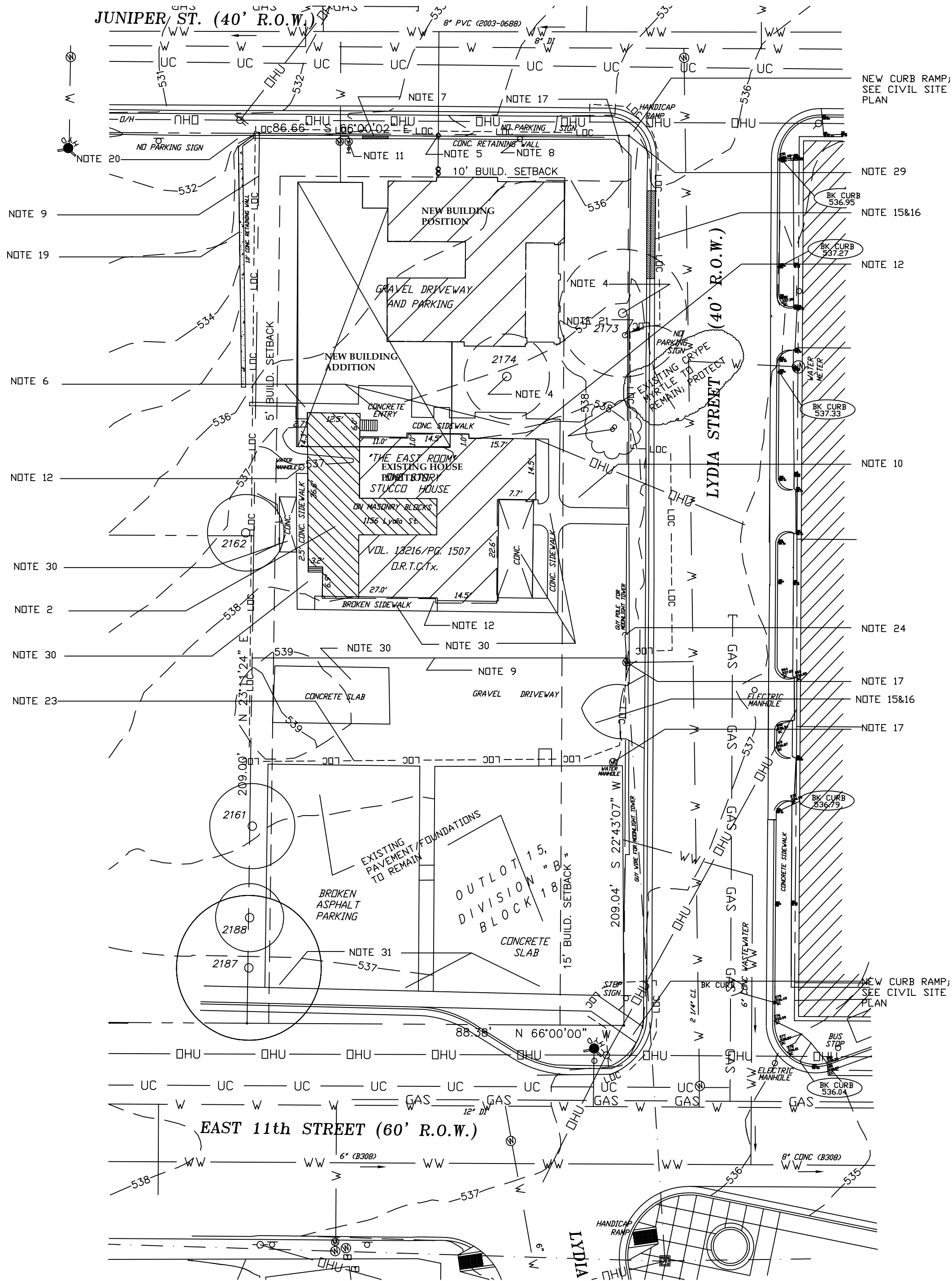




ARA Herman Schieffer House, a.k.a. "East Room"  
1154 Lydia Street, Austin, TX 78702



# DEMOLITION & BUILDING RELOCATION SITE PLAN

Scale: 1" = 20' - 0"

## SITE DEMOLITION PLAN KEYED NOTES:

- EXISTING OVERHEAD UTILITY LINE (ELECTRIC AND OR TELEPHONE LINE). REMOVE AS REQUIRED TO ALLOW NEW SERVICE CONNECTIONS FROM JUNIPER ST. ROW/PUE. BUILDING DESIGNATION.
- EXISTING REAR ADDITION TO BE DEMOLISHED TO LIMITS DESIGNATED (CROSS HATCHED).
- EXISTING BUILDING LOCATION.
- EXISTING TREES & SHRUBS TO GE REMOVED AND GRUBBED TO A DEPTH OF 24-INCHES.
- INSTALL 4-INCH DIA. WASTE WATER LINE. CONNECT TO EXISTING WW STUB AT PROPERTY LINE. REFER TO UTILITY AND PLUMBING PLANS.
- EXISTING CARPORT PAD AND OR CONCRETE SIDEWALKS TO BE DEMOLISHED.
- EXISTING CONCRETE RETAINING WALL TO REMAIN. SAWCUT & REMOVE PORTION TO RECEIVED TRANSITION TO NEW CONCRETE STEPS.
- REMOVE EXISTING FENCE POST FOOTINGS & BACKFILL TO GRADE.
- EXISTING CHAIN LINK FENCE. REMOVE AT COMPLETION AND STORE FOR OWNER'S SALVAGE & FUTURE USE.
- GAS LANTERN (REMOVE AND DISPOSE) INSTALL PERMANENT CAP AT UTILITY LINE.
- INSTALL 1-INCH WATER LINE W/ 5/8-INCH WATER METER AND VALVE. CONNECT LINE TO EXISTING WATER STUB AT PROPERTY LINE. REFER TO UTILITY AND PLUMBING PLANS.
- DISCONNECT AND CAP ALL UTILITIES AT PROPERTY LINE BEFORE RELOCATING BUILDING.
- DISCONNECT AND PERMANENTLY CAP ALL BELOW GRADE SERVICE CONNECTIONS TO BUILDING PRIOR TO BUILDING RELOCATION.
- PERMANENTLY CAP ALL UNDERGROUND SERVICE IN ACCORDANCE WITH CITY CODE OR UTILITY REQUIREMENTS.
- EXISTING DRIVEWAY TO BE DEMOLISHED. INSTALL CONCRETE CURB & GUTTER AND SIDEWALK PER CITY OF AUSTIN STANDARD SPECIFICATION. MATCH PROFILE AND WALK WIDTHS OR EXISTING ADJACENT CONSTRUCTION.
- PATCH STREET PAVEMENT TO CITY OF AUSTIN STANDARD SPECIFICATION AT AFFECTED AREAS. REFER TO CIVIL DRAWINGS.
- VERIFY ACTIVE STATUS WITH UTILITY AND REPORT FINDINGS TO ARCHITECT.
- EXISTING PROPERTY LINE.
- EXISTING RUBBLE STONE RETAINING WALL TO REMAIN.
- EXISTING GAS STUB TO REMAIN.
- SALVAGE "NO PARKING SIGN" FOR RE-USE, RE-INSTALL.
- 15'-0" (BUILDING FACE TO PROPERTY LINE) LYDIA ST).
- LIMIT OF CONSTRUCTION, REFER ALSO TO CIVIL DRAWINGS.
- MOONLIGHT TOWER DOWN-GUY TO REMAIN (PROTECT DURING CONSTRUCTION).
- 10'-0" (BUILDING FACE TO PROPERTY LINE JUNIPER ST.).
- MOON POST TO REMAIN (PROTECT DURING CONSTRUCTION).
- EXISTING DRIVEWAY TO REMAIN (N.I.C.).
- VIEW CORRIDOR LINE
- BUILDING LOCATION CONTROL POINT - EXISTING PROPERTY LINE CORNER.
- REMOVE EXISTING CONCRETE PAVEMENT AND WALKS.
- REMOVE EXISTING CONCRETE PAVEMENT & FOUNDATIONS IN THESE AREAS TO LIMITS ONLY REQUIRED FOR NEW SITE WORK CONSTRUCTION; SEE CIVIL AND LANDSCAPE SITE PLANS.

ORIGINAL ISSUE 2/27/13  
DATE 5/15/13

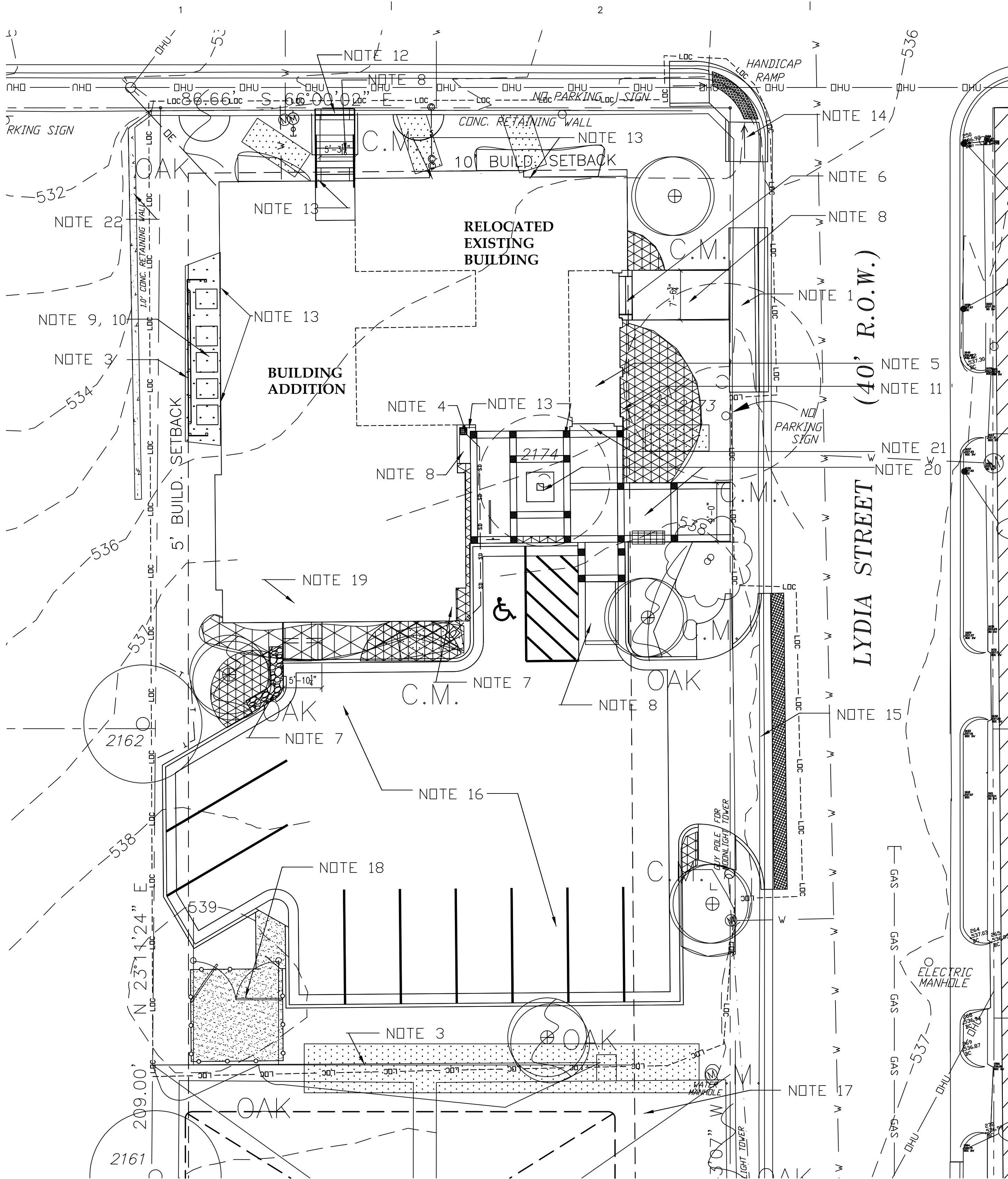


AUSTIN REVITALIZATION AUTHORITY  
Herman Schieffer House "East Room" 1154 Lydia Street,  
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SHEET TITLE:  
SITE DEMOLITION & RELOCATION  
PLAN / NEW SITE PLAN

ISSUE: CDS  
PROJECT#: PAA\_2010.003  
DATE: 2/27/13  
DRAWN BY: JCP  
CHECKED BY: JCP  
DWG. FILE: AS100\_DWG

AS100



SITE PLAN KEYED NOTES:

1. REMOVE ALL UNLEVEL SECTIONS OF CONCRETE SIDEWALK. REPLACE WITH 4-INCH REINFORCED CONCRETE [3,000 psi @ 28 days] WALK WITH 2.9X2.9 (6/6) WWF ON 2-INCH SAND CUSHION (TYPICAL AT LYDIA ST. PROPERTY FRONTAGE). INSTALL CURB AND GUTTER AS SHOWN ON CIVIL DRAWINGS IN ACCORDANCE WITH CITY OF AUSTIN STANDARD SPECIFICATIONS.
2. BUILDING LOCATION CONTROL POINT - EXISTING PROPERTY LINE CORNER [at corner of Lydia St. & Juniper St.].
3. 6 FT HIGH WOOD FENCE (VISUAL SCREEN PER CITY CODE); SEE LANDSCAPE PLAN. WOOD FENCE SHALL RECEIVE HORIZONTAL FENCE FABRIC PATTERN USING 1X6, 1X4, AND 1X2 HORIZONTAL BOARDS ON TREATED 4X4 POSTS SPACED AT NOMINAL 6 FT O.C. AS DIRECTED BY ARCHITECT. REFER TO DWG. 2/A305.
4. CAST IRON DRAIN GRATE. REFER ALSO TO CIVIL DRAWING FOR DRAINAGE PLAN.
5. SCORING PATTERN AT NEW PORCH FLOOR TO MATCH EXISTING AS APPROVED BY ARCHITECT.
6. NEW CONCRETE STEPS TO PORCH AND SIDEWALK TO STREET.
7. 3" TO 4" DIA ROCK RIP-RAP SPILL-PAD [MIN. 8" DEPTH] @ DRAINAGE FLUME DISCHARGE.
8. NEW CONCRETE SIDEWALK (AND/OR STEPS) [3,000 psi @ 28 days].
9. SALVAGED BRICK SET ON 4" SAND BED (BROADCAST CEMENT GROUTING).
10. AIR CONDITIONING EQUIPMENT SCREEN; 5 FT HIGH; HORIZ. SLAT PATTERN FENCE FABRIC ON 4X4 TREATED POSTS AS APPROVED BY ARCHITECT. EQUIPMENT SUPPORTED BY STEEL RAILS [W6X8.5] SET ON 6" DIA. CONC. FOOTINGS [MIN. 18" BURY DEPTH, REINFORCE W/ 4 #4 BARS W/ #3 SPIRAL CAGE; EQUIPMENT AREA ABOVE 8" DEPTH OF 3" TO 4" ROCK RIIP RAP AT DESIGNATED LAWN AREA.
11. CONSTRUCT SALVAGED AND/OR REPLICATED PORCH RAILING; SEE FLOOR PLAN.
12. CUT EXISTING CONCRETE RETAINING WALL; INSTALL CONCRETE STEPS WITH 1 1/2" DIA. STEEL HANDRAIL [34-INCHES A.F.F.] AT EACH SIDE PER TDLR/TAS 2012 ADA STANDARDS.
13. ROOF DOWNSPOUT; SEE ROOF PLAN. INSTALL CONCRETE SPLASHBLOCK WITH POSITIVE DRAINAGE DISCHARGE AWAY FROM BUILDING AT EACH DOWNSPOUT.
14. NEW CURB & SIDEWALK CONSTRUCTION; SEE CIVIL DRAWING.
15. NEW CONCRETE DRIVE APPROACH & CURB RAMPS AND SIDEWALK; SEE CIVIL DRAWING.
16. NEW ASPHALT PAVEMENT WITH 4-INCH WIDE PAINT STRIPING AT SPACES; SEE CIVIL DRAWING.
17. EXISTING ELECTRICAL SERVICE PANELS TO REMAIN FOR SERVICE TO ADJACENT EXISTING DEVELOPMENT. PROTECT FROM DAMAGE.
18. TRASH RECEPTACLE SCREEN FENCE; SEE NOTE 3 ABOVE FOR WOOD FENCE SPECIFICATION. PROVIDE TWO (2) 4-FT WIDE GATE LEAFS WITH CANE BOLT AND HASP TO RECEIVE OWNER FURNISHED PADLOCK.
19. CONCRETE SIDEWALK WITH THREE (3) 3-INCH DIA. PVC UNDER-DRAINS (CULVERTS). BROOM FINISH CONCRETE AT SIDEWALK.
20. POROUS PAVERS INSTALLED OVER CRUSHED GRAVEL BASE AND GEOTEXTILE FABRIC; TWO (2) COLORS FOR PRIMARY FIELD AND ACCENT BANDS/MEDALLIONS.
21. PROVIDE FLUSH TRANSITION FROM POROUS PAVERS TO NEW PORCH CONCRETE FLOOR ELEVATION.
22. EXISTING RUBBLE MASONRY RETAINING WALL TO REMAIN.
23. COORDINATE WORK SCOPE SHOWN ON THIS DRAWING WITH CIVIL CONSTRUCTION DRAWINGS.

AUSTIN REVITALIZATION AUTHORITY

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ORIGINAL ISSUE DATE 2/27/13  
DATE 5/15/13

REVISION		DATE	DESCRIPTION

SHEET TITLE:

SITE PLAN

ISSUE:

CDS

PROJECT#:

PAA\_2010.003

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JCP

DATE:

2/27/13

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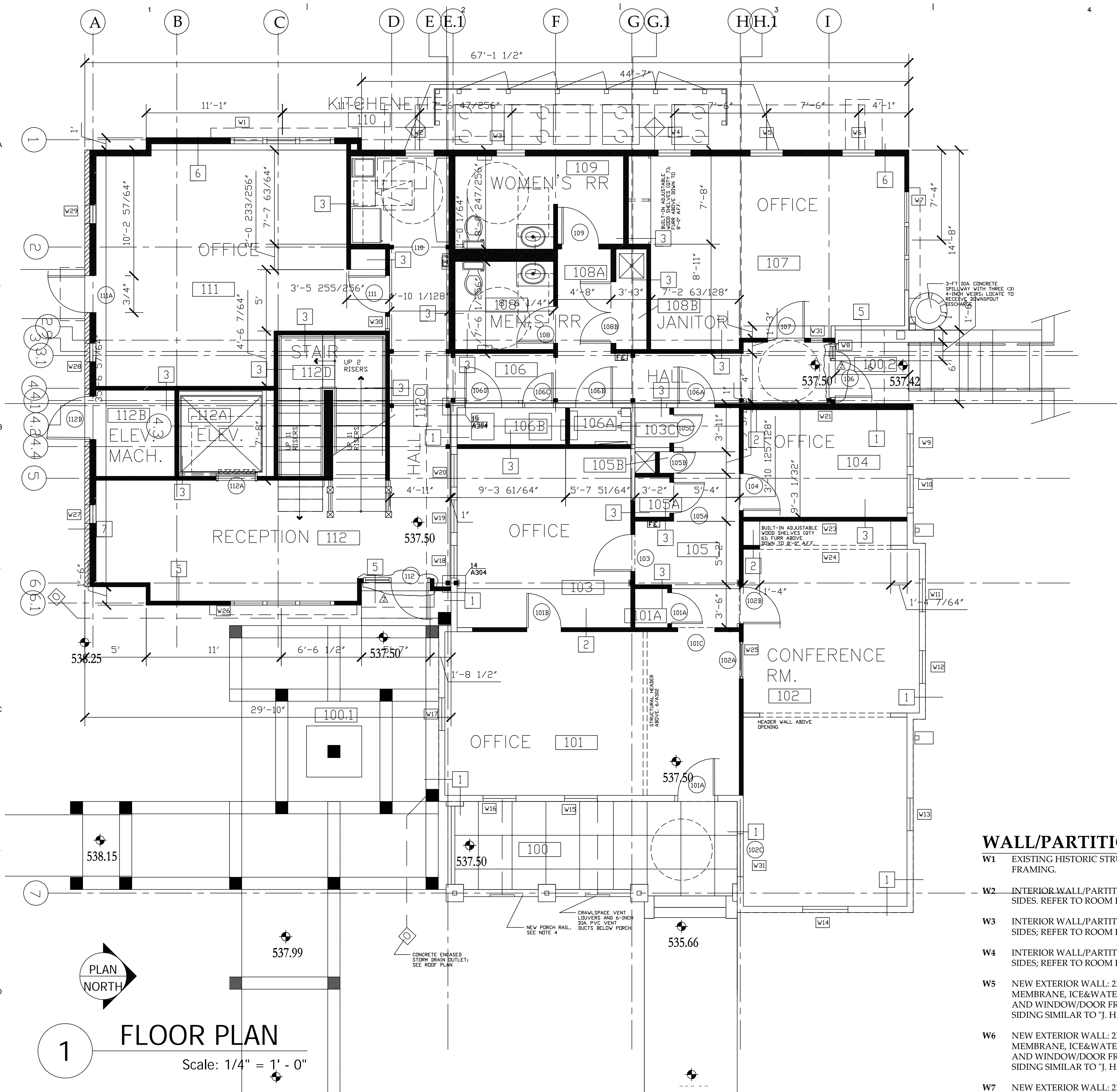
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CHECKED BY:

JCP

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GENERAL NOTES:

- BUILDING AREA CALCULATION: EXISTING GSF = 1,401.74; PROPOSED ADDN GSF = 2,018; FOR TOTAL GSF = 3,403; PORCH SF = 168 GSF.
- ALL WORK SHALL CONFORM TO LOCAL BUILDING CODE: IBC 2009 AND IBCEB 2009.
- SALVAGE EXISTING BEAD BOARD PORCH CEILING FOR REINSTALLATION; SUPPLEMENT ADDITIONAL QUANTITY OF NEW AND/OR REPLACEMENT BEAD BOARDS FOR NEW INSTALLATION.
- CAREFULLY DISASSEMBLE EXISTING PORCH RAILING, INVENTORY CONSTRUCTION. CONSTRUCT REPLACEMENT PORCH RAILING TO MATCH EXISTING SIZE, SPACING, PROFILES, ETC.
- CAREFULLY DEMOLISH EXISTING RAISED FLOOR (FORMER STAGE) AT ROOM 101. SALVAGE EXISTING WOOD TONGUE AND GROOVE ("T&G") FLOORING FOR REFINISH AND/OR RELOCATION AS DIRECTED BY ARCHITECT IN FIELD. INSTALL NEW REPLACEMENT FLOORING IN THE ENTIRE AREA OR ROOM 101 IF CONTRACTOR DETERMINES THAT EXISTING FLOORING REVEALED DURING DEMOLITION IS DAMAGED.
- CONTRACTOR MAY USE RECLAIMED WOOD FLOORING IF MATCHING IN QUALITY, SPECIE, AND/OR APPEARANCE TO REPLACE EXISTING FLOORS. DESIGN INTENT IS TO ACHIEVE A UNIFORM APPEARANCE FOR EACH ROOM ALTHOUGH THERE MAY BE DIFFERENCES ACROSS THE ROOMS RECEIVING WOOD FLOORS.
- NEW REINFORCED CONCRETE PORCH (REPLACEMENT OF HISTORICAL APPEARANCE) SHALL RECEIVE SAWN JOINT SCORING TO MATCH EXISTING PATTERN DOCUMENTED AT THE EXISTING PORCH PRIOR TO DEMOLITION AND RELOCATION OF THE BUILDING.
- INSTALL 2X WOOD BRACING IN WALL TO RECEIVE DISPLAY BOARDS SUPPLIED BY OWNER.
- POROUS CONCRETE PAVERS [TWO COLORS MAIN AND ACCENT ARE INCLUDED IN THE WORK SCOPE]; INSTALLED OVER AGGREGATE BASE AND GEOTEXTILE LINER.
- FABRICATE MECHANICAL EQUIPMENT PLATFORM PLENUM USING ¾-INCH STRUCTURAL GRADE PLYWOOD OVER FIRE-PROOF FRAMING.
- INSTALL THERMAL BATT INSULATION [R-19] AT UNDERSIDE OF HISTORIC BUILDING FLOOR; SUSPEND WITHIN FLOOR FRAMING TO ALL AREAS OF FLOOR PLAN FOOTPRINT.
- REMOVE EXISTING PORCH RAIL; CONSTRUCT REPLICA RAIL PILASTER; MATCH RAIL PROFILE/SIZE AS APPROVED BY ARCHITECT.
- THE CONTRACTOR SHALL ASSESS AND DETERMINE THE INTEGRITY OF EXISTING MATERIALS DESIGNATED FOR RETENTION, SALVAGE, AND/OR REINSTALLATION. CONTRACTOR DETERMINATION SHALL INCLUDE RESPONSIBILITY OF DETERMINING SOUND QUALITY AND SERVICEABLE CONDITION OF ALL SUCH MATERIALS AND/OR COMPONENTS.

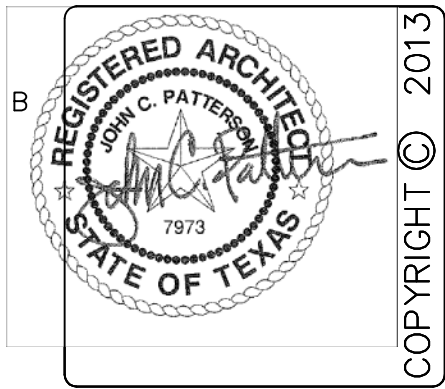
SIGNAGE AND GRAPHICS SCHEDULE

- ALL INTERIOR ROOMS AND SPACES SHALL RECEIVE WALL MOUNTED PHENOLIC ROOM NUMBER SIGNS.
- INSTALL STREET ADDRESS NUMERAL [10-INCH HIGH METAL LETTERS] AT LOCATION DESIGNATED AND APPROVED BY ARCHITECT: QTY 3 LOCATIONS.

WALL/PARTITION TYPE LEGEND:

- W1 EXISTING HISTORIC STRUCTURE EXTERIOR WALL: STUCCO OVER LATH OVER WOOD SIDING ON WOOD STUD FRAMING.
- W2 INTERIOR WALL/PARTITION: 2X4 WOOD STUD AT 16-INCH O.C.; ½-INCH TYPE X GYPSUM BOARD AT ONE OR BOTH SIDES. REFER TO ROOM FINISH SCHEDULE FOR WAINSCOT AND/OR PANELING FINISH DESIGNATIONS.
- W3 INTERIOR WALL/PARTITION: 2X4 WOOD STUD AT 16-INCH O.C. 5/8-INCH TYPE X GYPSUM BOARD AT ONE OR BOTH SIDES; REFER TO ROOM FINISH SCHEDULE FOR WET LOCATION REQUIREMENTS.
- W4 INTERIOR WALL/PARTITION: 2X6 WOOD STUD AT 16-INCH O.C. 5/8-INCH TYPE X GYPSUM BOARD AT ONE OR BOTH SIDES; REFER TO ROOM FINISH SCHEDULE FOR WET LOCATION REQUIREMENTS.
- W5 NEW EXTERIOR WALL: 2X4 WOOD STUD AT 16-INCH O.C., 1/2-INCH SHEATHING, TYVEK MOISTURE RESISTANT MEMBRANE, ICE&WATER SHIELD MEMBRANE WRAP AT ALL BASE FLASHING, PARAPET WALL CONDITION FLASH, AND WINDOW/DOOR FRAME OPENINGS, R-13 KRAFT FACED BATT INSULATION AT WALL CAVITY, WOOD-FIBER SIDING SIMILAR TO "J. HARDIE" PRODUCTS OR AS APPROVED BY ARCHITECT.
- W6 NEW EXTERIOR WALL: 2X6 WOOD STUD AT 16-INCH O.C., 1/2-INCH SHEATHING, TYVEK MOISTURE RESISTANT MEMBRANE, ICE&WATER SHIELD MEMBRANE WRAP AT ALL WINDOW/DOOR FRAME OPENINGS, R-19 KRAFT FACED BATT INSULATION AT WALL CAVITY, WOOD-FIBER SIDING SIMILAR TO "J. HARDIE" PRODUCTS OR AS APPROVED BY ARCHITECT.
- W7 NEW EXTERIOR WALL: 2X6 WOOD STUD AT 16-INCH O.C., 1/2-INCH SHEATHING, TYVEK MOISTURE RESISTANT MEMBRANE, ICE&WATER SHIELD MEMBRANE WRAP AT ALL WINDOW/DOOR FRAME OPENINGS, R-13 KRAFT FACED BATT INSULATION AT WALL CAVITY, 2-INCH AIR CAVITY AND BRICK VENEER WALL FINISH.

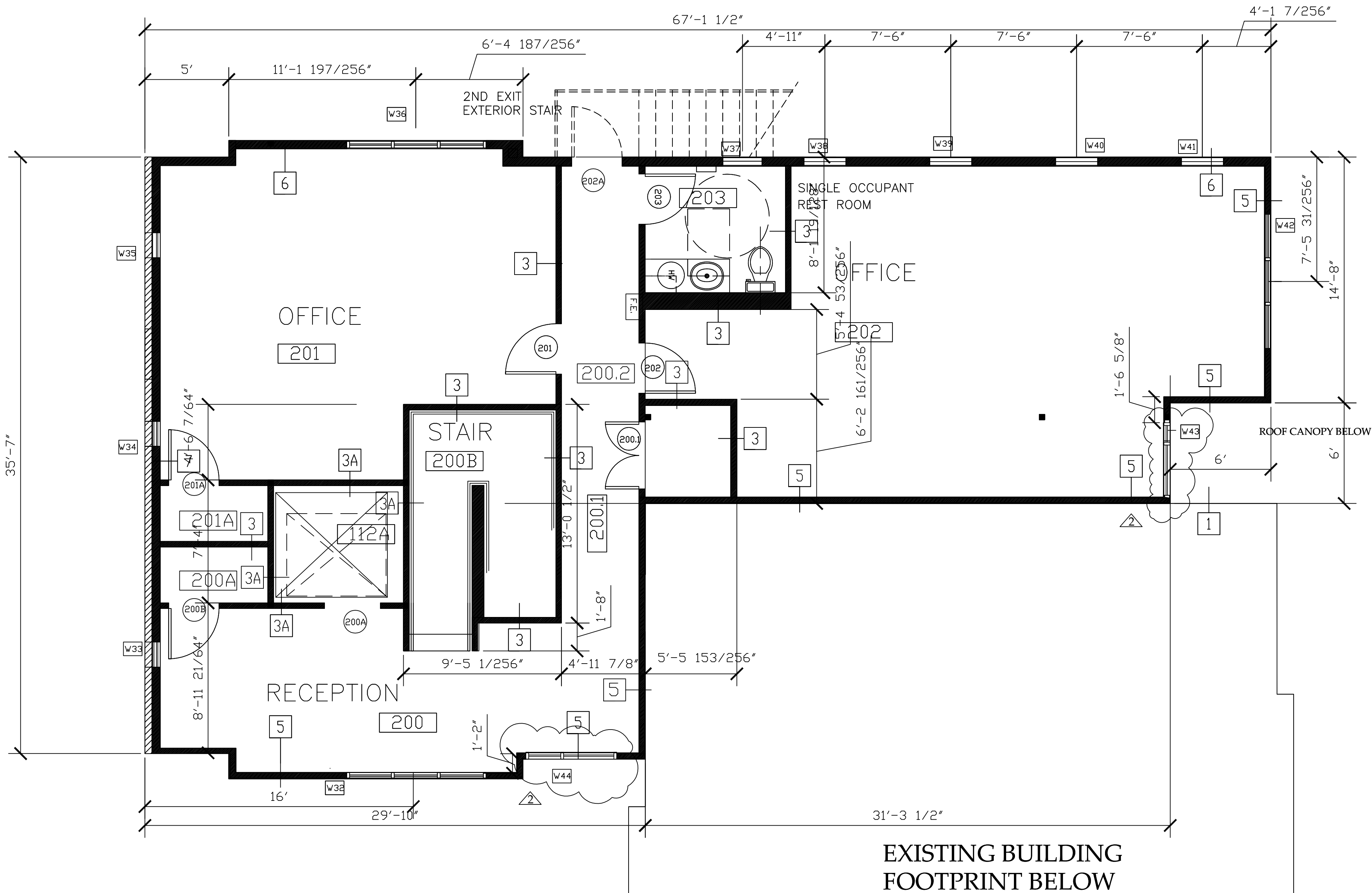
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REVISION	DATE	DESCRIPTION
2	5/6/13	LANDMARK COMM RVW REVISION

SHEET TITLE: <b>FIRST FLOOR PLAN - NEW</b>		DRAWN BY: JCP	
PROJECT#: PAA2010.003		CHECKED BY: JCP	
ISSUE: CDS		DWG. FILE: DWG_A100	
DATE: 2/27/13			

A1.00



1 SECOND FLOOR PLAN  
Scale: 1/4" = 1' - 0"

GENERAL NOTES:

- BUILDING AREA CALCULATION: EXISTING GSF = 1,401.74; PROPOSED ADDN GSF = 2,018; FOR TOTAL GSF = 3,403; PORCH SF = 168 GSF.
- ALL WORK SHALL CONFORM TO LOCAL BUILDING CODE: IBC 2009 AND IBCEB 2009.
- FABRICATE MECHANICAL EQUIPMENT PLATFORM PLENUM USING 3/4-INCH STRUCTURAL GRADE PLYWOOD OVER FIRE-PROOF FRAMING.
- SECOND FLOOR CONSTRUCTION SHALL INCLUDE SOUND ATTENUATION BATTS [R11 - UNFACED]; 3/4-INCH THICK STRUCTURAL GRADE TONGUE&GROOVE PLYWOOD; GLUED AND SCREWED TO FLOOR FRAMING.

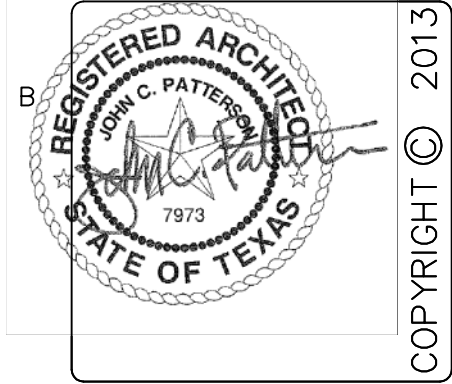
SIGNAGE AND GRAPHICS SCHEDULE

- ALL INTERIOR ROOMS AND SPACES SHALL RECEIVE WALL MOUNTED PHENOLIC ROOM NUMBER SIGNS.

WALL/PARTITION TYPE LEGEND:

- W1** EXISTING HISTORIC STRUCTURE EXTERIOR WALL: STUCCO OVER LATH OVER WOOD SIDING ON WOOD STUD FRAMING.
- W2** INTERIOR WALL/PARTITION: 2X4 WOOD STUD AT 16-INCH O.C.; 1/2-INCH TYPE X GYPSUM BOARD AT ONE OR BOTH SIDES. REFER TO ROOM FINISH SCHEDULE FOR WAINSCOT AND/OR PANELING FINISH DESIGNATIONS.
- W3** INTERIOR WALL/PARTITION: 2X4 WOOD STUD AT 16-INCH O.C. 5/8-INCH TYPE X GYPSUM BOARD AT ONE OR BOTH SIDES; REFER TO ROOM FINISH SCHEDULE FOR WET LOCATION REQUIREMENTS. PARTITION '3A' SHALL BE CONSTRUCTED AS ONE-HOUR RATED 2X4 STUD AT 16" O.C. SHAFT WALL.
- W4** INTERIOR WALL/PARTITION: 2X6 WOOD STUD AT 16-INCH O.C. 5/8-INCH TYPE X GYPSUM BOARD AT ONE OR BOTH SIDES; REFER TO ROOM FINISH SCHEDULE FOR WET LOCATION REQUIREMENTS.
- W5** NEW EXTERIOR WALL: 2X4 WOOD STUD AT 16-INCH O.C., 1/2-INCH SHEATHING, TYVEK MOISTURE RESISTANT MEMBRANE, ICE&WATER SHIELD MEMBRANE WRAP AT ALL BASE FLASHING, PARAPET WALL CONDITION FLASH, AND WINDOW/DOOR FRAME OPENINGS, R-13 KRAFT FACED BATT INSULATION AT WALL CAVITY, WOOD-FIBER SIDING SIMILAR TO "J. HARDIE" PRODUCTS OR AS APPROVED BY ARCHITECT.
- W6** NEW EXTERIOR WALL: 2X6 WOOD STUD AT 16-INCH O.C., 1/2-INCH SHEATHING, TYVEK MOISTURE RESISTANT MEMBRANE, ICE&WATER SHIELD MEMBRANE WRAP AT ALL BASE FLASHING, PARAPET WALL CONDITION FLASH, AND WINDOW/DOOR FRAME OPENINGS, R-19 KRAFT FACED BATT INSULATION AT WALL CAVITY, WOOD-FIBER SIDING SIMILAR TO "J. HARDIE" PRODUCTS OR AS APPROVED BY ARCHITECT.
- W7** NEW EXTERIOR WALL: 2X6 WOOD STUD AT 16-INCH O.C., 1/2-INCH SHEATHING, TYVEK MOISTURE RESISTANT MEMBRANE, ICE&WATER SHIELD MEMBRANE WRAP AT ALL WINDOW/DOOR FRAME OPENINGS, R-13 KRAFT FACED BATT INSULATION AT WALL CAVITY, 2-INCH AIR CAVITY AND BRICK VENEER WALL FINISH.

AUSTIN REVITALIZATION AUTHORITY  
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REVISION	DATE	DESCRIPTION
2	5/6/13	LANDMARK COMM RVM REVISION


SHEET TITLE: <b>SECOND FLOOR PLAN - NEW</b>		DRAWN BY: JCP
ISSUE: CD	PROJECT#: PAA_2010.003	CHECKED BY: JCP
DATE: 2/27/13	DWG. FILE: A1.01_DWG	


A1.01




1. EXISTING ROOF AREA: REMOVE EXISTING ROOFING LAYERS DOWN TO SUBSTRATE. CONTRACTOR TO DETERMINE AND REPLACE ALL DETERIORATED ROOF LATH/DECKING; REPLACE WITH NEW STRUCTURAL SHEATHING AS SPECIFIED. INSTALL NEW ROOFING AT EXISTING BUILDING AND NEW ADDITION ROOF AREAS WITH COMPOSITION ASPHALT SHINGLES.
2. EXISTING ROOF FASCIA/EAVE/SOFFIT: ASSESS AND REMOVE DETERIORATED WOOD FASCIA, EAVE, AND SOFFIT MATERIALS DOWN TO SUBSTRATE FRAMING; INSTALL REPLACEMENT MATERIAL MATCHING EXISTING HISTORICAL MATERIALS, PROFILES AT HISTORIC BUILDING COMPONENTS.
3. EXISTING GABLE FASCIA AND TRIM ARE INCLUDED IN WORK SCOPE OF 'NOTE 2' ABOVE.
4. REMOVE EXISTING DETERIORATED SLOPED ROOF OVER PORCH; INSTALL NEW WOOD FRAMING AND SLOPED FLAT ROOF (3-PLY MODIFIED BITUMEN ROOFING "MBR") AT PORCH AT RELOCATED BUILDING.
5. NEW ROOFING SHALL INCLUDE COMPOSITION ASPHALT SHINGLE OVER 30# FELT OVER ICE&WATER SHIELD MEMBRANE OVER THE ENTIRE ROOFED AREAS.
6. BRACKET SUPPORTED AWNING CANOPIES SHALL INCLUDE TYPICAL 24" OVERHANG AT WINDOWS. REFER TO WINDOW CANOPY DETAIL.
7. SLOPED SLAT ROOF (3-PLY MBR) OVER 30# FELT OVER ICE AND WATER SHIELD MEMBRANE OVER ½" -THICK STRUCTURAL GRADE PLYWOOD ("OSB").
8. SLOPED ROOF CANOPY (STANDING SEAM COPPER) AT EXTERIOR DOORS; SEE CANOPY DETAIL.

①  TYPE 1 = .33'X1': 75% FA = .2475 NFA EA.

②  TYPE 2 = .5'X1': 75% FA = .375 NFA EA.

③  TYPE 3 = .5'X1': 75% FA = .147 NFA EA.

④  TYPE 4 = 6" X 12" RIDGE VENT W/ .375 NFA EA.

## 2 ROOF VENTING TABLE

Not To Scale



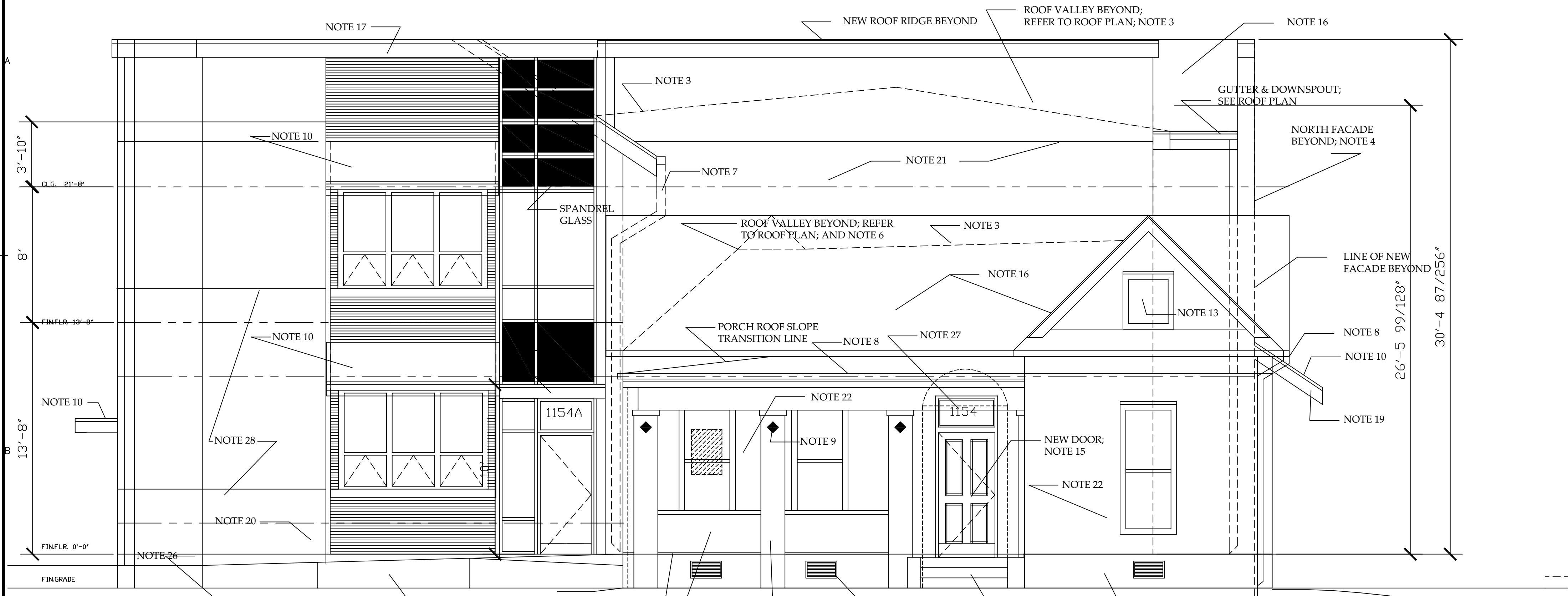
GENERAL NOTES:

- SOUTH FACADE BEYOND
- BUILDING ADDITION FACADE FACING EAST; WITH SHADING CANOPY EACH FLOOR ABOVE WINDOWS.
- HIDDEN ROOF LINES BEYOND; REFER TO ROOF PLAN.
- TWO-STORY NORTH FACADE BEYOND.
- SECONDARY GABLE ROOF BEYOND; REFER TO ROOF PLAN.
- ROOF DRAINAGE LEVEL BEYOND; REFER TO ROOF PLAN FOR WEIR AND OVERFRAME ROOF SLOPE [3-PLY MBR OVER 2-INCH RIGID INSULATION].
- NEW 24 GA. GALVANIZED GUTTER [6X6] WITH 6X6 DOWNSPOUT TO DISCHARGE AT SPLASHBLOCK AT FINISH GRADE. SEE ROOF PLAN.
- NEW 24 GA. GALVANIZED GUTTER [4X4] WITH 4X4 DOWNSPOUT TO DISCHARGE AT SPLASHBLOCK AT FINISH GRADE. SEE ROOF PLAN.
- REINSTALL SALVAGED CERAMIC MEDALLION AT NEW PORCH COLUMNS.
- BRACKET SUPPORTED SHADING CANOPY/AWNING ABOVE WINDOWS AND DOOR OPENINGS.
- NEW CONCRETE STEPS AT PORCH; REPLICATE HISTORIC SCORING PATTERN AT CONCRETE FLOOR SURFACE.
- NEW CRAWLSPACE VENTS; 24GA, NOMINAL 12X22-INCH SIZE; PAINTED TO MATCH WALL SURFACE.
- EXISTING WOOD TRIM; REPAIR AS NECESSARY FOR ACCEPTABLE CONDITION AS APPROVED BY ARCHITECT.
- NEW WINDOW AT HISTORIC STRUCTURE; REFER TO WINDOW SCHEDULE.
- INSTALL SALVAGED/REPAIRED ENTRANCE DOOR, REFER TO DEMOLITION PLAN AND DOOR SCHEDULE.
- COMPOSITION ASPHALT SINGLE ROOFING ON 30-LB ASPHALT FELT OVER 1/2-INCH STRUCTURAL PLYWOOD DECKING.
- WOOD FASCIA & TRIM W/ 26GA. GALVANIZED METAL EDGE FLASHING.
- METAL LOUVER W/ WOOD TRIM & GALVANIZED FLASHING
- WOOD FASCIA & TRIM; BOXED SOFFIT AT EAVES [3/8-INCH PERFORATED PLYWOOD].
- WOOD SIDING ON MOISTURE VAPOR BARRIER ON 1/2-INCH SHEATHING; WOOD SIDING [2-INCH LAP PATTERN].
- WOOD SIDING [10-INCH LAP PATTERN].
- STUCCO WALL FINISH ON GALVANIZED METAL LATH ON 15-LB FELT; INSTALLED OVER EXISTING HISTORIC BUILDING FACADE TO MATCH EXISTING CONDITIONS OR AS APPROVED BY ARCHITECT.
- 3/4-INCH THICK PLASTER ON GALVANIZED METAL LATH & METAL FRAMING ["FOUNDATION SKIRT"]; EXTEND TO FINISH GRADE.
- MAINTAIN 2-INCH AIR GAP BELOW PORCH BALUSTRADE RAIL.
- NEW BALUSTRADE INCLUDING WOOD FRAMING WITH STUCCO ON LATH FINISH; SIMILAR TO EXISTING HISTORIC CONDITION.
- NEW FOUNDATION GRADE BEAM [EXPOSED CONCRETE WITH GROUT - RUBBED FINISH AS APPROVED BY ARCHITECT].
- 10 " HIGH METAL LETTERING/NUMERALS WITH CONCEALED ANCHORS SECURED TO BUILDING FACADE; FINAL LOCATION AS DIRECTED BY ARCHITECT.
- STUCCO WALL FINISH ON GALVANIZED METAL LATH ON 15-LB FELT; INSTALLED OVER BLDG WRAP "TYVEK" OVER 1/2-INCH THICK EXTERIOR SHEATHING. PROVIDE EXPANSION AND CONTROL JOINTS AS REQUIRED AND STIPULATED BY PRODUCT MANUFACTURER.

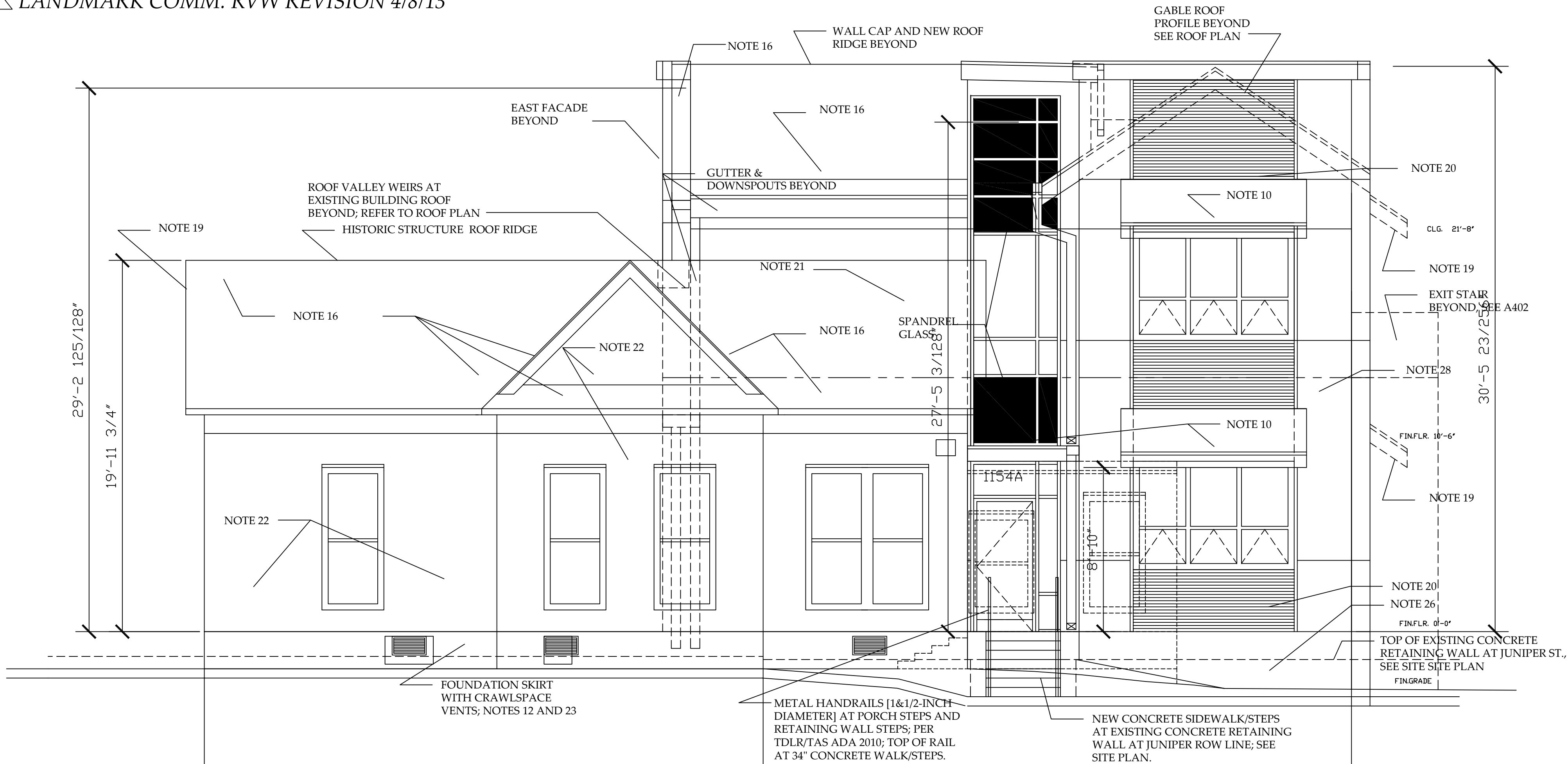


REVISION	DATE	DESCRIPTION
1	5/6/13	LANDMARK COMM. RVW REVISION
SHEET TITLE: EXTERIOR ELEVATIONS		
PROJECT #: PAA_2010.003		
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CHECKED BY: JCP		
DATE: 2/27/13		
DWG. FILE: A201.DWG		

A201



1 EAST ELEVATION [LYDIA ST. FACADE]  
Scale: 1/4" = 1' - 0"  
1 LANDMARK COMM. RVW REVISION 4/8/13



2 NORTH ELEVATION [JUNIPER ST. FACADE]  
Scale: 1/4" = 1' - 0"  
1 LANDMARK COMM. RVW REVISION 4/8/13

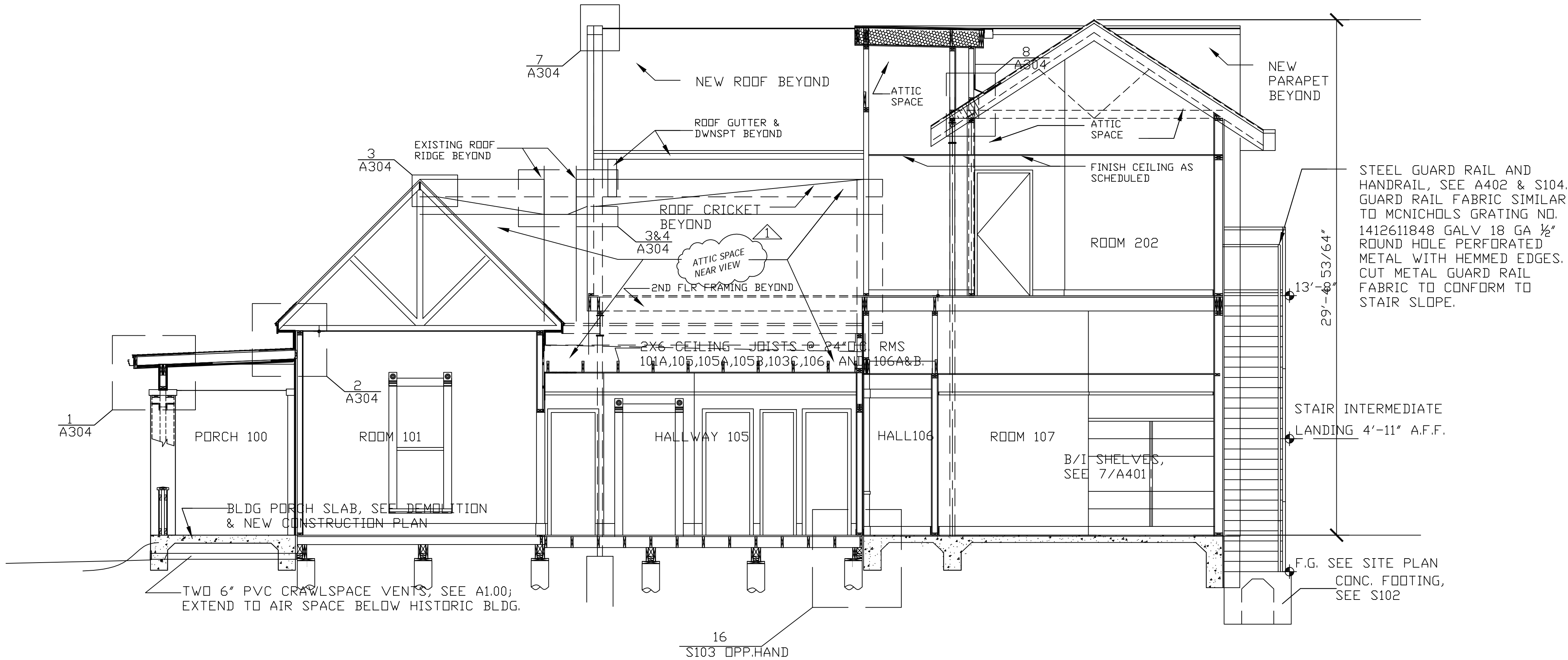
EXISTING FAÇADE REPAIR/REPLACEMENT SCHEDULE											
COMPONENT	MATERIAL	UNIT	Existing Qty	SPECIFIED MINIMUM % REPLACEMENT				Porch N Wall	Porch W Wall		REMARKS
				N	E	S	W				
EAVE SOFFIT	1/2-inch plywood	SF	301	84	80	84	53	--	--	--	
FASCIA BOARD	1x10 wood	LF	226	32	30	19	15	10	15	--	
FASCIA TRIM	1x4 wood [O.G.]	LF	226	32	30	32	15	10	30	--	Match existing O.G. profile
WINDOW TRIM:											
Head Cornice Trim	1x3 wood	LF	65	20	15	20	5	5	--	--	Match existing trim profile
Head	1x4 wood	LF	65	20	15	20	5	5	--	--	
Jamb	1x4 wood	LF	247	38	29	29	10	19	--	--	
Sill	2x8 wood [treated]	LF	65	20	15	20	5	5	--	--	Match existing size & profile
Sill Apron Trim	1x4 wood	LF	65	20	15	20	5	5	--	--	
GABLE FAÇADE PANEL	1/2-inch plywood & 1x4 trim	SF	--	--	10	--	--	--	--	--	Match existing trim profile
WINDOW SCREEN	Wood frame, aluminum insect screen	EACH	4	3	3	3	1	--	--	--	Match existing size



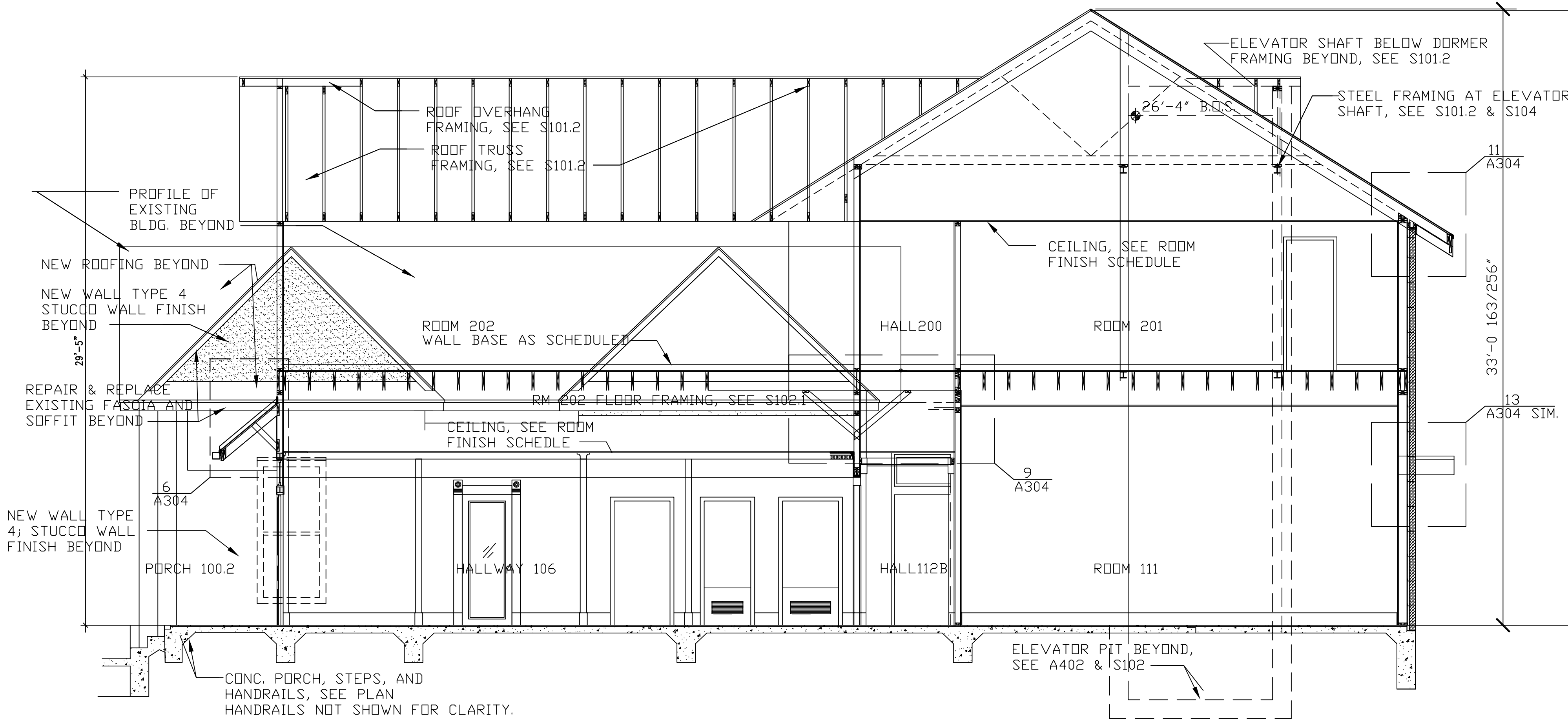


GENERAL NOTES:

- 1. REFER TO STRUCTURAL DWGS FOR ROOF AND FLOOR FRAMING SPECIFICATIONS.
- 2. REFER TO FINISH SCHEDULE FOR FLOOR, WALL, AND CEILING FINISHES.

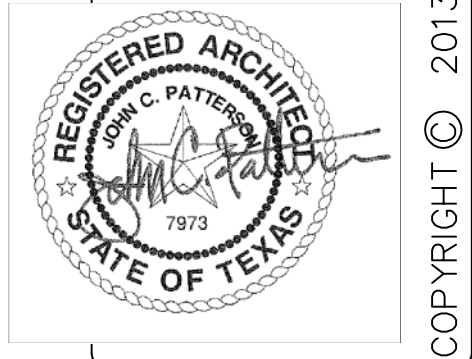


1 BUILDING SECTION [View Looking South]  
Scale: 1/4" = 1' - 0"



1 BUILDING SECTION [View Looking East]  
Scale: 1/4" = 1' - 0"

**AUSTIN REVITALIZATION AUTHORITY**  
**Herman Schieffer House "East Room" 1154 Lydia Street,**  
**Austin, Texas, Relocation, Rehabilitation Ph II**  
**PARSHALL + ASSOCIATES ARCHITECT**  
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REVISION		DATE	DESCRIPTION
1	5/6/13	LANDMARK COMM RVJ	REVISION
SHEET TITLE: <b>BUILDING SECTIONS</b>			
ISSUE: Cds	PROJECT#: PAA_2010.003	DRAWN BY: JCP	CHECKED BY: JCP
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