

HISTORIC LANDMARK COMMISSION
JUNE 24, 2013
CERTIFICATE OF APPROPRIATENESS
LHD-2013-0012
4210 Avenue G
Hyde Park Local Historic District

PROPOSAL

Construct a two-story addition on a one-story contributing house.

PROJECT SPECIFICATIONS

The existing house is a c. 1927, approximately 1400 sq. ft., one-story, wood framed bungalow with a front gabled roof. The house is a Craftsman style with a partial-width porch that has a separate front gabled roof that is supported by battered columns on top of square, painted brick piers, and knee braces in the eaves. The double-hung, wood windows on the façade include one pair and a single window located to either side of the front door. The other windows are also double-hung, wood windows. The house is clad in asbestos cement shingle siding, which is likely not original.

The applicant proposes to construct an approximately 925 sq. ft., two-story addition that will increase the building foot print by 545 sq. ft. The second story addition will be set back from the existing façade approximately 16 feet. The addition will have a side gabled roof with a front facing cross gable.

Applicant proposes to remove the existing asbestos cement shingle siding and repair and replace existing drop siding as needed. The addition will be clad in similar siding to match the original house. The roof material will match that on the existing roof. All existing wood windows will be repaired as needed and windows on the addition will be fabricate to match.

The applicant also proposes to construct a one vehicle carport at the rear of the property, which will be accessible from the alley. There will be an additional surface parking space provided to the front-side of the house accessible from a driveway from the street.

STANDARDS FOR REVIEW

The existing house is a contributing property in the Hyde Park Local Historic District. The Hyde Park Local Historic District Goals and Design Standards state:

3. Residential Standards: Single Family and Contributing Multifamily - Preservation and Restoration

3.1: Front of Houses

Houses in Hyde Park uniformly face the street, generally with a visible front door and with windows facing the street.

Retain the historic facade of a house in terms of door and window placement and exterior wall materials. Repair damaged or deteriorated exterior wall materials where reasonably possible. If replacement of exterior wall materials is necessary, choose a material identical in size, profile, and appearance as the historic material.

3.2: Doors and Doorways

1. Do not enlarge, alter, or relocate single doorways on the façade of the house.

2. Retain and repair an original entry door. In cases where replacement of an original entry door is required, or where the house does not have the original door, choose a replacement door that is compatible in terms of design and appearance with the historic character of the house.
3. Retain the glazing (window or glass) in its original configuration on doors that contain glass.

Look to other houses of similar age and style in choosing a replacement door, or consult publications, catalogs, or design professionals to determine the appropriate door styles and materials for the age and style of your house.

3.3: Windows

Original windows are one of the most important features of the façade of a house and define the character of the contributing buildings in the district. Many contributing structures in Hyde Park still retain their old-growth wood windows.

1. Repair or rehabilitate the original windows and screens.
2. The energy efficiency of original windows can be improved by using methods that do not damage historic sashes, glass, or frames, such as weatherstripping, insulating weight pockets, adding insulated glass and the necessary additional balancing weights, or adding a clear interior film, or a combination of these methods.
3. Do not use tinted glass or tinted film on original windows.
4. If replacing windows, use windows that approximate the size and match the scale, profile, appearance, and configuration of existing historic windows. .

3.4: Porches

Front porches are an integral part of the character of homes in Hyde Park. Consider the architectural style of the house if making decisions about changes to the front porch.

Preserve the original front and street-side porches. Do not enclose open front and street-side ground-floor porches with screening, glass, or other enclosure materials. Screens are appropriate for rear porches or other porches, including second-floor front porches.

3.5: Roofs

The most common roof forms in Hyde Park are hipped, gabled, and combinations of hipped and gabled roofs. Roofs are generally more complex for Queen Anne styles and simpler for the bungalows and other twentieth century buildings. Roofs often included dormers. There are examples in Hyde Park of flat roofs, but those are not typical of the roofs of the primary structures for contributing residences in the neighborhood. Traditional roof materials were wood shingles for main roofs and corrugated metal for outbuildings. There are also examples in Hyde Park of metal shingles. Occasional nineteenth century residences had metals roofs, but during the twentieth century, metal roofs were not considered appropriate for residences. Wood shingles were replaced by composition shingles in the early- to mid-twentieth century. Metal roofs returned in popularity as an energy saving approach in the last 20 years of the twentieth century.

1. Retain the original roof pitches and profiles on the building. Avoid changes to roofs on the front of the building. Avoid adding to the eave height of original roofs, especially at the front of the structure. Retain historic dormers.

2. In replacing roof materials, consider first the use of the original material, then the use a product that resembles the original material, such as a fiberglass or other energy-efficient shingle. Metal roofs are also acceptable. Do not use shaped, scalloped or diamond shingles unless they were original to the building. Preserve original gable/attic vents and roof brackets.

Recommendation: Consider replacing any original dormers that can be documented when roof work is done.

3.6: Chimneys

Preserve existing chimneys. Use original or similar replacement materials to rebuild a fallen or unstable chimney.

3.7: Garages

Garages have traditionally been located to the rear of the lot and separate structures. They are constructed in a simple but complementary design to the main building.

1. When rebuilding an original garage or adding a second story to it, preserve the roof pitch and style of siding.
2. When installing new garage doors, make them complementary in design to the original structure.

4. Residential Standards: Additions to Contributing Single Family and Multi-Family Structures

Items of most concern are finished floor height, floor-to-floor heights, roof heights and pitches, fenestration pattern, porch size and location, setbacks, and an overall scale that reflects neighborhood patterns.

4.1: Preservation of Historic Character

Construct additions so as to require the removal or modification of a minimum of historic fabric. Do not construct additions which will require the removal of any portion of the front façade. Design additions to existing residential buildings to reflect the form and style of the existing house.

4.2: Location

Locate new additions and alterations to the rear or rear side of the building so that they will be less visible from the street.

4.3: Roof, Fenestration, and Siding

1. Make the pitch and height of the roof of the addition compatible to that of the existing house.
2. Make windows visible from the street on any addition compatible with those on the existing house in terms of sash configuration, proportion, spacing and placement.
3. Use exterior siding materials on the addition which match or are compatible with that of the existing house.

4.4: Size and Scale of Additions:

1. Design additions to have the same floor-to-ceiling height as the existing house.
2. Locate second story additions at least 15' back from the front house wall. The front house wall is the exterior wall closest to the street. Houses on corner lots have only one front wall.

3. Design additions so that they do not overwhelm the original building.
4. Do not raise a first story to become a second story.

Recommendations:

1. Extend the existing roof line in the rear of the house to accommodate an addition wherever possible.
2. Consider adding one-story additional to one-story houses.
3. Wherever possible, build additions in existing attic space without raising the roof height. Consider the construction of attic dormers opening to the side or rear of the house to open underused attic space. Design side wall heights on second floor additions to be in scale and proportion to the original house.
4. Where attic heights are adequate to support second floor living space, dormers or rear additions that do not exceed the original roof ridge height are preferable, as are side walls that maintain the same proportions.
5. Do not locate windows so as to invade the privacy of neighboring properties.

The addition as planned meets the LHD Standards. It maintains the façade and requires minimal demolition of the existing house. Further the addition reflects the form and style of the contributing house, has a compatible roof pitch and height, is set more than 15' from the front wall, and will utilize windows and siding that are similar to the materials, dimensions and configuration on the existing house.

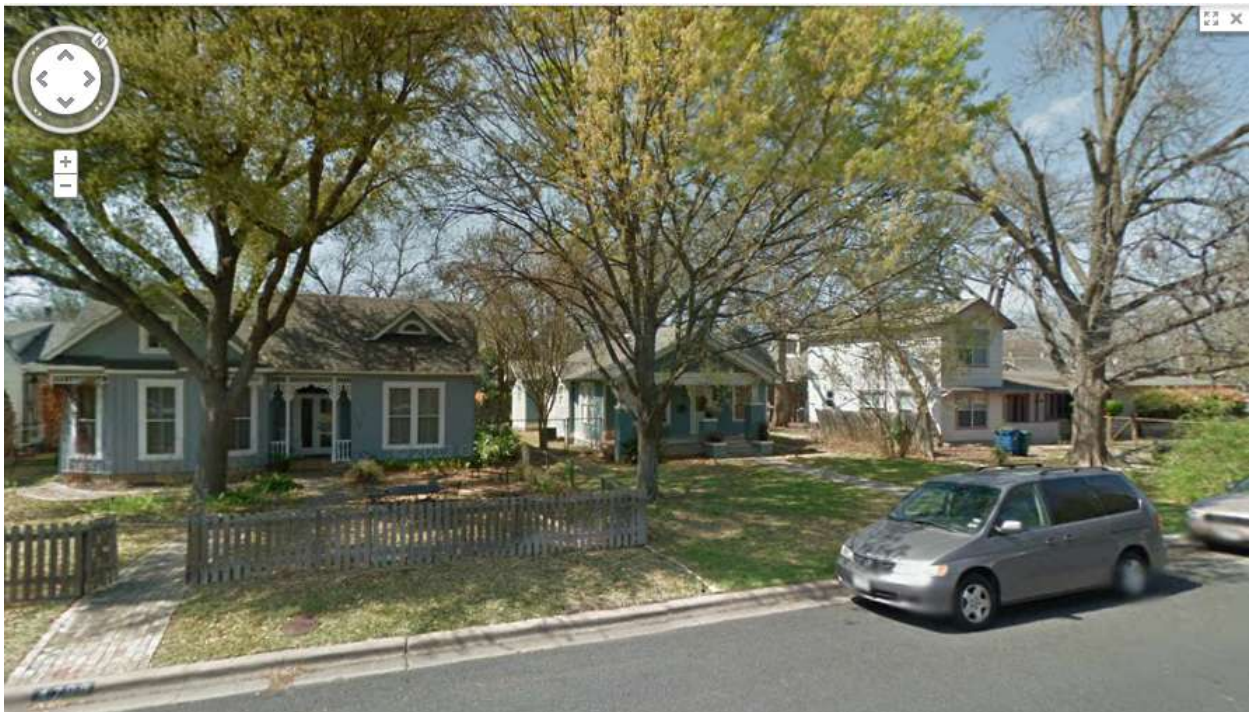
COMMITTEE RECOMMENDATION

Approve the plan as proposed but investigate if wood siding exists below asbestos cement siding, and ensure that parking requirements are met.

STAFF RECOMMENDATION

Approve as presented with the recommendation that existing wood siding be repaired/replacement as needed and similar siding be used on addition.

PHOTOS







SUBJECT TRACT



ZONING BOUNDARY

CASE#: LHD-2013-0012
LOCATION: 4210 Avenue G



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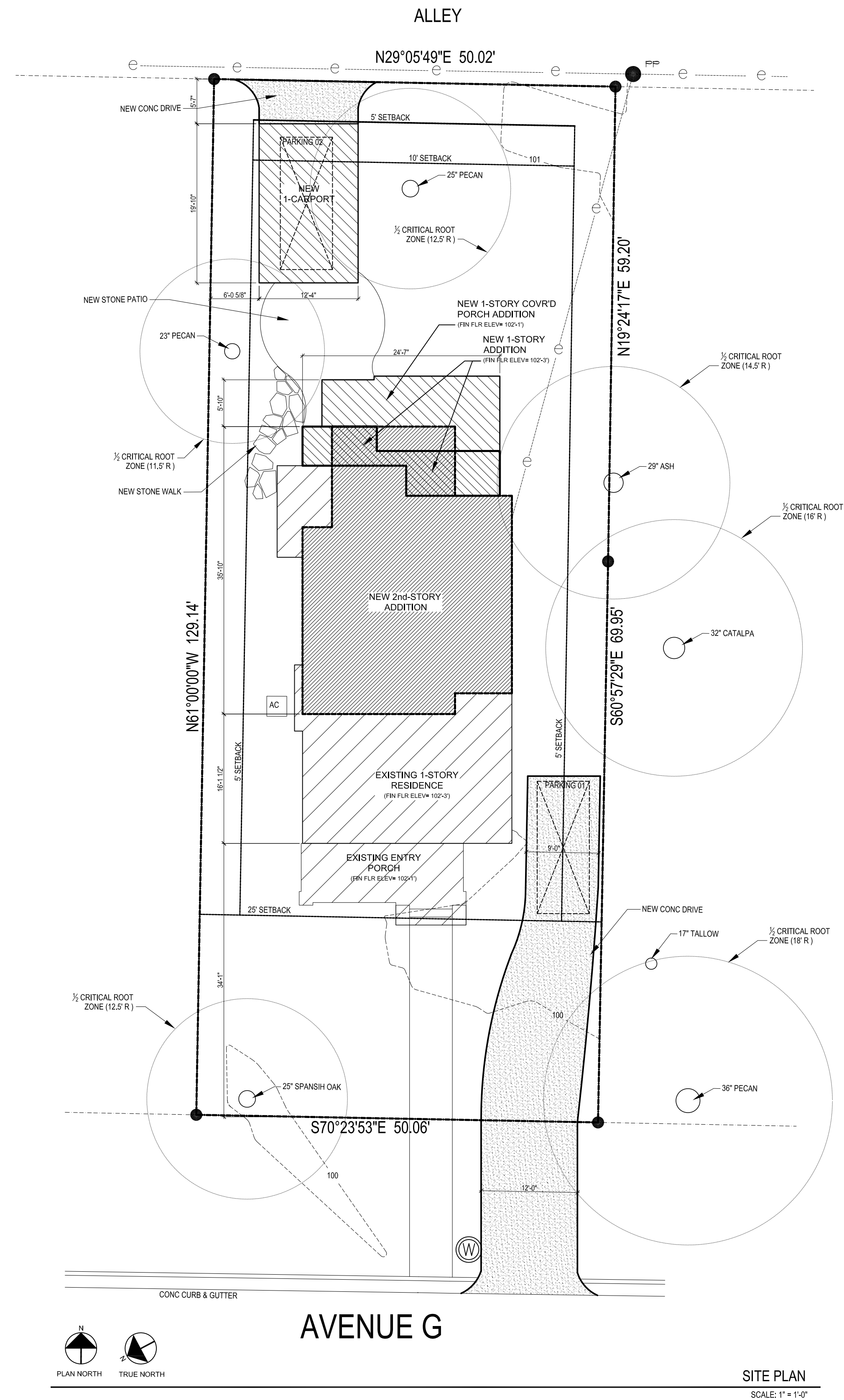












OWNER:
JEFF and KATIE BULLARD

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512.638.1514 | WWW.JEFF@AVENUEBDEV.COM

ARCHITECT:
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1503 NEWFIELD LANE AUSTIN, TX 78703
512.730.3747 info@garwoodarchitecture.com

INDEX OF DRAWINGS

ARCHITECTURAL

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SITE INFORMATION (UPDATED 06.03.2013)

LEGAL DESCRIPTION:
LOT 27 AND 28, BLOCK 21, HYDE PARK ADDITION NO. 1, A
SUBDIVISION IN TRAVIS COUNTY, TEXAS, ACCORDING TO THE
MAP OR PLAT OF RECORD IN VOLUME 1, PAGE 67, PLAT
RECORDS OF TRAVIS COUNTY, TEXAS

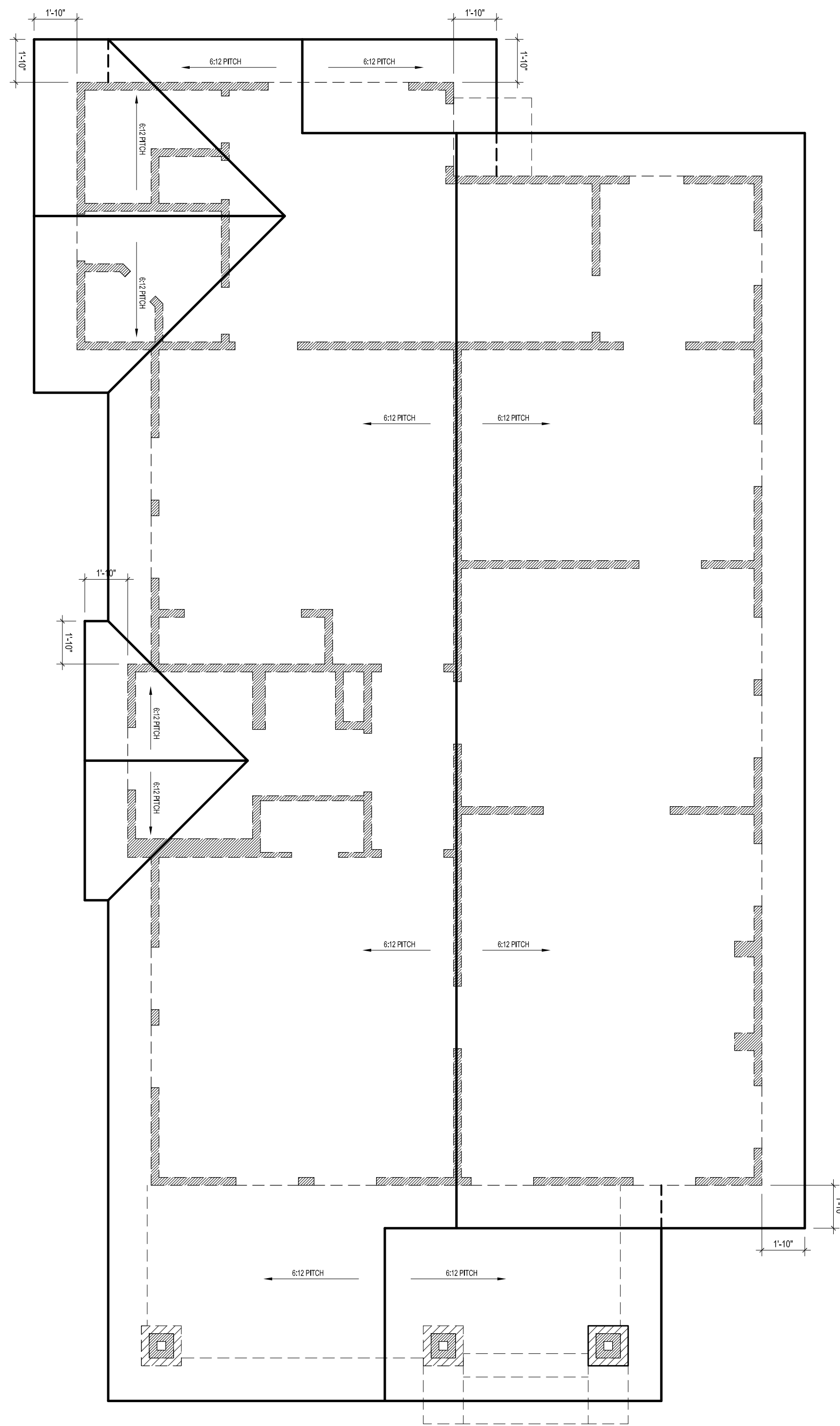
PHYSICAL ADDRESS:
4210 Avenue G
Austin, TX 78751

Existing Lot Area (sq ft)	6467
Zoning	SF-3-HD-NCCD-NP
Allowable Bldg Coverage @ 40% (sq ft)	2587
Allowable Impervious Coverage @ 45% (sq ft)	2910

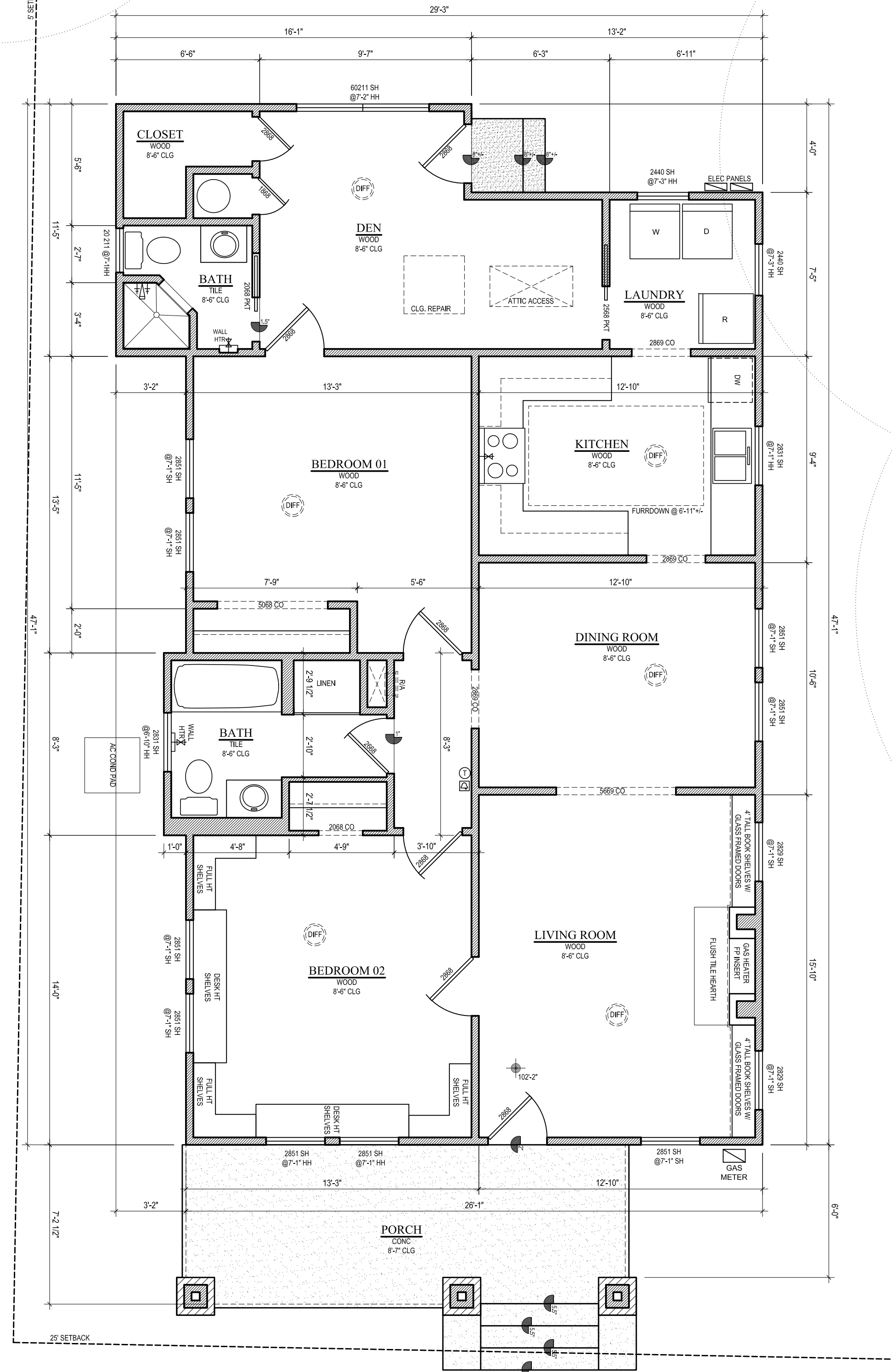
BUILDING AND SITE AREA			
Area Description	Existing Sq Ft	New/Added Sq Ft	Total Sq Ft
a. 1st floor conditioned area	1223	117	1340
b. 2nd floor conditioned area	--	809	809
c. 3rd floor conditioned area	--	--	--
d. Basement	--	--	--
e. Covered Parking (garage or carport)	--	245	245
f. Covered Patio, Deck or Porch	175	183	358
g. Balcony	--	--	--
h. Other	--	--	--
Total Building Coverage (exclude b,c & d from total)	1398	545	1943
i. Driveway (at private property)	--	521	521
j. Sidewalks (at private property)	130	58	188
k. Uncovered Patio	--	177	177
l. Uncovered Wood Deck (counts at 50%)	--	--	--
m. AC pads	06	09	15
n. Other	--	--	--
Total Site Coverage (exclude b,c & d from total)	1534	1310	2844
o. Pool	--	--	--
p. Spa	--	--	--

Building Coverage Information		
Existing Building Coverage	(sq ft): 1398	% of lot size: 21.6
Proposed Building Coverage	(sq ft): 1943	% of lot size: 30.0
Impervious Cover Information		
Existing Impervious Coverage	(sq ft): 1534	% of lot size: 23.7
Proposed Impervious Coverage	(sq ft): 2844	% of lot size: 44.0

REVIEW SET - NOT FOR CONSTRUCTION

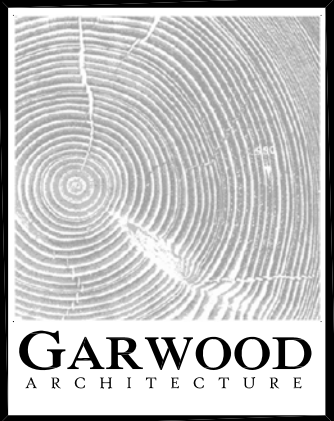


PLAN NORTH TRUE NORTH
EXIST ROOF PLAN
SCALE: 1/4" = 1'-0"

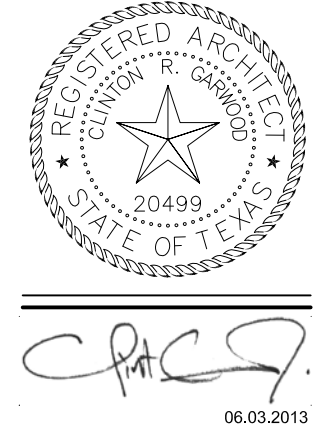


SQUARE FOOTAGE CALCS	
HEATED (outside frame wall)	1220 sq ft
EXIST First Floor	
NON-HEATED	
EXIST Entry Porch	147 sq ft

PLAN NORTH TRUE NORTH
EXIST FLOOR PLAN
SCALE: 1/4" = 1'-0"



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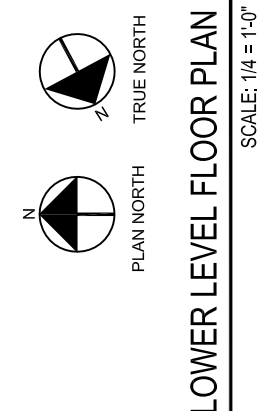
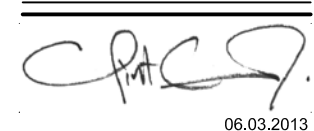
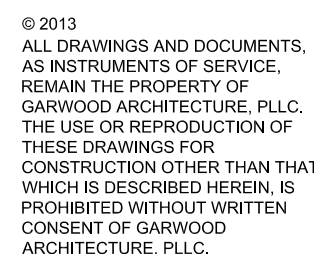


32" CATALPA

REVIEW SET - NOT FOR CONSTRUCTION

Bullard Residence	
4210 Ave G Austin, Texas 78751	
REV	DESCRIPTION
DATE	06.03.2013
REVIEW SET	
DRAWN BY: CRG, DFN	

SHEET TITLE
EXIST FLOOR PLAN
and ROOF PLAN
SHEET
A0.2



SQUARE FOOTAGE CALCS		(06/03/2013)
HEATED (outside frame wall)		
Exist Level		1223 sq ft
New Level		117 sq ft
New Lower Level Addition		803 sq ft
New Upper Level Addition		2149 sq ft
TOTAL		
NON-HEATED		
Exist Entry Porch		175 sq ft
New Covered Porch		145 sq ft
New 1-Car Carport		245 sq ft

Bullard Residence
4210 Ave G
Austin, Texas 78751

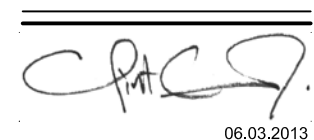
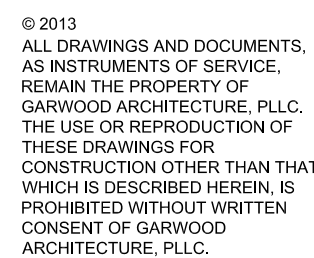
REV	DESCRIPTION	DATE
	REVIEW SET	06.03.2013
DRAWN BY: CRG, DFN		

SHEET TITLE
LOWER LEVEL
FLOOR PLAN

SHEET

A1.1

REVIEW SET - NOT FOR CONSTRUCTION



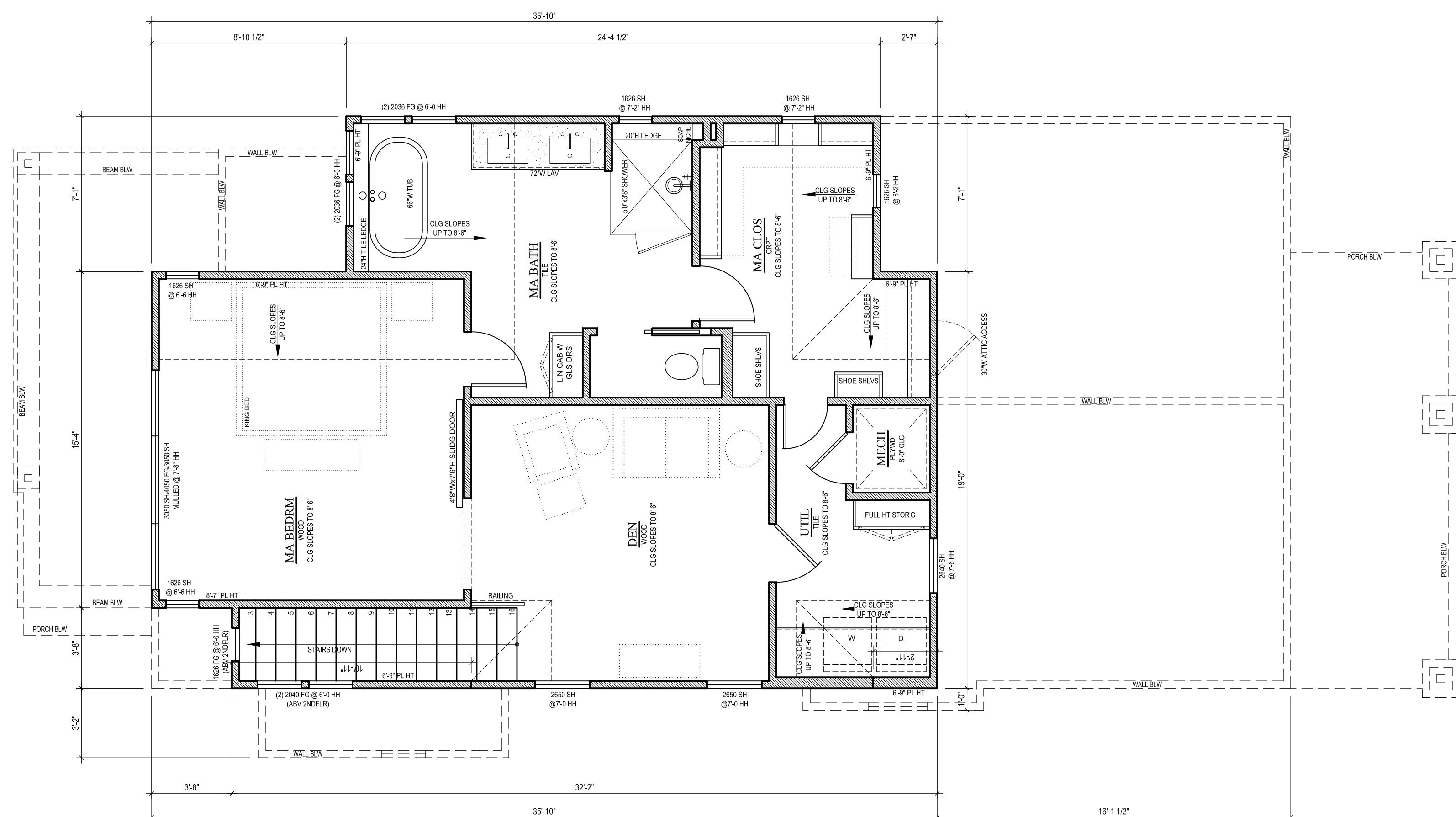
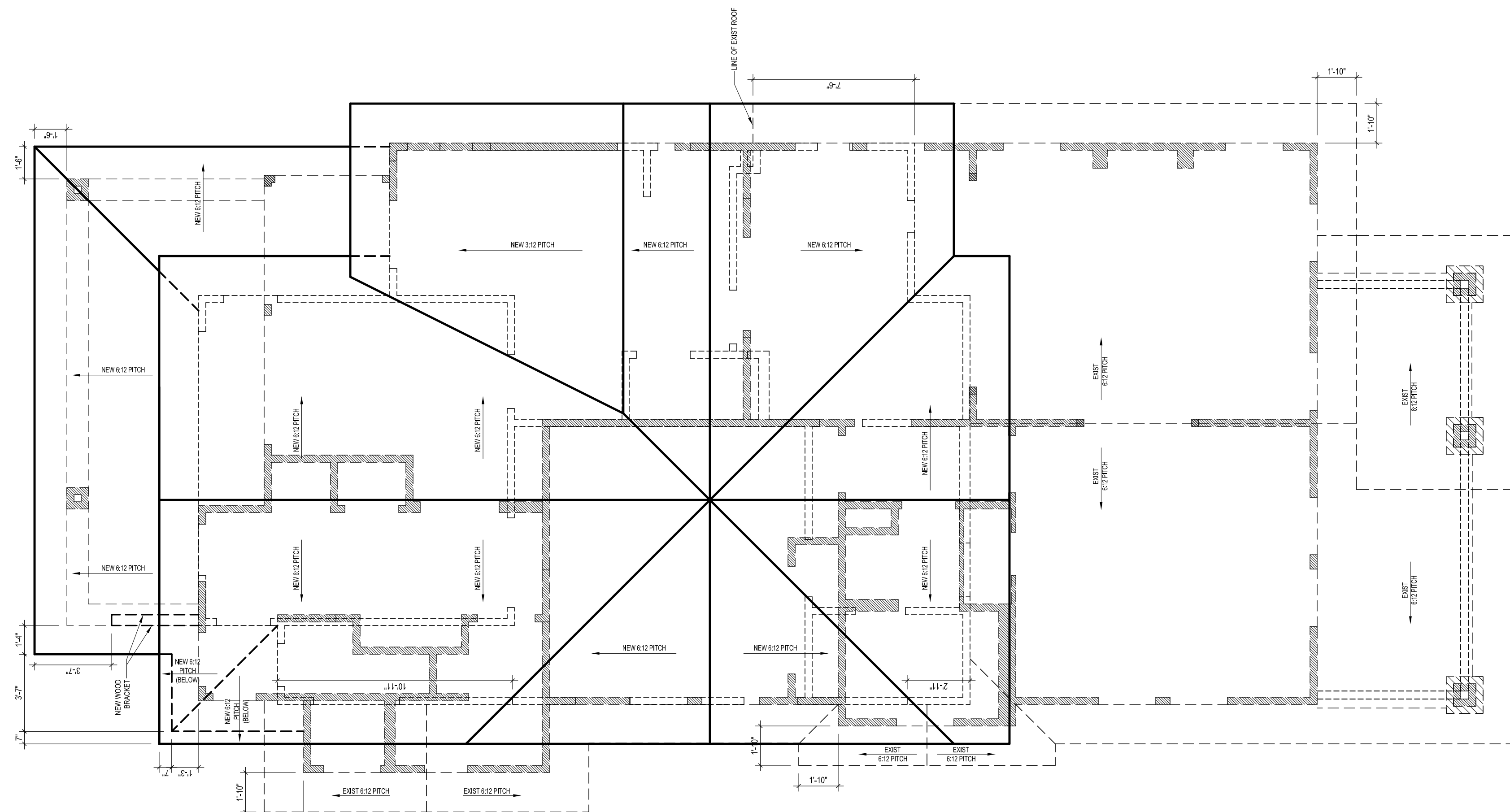
Bullard Residence
4210 Ave G
Austin, Texas 78751

REV	DESCRIPTION	DATE
	REVIEW SET	04.03.2013
DRAWN BY: CRG, DFN		

SHEET TITLE
UPPER LEVEL
FLOOR PLAN &
ROOF PLAN

SHEET

A1.2



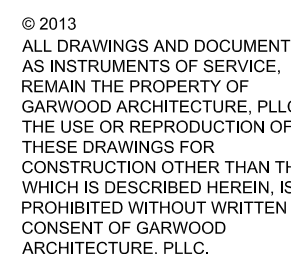
ROOF PLAN
SCALE: 1/4" = 1'-0"

PLAN NORTH

TRUE NORTH

SCALED: 1/4" = 1'-0"

UPPER LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"



SCALE: $\frac{1}{4}'' = 1'-0''$



SCALE: $\frac{1}{4}'' = 1'-0''$



SCALE: $\frac{1}{4} = 1'-0"$



SCALE: $\frac{1}{4}'' = 1'-0''$

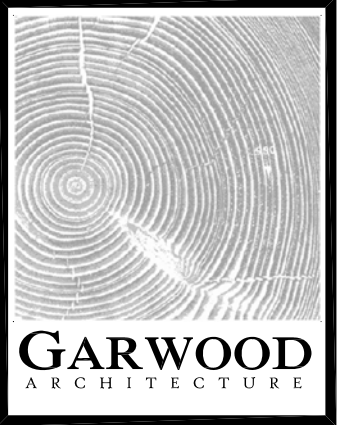
Bullard
Addition & Remod
4210 Ave G
Austin, Texas 78751

REV	DESCRIPTION	DATE
	REVIEW SET	06.03.2013

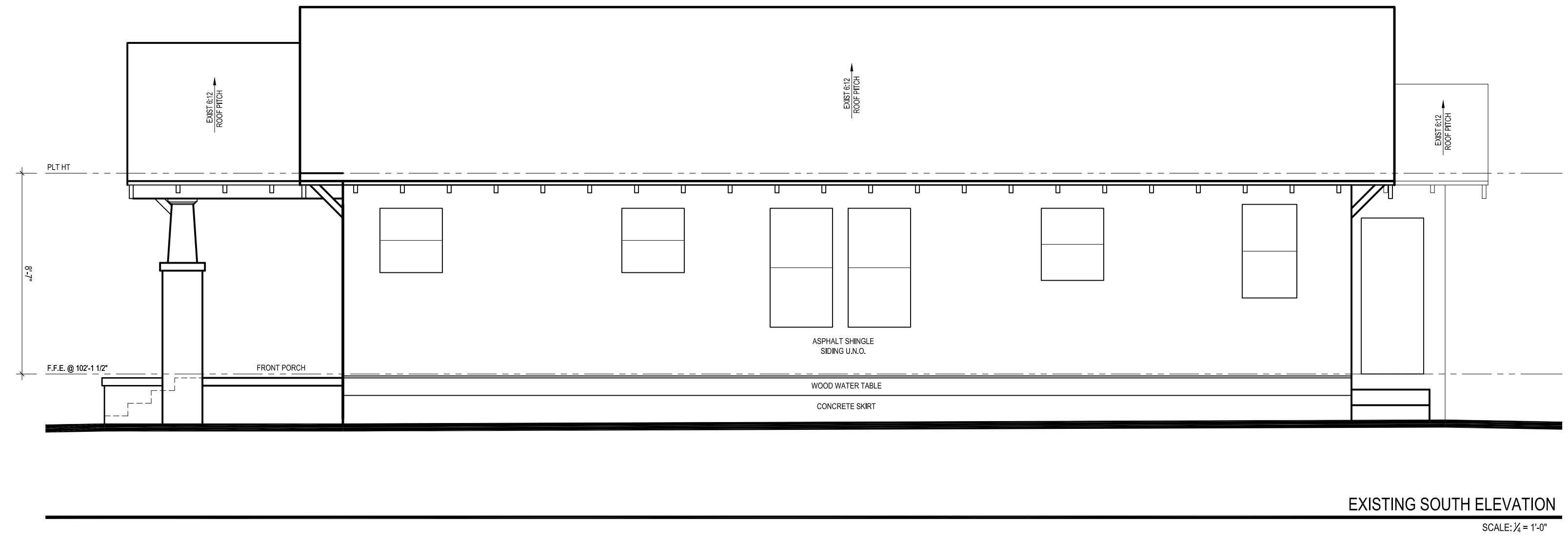
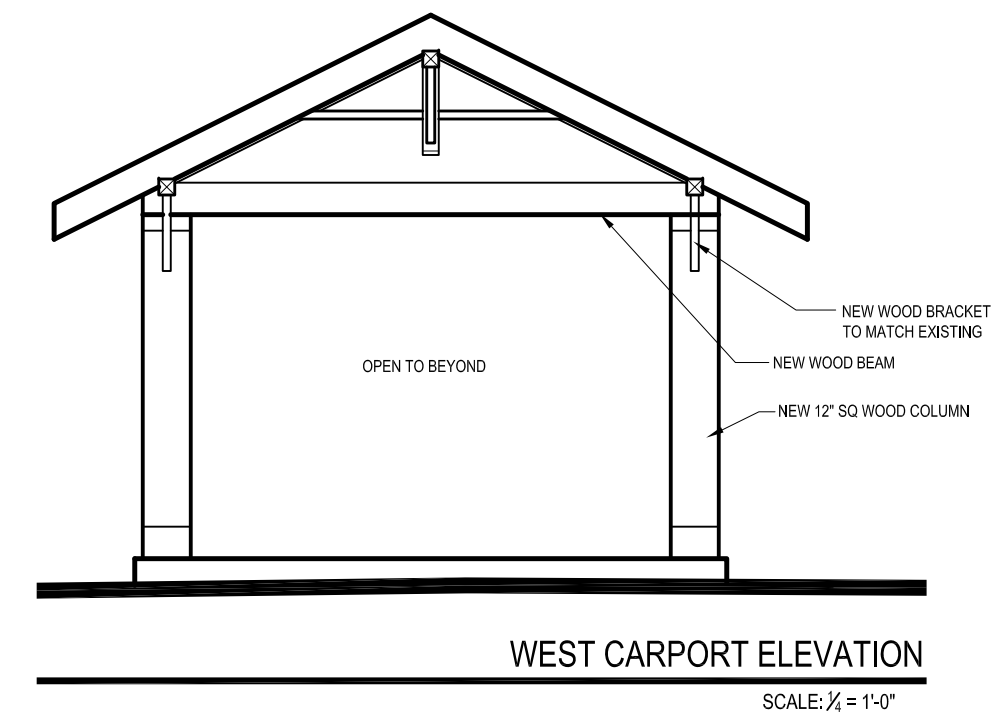
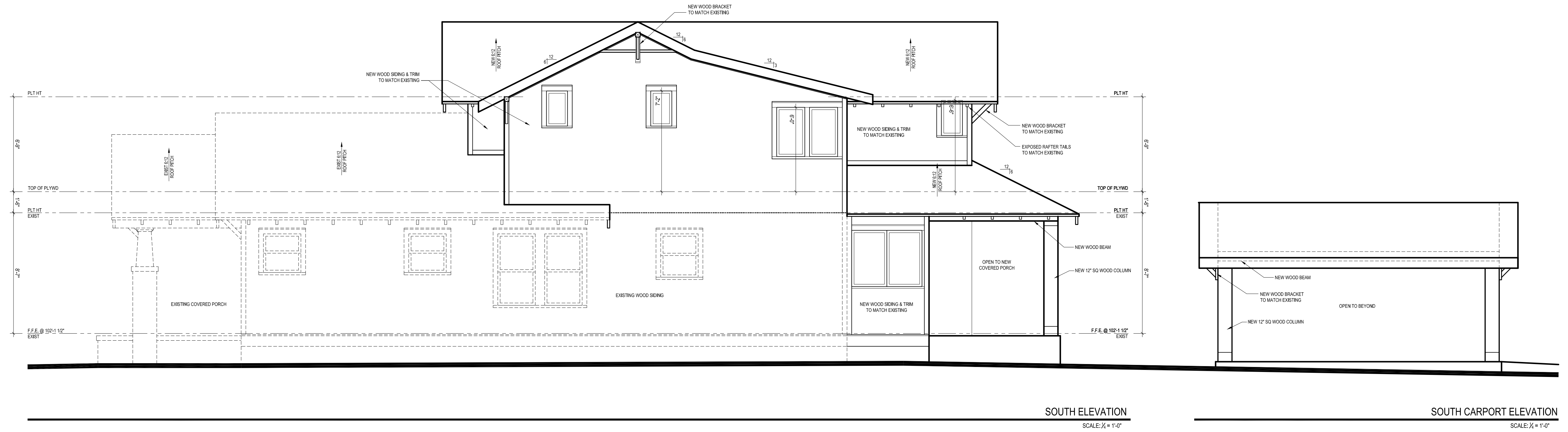
SHEET TITLE
NEW and EXISTING
ELEVATIONS

SHEET

A2.1

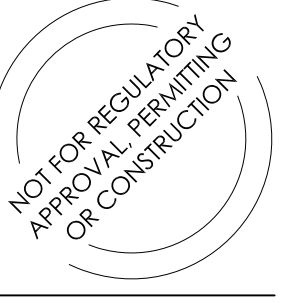
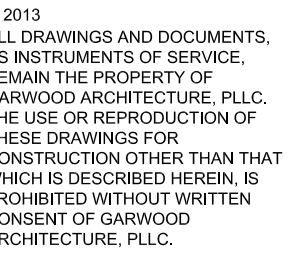


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Bullard Addition & Remodel		4210 Ave G		Austin, Texas 78751	
REV	DESCRIPTION	DATE	BY	CHK	DRAWN BY: CRG, DFN
	REVIEW SET	06.03.2013			
SHEET TITLE					
NEW and EXISTING ELEVATIONS					
SHEET					
A2.2					



SCALE: $\frac{1}{4} = 1'-0"$



SCALE: $\frac{1}{4} = 1'-0"$



SCALE: $\frac{1}{4}'' = 1'-0''$

Bullard Addition & Remodel		
4210 Ave G Austin, Texas 78751		
REV	DESCRIPTION	DATE
	REVIEW SET	06.03.2013

DRAWN BY: CRG DFN

SHEET TITLE
NEW and EXISTING
ELEVATIONS

SHEET