

**HISTORIC LANDMARK COMMISSION
MAY 20, 2013
NATIONAL REGISTER HISTORIC DISTRICT
NRD-2013-0037
Old West Austin
1706 Westover**

PROPOSAL

Construct a second story addition on an existing detached garage.

PROJECT SPECIFICATIONS

The house is a Minimal Traditional style, one story with a side gable roof, with a center front door and small front facing gable roof over the stoop that is supported by squared posts set on piers. The existing detached garage sits at the rear of the lot and is accessed by a side-loaded driveway.

The applicant proposes to construct an addition to the existing garage. The new construction will consist of a 34 sq. ft. addition at the front of the garage and a 386 sq. ft. second story addition set back from the new front wall to accommodate a second story balcony. The entire garage will be clad in horizontal hardi siding and will be painted to match the existing house. The roof will have a front facing gable and will have shingles matching those on the main house. A one car-wide garage door will provide access from the new gravel strip driveway.

The applicant also proposes to replace an existing concrete walk from the sidewalk to the front door of the house with a gravel walkway of similar dimension and layout, and construct a new rear deck on the house.

STANDARDS FOR REVIEW

The existing property is contributing to the Old West Austin National Register Historic District. Applicable general design review guidelines state:

- The distinguishing original qualities or character of a property and its environment shall not be destroyed. Removal or alteration of any historic material or distinctive architectural features should be avoided.
- All properties shall be recognized as products of their own time. Alterations which have no historical basis and which seek to create an earlier appearance shall be discouraged.
- Changes which have taken place in the course of time may have acquired significance in their own right, and shall be recognized and respected.
- Distinctive stylistic features or examples of skilled craftsmanship which characterize a property shall be treated with sensitivity.
- Deteriorated architectural features shall be repaired rather than replaced whenever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture, and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historical, physical, or pictorial

evidence.

- Contemporary design for alterations and additions to existing properties are appropriate when such alterations and additions do not destroy significant historic, architectural, or cultural material and are compatible with the size, scale, color, material, and character of the property, neighborhood, or environment.
- Whenever, possible, new additions or alterations to structures shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the structure would not be impaired.
- The installation of protective or code-required mechanical systems shall be concealed whenever possible so as not to intrude upon or detract from the property's aesthetic and historical qualities except where concealment would result in the alteration or destruction of historically significant materials or spaces.

The existing garage is not architecturally significant. The proposed additions to the garage are compatible in scale, massing, form, and materials of the existing house and meet the guidelines for review.

STAFF RECOMMENDATION

Release the permit per the proposed design.

PHOTOS

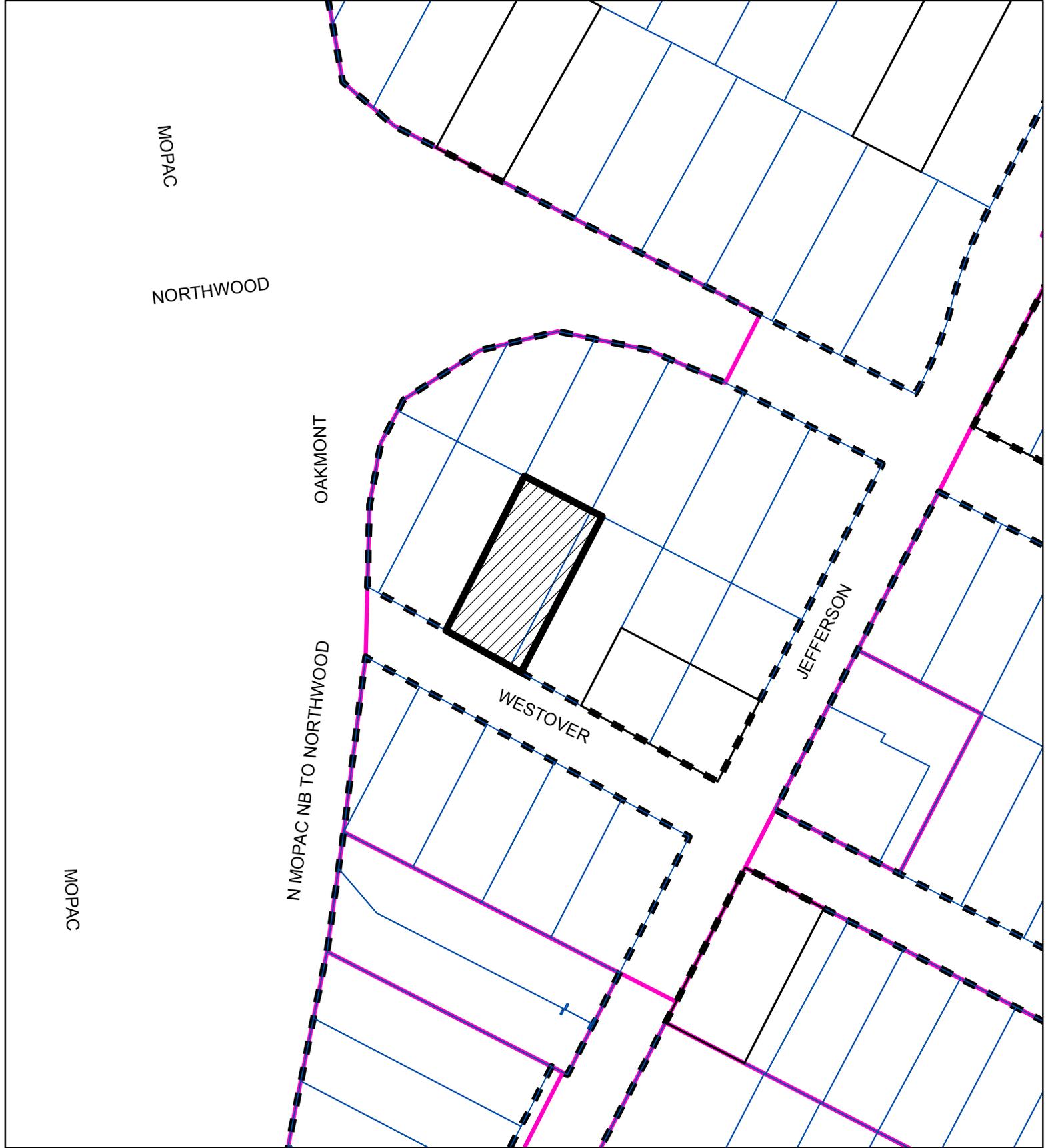


1706 Westover Road
Front of House



1706 Westover Road
Driveway & Garage





-  SUBJECT TRACT
-  ZONING BOUNDARY

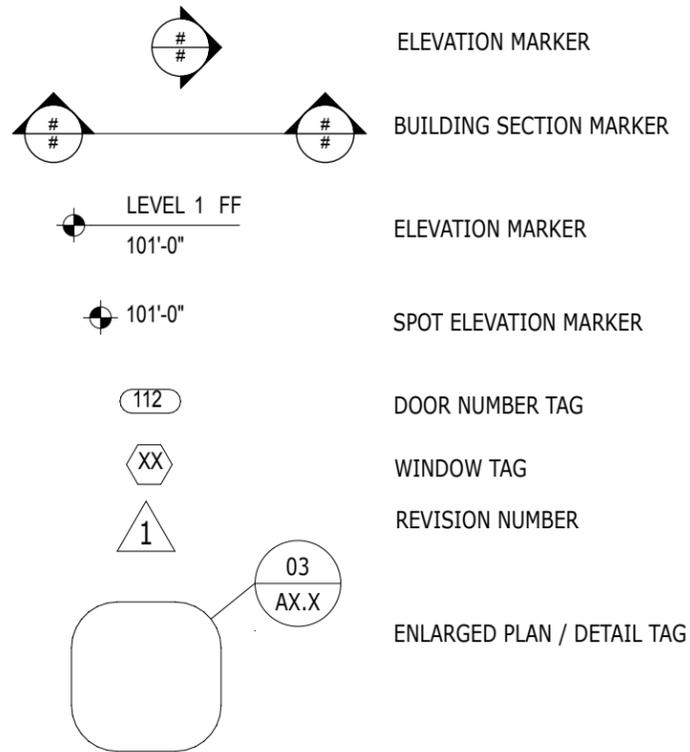
CASE#: NRD-2013-0037
 LOCATION: 1706 Westover Road



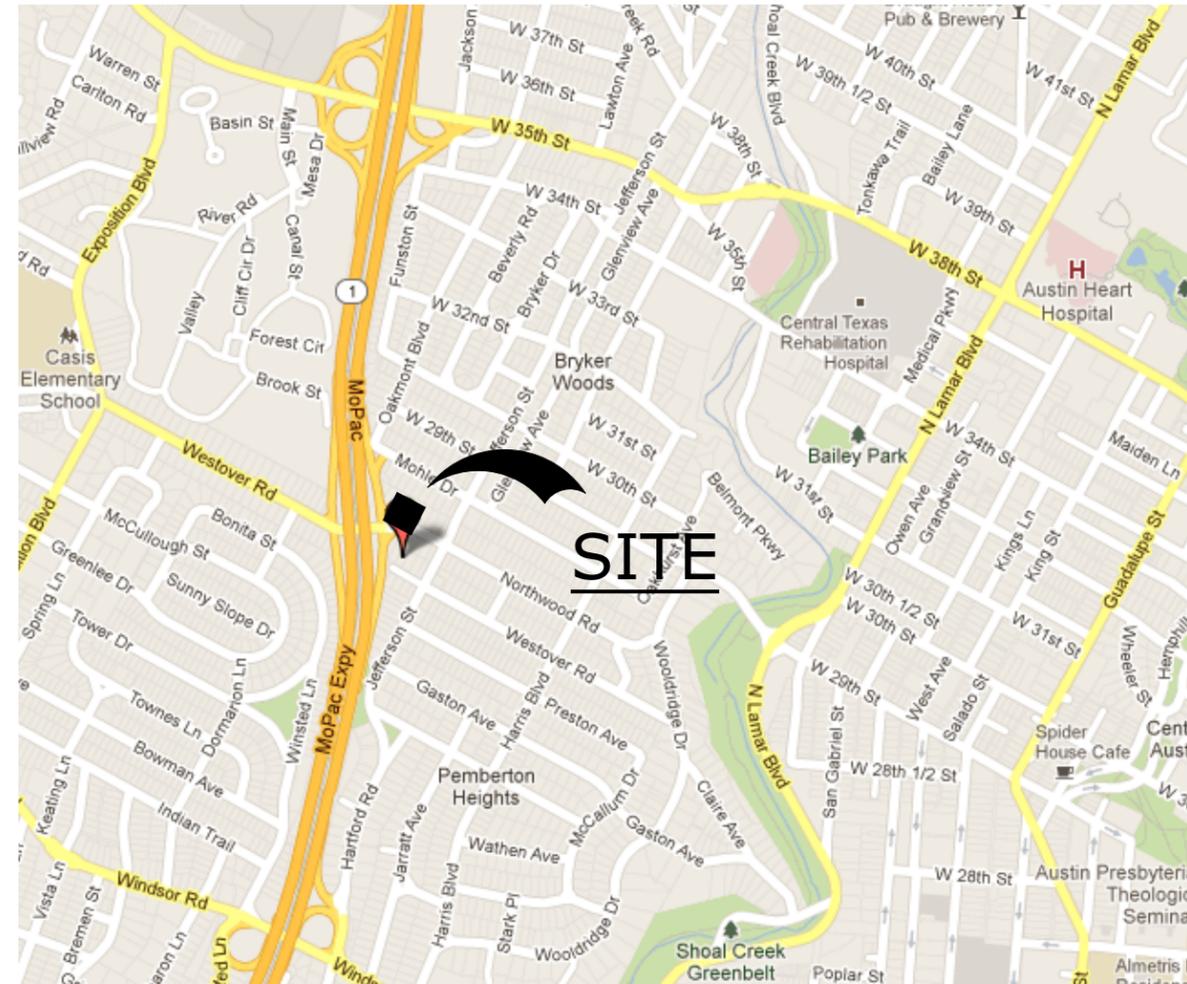
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This product has been produced by the Planning and Development Review Department for the sole purpose of geographic reference. No warranty is made by the City of Austin regarding specific accuracy or completeness.

SYMBOL KEYS:



PROJECT MAP:



SITE CALCULATIONS:

AREAS (IN SQUARE FEET):

(E) HOUSE : 1950
 (E) GARAGE: 360
 WOOD DECK STAIRS TO GUEST RM: 34.3 (68.6 MEASURED)
 NEW SECOND STORY GUEST ROOM: 386

DEMOLISHED IMPERVIOUS COVER: 503
 DRIVEWAY 1599
 FLATWORK 458
 (E) DECKING @ 50% 127.5 (255 MEASURED)
 DECKING @ 50% 115.5 (231 MEASURED)

SITE: 9427
 PROPOSED IMP: 4041.3
 ALLOWED IMP @ 45%: 4242.2
 PROPOSED BLDG : 2696
 ALLOWED BLDG @ 40%: 3770.8

Index Of Drawings

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A-6	Second Floor Plan	■	
A-7	Exterior Elevations	■	
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A-9	Section and Details	■	
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Board of Adjustments:

C15-2013-0022

PROJECT CODES:

This project falls within the jurisdiction of the City of Austin, TX and is subject to all developmental regulations set forth for residential improvements, including but not limited to:

2006 International Residential Code with Austin Amendments
 2009 Uniform Plumbing Code
 2011 National Electrical Code
 2009 International Energy Conservation Code

PROJECT DESCRIPTION:

GARAGE ADDITION TO DETACHED GARAGE. SITE IS ZONED SF-3 - NP

ADDRESSES AFFECTED:
 1706 Westover Road
 Austin, Tx, 78703

LEGAL DESCRIPTION:
 LOT 11 & W 10 FT OF LOT 12 BLK 4 BRYKERWOODS C

PROJECT DIRECTORY:

OWNER / CLIENT:

John AND Tamara Plemmons
 1706 Westover Road
 Austin, Tx 78703

ARCHITECT:

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 (512) 420 0026
 Contact: Smith Holt, AIA
 smith@smithholt.com

ENGINEER:

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Garage Guest Room

Title Sheet

Construction Documents

Job:
 12016

Date of Issue:
 26 Apr 2013

Sheet Number:

A-1

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1. PROTECT EXISTING TREES, LANDSCAPING, AND PROPERTY DURING CONSTRUCTION. PAY PARTICULAR ATTENTION TO EXISTING TREE ROOT SYSTEMS, EXPOSED TRUNKS, AND BRANCH DRIP LINES. PROVIDE STANDARD CITY OF AUSTIN BARRIERS AND GROUND PROTECTION. NO WORK IS TO OCCUR WITHIN 10'-0" OF TREE TRUNK.
2. PRIOR TO INSTALLATION, ALL STOCKED MATERIALS SHALL BE PROTECTED FROM THE ELEMENTS AND OFF THE GROUND, AS NEEDED, TO ASSURE THEIR GOOD CONDITION.
3. CONTRACTOR TO FURNISH ALL LABOR AND MATERIALS NECESSARY TO COMPLETE INSTALLATION OF FINISHES. EACH CONTRACTOR SHALL RESPECT THE WORK OF OTHER CONTRACTORS AND IS RESPONSIBLE FOR AND LIBEL TO REPAIR OR REPLACE ANY DAMAGE CAUSED BY HIS WORK.
4. CODES: ALL WORK SHALL BE PERFORMED IN STRICT COMPLIANCE WITH FEDERAL, STATE AND LOCAL CODES AND ANY OTHER REGULATING AUTHORITIES HAVING JURISDICTION OVER SAID PROJECT. THE CONTRACTOR SHALL PROTECT AND INDEMNIFY THE OWNER AND/OR ARCHITECT AGAINST ANY CLAIM OR LIABILITY ARISING FROM VIOLATION OF ANY SUCH CODE OR REGULATION.
5. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS NOT PROVIDED BY THE OWNER, INSPECTION FEES, AND DEPOSITS REQUIRED FOR THE INSTALLATION OF ALL WORK. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CALL FOR LOCAL INSPECTIONS AND OBTAIN APPROVAL FROM THE CITY OF AUSTIN INSPECTORS FOR COMPLETED WORK.
6. QUALITY: WORKMANSHIP SHALL BE OF THE HIGHEST QUALITY AND MATERIALS USED OF THE BEST TYPES THE MARKET AFFORDS. ALL INSTALLATIONS AND APPLICATIONS SHALL CONFORM TO INDUSTRY STANDARDS AND MANUFACTURER SPECIFICATIONS.
7. TRASH REMOVAL: CONTRACTOR SHALL PROVIDE FOR TRASH REMOVAL. EACH CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE AND/OR WITHIN THE BUILDING. IF TRASH AND DEBRIS ARE NOT REMOVED, THE OWNER MAY, AT HIS OPTION, PAY FOR ITS REMOVAL AND BACK-CHARGE THE CONTRACTOR.
8. RECYCLING: CONTRACTOR SHALL USE A DISPOSAL SERVICE THAT RECYCLES CONSTRUCTION WASTE. DOCUMENTATION OF VOLUMES RECYCLED SHALL BE PROVIDED ON AN ONGOING BASIS.
9. THERE SHALL BE NO CLEANING OF EQUIPMENT OR TOOLS ON SITE ALLOWING RUN OFF OF ANYTHING BUT CLEAN WATER. AS EXAMPLES: PAINT BRUSH CLEANING IS NOT ALLOWED IN LANDSCAPING. THE WASHOUT OF CONCRETE TRUCKS SHALL BE CONTAINED SO AS TO NOT ALLOW RUN-OFF OF CHEMICALS AND MATERIALS INTO THE LANDSCAPE.
10. THE GENERAL CONTRACTOR SHALL COORDINATE THE LOCATION AND SIZE OF OPENINGS FOR VENTS, INSERTS, BOXES, HANGERS, BLOCKING, ETC. WITH THE ARCHITECT PRIOR TO ANY FIELD CUTTING OR FIELD PENETRATIONS BEING MADE.
11. ALL ERECTIONS, DETAILS, MATERIALS, METHODS, ETC. SHOWN AND/OR NOTED AND ANY DRAWING SHALL APPLY TO ALL OTHER SIMILAR LOCATIONS, UNLESS OTHERWISE NOTED.
12. THE GENERAL CONTRACTOR SHALL SAFELY SHORE, BRACE, AND/OR SUPPORT ALL WORK AS REQUIRED. THIS WORK SHALL BE THE FULL RESPONSIBILITY OF THE CONTRACTOR AND NO ACT, DIRECTION, OR REVIEW OF ANY SYSTEM OR METHOD BY THE ARCHITECT OR OWNER/DEVELOPER SHALL RELIEVE THE CONTRACTOR OF THIS RESPONSIBILITY.
13. IT IS NOT THE INTENT OF THESE DRAWINGS TO SHOW OR INDICATE ALL FASTENING OR FRAMING TECHNIQUES AND/OR DEVICES, OR TO SHOW ALL CONDITIONS PRESENT.
14. SUBMIT SAMPLES OF ALL FINISH MATERIALS, PAINTS AND STAINS FOR APPROVAL BY THE OWNER.
15. GENERAL CONTRACTOR TO PROVIDE MEANS TO SECURE AND PROTECT CONSTRUCTION AREAS FROM THE PUBLIC, AND PROTECT THE PUBLIC FROM CONSTRUCTION OPERATIONS, INCLUDING BLOCKING ACCESS TO THE POOL.
16. DIMENSIONS GIVEN ON PLAN SHEETS ARE TO FACE OF FINISH OR FACE OF CONCRETE OR MASONRY, UNLESS OTHERWISE SHOWN TO BE AS FRAMING, CENTERLINE OR CLEAR DIMENSION.
17. GENERAL CONTRACTOR SHALL PROVIDE BACKING FOR THE SUPPORT OF EQUIPMENT AND ACCESSORIES, INCLUDING, BUT NOT LIMITED TO: SHELVING, LAVATORIES, CABINETS, TOILET ACCESSORIES, CLOSET ACCESSORIES, STAIR RAILINGS, LIGHT FIXTURES, BUILT-INS, AND OTHER OWNER EQUIPMENT REQUIRING BACKING AS A MEANS OF SUPPORT.
18. ALL GYPSUM WALLBOARD SHALL BE ½". WALLS AT 'WET AREAS' WITHIN BATHROOMS, KITCHENS, OR UTILITY AREAS SHALL BE ½" GREEN BOARD. PROVIDE CEMENT BACKER BOARD AT SHOWER LOCATIONS.
19. DO NOT SCALE DRAWINGS; DIMENSIONS GOVERN. CONTACT ARCHITECT FOR CLARIFICATION REGARDING CONFLICTS OR DIMENSIONS IN QUESTION.
20. NO WOOD SHALL BE IN CONTACT WITH EARTH, MASONRY, OR CONCRETE. PROVIDE NYLON WASHERS OR SPACERS AT CONNECTIONS. ALL WOOD AT EXTERIOR LOCATIONS SHALL BE PRESSURE TREATED.
21. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND REPORT ANY CONFLICTING INFORMATION TO THE OWNER OR ARCHITECT FOR CLARIFICATION.
22. ALL UTILITY CONNECTIONS AND WORK SHALL BE INSTALLED IN ACCORDANCE WITH PUBLIC UTILITY STANDARDS AND OTHER AUTHORITIES HAVING JURISDICTION. GENERAL CONTRACTOR TO VERIFY EXISTING CONDITIONS, AND COORDINATE CONNECTIONS WITH THE REQUIRED ENTITIES.
23. OWNER REQUESTS THE RIGHT TO PROVIDE CERTAIN ITEMS WITHIN THE STRUCTURE FOR THE CONTRACTOR TO INSTALL. SEE "OWNER PROVIDED, CONTRACTOR INSTALLED ITEMS" LIST.
24. ALL FASTENERS EXPOSED TO VIEW OR TO ELEMENTS TO BE GALVANIZED.

ABBREVIATIONS:

AFF	ABOVE FINISHED FLOOR	MAX	MAXIMUM
ADD	ADDENDUM	MECH	MECHANICAL
A/C	AIR CONDITIONING	MTL	METAL
AHU	AIR HANDLING UNIT	MW	MILLWORK
ALT	ALTERNATE	MIN	MINIMUM
ALUM	ALUMINUM	MISC	MISCELLANEOUS
ARCH	ARCHITECT	MTD	MOUNT (ED)
BOD	BOTTOM OF DECK	N/A	NOT APPLICABLE
BLDG	BUILDING	NIC	NOT IN CONTRACT
CO	CASED OPENING	NTS	NOT TO SCALE
CLG	CEILING	NO., #	NUMBER
CTR	CENTER	OC	ON CENTER
CL	CENTER LINE	OH	OPPOSITE HAND
C/C	CENTER TO CENTER	ORIG	ORIGINAL
CLR	CLEAR (ANCE)	OFOI	OWNER FURNISH/ OWNER INSTALL
COL	COLUMN	OFCI	OWNER FURNISH/ CONTRACTOR INSTALL
CONC	CONCRETE	PTD	PAINT (ED)
CMU	CONCRETE MASONRY UNIT	PR	PAIR
CONST	CONSTRUCTION	PERP	PERPENDICULAR
CJ	CONTROL JOINT	PLAM	PLASTIC LAMINATE
CONT	CONTINUOUS	PT	POINT
DTL	DETAIL	PSI	POUNDS PER SQUARE INCH
DIA	DIAMETER	PWR	POWER
DIM	DIMENSION	PREFAB	PREFABRICATED
DN	DOWN	PREP	PREPARATION
DS	DOWNSPOUT	PROJ	PROJECT (OR)
DWG	DRAWING	PL	PROPERTY LINE
EA	EACH	QTY	QUANTITY
ELEC	ELECTRIC	R, RAD	RADIUS
EL	ELEVATION	REINF	REINFORCE, REINFORCING
ELEV	ELEVATOR	RH	RIGHT HAND
ENGR	ENGINEER	RHR	RIGHT HAND REVERSE
EQ	EQUAL	RD	ROOF DRAIN
EJ	EXPANSION JOINT	RTU	ROOF TOP UNIT
EXT	EXTERIOR	RM	ROOM
FIN	FINISH (ED)	RO	ROUGH OPENING
FEC	FIRE EXTINGUISHER CABINET	SCHED	SCHEDULE, SCHEDULED
FR	FIRE RATED	SHT	SHEET
FD	FLOOR DRAIN	SC	SOLID CORE
FURN	FURNISH	SPEC	SPECIFICATION(S)
GALV	GALVANIZED	STD	STANDARD
GC	GENERAL CONTRACTOR	STL	STEEL
GWB	GYPSUM WALL BOARD	STR	STRUCTURE, STRUCTURAL
HDCP	HANDICAP	THRU	THROUGH
HDW	HARDWARE	TO	TOP OF
HTR	HEATER	TBM	TOP OF BEAM
HVAC	HEATING, VENTILATING AND AIR CONDITIONING	TOC	TOP OF CURB
HT	HEIGHT	TOS	TOP OF STEEL
HM	HOLLOW METAL	TOW	TOP OF WALL
HB	HOSE BIB	TYP	TYPICAL
INFO	INFORMATION	UNO	UNLESS NOTED OTHERWISE
ID	INSIDE DIAMETER	UTIL	UTILITY
INSUL	INSULATE, INSULATION	VERT	VERTICAL
LAV	LAVATORY	WC	WATER CLOSET
MFR	MANUFACTURER	WWF	WELDED WIRE FABRIC
MAT	MATERIAL	WDW	WINDOW
		WD	WOOD

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Garage Guest Room

Notes

Construction
Documents

Job:
12016

Date of Issue:
26 Apr 2013

Sheet Number:

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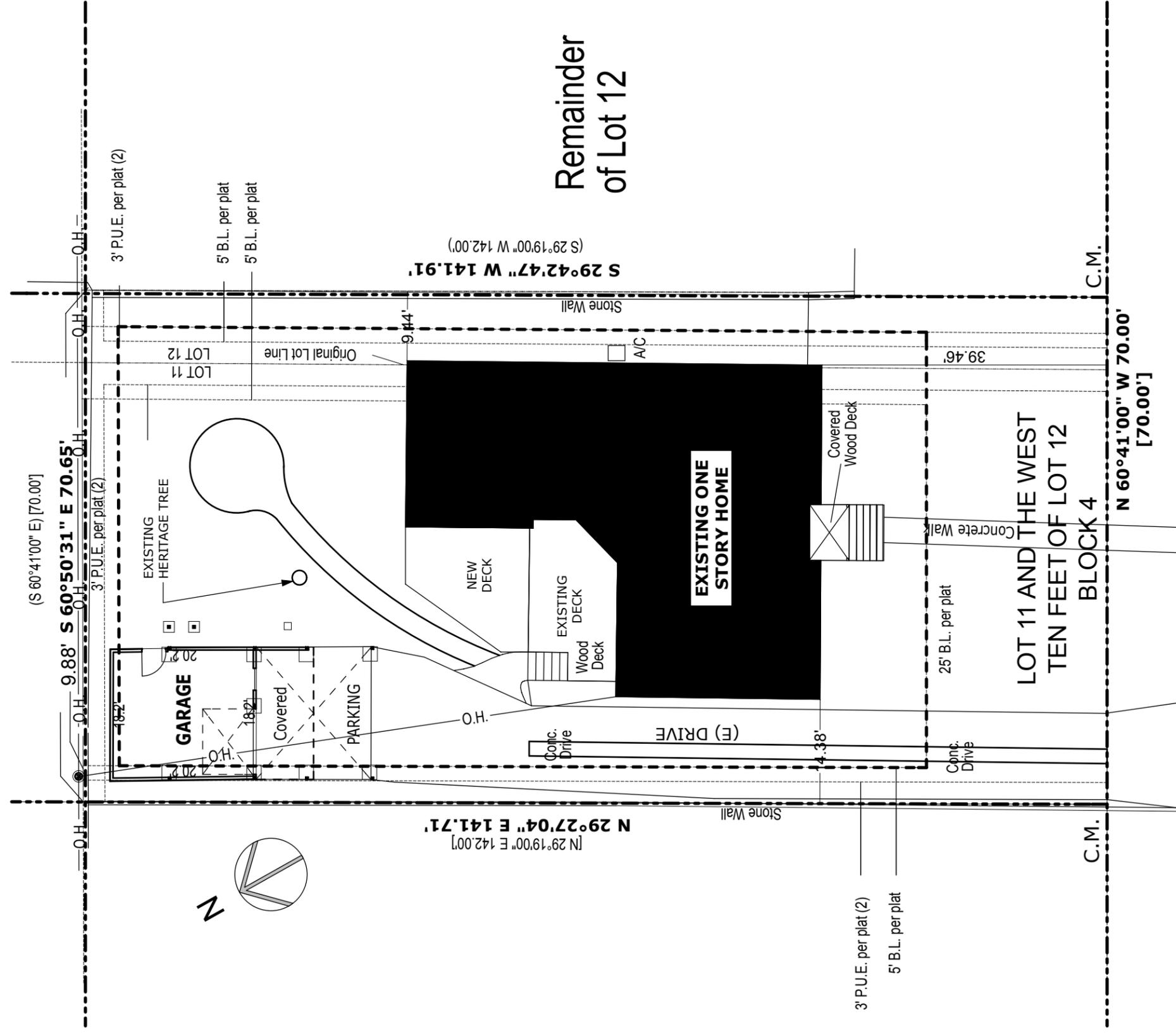
AREAS (IN SQUARE FEET):

- (E) HOUSE : 1950
- (E) GARAGE: 360
- NEW FIRST FLOOR AREA: 34.3 (68.6 MEASURED)
- NEW SECOND STORY GUEST ROOM: 386
- BALCONY: 178 (ABOVE DRIVEWAY)
- DEMOLISHED IMPERVIOUS COVER: 503
- DRIVEWAY: 1599
- FLATWORK: 458
- (E) DECKING @ 50%: 127.5 (255 MEASURED)
- DECKING @ 50%: 115.5 (231 MEASURED)
- SITE: 9427
- PROPOSED IMP: 4041.3
- ALLOWED IMP @ 45%: 4242.2
- PROPOSED BLDG : 2696
- ALLOWED BLDG @ 40%: 3770.8

1

Site Plan

SCALE: 1/16" = 1'-0"



WESTOVER ROAD

(50' R.O.W.)



Garage Guest Room

Site Plan

Construction Documents

Job: 12016

Date of Issue: 26 Apr 2013

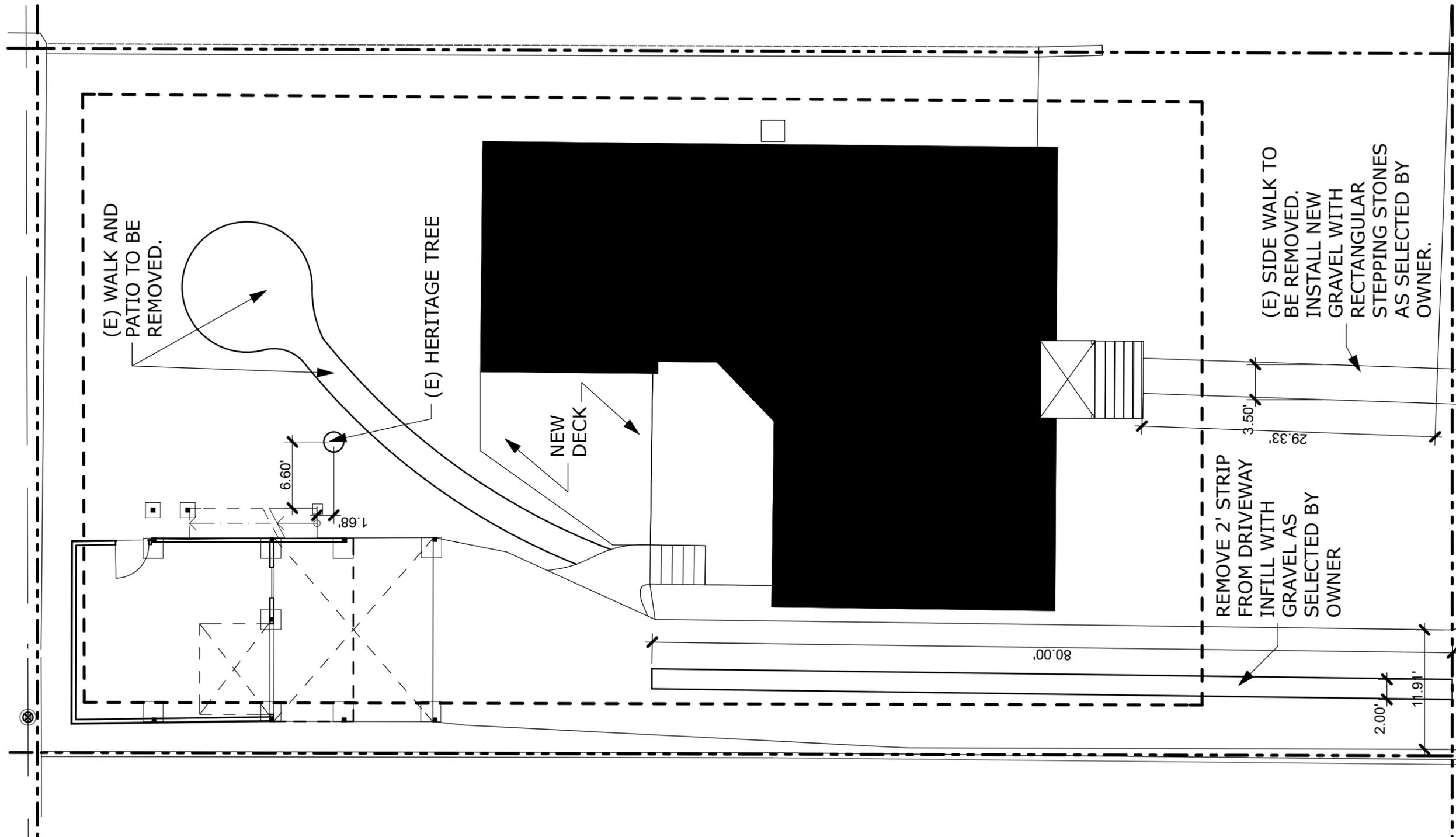
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Garage Guest Room

Site Work

Construction Documents

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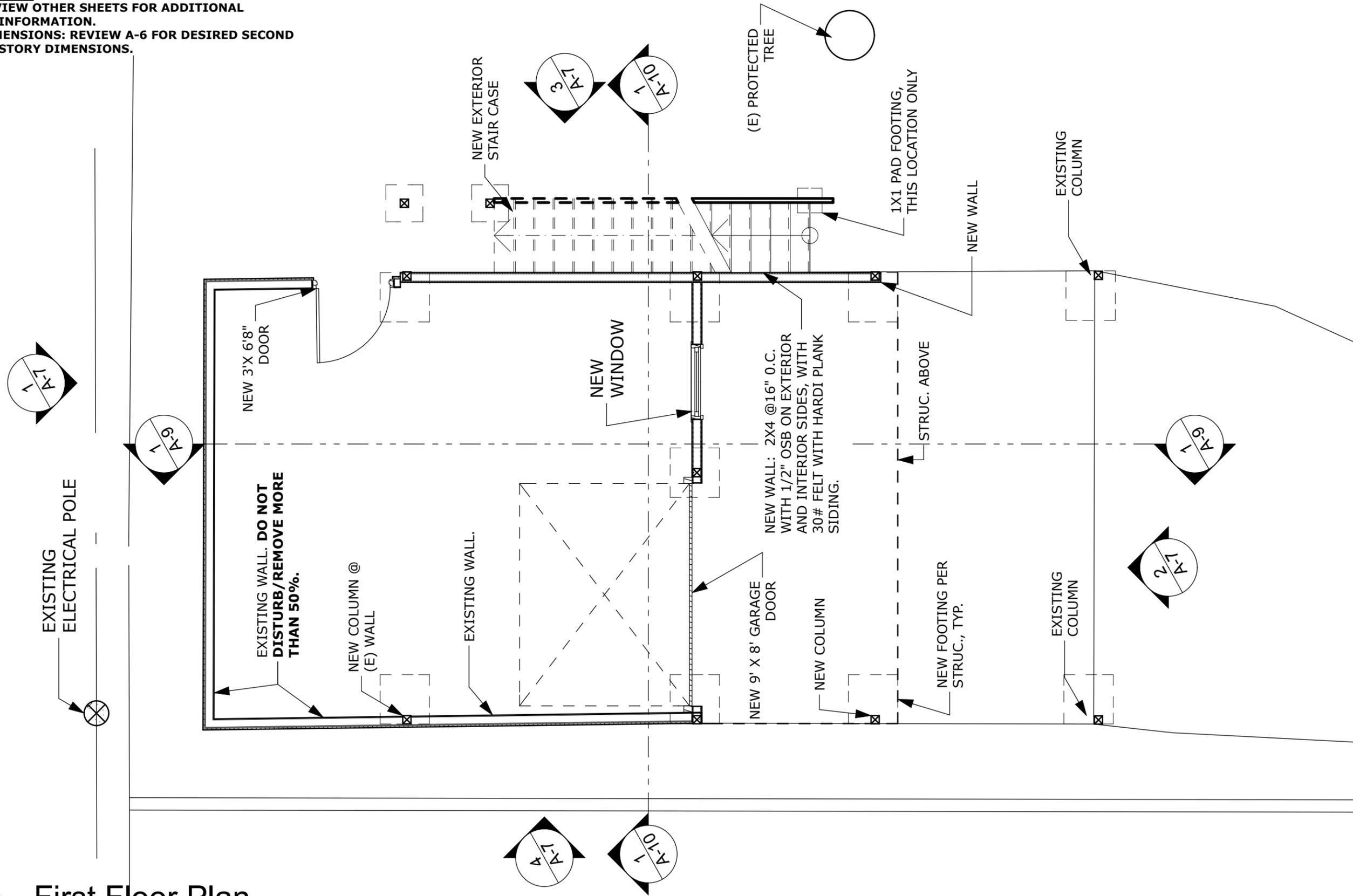
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PLAN NOTES

1. REVIEW OTHER SHEETS FOR ADDITIONAL INFORMATION.
2. DIMENSIONS: REVIEW A-6 FOR DESIRED SECOND STORY DIMENSIONS.



1 First Floor Plan
SCALE: 1/4" = 1'-0"

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Garage Guest Room

First Floor Plan

Construction Documents

Job: 12016

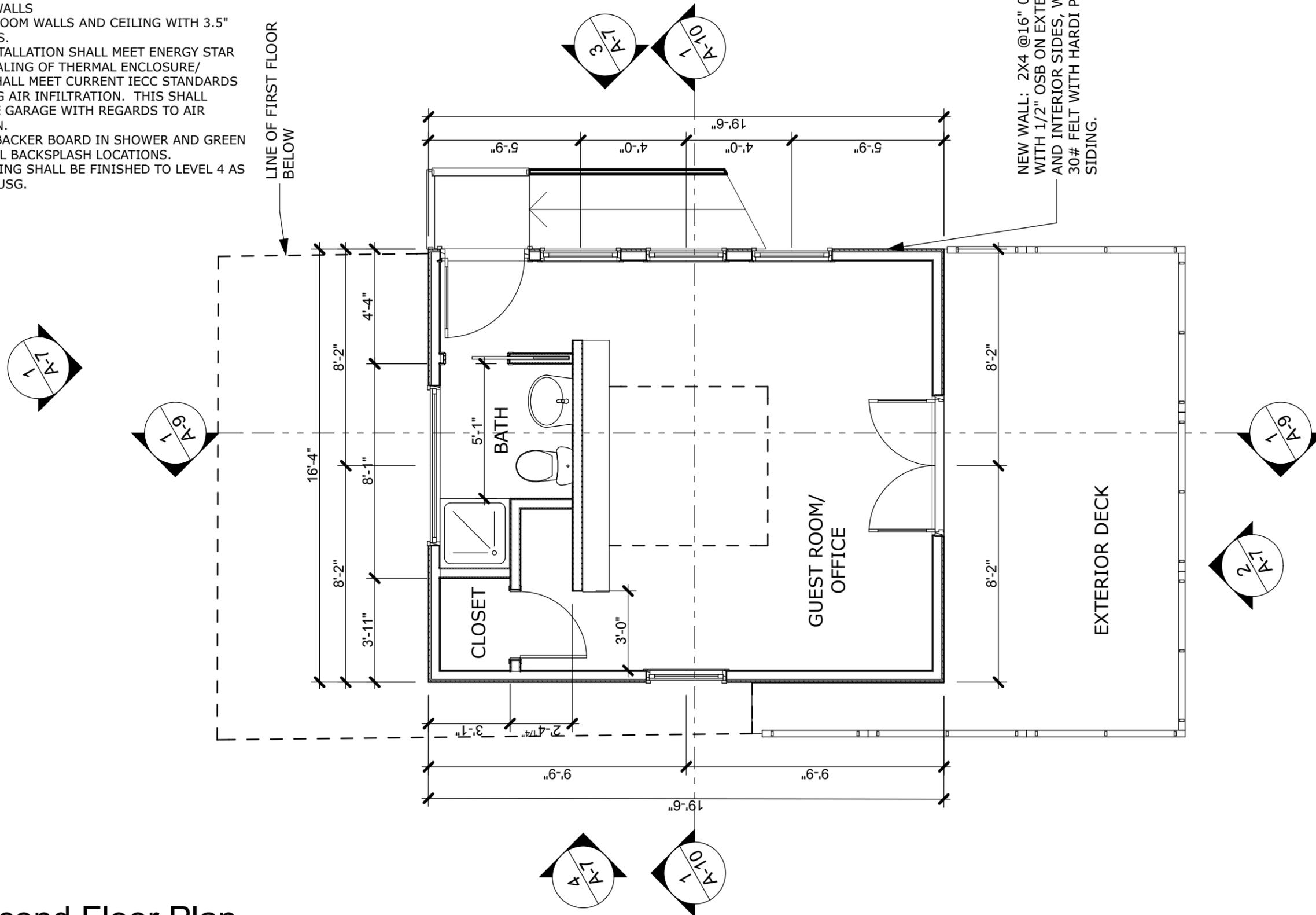
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Sheet Number: **A-5**

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PLAN NOTES

1. REVIEW OTHER SHEETS FOR ADDITIONAL INFORMATION.
2. PROVIDE 2X6 BLOCKING AT 34" AND 72" AFF IN BATHROOM WALLS
3. INSULATE BATHROOM WALLS AND CEILING WITH 3.5" SOUND BATTS.
4. INSULATION INSTALLATION SHALL MEET ENERGY STAR GRADE I; SEALING OF THERMAL ENCLOSURE/ ENVELOPE SHALL MEET CURRENT IECC STANDARDS FOR LIMITING AIR INFILTRATION. THIS SHALL INCLUDE THE GARAGE WITH REGARDS TO AIR INFILTRATION.
5. USE CONCRETE BACKER BOARD IN SHOWER AND GREEN BOARD AT ALL BACKSPASH LOCATIONS.
6. WALLS AND CEILING SHALL BE FINISHED TO LEVEL 4 AS DEFINED BY USG.



1 Second Floor Plan
SCALE: 1/4" = 1'-0"

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**Garage
Guest Room**

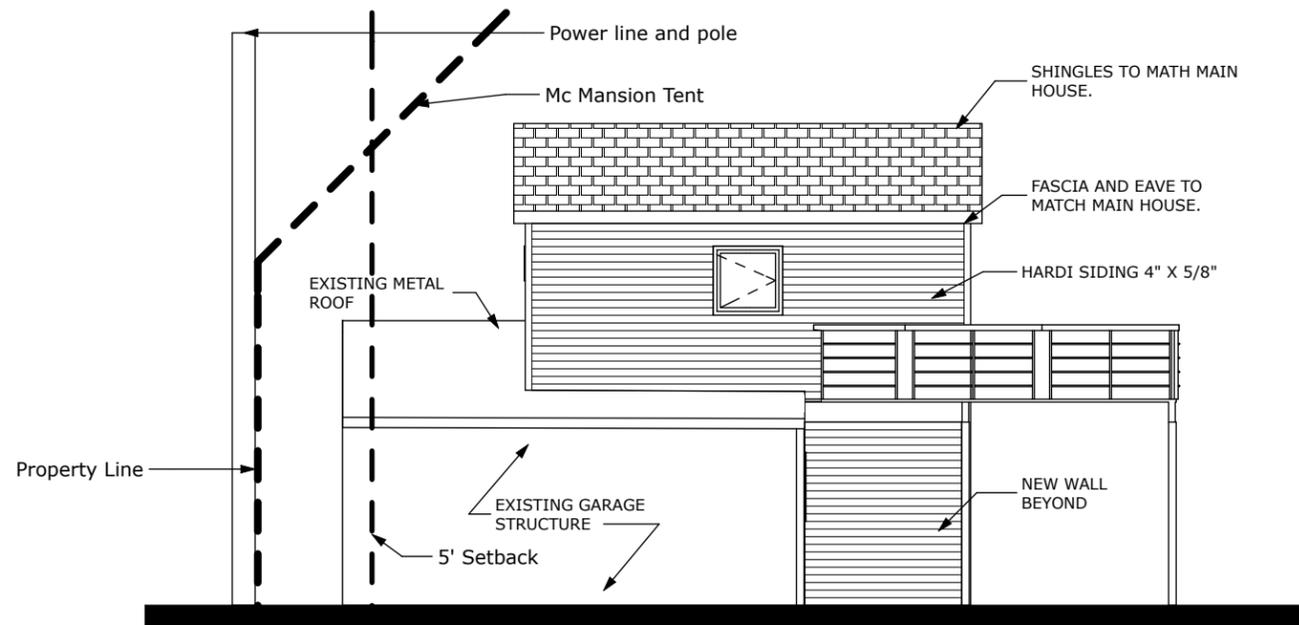
Second Floor
Plan

Construction
Documents

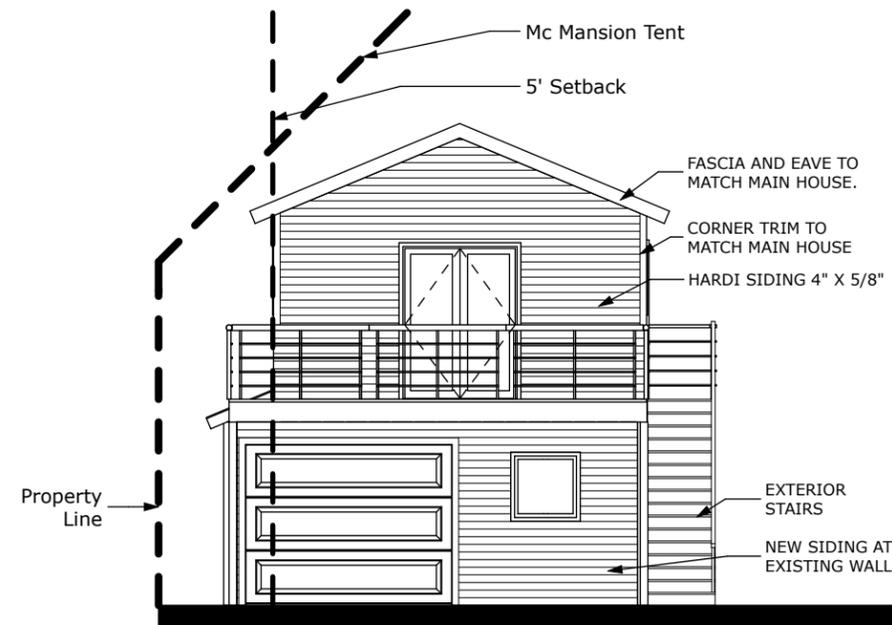
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12016
Date of Issue:
26 Apr 2013
Sheet Number:

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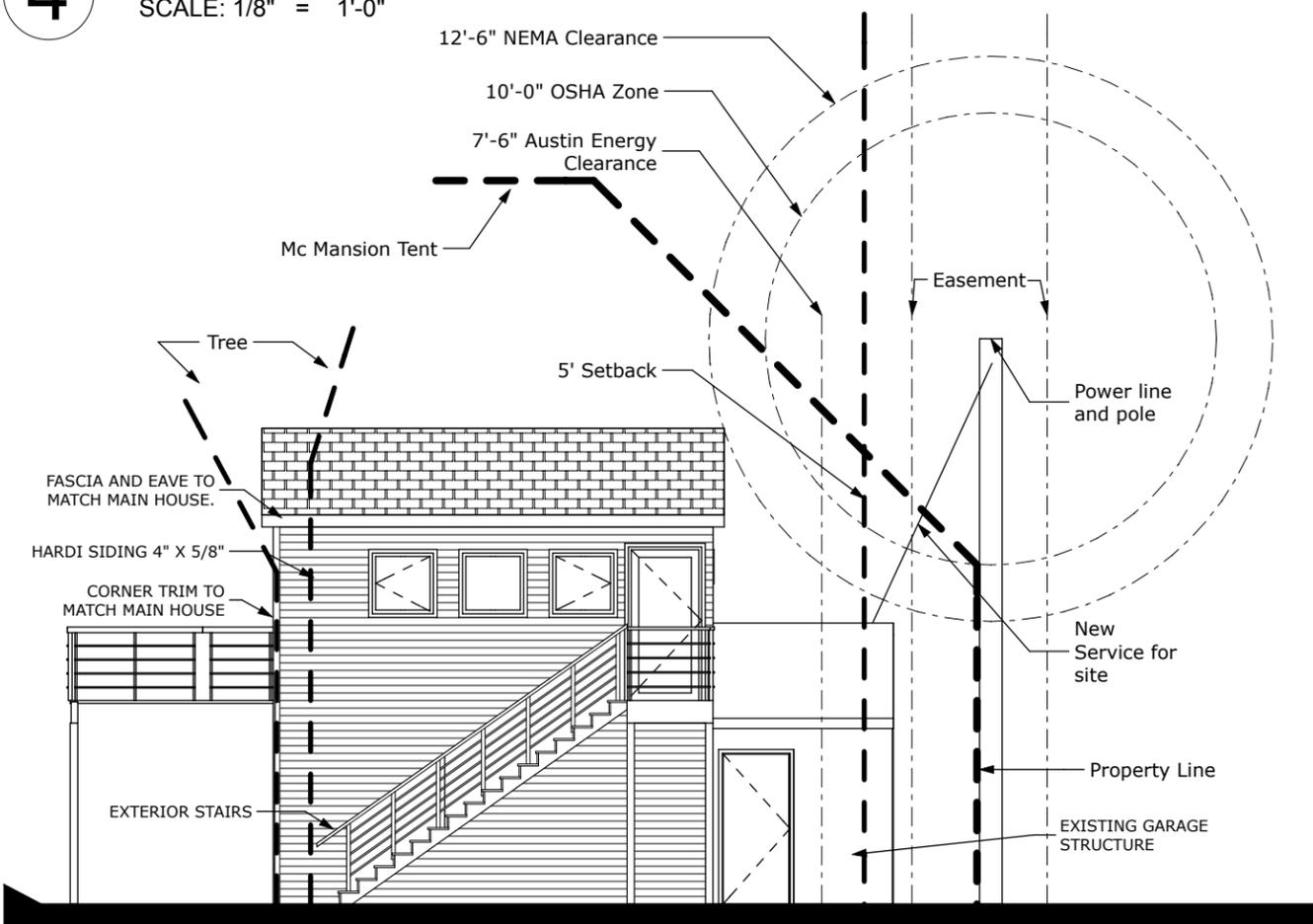
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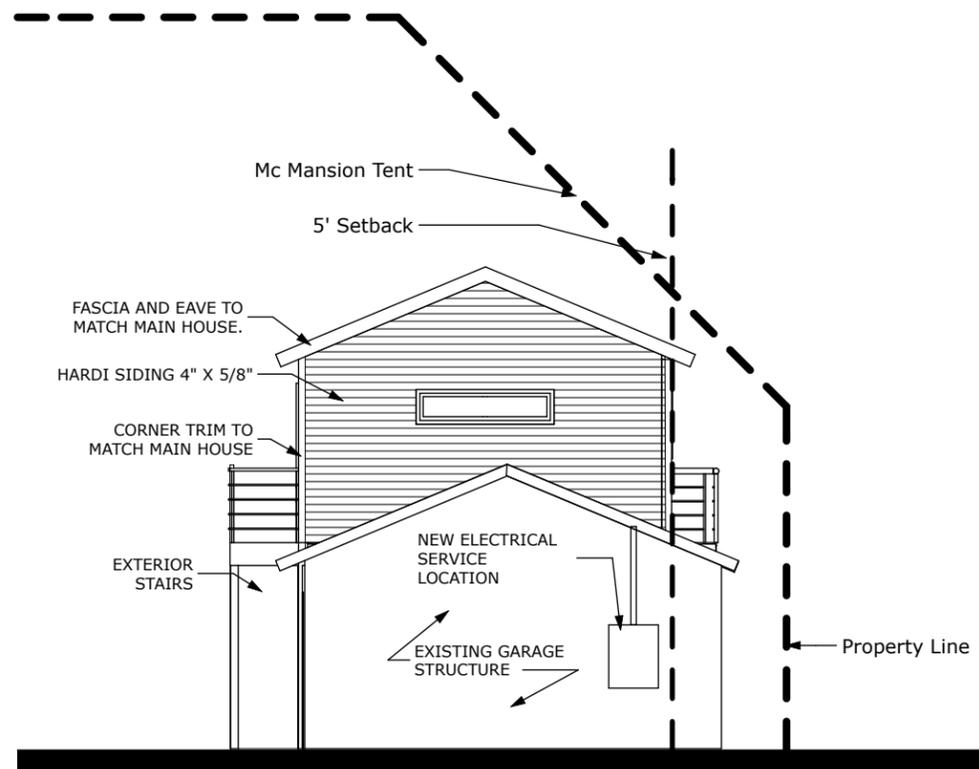
4 West Elevation
SCALE: 1/8" = 1'-0"



2 South Elevation
SCALE: 1/8" = 1'-0"



3 West Elevation
SCALE: 1/8" = 1'-0"



1 North Elevation
SCALE: 1/8" = 1'-0"

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Garage Guest Room

Exterior Elevations

Construction Documents

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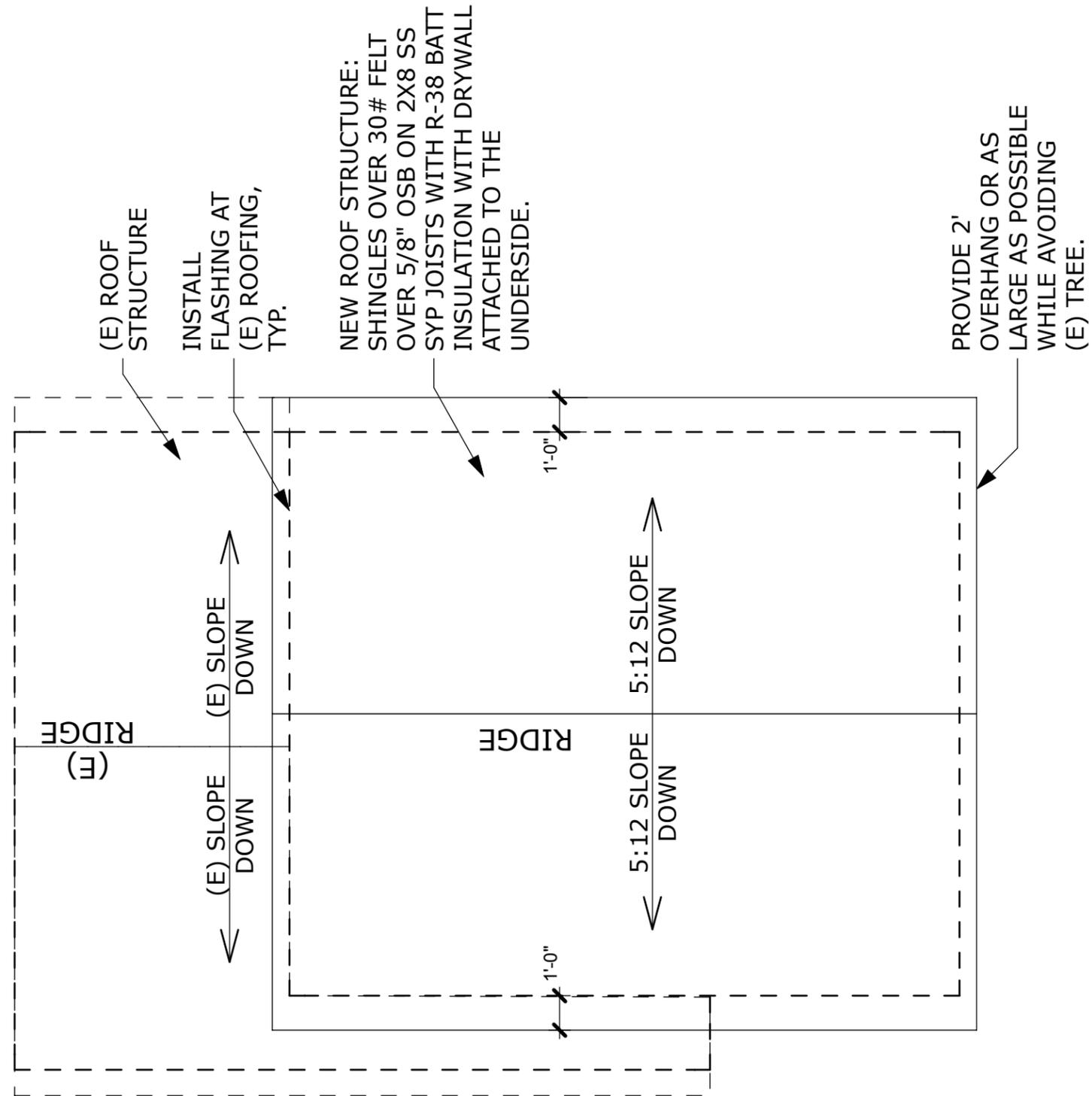
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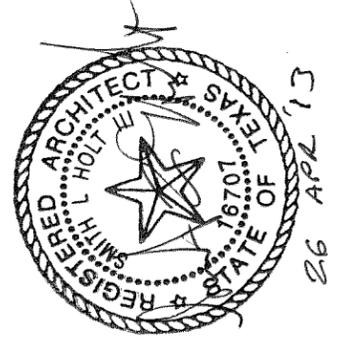
ROOF NOTES

1. **REVIEW OTHER SHEETS FOR ADDITIONAL INFORMATION**
2. MATCH EXISTING HOME SHINGLES.



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Garage Guest Room

Roof Plan & Roof Details

Construction Documents

Job: 12016

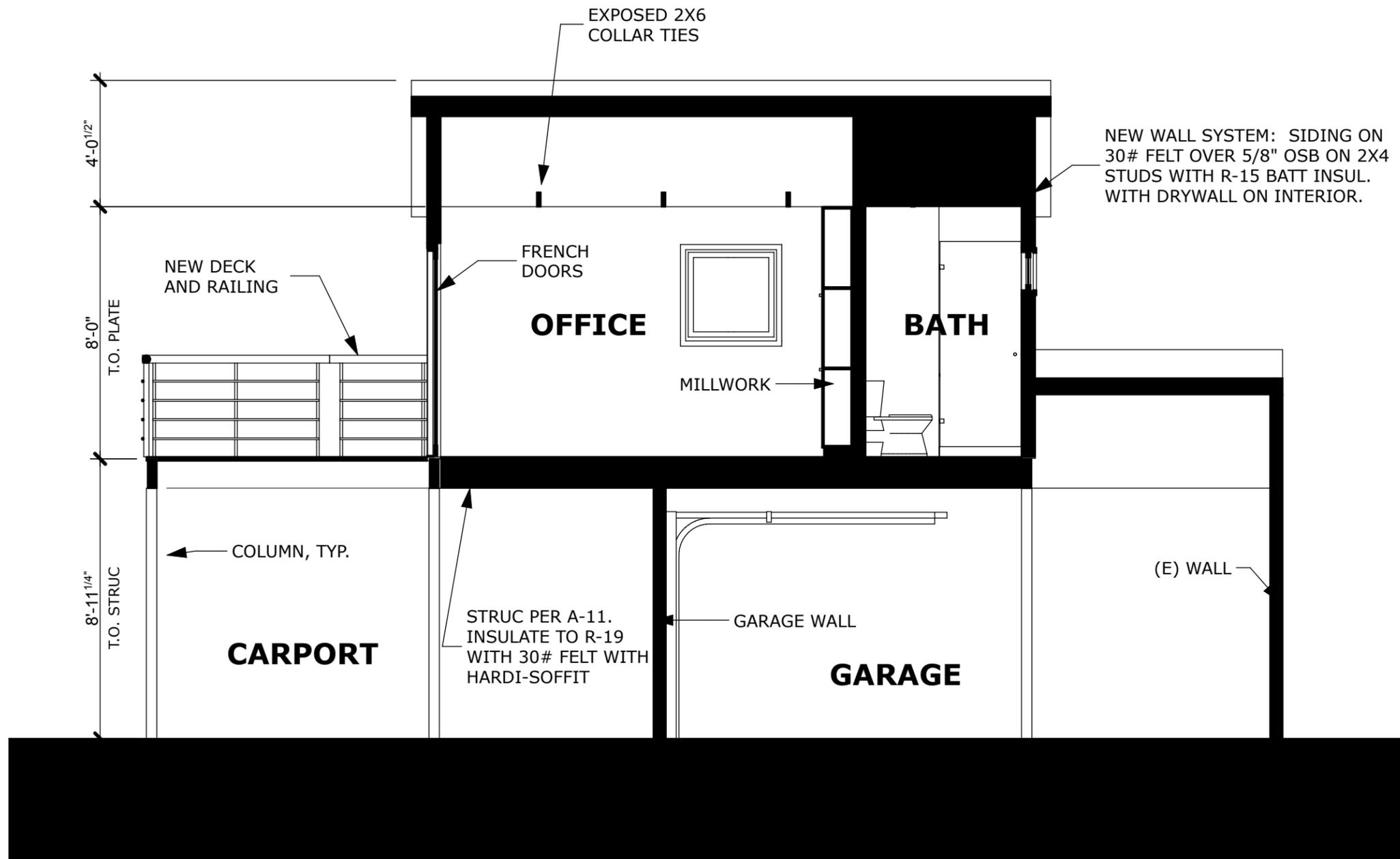
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1 Roof Plan
 SCALE: 1/4" = 1'-0"



1 Building Section A
 SCALE: 1/4" = 1'-0"

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**Garage
 Guest Room**

Section and
 Details

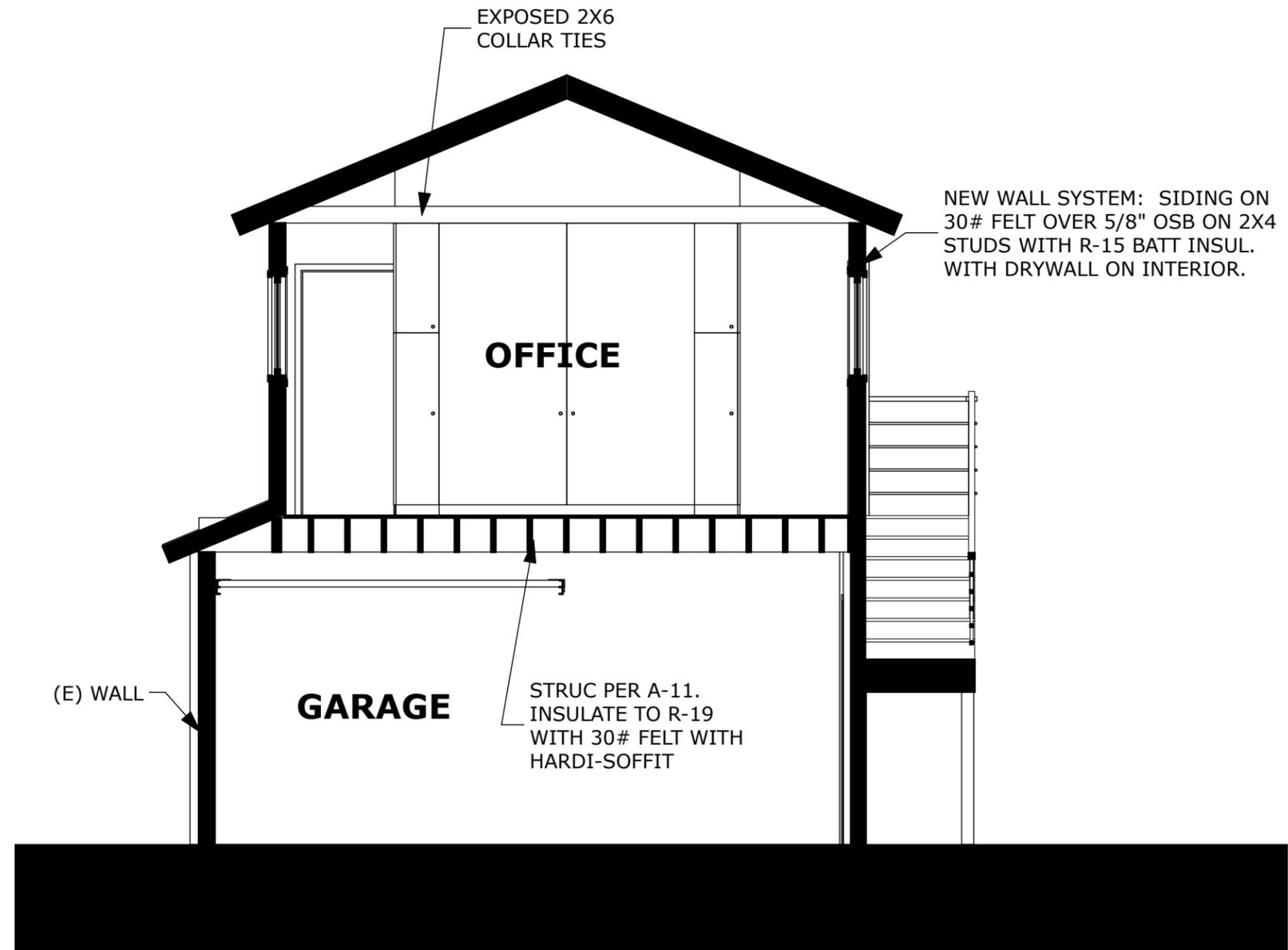
Construction
 Documents

Job:
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Date of Issue:
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Sheet Number:
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1 Building Section B
 SCALE: 1/4" = 1'-0"

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**Garage
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Section & Wall
 Details

Construction
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Date of Issue:
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Sheet Number:

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