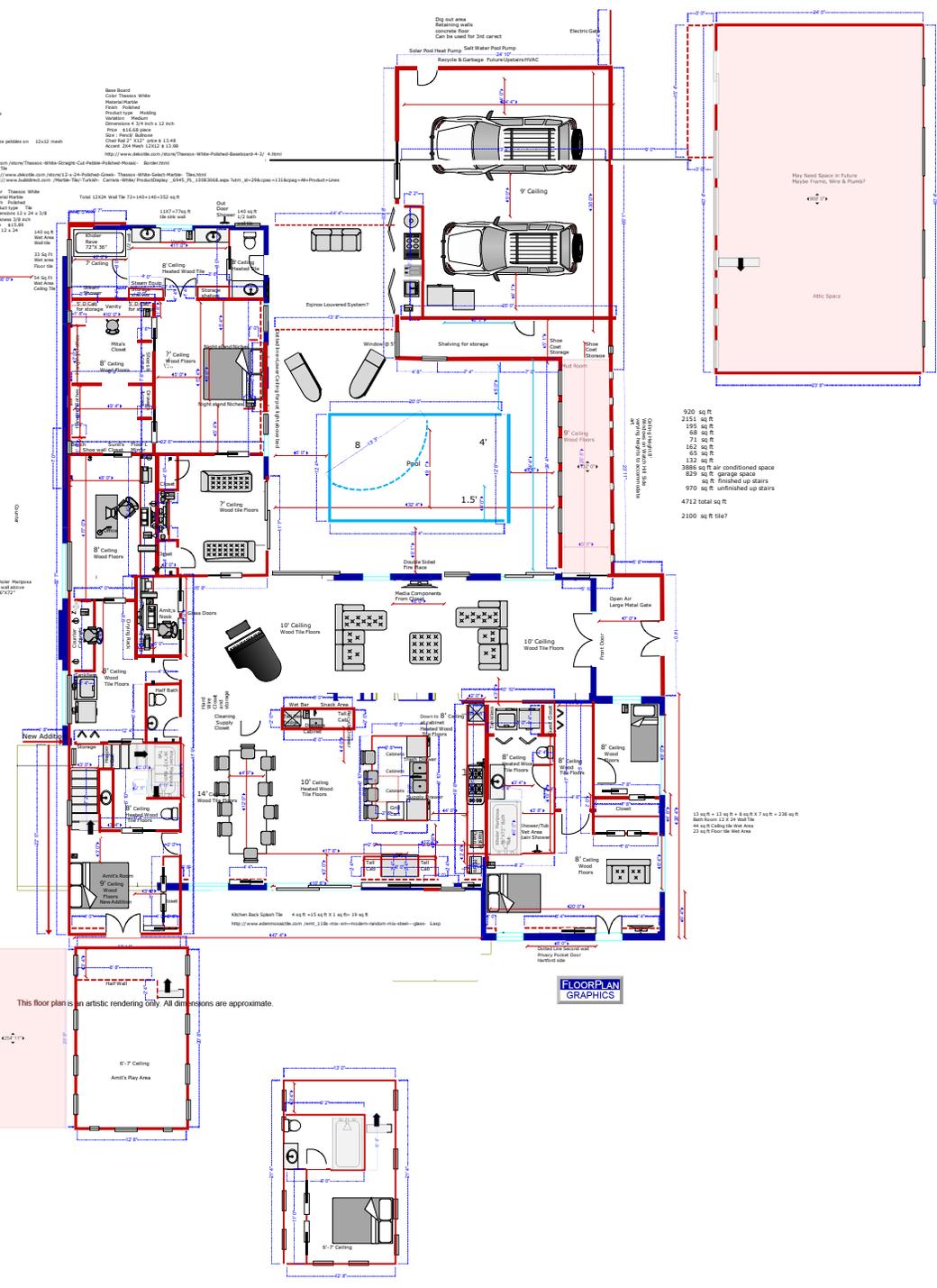
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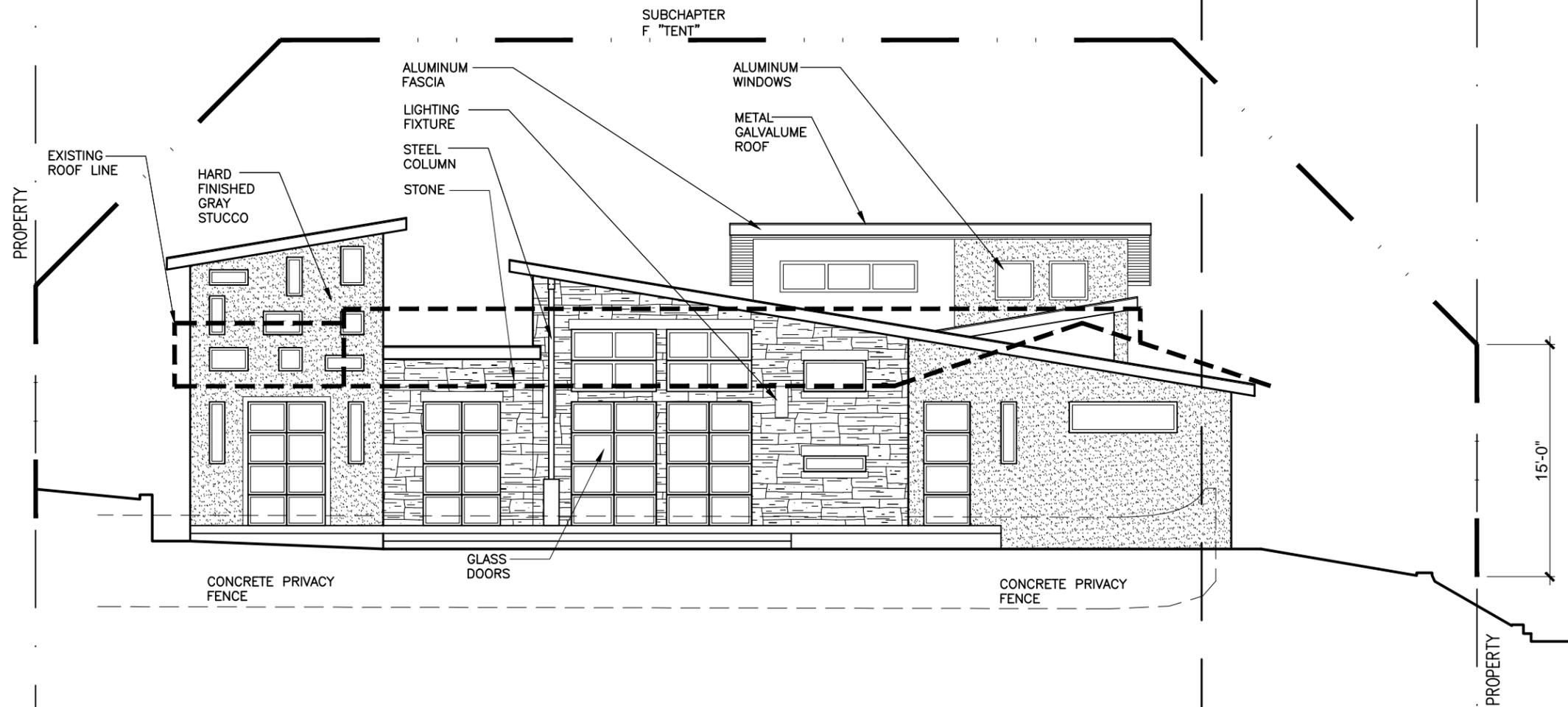


930 sq ft  
 2151 sq ft  
 185 sq ft  
 68 sq ft  
 71 sq ft  
 162 sq ft  
 65 sq ft  
 132 sq ft  
 3856 sq ft conditioned space  
 829 sq ft garage space  
 970 sq ft unfinished up stairs  
 4312 total sq ft  
 2100 sq ft tile?

13 sq ft = 13 sq ft = 8 sq ft x 7 sq ft = 238 sq ft  
 48 sq ft = 2.4' x 20' wall tile  
 44 sq ft ceiling tile area  
 23 sq ft floor tile area

FLOORPLAN GRAPHICS

This floor plan is an artistic rendering only. All dimensions are approximate.



# HARTFORD ROAD ELEVATION

1/8"

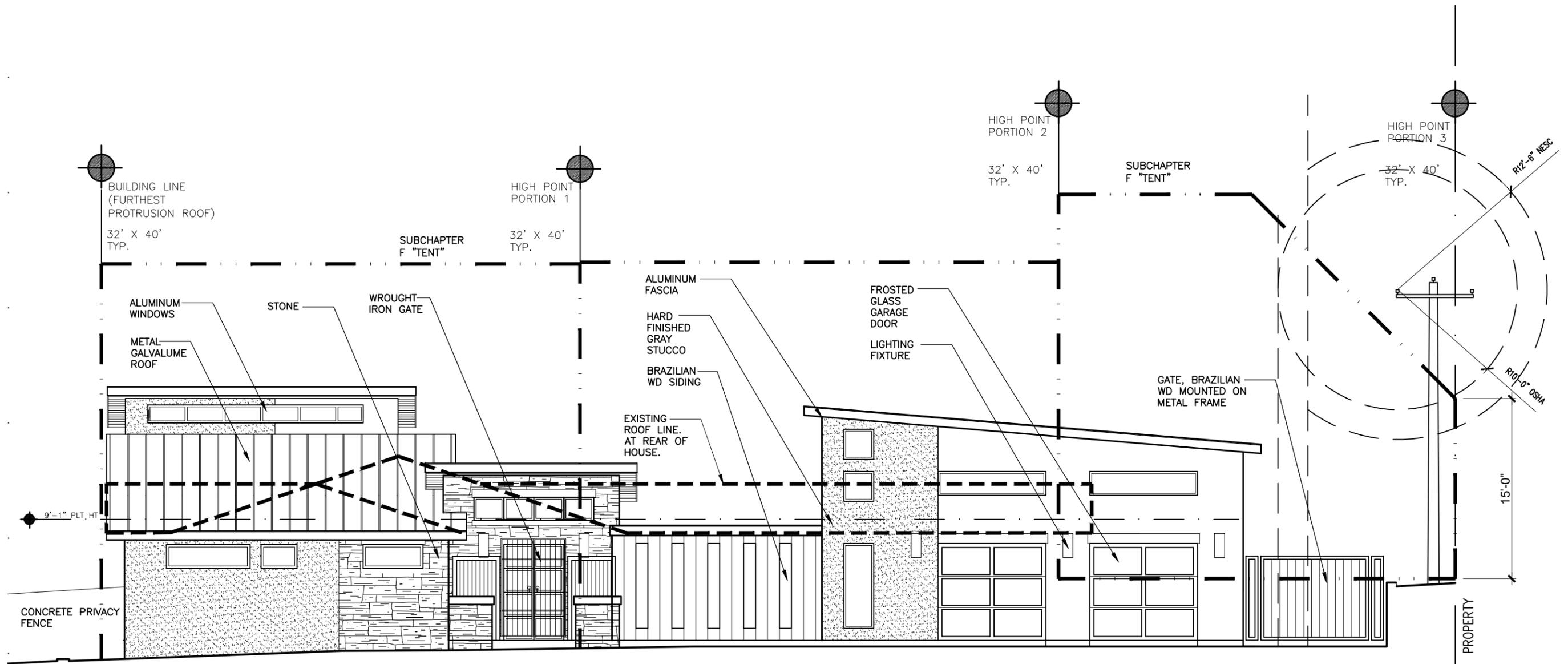
ELEVATIONS	SHEET NO.
	<b>2</b>

**2301 HARTFORD RD**

Mark Hart Architecture, Inc  
 5801 Mojave Drive Austin TX 78745

Phone: 512-680-7905 / Email: mhart@markhartarch.com





WATCH HILL ROAD ELEVATION  
1/8"

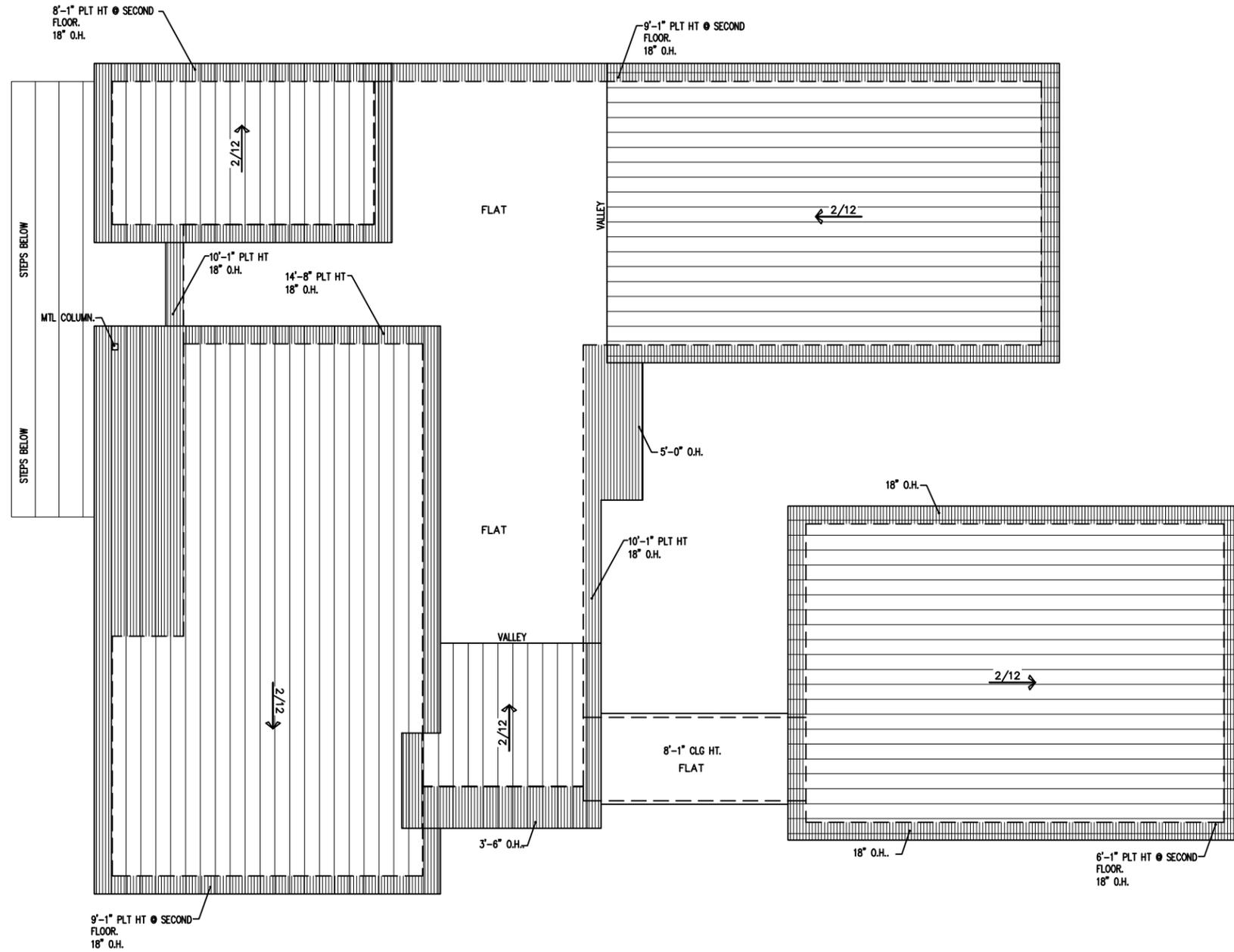
ELEVATIONS	SHEET NO.
	<b>3</b>

**2301 HARTFORD RD**

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Phone: 512-680-7905 / Email: mhart@markhartarch.com





 **2301 HARTFORD ROOF PLAN**  
3/32"

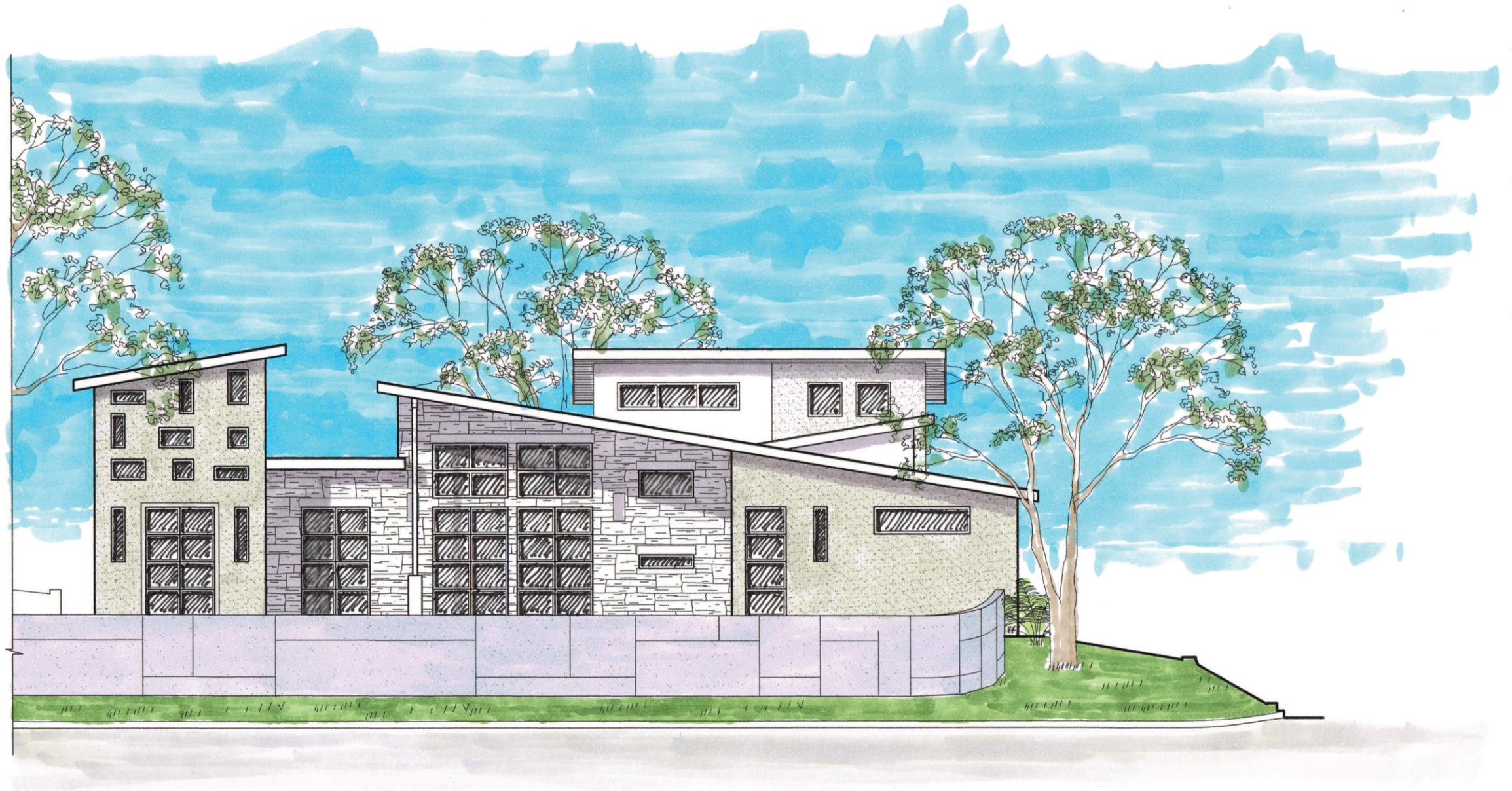
ROOF PLAN	SHEET NO.
	<b>4</b>

**2301 HARTFORD RD**

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5801 Mojave Drive Austin TX 78745

Phone: 512-680-7905 / Email: mhart@markhartarch.com





# HARTFORD ROAD ELEVATION

1/8"

COLOR ELEVATIONS	SHEET NO.
	<b>5</b>

**2301 HARTFORD RD**

Mark Hart Architecture, Inc  
5801 Mojave Drive Austin TX 78745

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# WATCH HILL ROAD ELEVATION

1/8"

COLOR ELEVATIONS	SHEET NO.
	6

2301 HARTFORD RD

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5801 Mojave Drive Austin TX 78745

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