

If you need assistance completing this application (general inquiries only) please contact Susan Walker, 974-2202; 505 Barton Springs Road, 2nd Floor (One Texas Center).

CASE# C15-2013-0046
ROW# 10927004
TP-0141340225

CITY OF AUSTIN
APPLICATION TO BOARD OF ADJUSTMENT
GENERAL VARIANCE/PARKING VARIANCE

WARNING: Filing of this appeal stops all affected construction activity.

PLEASE: APPLICATION MUST BE TYPED WITH ALL REQUESTED INFORMATION COMPLETED.

STREET ADDRESS: 4008 LOB CV, AUSTIN, TEXAS 78730

LEGAL DESCRIPTION: Subdivision- RIVER PLACE

Lot(s) 38 Block B Outlot. _____ Division. _____

I/We, Starwood Pools on behalf of myself/ourselves as authorized agent for
John & Rebecca Grubenman affirm that on 4-8-13

hereby apply for a hearing before the Board of Adjustment for consideration to:

(check appropriate items below)

☒ ERECT ☐ ATTACH ☐ COMPLETE ☐ REMODEL ☐ MAINTAIN

A swimming pool with impervious coverage of 47.07%

in a SF-2 district.
(zoning district)

NOTE: The Board must determine the existence of, sufficiency of and weight of evidence supporting the findings described below. Therefore, you must complete each of the applicable Findings Statements as part of your application. Failure to do so may result in your application being rejected as incomplete. Please attach any additional support documents.

VARIANCE FINDINGS: I contend that my entitlement to the requested variance is based on the following findings (see page 5 of application for explanation of findings):

REASONABLE USE:

1. The zoning regulations applicable to the property do not allow for a reasonable use because:

The existing impervious coverage limit of 45.0% does not allow for the construction of a pool of similar size and characteristics typical of other homes in the neighborhood.

HARDSHIP:

2. (a) The hardship for which the variance is requested is unique to the property in that:

The topography of the lot requires ancillary improvements (retaining walls and sidewalks) when compared to most other homes in the neighborhood. The lot has a 19 – 20 foot vertical drop from front to back, the home is built 10 feet below street level, and the back yard is an additional 6 to 8 feet below the patio/first floor level. Therefore, ancillary improvements are needed to provide access to both the front and rear of the home and for proper drainage/erosion control. The site includes 103 sq. ft. of retaining walls that provide for level areas which promote proper water absorption, prevent erosion, and reduce drainage off property or to storm sewers. Also, the site includes a 96 sq. ft. sidewalk in the front of the home for level access to the front door, and a 21 sq. ft. stairway from the rear patio to provide access to the rear yard. There is also a 7 sq. ft. concrete pad for an electric transformer. The impervious coverage of these improvements totals 227 sq. ft., or 2.11% of the site. Without these ancillary improvements, the pool could be constructed within the 45.0% impervious coverage limit.

- (b) The hardship is not general to the area in which the property is located because:

Most other lots in the neighborhood have front and rear access more level to street elevation. Therefore, most other lots do not require (1) such a substantial amount of retaining walls for leveling, which provides erosion control and proper drainage, (2) additional sidewalks for access, or (3) stairway access to backyard. Also, this property backs up to a private golf course and has unique restrictive HOA covenants that require ALL improvements (home materials, stairs, decks, shielding walls, etc.) to be masonry – wood decks, or stairs, for example, are not permitted by HOA covenants. Not all properties in the HOA are subject to these masonry requirements.

AREA CHARACTER:

3. The variance will not alter the character of the area adjacent to the property, will not impair the use of adjacent conforming property, and will not impair the purpose of the regulations of the zoning district in which the property is located because:

The proposed site improvements are consistent with both neighboring homes and with others in the neighborhood. There is no adverse impact from the improvements as it relates to drainage on this, or adjoining lots. Also, the site is on a cul de sac and is not visible from the street. The site backs up to a private golf course and there are no rear neighbors. The HOA has approved the proposed pool project and consistent character of the improvements in terms of appearance and drainage are criteria in their evaluation.

PARKING: (Additional criteria for parking variances only.)

Request for a parking variance requires the Board to make additional findings. The Board may grant a variance to a regulation prescribed Section 479 of Chapter 25-6 with respect to the number of off-street parking spaces or loading facilities required if it makes findings of fact that the following additional circumstances also apply:

1. Neither present nor anticipated future traffic volumes generated by the use of the site or the uses of sites in the vicinity reasonable require strict or literal interpretation and enforcement of the specific regulation because:

N/A

2. The granting of this variance will not result in the parking or loading of vehicles on public streets in such a manner as to interfere with the free flow of traffic of the streets because:

N/A

3. The granting of this variance will not create a safety hazard or any other condition inconsistent with the objectives of this Ordinance because:

N/A

4. The variance will run with the use or uses to which it pertains and shall not run with the site because:

N/A

NOTE: The Board cannot grant a variance that would provide the applicant with a special privilege not enjoyed by others similarly situated or potentially similarly situated.

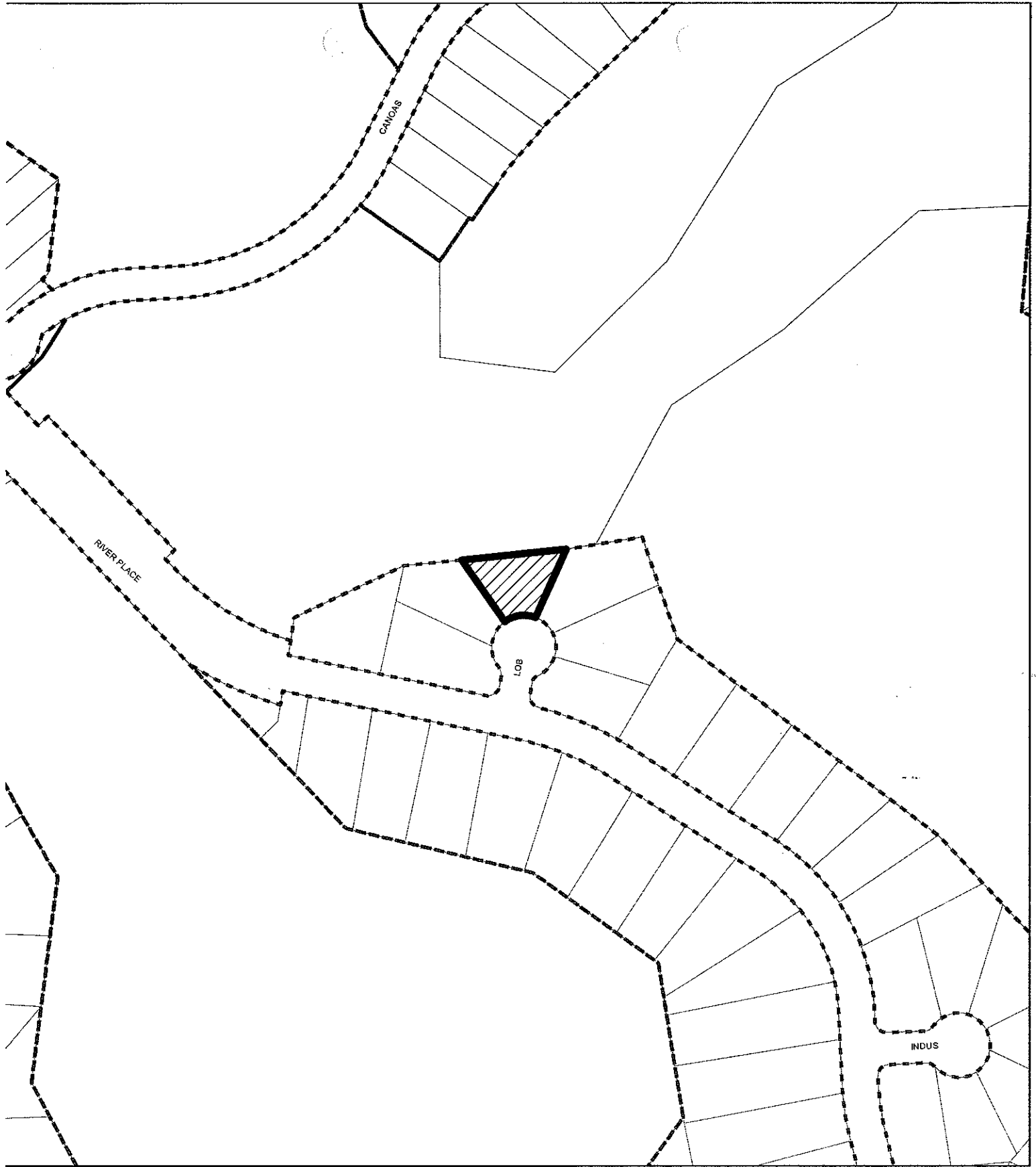
APPLICANT CERTIFICATE - I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Signed Starwood Pools Mail Address 1310 Rch Rd 620 South
W. Jones
City, State & Zip Lakeview, TX 78734 Suite 14-11
Printed Heather Jones Phone 512-971-9999 Date 4-8-13

OWNERS CERTIFICATE-I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Signed Rebecca L. Grubenman Mail Address 4008 Lob CV
City, State & Zip Austin, TX 78730

Printed John W. Grubenman Phone 512-334-9055 Date 4/8/2013
Rebecca L. Grubenman



N

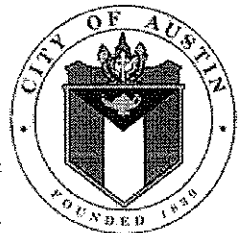


SUBJECT TRACT



ZONING BOUNDARY

CASE#:C15-2013-0046
LOCATION:4008 LOB COVE



This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

This product has been produced by the Planning and Development Review Department for the sole purpose of geographic reference. No warranty is made by the City of Austin regarding specific accuracy or completeness.

CITY OF AUSTIN DEVELOPMENT WEB MAP

SUBJECT



- Legend
- Lot Lines
 - Streets
 - Building Footprints
 - Named Creeks
 - Lakes and Rivers
 - Parks
 - County
 - Address Points
 - Lot Line

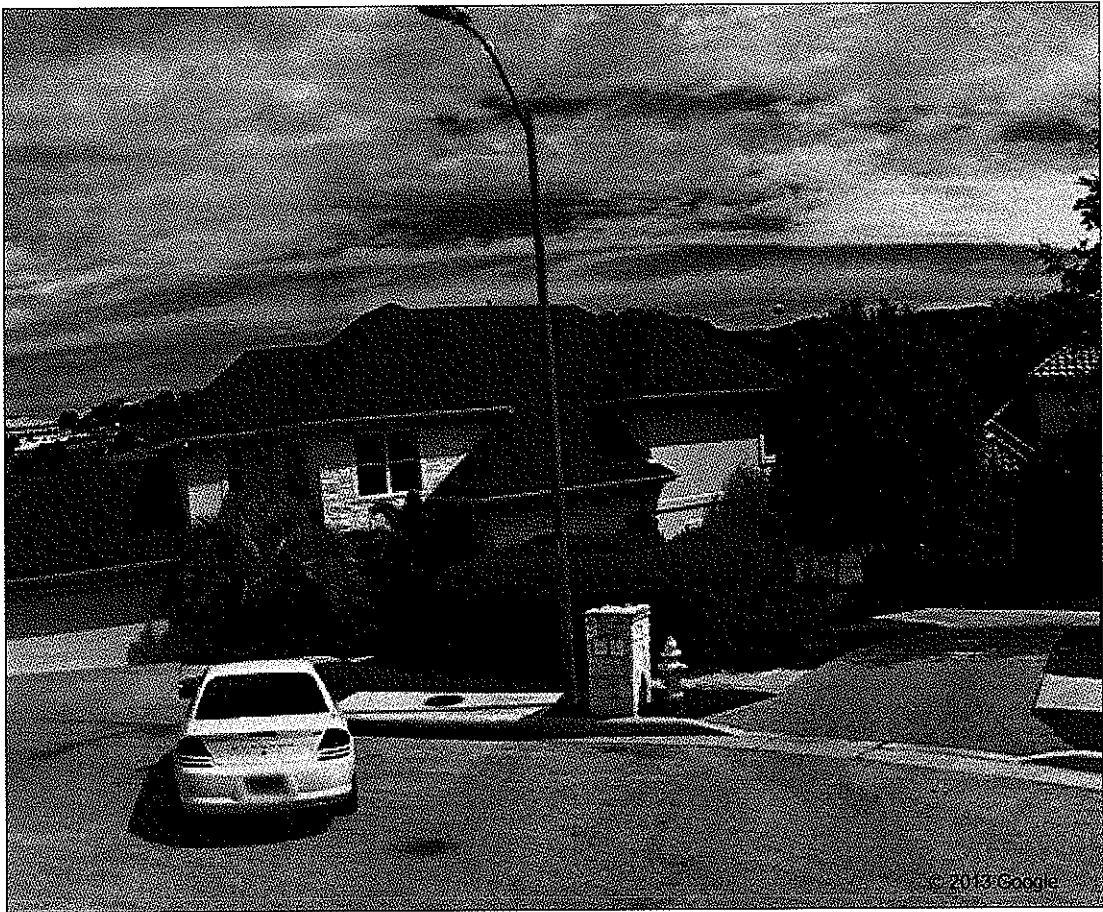
THIS PRODUCT IS FOR INFORMATIONAL PURPOSES AND MAY NOT HAVE BEEN PREPARED FOR OR BE SUITABLE FOR LEGAL, ENGINEERING, OR SURVEYING PURPOSES. IT DOES NOT REPRESENT AN ON-THE-GROUND SURVEY AND REPRESENTS ONLY THE APPROXIMATE RELATIVE LOCATION OF PROPERTY BOUNDARIES. THIS PRODUCT HAS BEEN PRODUCED BY THE CITY OF AUSTIN FOR THE SOLE PURPOSE OF GEOGRAPHIC REFERENCE. NO WARRANTY IS MADE BY THE CITY OF AUSTIN REGARDING SPECIFIC ACCURACY OR COMPLETENESS.



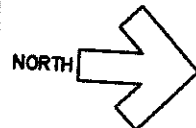
Address **Lob Cove**

Address is approximate

4008 LOB CV



EXISTING
SURVEY



LEGEND

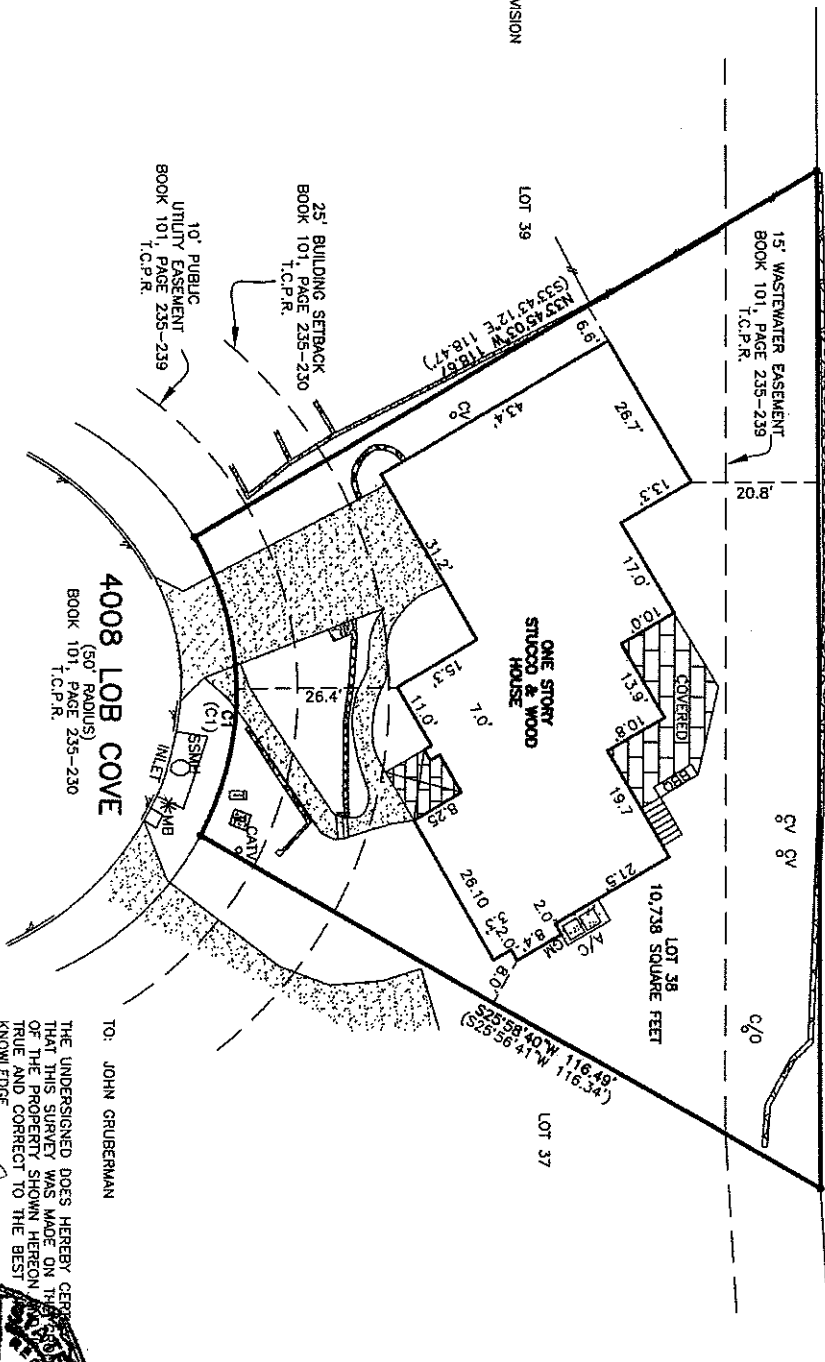
- 1/2" IRON ROD FOUND
- () RECORD INFORMATION
- ▣ ROCK WALL
- ▣ COVERED AREA
- ▣ TILE
- ▣ CONCRETE
- WATER METER
- C/O CLEANOUT
- CONTROL VALVE
- CATV CABLE/TELEVISION
- * LIGHTPOLE
- EM ELECTRIC METER
- GM GAS METER
- WOOD FENCE
- ASPHALT
- SANITARY SEWER MANHOLE
- SMH
- MB MAILBOX
- TELEPHONE
- IC IMPERVIOUS COVER
- T.C.D.R. TRAVIS COUNTY DEED RECORDS
- T.C.P.R. TRAVIS COUNTY PLAT RECORDS

NOTES:
1. ANY EASEMENTS AND BUILDING LINES AS PER PLAT.
NO ADDITIONAL RESEARCH WAS DONE BY LIVE OAK SURVEYING FOR ANY EASEMENTS, RESTRICTIONS, OR CONDITIONS OF RECORD WHICH MAY AFFECT THIS PROPERTY.

LOT 2, BLOCK "A"
RIVER PLACE GOLF COURSE
BOOK 103, PAGE 3
T.C.P.R.

CURVE TABLE

No.	Delta	Radius	Arc Length	Chord Length	Chord Bearing
C1	58°27'14"	50.00	51.01	48.33	S85°36'06"W
(C1)	58°44'10"	50.00	51.28	49.04	S83°38'55"W



TO: JOHN GRUBERMAN

THE UNDERSIGNED DOES HEREBY CERTIFY THAT THIS SURVEY WAS MADE ON THE DATE SHOWN HEREON AND CORRECT TO THE BEST OF MY KNOWLEDGE.

DATE: 3.19.2013

DEAN A. WOODLEY
REGISTERED PROFESSIONAL
LAND SURVEYOR (NO. 5086)

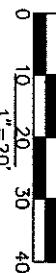
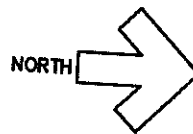
CLIENT: JOHN GRUBERMAN
FIELD BOOK: 129, PAGE: 10
DRAWN BY: P.M.W.
PROJECT NO.: 1005-01-13
DATE: MARCH 19, 2013
FILE: 10050113.DWG

SURVEY
OF LOT 38, BLOCK "B"
RIVER PLACE, SECTION 13
AS RECORDED IN BOOK 101, PAGE 235-230
TRAVIS COUNTY, TEXAS

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LIVE OAK SURVEYING
12421 WYCLIFF LANE
AUSTIN, TX 78727-5220
(512) 837-1018
(512) 837-9102 FAX



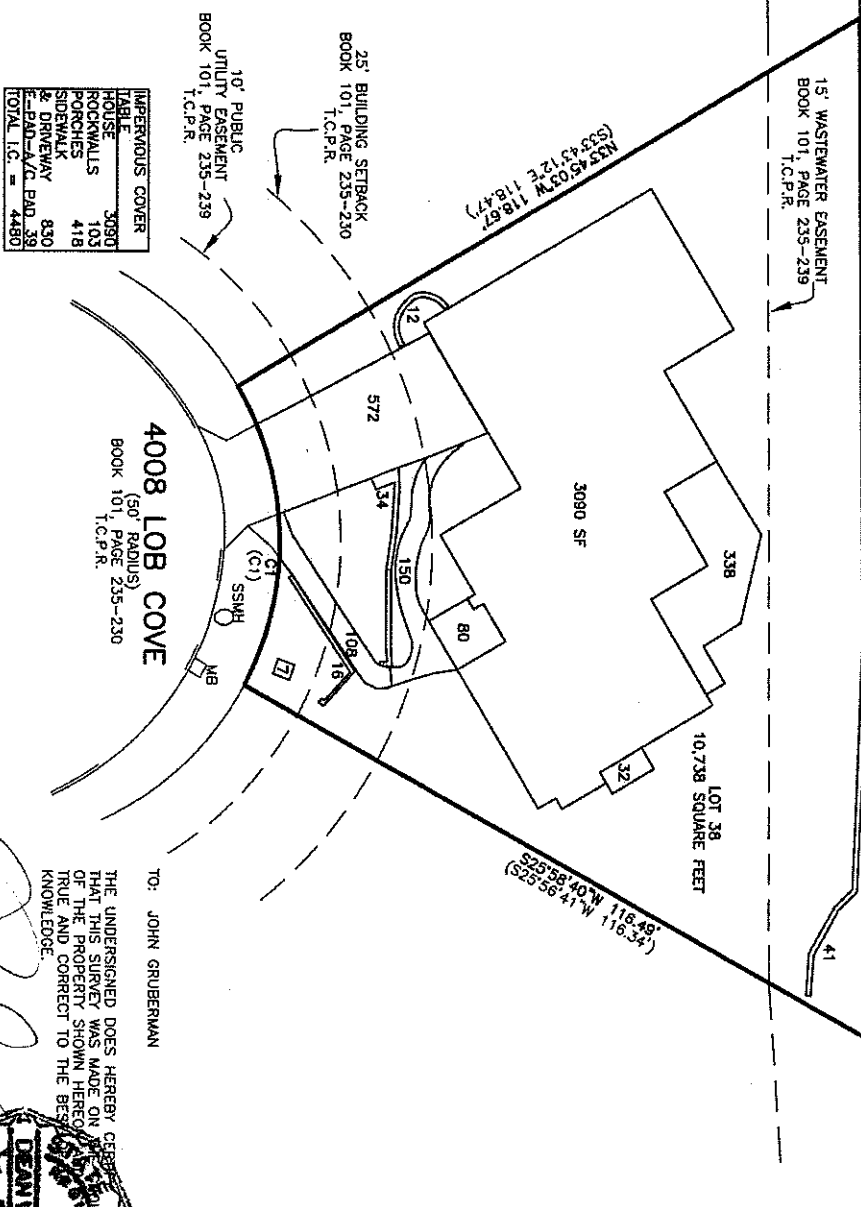
LEGEND

- 1/2" IRON ROD FOUND
- () RECORD INFORMATION
- ☒ ROCK WALL
- ☒ COVERED AREA
- ☒ TILE
- ☒ CONCRETE
- ☐ WATER METER
- ☐ C/O CLEANOUT
- ☐ CONTROL VALVE
- ☐ CATV CABLE/TELEVISION
- EM LIGHTPOLE
- EM ELECTRIC METER
- GM GAS METER
- WOOD FENCE
- ASPHALT
- SANITARY SEWER MANHOLE
- SSMH
- MB MAILBOX
- ☐ TELEPHONE
- IC IMPERVIOUS COVER
- T.C.D.R. TRANS COUNTY DEED RECORDS
- T.C.P.R. TRANS COUNTY PLAT RECORDS

NOTES:
1. ANY EASEMENTS AND BUILDING LINES AS PER PLAT
NO ADDITIONAL RESEARCH WAS DONE BY LINE OAK SURVEYING FOR ANY EASEMENTS, RESTRICTIONS, OR CONDITIONS OF RECORD WHICH MAY AFFECT THIS PROPERTY.

CURVE TABLE					
No.	Delta	Radius	Arc Length	Chord Length	Chord Bearing
C1	58°27'14"	50.00	51.01	48.83	S85°36'06"W
(C1)	58°44'10"	50.00	51.28	49.04	S83°38'55"W

(N86°36'51"E 165.56')
(N86°36'51"E 165.93')



CURRENT ZONING = SF-2
MAXIMUM IC = 45%
ALLOWED IC = 41.7%
CURRENT IC = 44.80 SF/10738 SF

IMPERVIOUS COVER	
TABLE	3090
HOUSE	103
ROCKWALLS	418
POORCHES	830
SIDEWALK	39
4" DRIVEWAY	39
E-PAD-A/C PAD	39
TOTAL IC	4480

TO: JOHN GRUBERMAN

THE UNDERSIGNED DOES HEREBY CERTIFY THAT THIS SURVEY WAS MADE ON THE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE.

DEAN WOODLEY
REGISTERED PROFESSIONAL
LAND SURVEYOR NO. 5086

3.19.13

CLIENT: JOHN GRUBERMAN
FIELD BOOK: 29, PAGE: 10
DRAWN BY: P.M.W.
PROJECT NO.: 1005-01-13
DATE: MARCH 19, 2013
FILE: 10050113.DWG

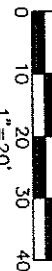
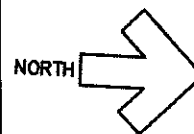
IMPERVIOUS COVER CALCULATIONS
OF LOT 38, BLOCK "B"
RIVER PLACE, SECTION 13
AS RECORDED IN BOOK 101, PAGE 235-239
TRAVIS COUNTY, TEXAS

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LIVE OAK SURVEYING
12421 WYCLIFF LANE
AUSTIN, TX 78727-5220
(512) 837-1018
(512) 837-9102 FAX

NEW I.C.
SURVEY
WITH
IMPROVEMENTS



LEGEND

- 1/2" IRON ROD FOUND
- () RECORD INFORMATION
- ▣ ROCK WALL
- ▣ COVERED AREA
- ▣ TILE
- ▣ CONCRETE
- ▣ WATER METER
- ▣ C/O CLEANOUT
- ▣ CONTROL VALVE
- ▣ CATV CABLE/TELEVISION
- LIGHTPOLE
- EM ELECTRIC METER
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- WOOD FENCE
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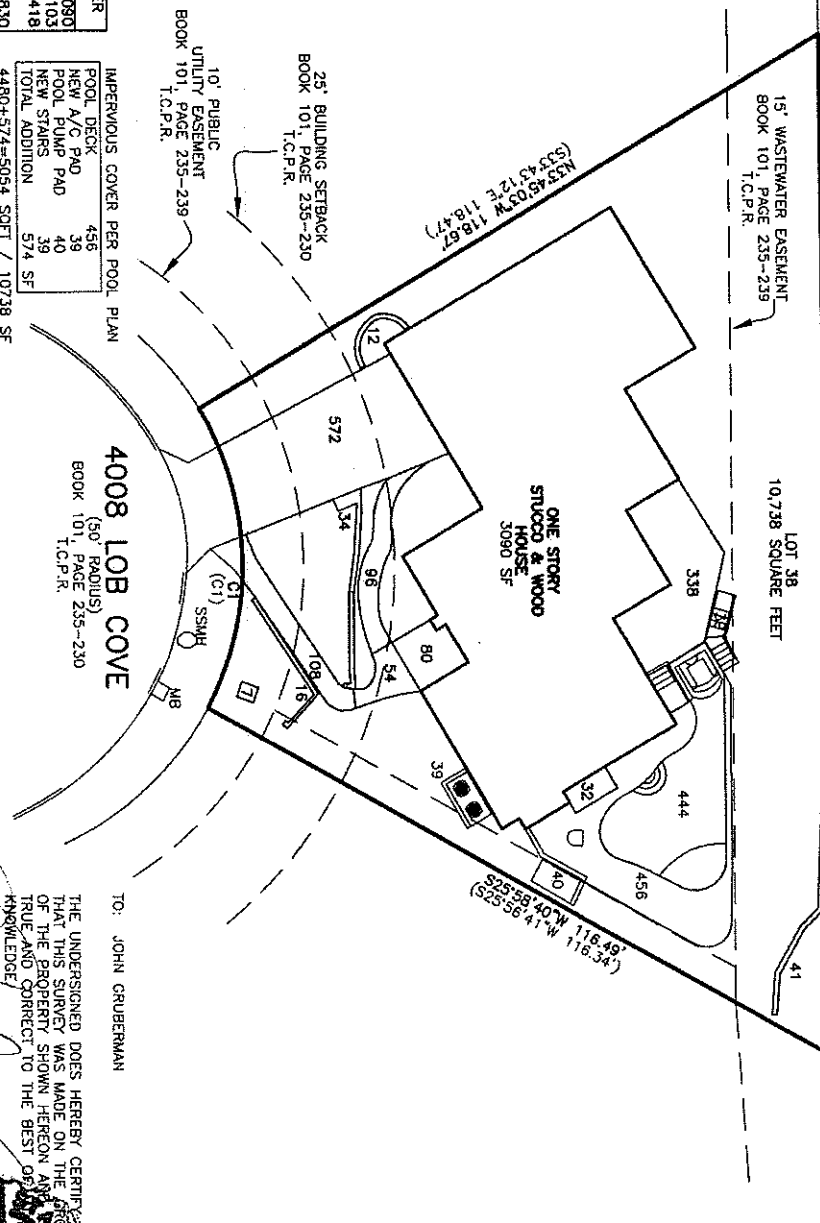
NOTES:
1. ANY EASEMENTS AND BUILDING LINES AS PER PLAT.
2. NO ADDITIONAL RESEARCH WAS DONE BY LIVE OAK SURVEYING FOR ANY EASEMENTS, RESTRICTIONS, OR CONDITIONS OF RECORD WHICH MAY AFFECT THIS PROPERTY.

BEFORE POOL	
IMPERVIOUS COVER	
TABLE	3080
HOUSE	103
ROCKWALLS	103
POURCH & PATIO	418
SIDEWALK	830
E-PAV-A/C PAD	39
TOTAL I.C.	4480

IMPERVIOUS COVER PER POOL PLAN	
POOL DECK	456
NEW A/C PAD	39
POOL BUILD PAD	40
NEW STAIRS	39
TOTAL ADDITION	574 SF
4480+574=5054 SQFT / 10738 SF	
EQUALS 47% IMPERVIOUS COVER	

CURRENT ZONING = SF-2
MAXIMUM IC = 45%
ALLOWED 4480 SF / 10738 SF
CURRENT IC = 42%

CURVE TABLE				
No.	Delta	Radius	Arc Length	Chord Length
C1	58°27'14"	50.00	51.01	48.83
(C1)	58°44'10"	50.00	51.28	49.04
				58°38'55"W



TO: JOHN GRUBERMAN
THE UNDERSIGNED DOES HEREBY CERTIFY THAT THIS SURVEY WAS MADE ON THE BASIS OF THE PROPERTY SHOWN HEREON AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE.
DATE: 4-9-13
DEAN A. WOOLLEY
REGISTERED PROFESSIONAL LAND SURVEYOR NO. 5086

CLIENT: JOHN GRUBERMAN
FIELD BOOK: 125, PAGE: 10
DRAWN BY: P.M.W.
PROJECT NO.: 1005-01-13
DATE: MARCH-19, 2013
FILE: 10050113.DWG

IMPERVIOUS COVER CALCULATIONS
OF LOT 38, BLOCK "B"
RIVER PLACE, SECTION 13
AS RECORDED IN BOOK 101, PAGE 235-239
TRAVIS COUNTY, TEXAS

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LIVE OAK SURVEYING
12421 WYCLIFF LANE
AUSTIN, TX 78727-5220
(512) 837-1018
(512) 837-9102 FAX

Impervious Coverage Calculations - 4008 LOB CV

Lot Size:

10738

EXISTING I.C. Calculation

Home	3090
Retaining Walls	103
Patios	397
Rear Stairs	21
Driveway	572
Sidewalk 1 - Stairs	162
Sidewalk 2 - Level	96
A/C Pad	32
Utility (Transformer) Pad	7
Total Existing I.C. SF	4480
Total Existing I.C. %	41.72%

Ancillary I.C. from Topography	220
I.C. from Electric Utility Pad	7
Total Ancillary I.C. Unique to Site	227
Ancillary I.C. %	2.11%

I.C. Calculation with Improvement

Home	3090
Retaining Walls	103
Patios	397
Rear Stairs - move	-
Driveway	572
Sidewalk 1 - Stairs	162
Sidewalk 2 - Level	96
A/C Pad - move	-
Utility (Transformer) Pad	7
Subtotal Existing I.C.	4427
Pool Coping/Deck	509
Pool Equipment Pad	40
Replacement Rear Stairs	39
New A/C Pad	39
Subtotal Improvements' I.C.	627
Total Proposed I.C.	5054
Total Proposed I.C. %	47.07%

Proposed I.C. less Ancillary I.C.	4827
Proposed I.C. less Ancillary I.C. %	44.95%



10 FOOT VERTICAL DROP FROM
STREET LEVEL TO HOME

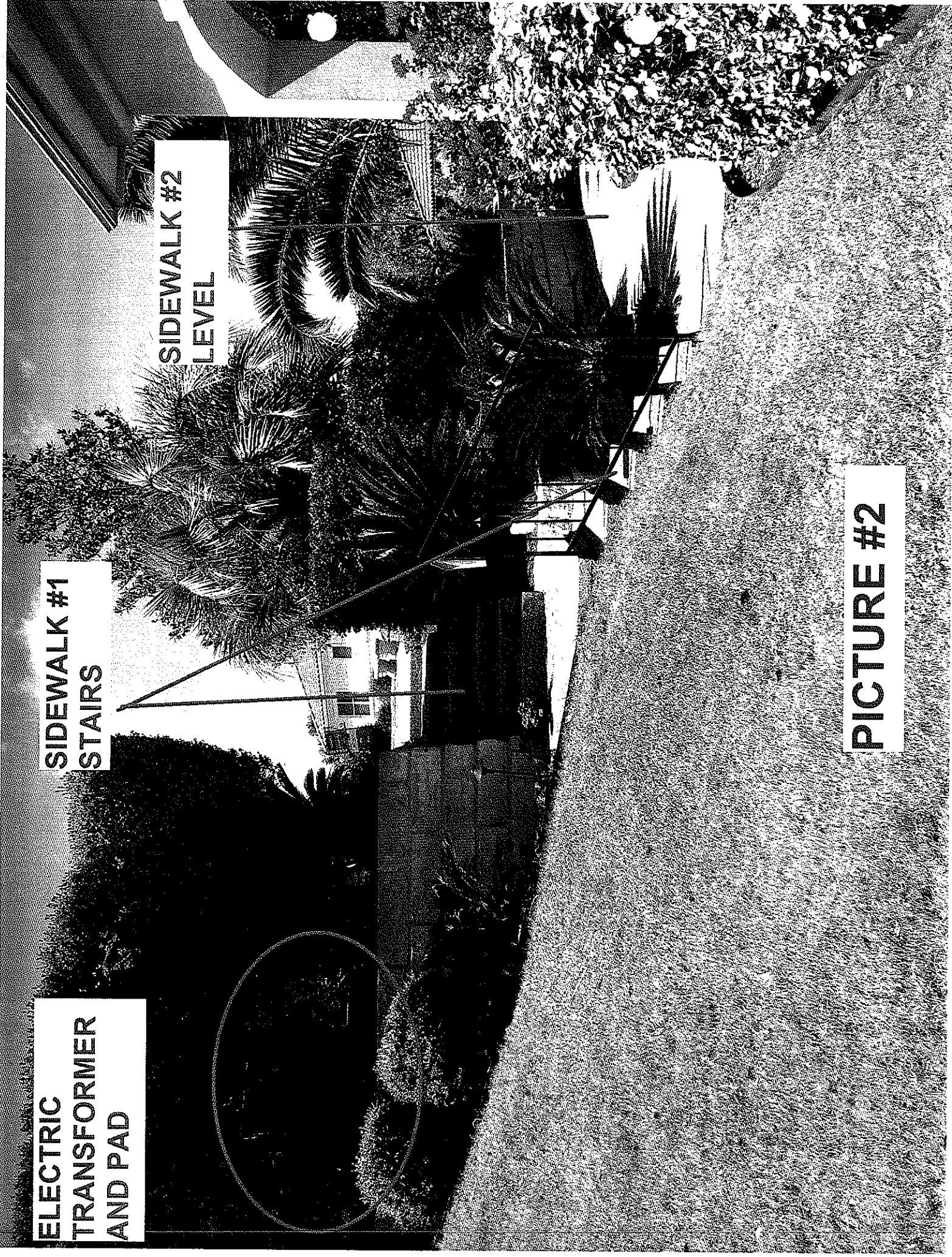
PICTURE #1

**ELECTRIC
TRANSFORMER
AND PAD**

**SIDEWALK #1
STAIRS**

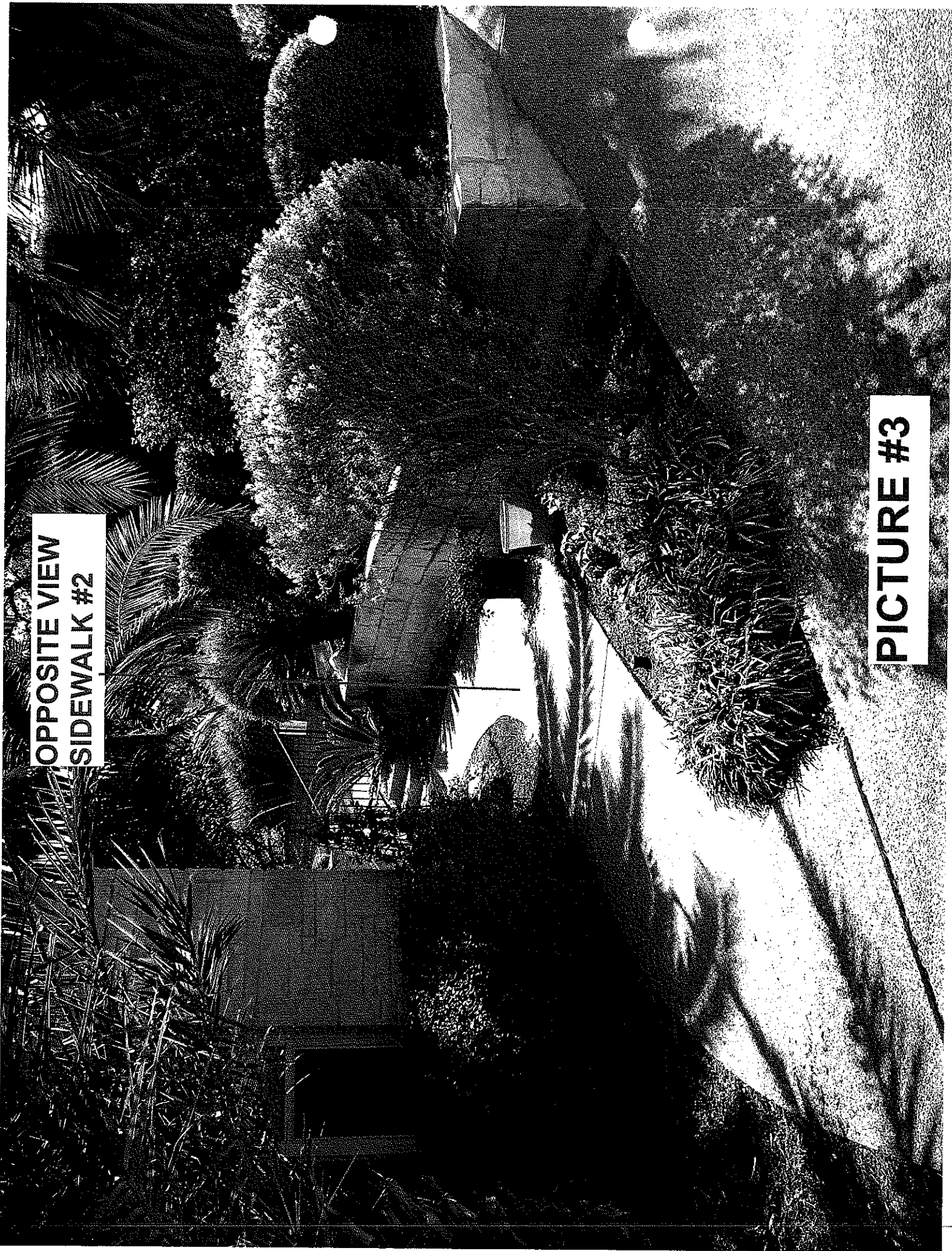
**SIDEWALK #2
LEVEL**

PICTURE #2



OPPOSITE VIEW
SIDEWALK #2

PICTURE #3



A black and white photograph showing a concrete retaining wall in the foreground, with a grassy slope above it. In the background, a house with a tiled roof is visible, partially obscured by trees. The image is oriented horizontally on the page.

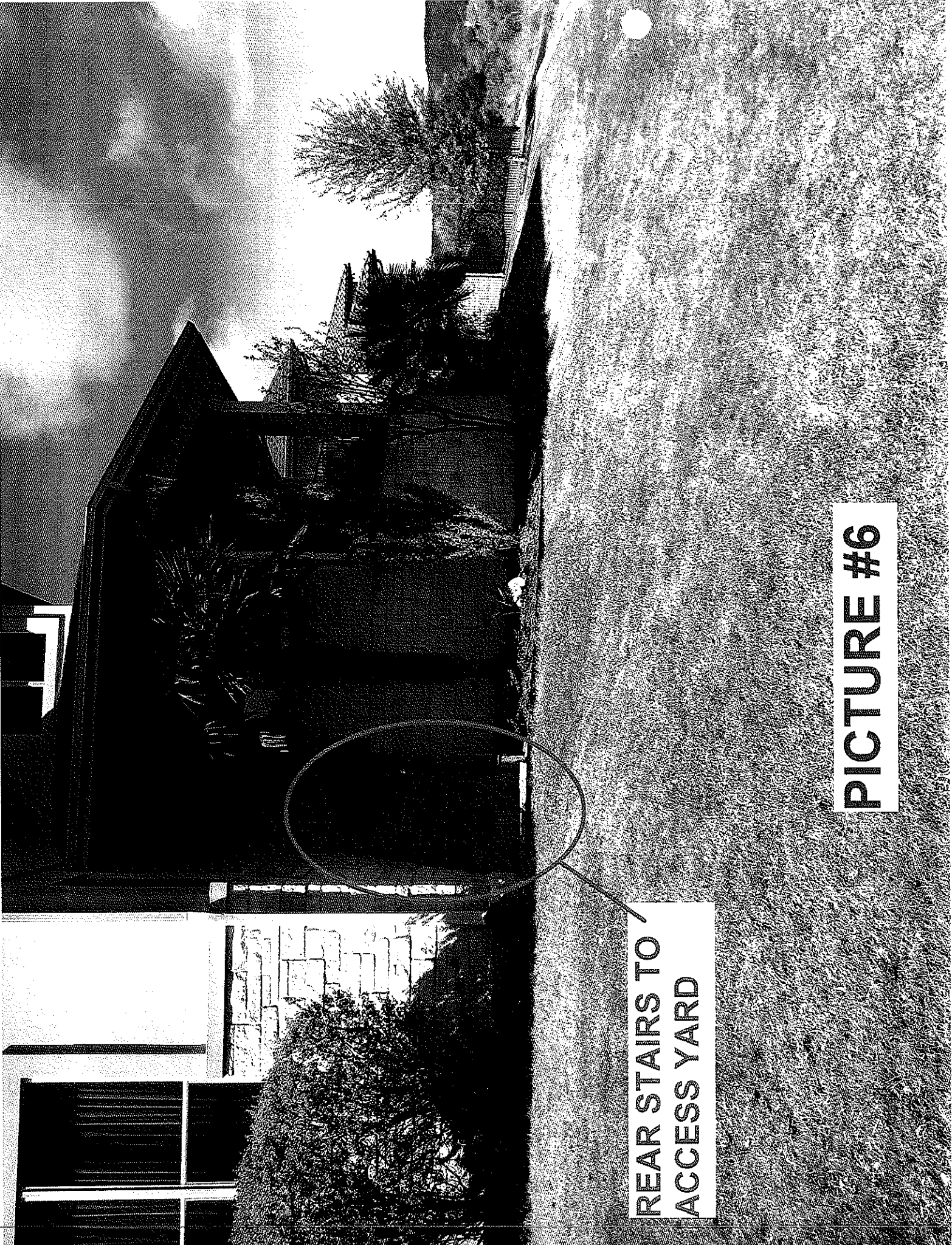
REAR RETAINING WALL &
GRADE IMPROVMENT

PICTURE #4



**REAR RETAINING WALL &
GRADE IMPROVEMENT**

PICTURE #5



REAR STAIRS TO
ACCESS YARD

PICTURE #6

ARTISTIC CONCEPTION

POOL EQUIPMENT

NEW REAR
STAIRS

PICTURE #7

River Place Residential Community Association, Inc
c/o Certified Management of Austin, LLC
9600 Great Hills Trail, Suite 100E
Austin TX 78759

Phone: (512) 339-6962 Fax: (512) 339-1317

Website: www.cmaaustin.com

Date: Mar 26, 2013

Project Ref: [60406043] 4008 Lob Cove

John Grubenman
4008 Lob Cove
Austin TX 78730

Dear John Grubenman,

The Architectural Committee has approved your Pool & Deck as submitted with the following conditions:

Pool wall will be max 4' high and tapers down to about 3' high. The exposed wall will be chopped limestone to match the house.

1. Follow current construction hour guidelines, sunrise to sunset, and not on Sundays.
2. All permitting, if applicable, must be obtained from the City of Austin; and a copy sent to us for our files.
3. No contractor signs.
4. You are responsible for all cleanup, i.e., dirt in streets. Do not dump on any empty lots or vacant land.
5. It is understood and agreed to, that you will accept full responsibility for any drainage issues caused by your improvement that may have adverse effects on your neighbors or other lots. It is understood that you will take all necessary steps to remedy any issues should they occur. It is also understood that you will make any purchaser of your home aware of this condition of approval.

The Architectural Committee's decision to approve the proposed Improvement is based on information provided by the Owner and others, and the Committee cannot guarantee the completeness or accuracy thereof. This approval shall in no event be construed as a representation, warranty or guarantee by the Architectural Committee or any member thereof, that any improvement or structure will be (i) properly designed or structurally safe, (ii) built in good or workmanlike manner, or (iii) conform to building codes, easement locations, building set back lines or property lines.

If you have any further questions or concerns, please contact the Architectural Committee in care of Certified Management of Austin, 9600 Great Hills Trail, Suite 100E, Austin, Texas 78759.

City of Austin Residential Permit Application Residential Review, 2nd floor, One Texas Center 505 Barton Springs, Austin, TX 78704 (512) 974-2747	For Departmental Use Only	PR # <u>20/32-018486</u>	BP # _____
		Assigned _____	Due Date: _____
		Review Date <u>3/19/13</u>	Issue Date: _____
		Reviewed/Approved: _____	Issued: _____

Project Information	
Project Address: <u>4008 Lob Cove</u>	Tax Parcel ID: <u>456467</u>
Legal Description: <u>Lot 38 BIKB Silvermoor Sec 13</u>	
Zoning District or PUD: <u>1-SF-2</u>	Lot Size (square feet): <u>10,757</u>
Neighborhood Plan Area (if applicable): _____	Historic District (if applicable): _____
Is this site within the Residential Design and Compatibility Standards Ordinance Boundary Area? Y <input type="checkbox"/> N <input checked="" type="checkbox"/> <small>Note: Boundaries are defined under Title 25-2 Subchapter F of the Land Development Code.</small>	
Does this site currently have water availability? Y <input checked="" type="checkbox"/> N <input type="checkbox"/> wastewater availability? Y <input type="checkbox"/> N <input type="checkbox"/> <small>If no, contact Austin Water Utility to apply for water/wastewater taps or sewer extension request.</small>	
Does this site have or will it have an auxiliary water source? <input type="checkbox"/> Y <input checked="" type="checkbox"/> N <input type="checkbox"/> If yes, submit approved auxiliary and potable plumbing plans <small>(Auxiliary water supplies are wells, rainwater harvesting, river water, lake water, reclaimed water, etc.)</small>	
Does this site have a septic system? Y <input checked="" type="checkbox"/> N <input type="checkbox"/> If yes, submit a copy of approved septic permit to construct	
Does this site require a cut or fill in excess? Y <input type="checkbox"/> N <input checked="" type="checkbox"/> <small>If yes, contact the Development Assistance Center</small>	
Does this site front a paved street? _____	
Does this site have a Board of Adjustment? _____	
Does this site have a Residential Design Agreement? Y <input type="checkbox"/> N <input type="checkbox"/> <small>If yes, provide a copy of decision sheet. Note: A</small>	
Does the project impact a tree protected by ordinance? Y <input type="checkbox"/> N <input checked="" type="checkbox"/> <small>Note: If yes, application for a tree permit with the City of Austin is required.</small>	
Is this site within one hundred-fifty (150) feet of a floodplain? Y <input type="checkbox"/> N <input checked="" type="checkbox"/> <small>Note: Proximity to a floodplain may require additional review.</small>	

Bldg permit for pool was issued @ 45%.

IC% is actually 47.07%.

Description of Work	
Existing Use: vacant <input type="checkbox"/> single-family <input type="checkbox"/>	Remodel <input type="checkbox"/> other _____
Proposed Use: vacant <input type="checkbox"/> single-family <input type="checkbox"/>	Remodel <input type="checkbox"/> other _____
Project Type: new construction <input type="checkbox"/>	Remodel <input type="checkbox"/> other _____
# of bedrooms existing: _____ # of bedrooms proposed: _____	# of baths proposed: _____
Will all or part of an existing exterior wall be removed? Y <input type="checkbox"/> N <input type="checkbox"/> <small>Note: Removal of all or part of a structure requires a separate permit.</small>	

Project Description: (Note: Please provide thorough description of project. Attach additional pages as necessary)

adding a new pool + spa with travertine decking, fire pit, and BBQ island.

Trades Permits Required: electric ☒ plumbing ☒ mechanical (HVAC) ☐ concrete (right-of-way) ☐

Job Valuation		
Total Job Valuation: \$ <u>65K</u>	Portion of Total Job Valuation Dedicated to Addition/New Construction: \$ <u>50K</u>	Portion of Total Job Valuation Dedicated to Remodel/Repair: \$ _____
<small>Note: The total job valuation should be the sum total of all valuations noted to the right. Labor and materials only, rounded to nearest dollar. Permit fees are based on adopted fee schedule.</small>	Bldg: \$ _____ Elec: \$ <u>3K</u>	Bldg: \$ _____ Elec: \$ _____
	Plmbg: \$ <u>3K</u> Mech: \$ _____	Plmbg: \$ _____ Mech: \$ _____
	Primary Structure: \$ _____	
	Accessory Structure: \$ _____	

TCAD
GILS
Plat

Building and Site Area			
Area Description	Existing Sq Ft	New/Added Sq Ft	Total Sq Ft
Note: Provide a separate calculation for each distinct area. Attach additional sheets as necessary. Measurements are to the outside surface of the exterior wall.			
a) 1 st floor conditioned area	2265		2265
b) 2 nd floor conditioned area			
c) 3 rd floor conditioned area			
d) Basement			
e) Covered Parking (garage or carport)	765		765
f) Covered Patio, Deck or Porch	/	/	
g) Balcony			
h) Other			
Total Building Coverage (exclude b, c & d from total)	3030		3030
i) Driveway	684		684
j) Sidewalks	140		140
k) Uncovered Patio	381	350	731
l) Uncovered Wood Deck (counts at 50%)			
m) AC pads	36	66	102
n) Other (Pool Coping, Retaining Walls)		134	134
Total Site Coverage	4271	550	4821
o) Pool		400	
p) Spa		28	

Site Development Information	
Building Coverage Information Note: Building Coverage means the area of a lot covered by buildings or roofed areas, but excludes ground level paving, landscaping, open recreational facilities, incidental projecting eaves, balconies, and similar features. Pools, ponds, and fountains are not included in this measurement. (LDC 25-1-21)	
Existing Building Coverage (sq ft): <u>3030</u>	% of lot size: <u>28</u> ✓
Proposed Building Coverage (sq ft): _____ % of lot size: _____ <div style="float: right; font-style: italic; font-size: 1.2em;">max 40% = 4,302 ip</div>	
Impervious Cover Information Note: Impervious cover is the total horizontal area of covered spaces, paved areas, walkways, and driveways. The term excludes pools, ponds, fountains, and areas with gravel placed over pervious surfaces that are used only for landscaping or by pedestrians. (LDC 25-1-23)	
Existing Impervious Cover (sq ft): <u>4271</u>	% of lot size: <u>39</u> ✓
Proposed Impervious Cover (sq ft): <u>4822</u> % of lot size: <u>44.8</u> ✓ <div style="float: right; font-style: italic; font-size: 1.2em;">max 45% = 4,840 ip</div>	
Setbacks Are any existing structures on this site a non-compliant structure based on a yard setback requirement? (LDC 25-2-513) Y <input type="checkbox"/> N <input type="checkbox"/>	
Does any structure (or an element of a structure) extend over or beyond a required yard? (LDC 25-2-513) Y <input type="checkbox"/> N <input type="checkbox"/>	
Is front yard setback averaging being utilized on this property? (LDC 25-2, Subchapter F, Sec. 2.3) Y <input type="checkbox"/> N <input type="checkbox"/>	
Height Information (LDC 25-1-21 or 25-2 Subchapter F, Section 3.4) Parking (LDC 25-6 Appendix A & 25-6-478)	
Building Height: _____ ft Number of Floors: _____	# of spaces required: _____ # of spaces provided: _____
Right-of-Way Information Is a sidewalk required for the proposed construction? (LDC-6-353) Y <input type="checkbox"/> N <input type="checkbox"/>	
*Sidewalks are to be installed on any new construction of a single family, two-family or duplex residential structure and any addition to an existing building that increases the building's gross floor area by 50 % or more.	
Will a Type I driveway approach be installed, relocated, removed or repaired as part of this project? Y <input type="checkbox"/> N <input type="checkbox"/>	
Width of approach (measured at property line): _____ ft Distance from intersection (for corner lots only): _____ ft	
Are storm sewer inlets located along the property or within ten (10) feet of the boundaries of the property? Y <input type="checkbox"/> N <input type="checkbox"/>	

Contact Information			
Owner	John Grubenman	Applicant or Agent	Starwood Pools
Mailing Address	4008 Lob Cove	Mailing Address	
Phone		Phone	
Email		Email	
Fax		Fax	
General Contractor	Starwood Pools	Design Professional	
Mailing Address	1300 RR 620 S. #A-11	Mailing Address	
Phone	214-9300	Phone	(512) 971-9999
Email	heather.terry.jones@gmail.com	Email	
Fax		Fax	

Acknowledgments	
Is this site registered as the owner's homestead for the current tax year with the appraisal district? Y <input type="checkbox"/> N <input type="checkbox"/>	
<p>I understand that in accordance with Sections 25-1-411 and 25-11-66 of the Land Development Code (LDC), non-compliance with the LDC may be cause for the Building Official to suspend or revoke a permit and/or license.</p> <p>I understand that I am responsible for complying with any subdivision notes, restrictive covenants and/or zoning conditional overlays prohibiting certain uses and/or requiring certain development restrictions (i.e., height, access, screening, etc.) on this property.</p> <p>If a conflict should result with any of these restrictions, it will be my responsibility to resolve it. I understand that, if requested, I must provide copies of all subdivision plat notes, restrictive covenants, and/or zoning conditional overlay information that may apply to this property.</p> <p>I acknowledge that this project qualifies for the Site Plan Exemption as listed in Section 25-5-2 of the LDC. I understand that nothing may be built upon or over an easement.</p> <p>I further understand that no portion of any roof structure may overhang in any public utility or drainage easement. I acknowledge that customer will bear the expense of any necessary relocation of existing utilities to clear this driveway location and/or the cost to repair any damage to existing utilities caused during construction.</p> <p>I agree that this application will expire on the 181st day after the date that the application is filed if the application is not approved and an extension is not granted. If the application expires, a new submittal will be required and compliance with current code may be required.</p> <p>I hereby certify that to the best of my knowledge and ability, the information provided in this application is complete and accurate.</p> <p>I further acknowledge that, should any information contained herein prove incorrect, the building official may suspend or revoke any resulting permit and/or license.</p> <p>I also understand that if there are any trees greater than 19 inches in diameter located on the property and immediately adjacent to the site, I am required to complete a Tree Ordinance Review Application by contacting (512) 974-1876 or cityarborist@austintexas.gov. This initiates the tree permitting requirement needed to proceed with the development review process.</p> <p>Erosion and Sedimentation Controls are required per Section 25-8-181.</p> <p>I acknowledge that a sidewalk will be required on any new construction of a single family, two-family or duplex residential structure and any addition to an existing building that increases the building's gross floor area by 50 % or more.</p> <p>I acknowledge if my plans are subject to a technical review it will not be construed to be a permit for, or an approval of any violation of any of the provisions of the current adopted building codes or another ordinance of the City of Austin.</p>	
Applicant's signature: <u>Heather Jones</u>	Date: <u>2/22/13</u>

Date 2/22/13

To Whom It May Concern,

We authorize Starwood Pools to pull permits from the City of Austin on our behalf.

John A. Grubenman

Rebecca Grubenman

Name: JOHN A REBECCA GRUBENMAN

Address: 4208 LOB CV

Telephone Number: 512-560-0662

One Stop Shop
505 Barton Springs Rd
(512) 974-2632 – phone
(512) 974-9112 – phone
(512) 974-9109 – fax
(512) 974-9779 – fax

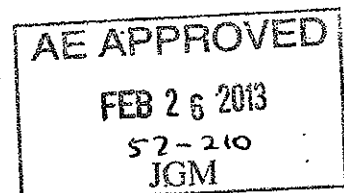


Austin Energy
Building Service Planning Application (BSPA)

This form to be used for review of Building Permit only
For use in One Stop Shop Only

Responsible Person for Service Request <u>Heather Jones</u>	
Email <u>hnm@starwoodpools.com</u>	Fax <u>233-1031</u> Phone <u>263-9300</u>
<input type="checkbox"/> Residential <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> New Construction <input type="checkbox"/> Remodeling	
Project Address <u>4008 LOB COVE</u> OR	
Legal Description <u>LOT 38 B1K B RIVERMACE</u> Lot <u> </u> Block <u>Sec 13</u>	
Who is your electrical provider? <input checked="" type="checkbox"/> AE <input type="checkbox"/> Other <u> </u>	
<input type="checkbox"/> Overhead Service <input type="checkbox"/> Underground Service <input type="checkbox"/> Single-phase (1Ø) <input type="checkbox"/> Three-phase (3Ø)	
Location of meter <u> </u>	
Number of existing meters on gutter <u> </u> (show all existing meters on riser diagram)	
Expired permit # <u> </u>	
Comments <u>Pool</u> All structures/pools/etc. must maintain a 10' horizontal clearance from AE energized power lines.	
BSPA Completed by (Signature & Print Name) <u> </u> Date <u> </u> Phone <u> </u>	
AE Representative <u> </u> Approved <input type="checkbox"/> Yes <input type="checkbox"/> No <u> </u> Date <u> </u> Phone <u> </u>	

Application expires 180 days after the date of approval
(Any change to the above information requires a new BSPA)



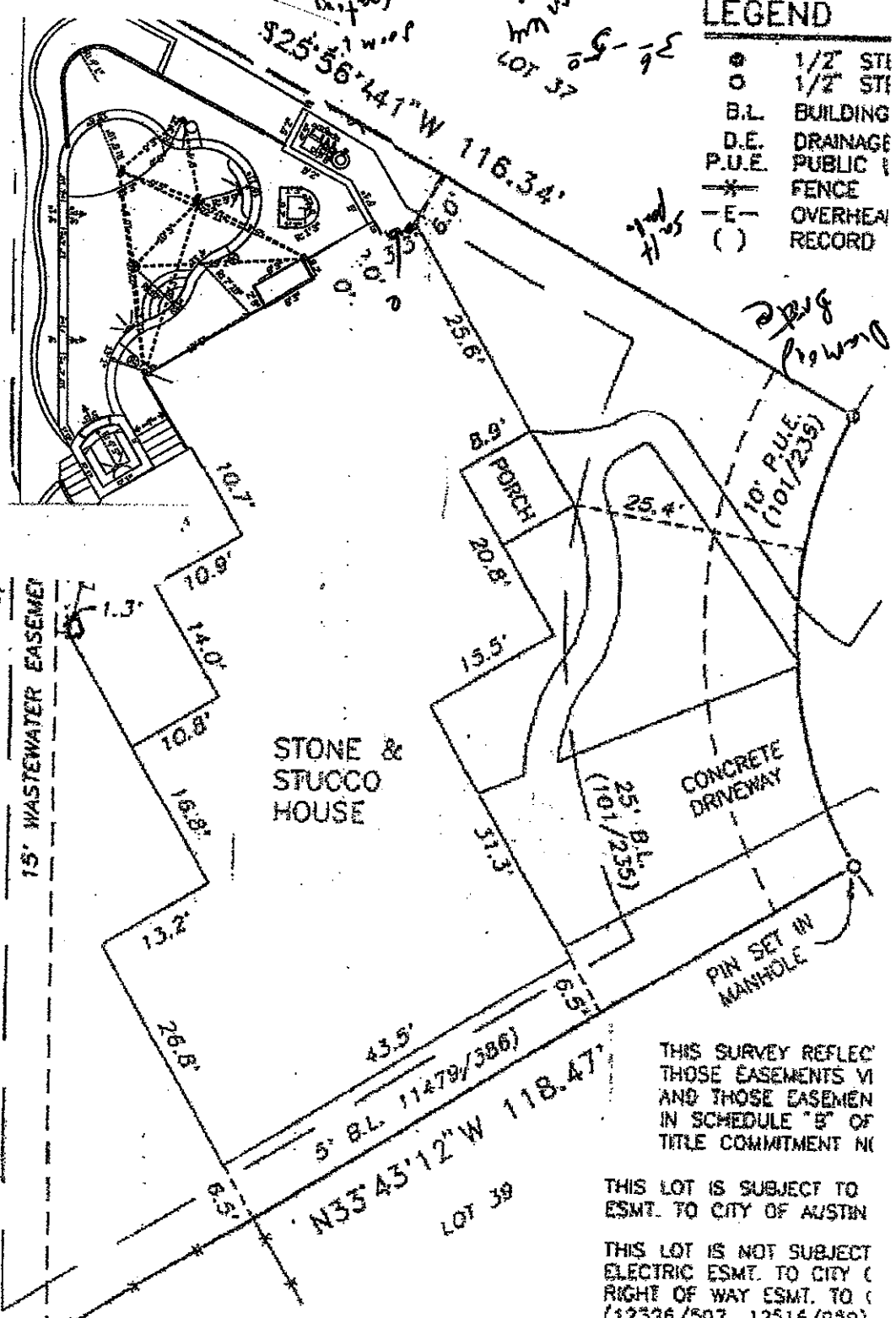
All structures/pools/etc.
must maintain a 10'
horizontal clearance from
AE energized power lines.

AE APPROVED
FEB 28 2013
52-210
JGM

* note this
copy only
for AE stamp

N86°36'51"E 165.86'

10' B.L. 11479/
15' WASTEWATER EASEMENT



LOT 39

THIS SURVEY REFLECTS
THOSE EASEMENTS VI
AND THOSE EASEMENTS
IN SCHEDULE "B" OF
TITLE COMMITMENT NO

THIS LOT IS SUBJECT TO
ESMT. TO CITY OF AUSTIN

THIS LOT IS NOT SUBJECT
ELECTRIC ESMT. TO CITY (C
RIGHT OF WAY ESMT. TO (C
(12326/507, 12516/959)

FOR RESTRICTIONS ON THIS LOT SEE PLAT (101/235) AND
RESTRICTIVE COVENANTS (9791/73, 11479/386, 12095/3092,
12178/2661, 12273/134, 12501/1015, 12447/503, 12482/1001,
12551/466, 12578/112, 12675/18, 12738/476, 12874/1346,
12973/14, 13067/318, 13296/502, 13316/674, 1999004064.

ALL
RE
OTH

4008 LD 000

N 86° 36' 51" E 165.86'

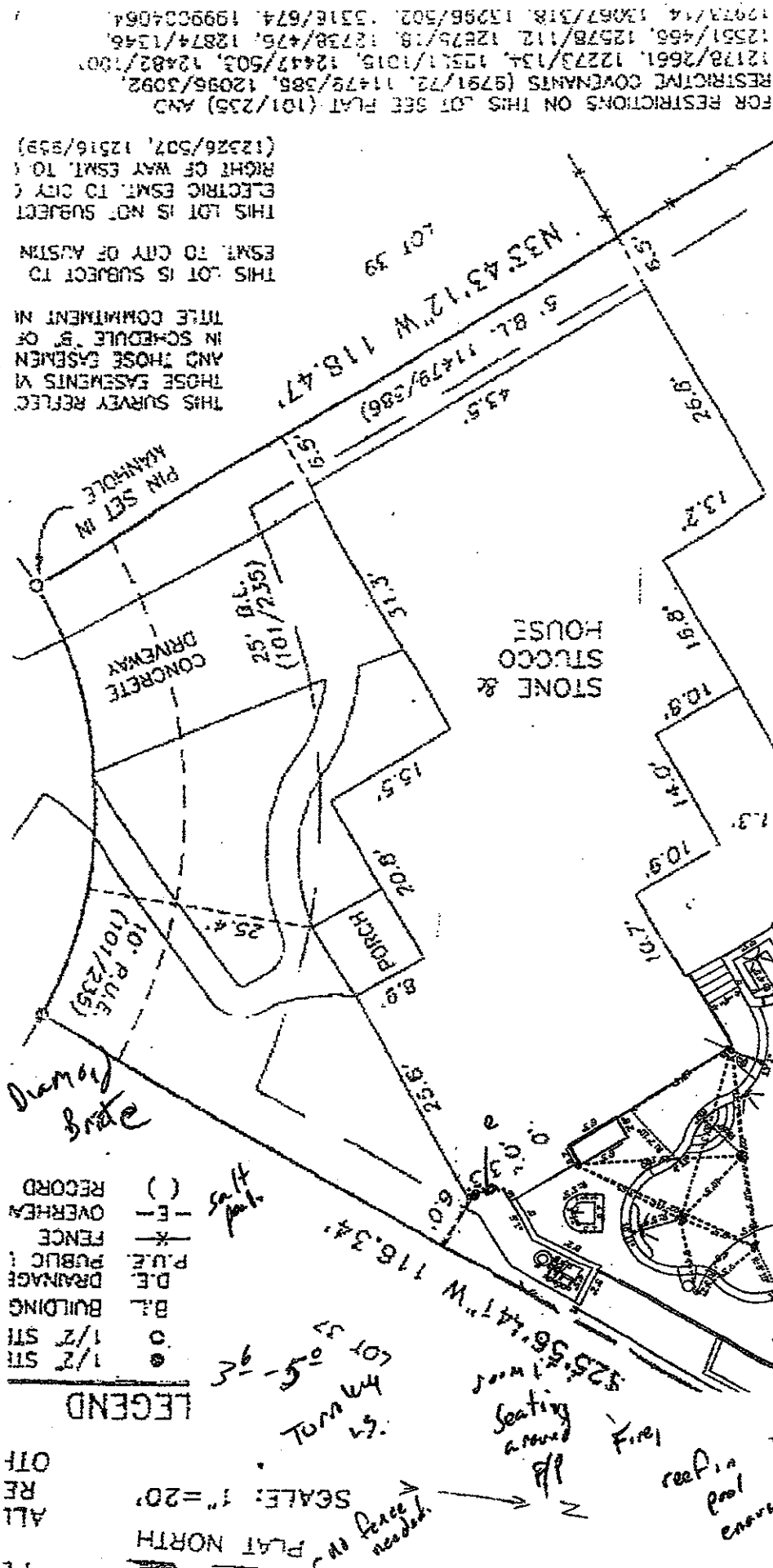
Planning and Development Review Department

5

By The granting of a permit for, or approval of, these plans and specifications shall not be construed to be a permit for, or an approval of, any violation of any of the provisions of the current adopted building code or any other ordinance of the City of Austin.

WASTEWATER CASEMENT

10' B.L. 11479/



LEGEND

●	1/2 STI
○	1/2 STI
B.L.	BUILDING
D.E.	DRAINAGE
P.U.E.	PUBLIC
—X—	FENCE
—E—	OVERHEAD
()	RECORD

ALL
RE
OFF

PLAT NORTH
SCALE: 1"=20'

Force needed.

Seating
arranged

4.21

1
ref. in
pool
enough

1. Uphoz

		Coping	Deck
Deck/Coping	509	108	401
Stairs	39		
A/C	39		
Equipment	40		
	627		

Rem IC 4427

Total 5054

% 47.07%

Over 221.9

-96 Remove sidewalk

-39 A/C Pad non IC?

-40 Equipment Pad non IC?

(★) (46.9) Remaining overage → ? *Revised Pool/Deck*