

**HISTORIC LANDMARK COMMISSION**  
**JUNE 24, 2013**  
**NATIONAL REGISTER HISTORIC DISTRICT**  
**NRD-2013-0046**  
**Old West Austin**  
**3214 Beverly Road**

**PROPOSAL**

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Construct a new house on a vacant lot.

**PROJECT SPECIFICATIONS**

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The applicant proposes to construct a new approximately 2,800 sq. ft., two-story house on a vacant lot. The design will be a contemporary interpretation of a Colonial Revival style with Georgian features. The house will have a side gabled roof with rear wing. There will also be a hipped roof over the portion of the first floor that extends beyond the footprint of the second story, and a cross gabled wing with dormers over the second floor space. The Georgian style influence is reflected in the shallow eaves, symmetrical 2:2 windows, two-story, corner pilasters, central chimney, and the unpedimented front door surround. The house will be clad in horizontal siding.

A detached, one car garage, accessed from a driveway off W. 33<sup>rd</sup> Street is also proposed. It will have a front facing gable roof with a cross gable, and a carriage-house style door. The proposed 6 feet high fence will have solid fencing up to 4 feet with 2 feet of lattice above.

**STANDARDS FOR REVIEW**

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The existing property is contributing to the Old West Austin National Register Historic District. Applicable general design review guidelines state:

- The distinguishing original qualities or character of a property and its environment shall not be destroyed. Removal or alteration of any historic material or distinctive architectural features should be avoided.
- All properties shall be recognized as products of their own time. Alterations which have no historical basis and which seek to create an earlier appearance shall be discouraged.
- Changes which have taken place in the course of time may have acquired significance in their own right, and shall be recognized and respected.
- Distinctive stylistic features or examples of skilled craftsmanship which characterize a property shall be treated with sensitivity.
- Deteriorated architectural features shall be repaired rather than replaced whenever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture, and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historical, physical, or pictorial evidence.
- Surface cleaning of structures shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the historic building

materials shall not be undertaken.

- Contemporary design for alterations and additions to existing properties are appropriate when such alterations and additions do not destroy significant historic, architectural, or cultural material and are compatible with the size, scale, color, material, and character of the property, neighborhood, or environment.
- Whenever, possible, new additions or alterations to structures shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the structure would not be impaired.
- The installation of protective or code-required mechanical systems shall be concealed whenever possible so as not to intrude upon or detract from the property's aesthetic and historical qualities except where concealment would result in the alteration or destruction of historically significant materials or spaces.
- Reconstruction of a part or all of a property shall be undertaken only when such work is essential to reproduce a significant missing feature in a historic district, and documentation exists to ensure an accurate reproduction of the original.

On July 25, 2011 the Historic Landmark Commission approved release of a demolition permit for the house that was on this lot. A documentation package was submitted and new construction was reviewed. The demolition permit was released in August 2011, however new construction of the contemporary style house that was reviewed in July 2011 did not take place.

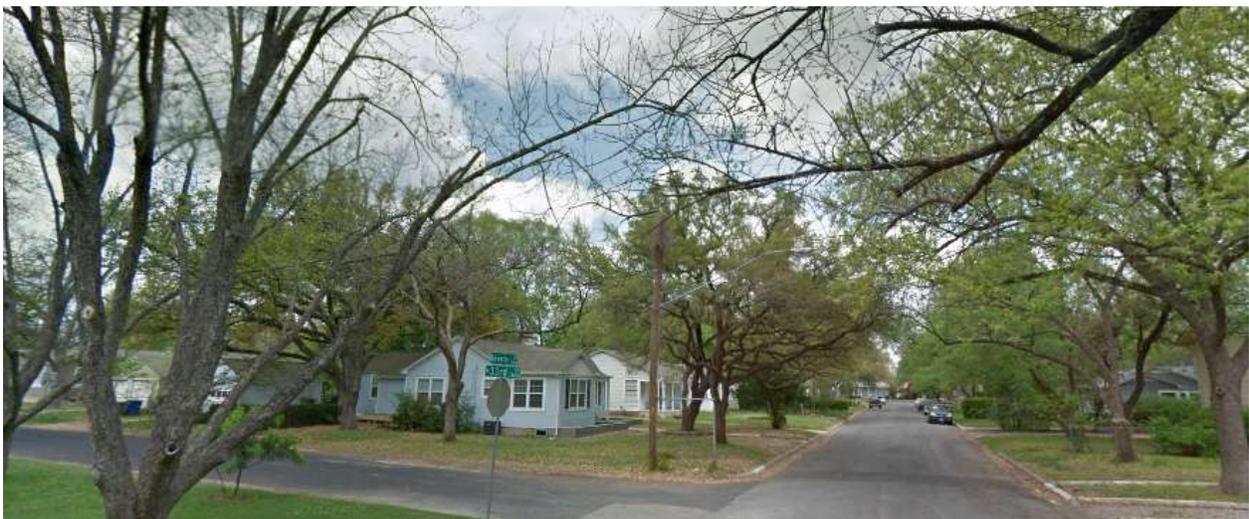
Although nearly all houses in this area of the District are one-story, Minimal Tradition-style homes, the scale, massing and form of the proposed house and garage are generally compatible with the neighborhood. Additionally, the simple Colonial Revival style is compatible with the style of other homes in this part of the District.

#### **STAFF RECOMMENDATION**

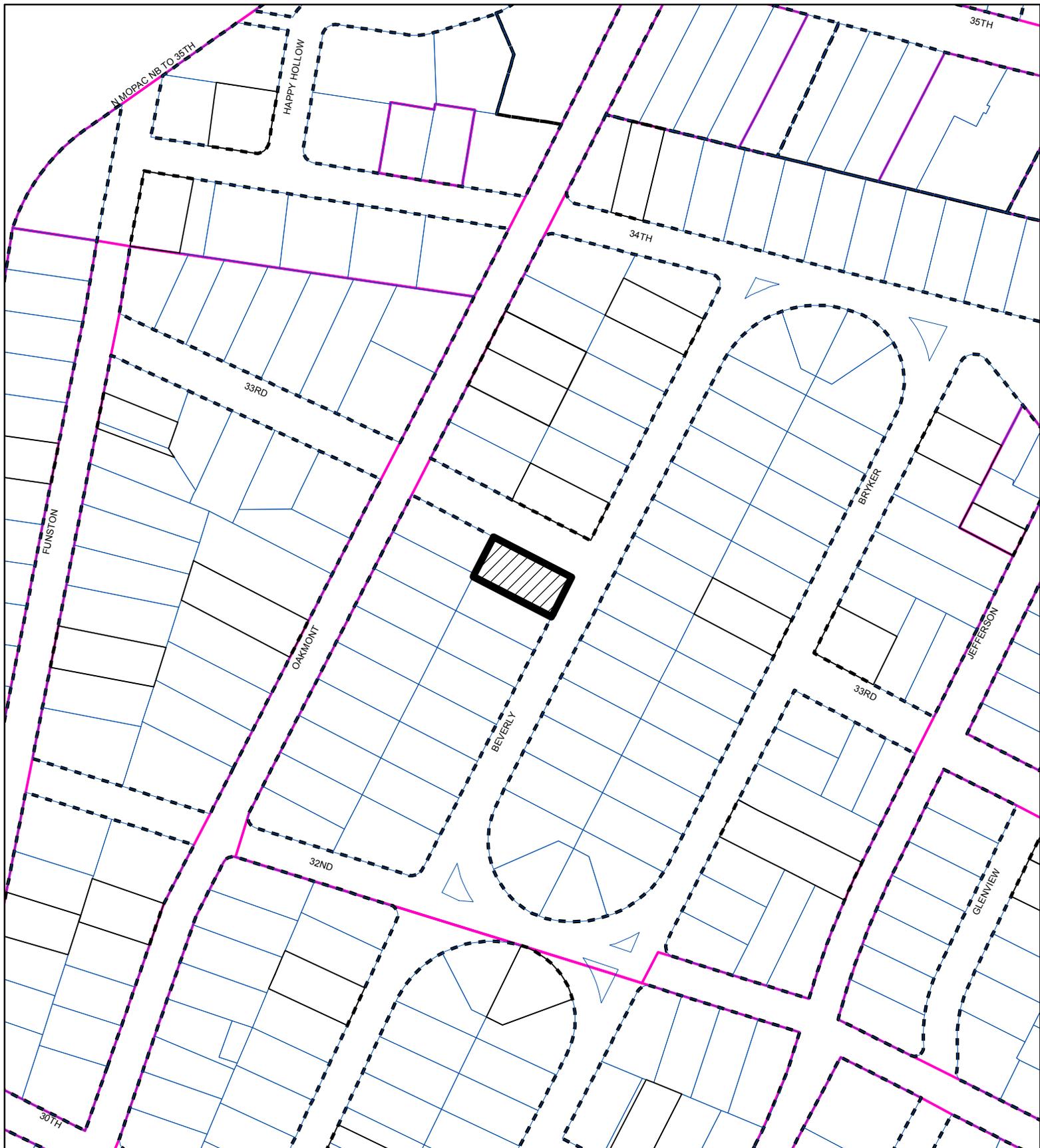
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Release the permit per the proposed design.

PHOTOS



Street views from corner of Beverly Road and W. 33rd Street



SUBJECT TRACT



ZONING BOUNDARY

CASE#: NRD-2013-0046  
 LOCATION: 3214 Beverly Road



This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

This product has been produced by the Planning and Development Review Department for the sole purpose of geographic reference. No warranty is made by the City of Austin regarding specific accuracy or completeness.

3214 BEVERLY ROAD- RENDERING OF PROPOSED RESIDENCE



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3214 BEVERLY ROAD- RENDERING OF PROPOSED RESIDENCE



**SIDING:** 'HARDIE' Artisan lap siding, 7" exposure, mitered corners



**EXTERIOR TRIM:** 'AZEK' trim



**WINDOWS:** 'Marvin' Ultimate Series, wood/aluminum clad



SITE PLAN NOTES:  
 1.0 ALL CONSTRUCTION SHALL ADHERE TO THE REQUIREMENTS OF THE 2008 INTERNATIONAL RESIDENTIAL CODE AND THE 2008 INTERNATIONAL ENERGY CONSERVATION CODE.  
 2.0 PROVIDE CONTROL AND EXPANSION JOINTS AS REQUIRED ON CONCRETE DRIVES, WALKS, PATIOS, AND STUCCOED WALLS.  
 3.0 VERIFY ELEVATION OF SLAB IS SUCH THAT FINISH GRADING WILL PROVIDE POSITIVE DRAINAGE TO THE STREET.  
 4.0 THERE ARE NO STORM SEWER INLETS WITHIN THE LOT FRONTAGE OR 10'-0" BEYOND.

GROSS FLOOR AREA (UPDATED 5.31.2013)			
	Existing	New	Exemption
1st Floor	-	1754	-
2nd Floor	-	1180	-
3rd Floor	-	-	-
Basement	-	-	-
Attic	-	-	-
Garage (attached)	-	405	405
Carport (attached)	-	-	-
Accessory building(s) (detached)	-	-	-
<b>TOTAL GROSS FLOOR AREA</b>		<b>2934</b>	

(Total Gross Floor Area/lot size x 100) = 36.8:100 Floor-To-Area Ratio (FAR)

Is this project claiming a 'parking area' exemption as described under Article 3?  Y  N

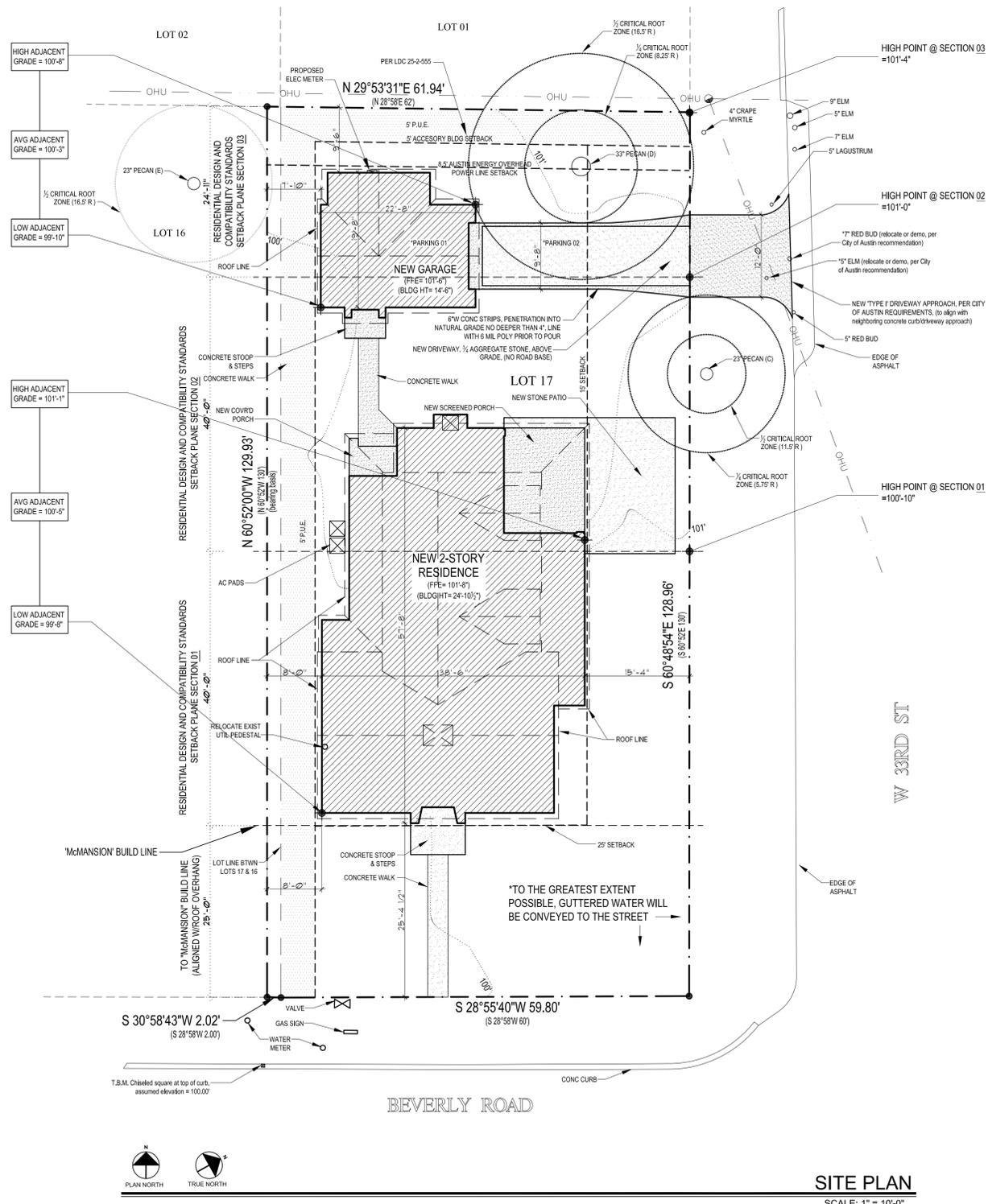
Is this project claiming a 'ground floor porch' exemption as described under Article 3?  Y  N

Is this project claiming a 'basement' exemption as described under Article 3?  Y  N

Is this project claiming a 'habitable attic' exemption as described under Article 3?  Y  N

Is a sidewall articulation required for this project?  Y  N

Does any portion of the structure extend beyond a setback plane?  Y  N



**SITE PLAN**  
SCALE: 1" = 10'-0"



• 3214 Beverly Road •  
Perspective

**OWNER:**  
CHRIS & MAIRIN EPP  
214.448.3285

**CONTRACTOR:**  
LARRY ANDERSON | LARRY ANDERSON CONSTRUCTION, INC.  
1513 PRESTON AVE  
AUSTIN, TX 78703  
512.657.3858 Lander@austin.rr.com

**ARCHITECT:**  
CLINT GARWOOD | GARWOOD ARCHITECTURE, PLLC  
1503 NEWFIELD LANE AUSTIN, TX 78703  
512.730.3747 info@garwoodarchitecture.com

**INDEX OF DRAWINGS**

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**ELECTRICAL**

E1.1 LOWER LEVEL ELECTRICAL PLAN
E1.2 UPPER LEVEL ELECTRICAL PLAN

**STRUCTURAL**

S-1 FOUNDATION PLAN
S-2 FOUNDATION DETAILS
S-3 FRAMING PLAN
S-4 FRAMING DETAILS

**SITE INFORMATION** (UPDATED 5.31.2013)

**LEGAL DESCRIPTION:**  
Lot 17 & N2ft of Lot 16, Block 1, Brykerwoods E, Travis County, Texas

**PHYSICAL ADDRESS:**  
3214 Beverly Rd, Austin, TX 78703

Existing Lot Area (sq ft)	8012
Zoning	SF-3-NP
Allowable Bldg Coverage @ 40% (sq ft)	3205
Allowable Impervious Coverage @ 45% (sq ft)	3605

**BUILDING AND SITE AREA**

Area Description	Existing Sq Ft	New/Added Sq Ft	Total Sq Ft
a. 1st floor conditioned area	-	1755	1755
b. 2nd floor conditioned area	-	1180	1180
c. 3rd floor conditioned area	-	-	-
d. Basement	-	-	-
e. Covered Parking (garage or carport)	-	405	405
f. Covered Patio, Deck or Porch	-	197	197
g. Balcony	-	-	-
h. Other	-	-	-
<b>Total Building Coverage (exclude b.c &amp; d from total)</b>		<b>2357</b>	<b>2357</b>
i. Driveway (at private property)	-	229	229
j. Sidewalks (at private property)	-	120	120
k. Uncovered Patio	-	339	339
l. Uncovered Wood Deck (counts at 50%)	-	-	-
m. AC pads	-	18	18
n. Other (Pool Coping, Retaining Walls)	-	-	-
<b>Total Site Coverage (exclude b.c &amp; d from total)</b>		<b>3063</b>	<b>3063</b>
o. Pool	-	-	-
p. Spa	-	-	-

**Building Coverage Information**

Existing Building Coverage (sq ft): -	% of lot size: -
Proposed Building Coverage (sq ft): 2357	% of lot size: 29.4%

**Impervious Cover Information**

Existing Impervious Coverage (sq ft): -	% of lot size: -
Proposed Impervious Coverage (sq ft): 3063	% of lot size: 38.2%



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REGISTERED ARCHITECT  
 LARRY ANDERSON  
 20499  
 STATE OF TEXAS

**Epp Residence**  
 3214 Beverly Road  
 Austin, Texas 78703

REV	DESCRIPTION	DATE	DRAWN BY
1	ISSUED FOR PERMITTING	05.31.2013	CGG

**SHEET TITLE**  
SITE PLAN & COVER SHEET

**SHEET**  
A0.1



**LEGEND:**  
 1 GAS KEY  
 2 GAS  
 3 GAS  
 4 GAS  
 5 GAS  
 6 HOSE RIBB

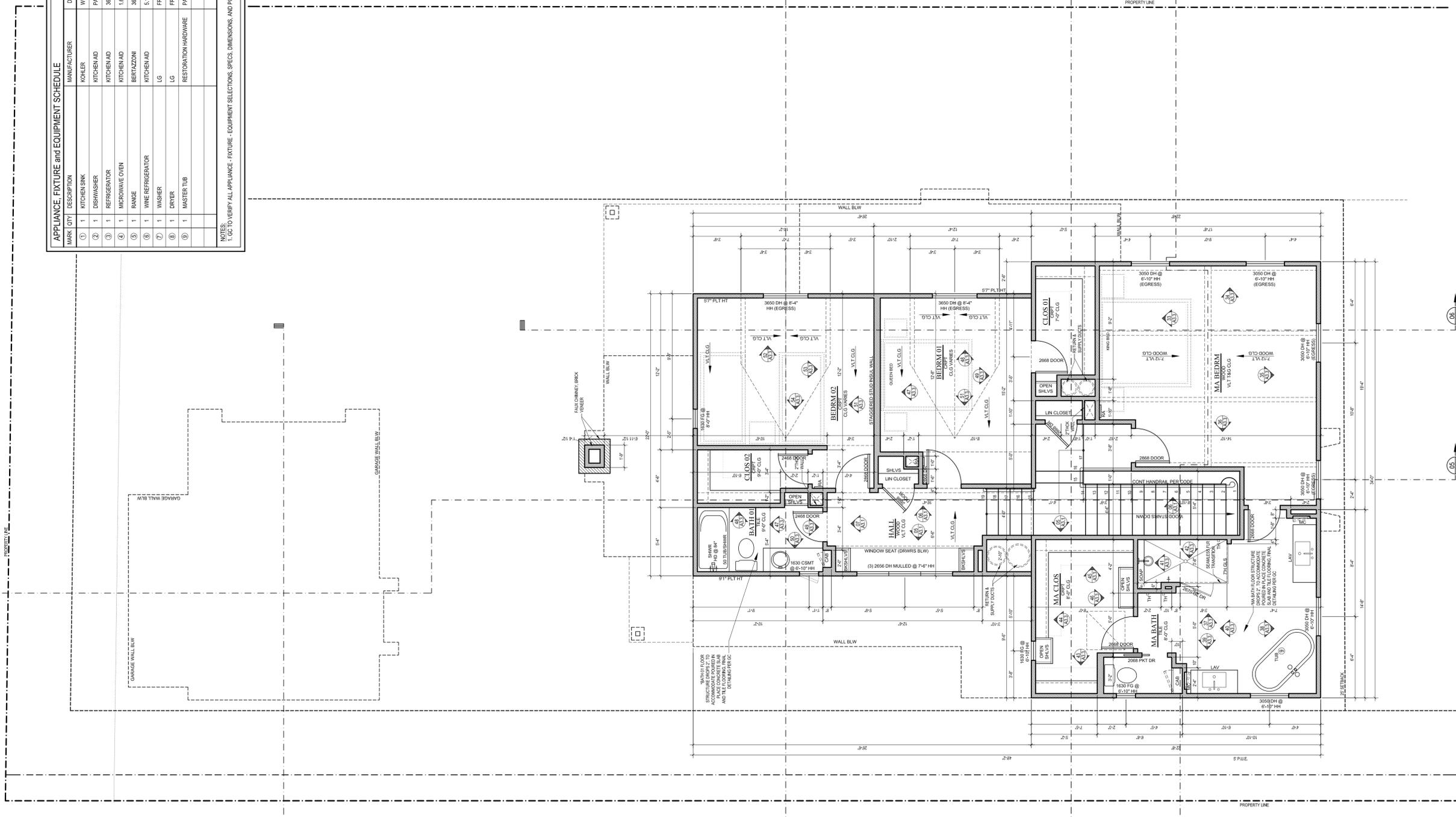
**GENERAL NOTES**

1.0 ALL CONSTRUCTION SHALL ADHERE TO THE REQUIREMENTS OF THE 2009 INTERNATIONAL RESIDENTIAL CODE AND ALL OTHER LOCAL AND STATE CODES.  
 2.0 ALL OTHER LOCAL AND STATE CODES SHALL BE OBSERVED.  
 3.0 STUCCOED WALLS, AND CONCRETE FOUNDATIONS SHALL BE FINISHED WITH A FINISH GRADE FINISH.  
 4.0 FINISH GRADE SHALL BE FINISHED WITH A FINISH GRADE FINISH.  
 5.0 ALL WALLS TO BE 2x4 WOOD STUDS, UNLESS NOTED OTHERWISE.  
 6.0 POSTCORE WITH THE FINISH GRADE FINISH FROM AN ADJACENT WALL OR COLUMN AS SHOWN ON THE PLANS.

7.0 ALL WINDOWS DIMENSIONED TO CENTER LINE UNLESS OTHERWISE NOTED. GLASS SIZE PER MFR. SPECS.  
 8.0 GENERAL CONTRACTOR TO VERIFY ALL TEMPERED GLASS LOCATIONS AS REQUIRED BY CODE.  
 9.0 EGRESS AS REQUIRED BY CODE.  
 10.0 EGRESS AS REQUIRED BY CODE.  
 11.0 BUILDER TO VERIFY SIZING AND LOCATION OF ALL APPLIANCES & RELATED COMPONENTS.  
 12.0 VERIFY ALL ELECTRICAL AND PLUMBING NEEDS REQUIRED BY ALL APPLIANCES & RELATED COMPONENTS.

13.0 ALL PLUMBING APPLIANCE AND GAS VENTS TO VENT TO ROOF RIDGE WHEREVER POSSIBLE.  
 14.0 THE CONTRACTOR SHALL VERIFY ALL FINISH GRADE FINISHES AT FOOT OF FINISH FLOOR FINISH UNLESS NOTED OTHERWISE.  
 15.0 THE CONTRACTOR SHALL VERIFY ALL FINISH GRADE FINISHES AT FOOT OF FINISH FLOOR FINISH UNLESS NOTED OTHERWISE.  
 16.0 THE CONTRACTOR SHALL VERIFY ALL FINISH GRADE FINISHES AT FOOT OF FINISH FLOOR FINISH UNLESS NOTED OTHERWISE.  
 17.0 PROVIDE BLOCKING FOR HANDRAIL MOUNTING AT STAIRS AS NECESSARY.

18.0 PROVIDE WEATHERSEAL AT ALL EXTERIOR AND ATTIC DOORS.  
 19.0 CONTRACTOR TO PROVIDE 3x4x1/2 PLYWOOD DATA FROM WITHIN 20' OF ACCESS.



**APPLIANCE, FIXTURE and EQUIPMENT SCHEDULE**

MARK	QTY	DESCRIPTION	MANUFACTURER	DESCRIPTION	MODEL #	NOMINAL DIMENSIONS
1	1	KITCHEN SINK	KOHLER	WHITEHAVEN SELF-FRIMMING	K-687-0	30" x 21.25" x 15.5"
2	1	DISHWASHER	KITCHEN AID	PANEL READY, 5 CYCLE	KUDE-REFRPA	
3	1	REFRIGERATOR	KITCHEN AID	36" FRENCH DOOR, PANEL, COUNTER DEPTH	771	35.5" x 24" x 36"
4	1	MICROWAVE OVEN	KITCHEN AID	15 C.F.P., 1020 WATT, ARCHITECT SERIES II, WHITE	KOMIS16588WH	22" x 11.5" x 17"
5	1	RANGE	BERTAZZONI	36" 6-BURNER, ELEC OVEN, PRO SERIES	PRO36 E DPS X	36" x 25" x 37"
6	1	WINE REFRIGERATOR	KITCHEN AID	51 C.F.P., ARCHITECT SERIES II	KBC204L SRX	
7	1	WASHER	LG	FRONT LOAD	LG WM2202C[M]	27" x 36" x 39"
8	1	DRYER	LG	FRONT LOAD	LG DLEX5500V	27" x 36" x 39"
9	1	MASTER TUB	RESTORATION HARDWARE	PALAB PEDESTAL, SOAKING TUB, 50 GALLON	28810021 CHR	31.5" x 68" x 24"

**NOTES:**  
 1.0 C TO VERIFY ALL APPLIANCE - FIXTURE - EQUIPMENT SELECTIONS, SPECS, DIMENSIONS, AND POWER/GAS SUPPLY REQUIREMENTS PRIOR TO FABRICATION OF CABINETS.

UPDATED 04.25.2013



**UPPER LEVEL FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"

**Epp Residence**  
 3214 Beverly Road  
 Austin, Texas 78703

REV	DESCRIPTION	DATE
	ISSUED FOR PERMITTING	05.31.2013

SHEET TITLE  
**UPPER LEVEL FLOOR PLAN**

SHEET  
**A1.2**

DRAWN BY: CRG

**GARWOOD ARCHITECTURE**

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REGISTERED ARCHITECT  
 STATE OF TEXAS  
 00489

05.31.2013

1.0 ALL CONSTRUCTION SHALL ADHERE TO THE REQUIREMENTS OF THE 2006 INTERNATIONAL RESIDENTIAL CODE AND ALL OTHER APPLICABLE CODES AND REGULATIONS.

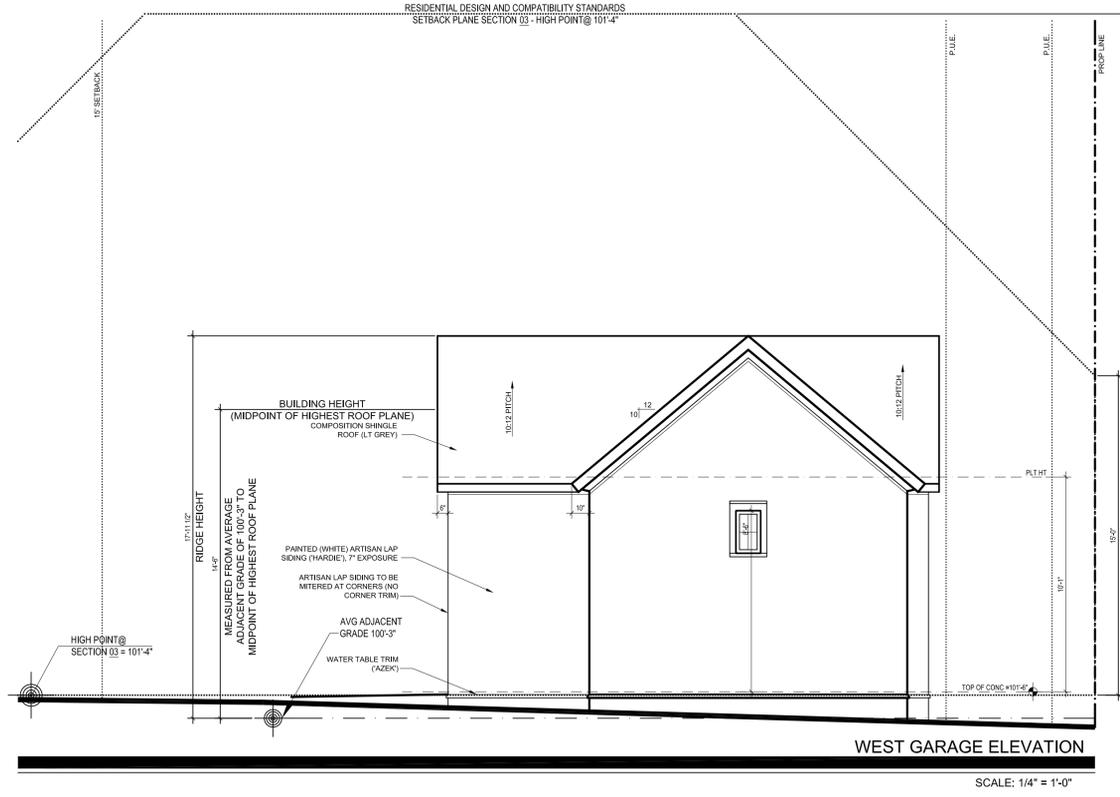
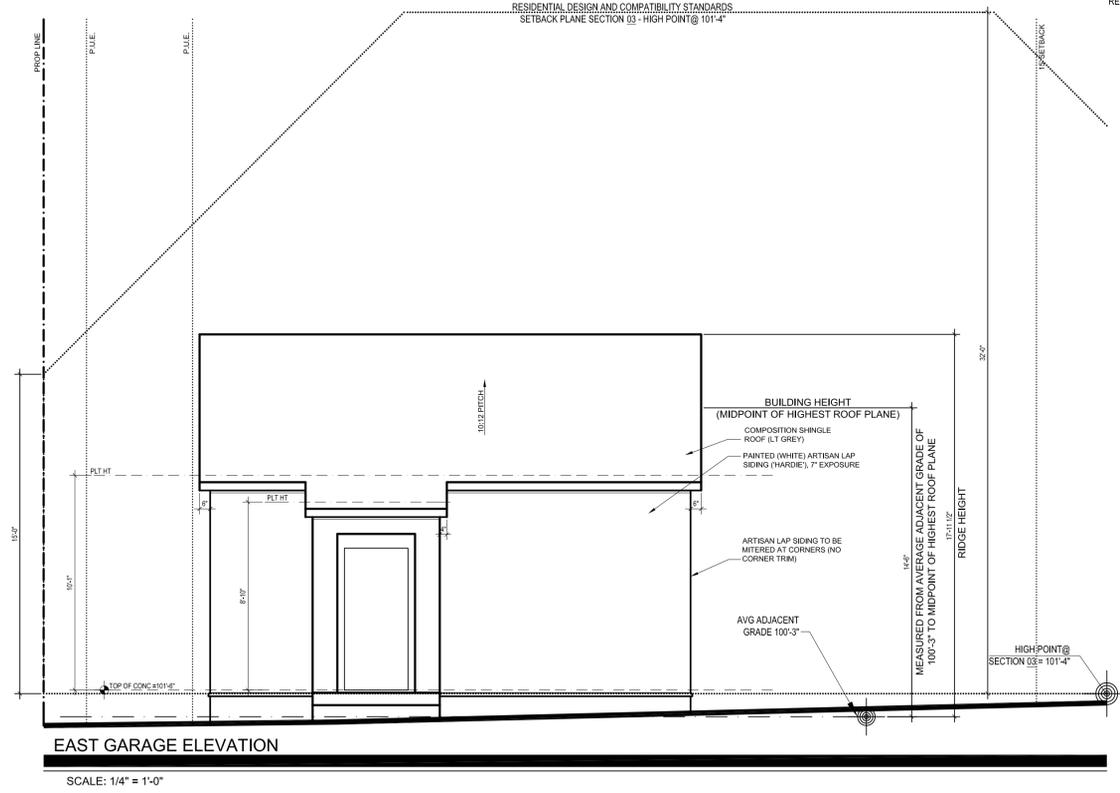
2.0 ALL CONSTRUCTION JOINTS AS REQUIRED ON CONCRETE DRIVES, WALKS, PATIOS, AND STUCCOED WALLS, SHALL BE PROTECTED AND CONTROLLED.

3.0 VERIFY ELEVATION OF SLAB IS SUCH THAT FINISH GRADING WILL PROVIDE POSITIVE DRAINAGE AWAY FROM SLAB.

4.0 GRADE LINES ARE DRAWN AS APPROXIMATE REPRESENTATION OF FINAL GRADING. FIELD VERIFY EXACT FINAL GRADING.

5.0 GRADE LINES ARE EXISTING UNLESS NOTED OTHERWISE.

GENERAL NOTES



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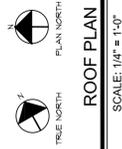
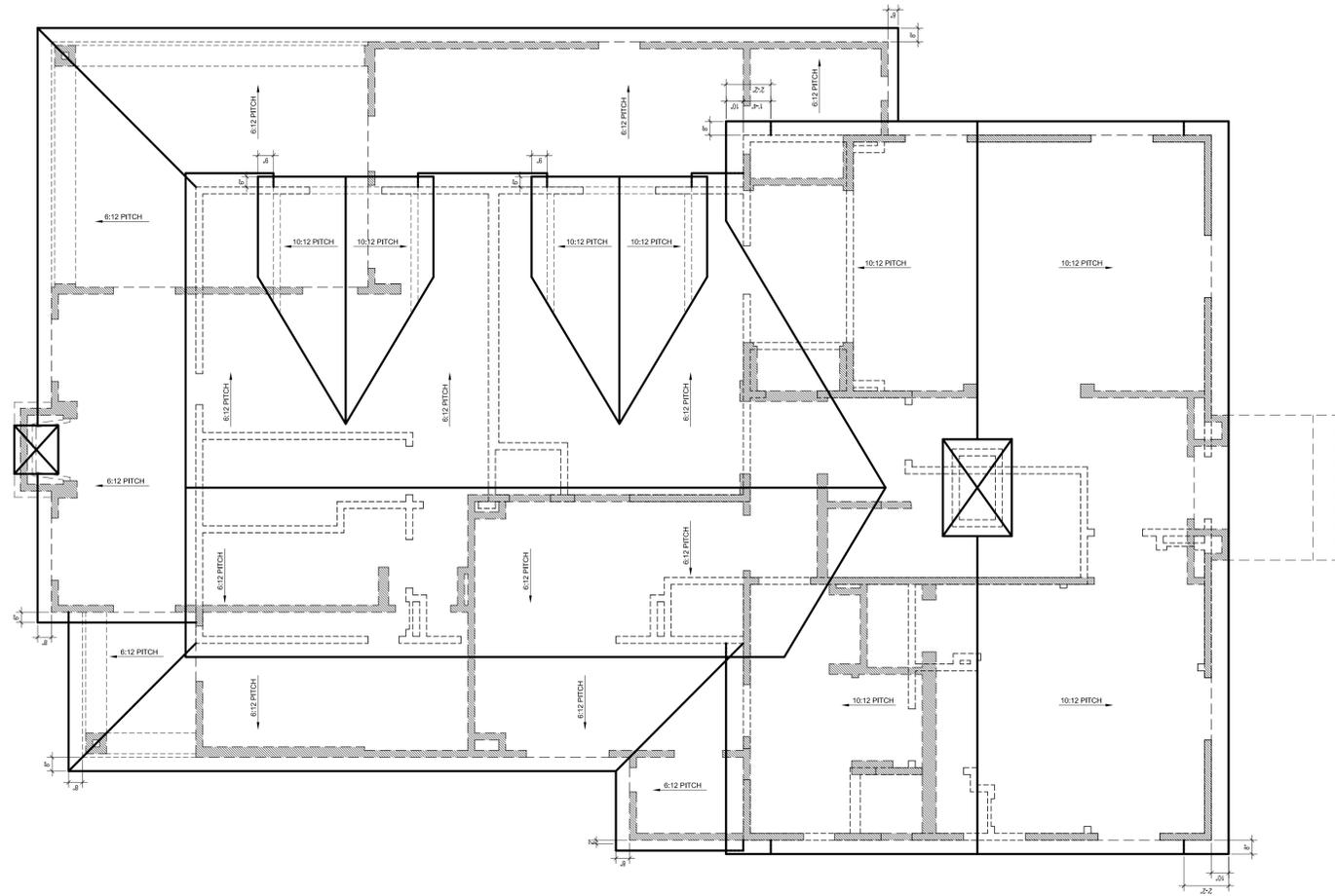
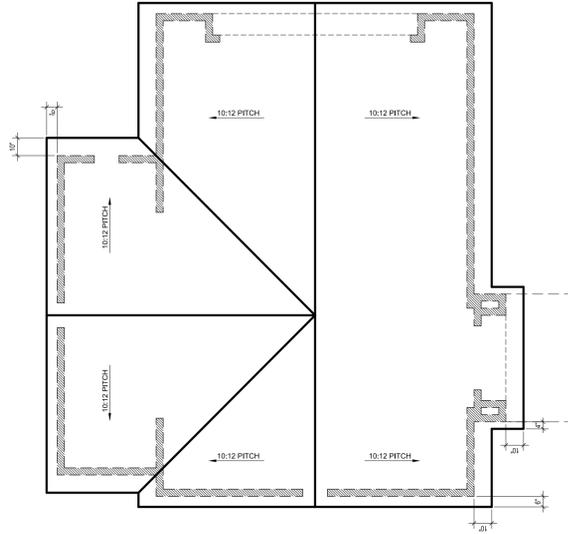
05.31.2013

RESIDENTIAL DESIGN AND COMPATIBILITY STANDARDS SETBACK PLANES (2.6), EXCEPTIONS (E), 30-FOOT SIDE-GABLED ROOF EXCEPTIONS (4.a), REF SOUTH ELEVATION, SHEET A2.2

Epp Residence	
3214 Beverly Road Austin, Texas 78703	
DATE	05.31.2013
DESCRIPTION	ISSUED FOR PERMITTING
REV	
DRAWN BY: CRG	
SHEET TITLE ELEVATIONS	
SHEET A2.1	



GENERAL NOTES  
 1.0 ROOF PITCHES AS NOTED PER PLANS, ELEVATIONS & BUILDING SECTIONS  
 2.0 VERIFY ALL DIMENSIONS AND SPACING WITH ENGINEERS' FINISHING PLAN BEFORE CONSTRUCTION  
 3.0 ALL EXISTING & APPLICABLE CODES TO BE ADHERED TO FOR ALL ROOFING WORK  
 4.0 GENERAL CONTRACTOR TO CHECK PLANS FOR CONFORMITY TO LOCAL BUILDING CODES. CONTACT THE ARCHITECT IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND OR CHANGES ARE NEEDED.



TRUE NORTH  
 PLAN NORTH

ROOF PLAN  
 SCALE: 1/4" = 1'-0"

\*\*NOTE- HATCHED WALLS INDICATE LOWER LEVEL WALLS

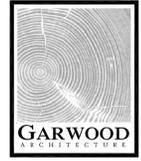
Epp Residence  
 3214 Beverly Road  
 Austin, Texas 78703

REV	DESCRIPTION	DATE
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SHEET TITLE  
 ROOF PLAN

SHEET

A1.3



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Gregory R. Garwood  
 05.31.2013