

CS
1

CITY OF AUSTIN

ROW # 10953429

CASE # 2013-053007 R

TCAD # 0404040808

**APPLICATION TO THE RESIDENTIAL DESIGN
AND COMPATIBILITY COMMISSION (RDCC)**

GENERAL MODIFICATION WAIVER

STREET ADDRESS: 2803 Oak Crest Ave., Austin, TX 78704

LEGAL DESCRIPTION: Subdivision – Oak Ridge Height Sec 3

Lot(s) 25 Block F Outlot _____ Division _____

LAND STATUS DETERMINATION CASE NUMBER (if applicable) _____

I/We Jared Haas on behalf of myself/ourselves as authorized agent for Gil and Michelle Lohr affirm that on June 11th, 2013 hereby apply for a hearing before the Residential Design and Compatibility Commission for modification Section 2.8.1. of up to 25% increase in one or more of the following:

- ☒ X Maximum Floor to area ratio .4 or Gross floor area 2300 sq ft.
____ Maximum Linear feet of Gables protruding from setback plane
____ Maximum Linear feet of Dormers protruding from the setback plane

Waive or modify the side wall articulation requirement of Section 2.7.

____ Side Wall Length Articulation
(Please describe request. Please be brief but thorough).

We are requesting an extra 693 sf of floor space to our FAR to allow for a double-height entry area. This FAR increase will result in an extra 14% added to our allowable 4913 sf FAR. For Construction of a Duplex

in a SF-3 zoning district.

Note: Certificate of Appropriateness: H (Historic) or HD (Historic Designation) – case goes to RDCC first. National Register Historical District (NRHD) Overlay: without H or HD - case goes to Historic Landmark Commission first.

C3/2

**CITY OF AUSTIN
APPLICATION TO THE RESIDENTIAL DESIGN
AND COMPATIBILITY COMMISSION
GENERAL MODIFICATION WAIVER**

REASONABLE USE:

1. The Residential Design and Compatibility Standards Ordinance applicable to the property does not allow for a reasonable use because:

The newly implemented double-height rule (which counts floor area twice for areas greater than 15' in height) will cause our 2-story duplex to be over the allowable FAR.

REQUEST:

2. The request for the modification is unique to the property in that:

The double-height rule was implemented after our architectural designs were complete and under preliminary review by several City of Austin review staff members, but before the building permit was processed. Our demolition, electrical, and water permits were approved and issued before the 15' rule had been implemented. We were ready to submit the architectural plans for permit on May 1st but were told by staff members to hold off until we had full structural drawings completed. The double-height rule was implemented without prior public warning during this time as we submitted the plans on May 22nd.

The double height space is an integral part of our design in that it allows us to create a split-level entry area to easily access the first and second floors for a building that is on a site that slopes at a difference of 12' from front to back.

AREA CHARACTER:

3. The modification will not alter the character of the area adjacent to the property, will not impair the use of adjacent conforming property, and will not impair the purpose of the regulations of the zoning district in which the property is located because:

The 4911 sf building has a very unobtrusive 40' wide street frontage on a 75' wide lot. The character of the house is modern vernacular which blends the styles of the old and new residential local designs. The extra area we are requesting will add 306 sf of double-height entry space to the front unit and 387 sf of double-height entry to the back area. Our structure is within the area character and style. There is a duplex right next to it and there are others in the same area.

C3/3

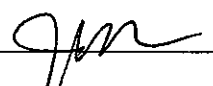
**CITY OF AUSTIN
APPLICATION TO THE RESIDENTIAL DESIGN
AND COMPATIBILITY COMMISSION
GENERAL MODIFICATION WAIVER**

APPLICANT CERTIFICATE – I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Mailing Address 1905 N Lamar Blvd, #101

City, State Austin, TX Zip 78705

Phone 512.277.0945 Printed Name Jared Haas

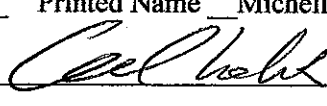
Signature  Date 6.11.2013

OWNER'S CERTIFICATE – I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Mailing Address 3900 Green Mountain Lane, Austin Texas, 78759

City, State Austin, TX Zip 78759

Phone 512-560-5171 Printed Name Michelle Lohr, Gil Lohr

Signature   Date 6.11.2013

C3/4

Residential Design and Compatibility Commission Staff:

Sylvia Benavidez
sylvia.benavidez@ci.austin.tx.us

974-2522 office 974-6536 fax

Watershed Protection and Development Review Department
One Texas Center
505 Barton Springs Road, 2nd Floor

Mailing Address:
P. O. Box 1088
Austin, TX 78767-1088

REVISED 4-2011

03/6

City of Austin Residential Permit Application Residential Review, 2nd floor, One Texas Center 505 Barton Springs, Austin, TX 78704 (512) 974-2747	PR #	BP #
	2013-053607 (PR)	
	Assigned	Due Date
	Revised/Approved	Issued

Project Address: 2803 Oak Crest Ave	Tax Parcel ID:
Legal Description: Lot 25 Block F, Oak Ridge Heights, sec 4	
Zoning: SF3	Lot Size (square feet): 12,282
Neighborhood Plan Area (if applicable):	Historic District (if applicable): n/a
Is this site within the Residential Design and Compatibility Standards Ordinance Boundary Area? Y ☒ N ☐	
Note: Boundaries are defined under Title 25-2 Subchapter F of the Land Development Code.	
Does this site currently have water availability? Y ☐ N ☒ wastewater availability? Y ☒ N ☐	
Note: If no, contact Austin Water Utility to apply for water/wastewater taps and/or service extension request.	
Does this site have a septic system? Y ☐ N ☒ If yes, submit a copy of approved septic permit to construct	
Does this site require a cut or fill in excess of four (4) feet? Y ☐ N ☒ If yes, contact the Development Assistance Center for a Site Plan Exemption.	
Does this site front a paved street? Y ☒ N ☐ Is this site adjacent to a paved alley? Y ☐ N ☒	
Does this site have a Board of Adjustment (BOA) variance? Y ☐ N ☒ Case # n/a (if applicable)	
Does this site have a Residential Design and Compatibility Commission (RDCC) waiver? Y ☐ N ☒	
If yes, provide a copy of decision sheet. Note: A permit cannot be approved within 10 days of approval of a variance from BOA.	
Does the project impact a tree protected by ordinance? This would include canopy and/or critical root zone? Y ☐ N ☒	
Note: If yes, application for a tree permit with the City Arborist may be required.	
Is this site within one hundred-fifty (150) feet of the one hundred (100) year floodplain? Y ☐ N ☒	
Note: Proximity to a floodplain may require additional review time.	

Existing Use: vacant ☒	single-family residential ☐	duplex residential ☐	two-family residential ☐	other ☐
Proposed Use: vacant ☐	single-family residential ☐	duplex residential ☒	two-family residential ☐	other ☐
Project Type: new construction ☒	addition ☐	addition/remodel ☐	remodel/repair ☐	other ☐
# of bedrooms existing: N/A	# of bedrooms proposed: 6	# of baths existing: N/A	# of baths proposed: 5	
Will all or part of an existing exterior wall be removed as part of the project? Y ☐ N ☒				
Note: Removal of all or part of a structure requires a demolition permit.				
Project Description: (Note: Please provide thorough description of project. Attach additional pages as necessary)				
New construction of a duplex, each unit 3BDR, 2.5 BATH.				
Demo:				
SF Res Demo - 2013 - 038619 BP				
Detached Shed - 2013 - 038620 BP				
Trades Permits Required: electric ☒	plumbing ☒	mechanical (HVAC) ☒	concrete (right-of-way) ☒	

NEEDS:
 AAG
 H1AG
 W1AG

TENTS:-

FAR. INFO.

Label common wall. + provide cols.

150 CARPORT/CHANGES EXEMPTIONS - NOT KNOWN

NEEDS FIRE REVIEW

1 LINKED PLAN. D122

CADSWH - PER. or Paymer
 CURR RETURNS.
 BENCHMARK PER.
 FAR LIMIT EXCEEDED BY 15'
 CEILING HIT.
 SHOW TENT LOCATIONS ON
 SITE PLAN.
 WALL HIT @ PL

C3/6

Building Coverage Information Note: Building Coverage means the area of a lot covered by buildings or roofed areas, but excludes ground level paving, landscaping, open recreational facilities, incidental projecting eaves, balconies, and similar features. Pools, ponds, and fountains are not included in this measurement. (LDC 25-1-21) Existing Building Coverage (sq ft): _____ % of lot size: _____ Proposed Building Coverage (sq ft): 4131 % of lot size: 0.336	
Impervious Cover Information Note: Impervious cover is the total horizontal area of covered spaces, paved areas, walkways, and driveways. The term excludes pools, ponds, fountains, and areas with gravel placed over pervious surfaces that are used only for landscaping or by pedestrians. (LDC 25-1-23) Existing Impervious Cover (sq ft): _____ % of lot size: _____ Proposed Impervious Cover (sq ft): 5526 % of lot size: 0.449	
Setbacks Are any existing structures on this site a non-compliant structure based on a yard setback requirement? Y ☐ N ☒ (LDC 25-2-513) Does any structure (or an element of a structure) extend over or beyond a required yard? Y ☐ N ☒ (LDC 25-2-513) Is front yard setback averaging being utilized on this property? (LDC 25-2, Subchapter F, Sec. 2.3) Y ☐ N ☒	
Height Information (LDC 25-1-21 or 25-2 Subchapter F, Section 3.4) Parking (LDC 25-6 Appendix A & 25-6-478) Building Height: 25.6 ft Number of Floors: 2 # of spaces required: 5 # of spaces provided: 5	
Right-of-Way Information Is a sidewalk required for the proposed construction? (LDC-6-353) Y ☒ N ☐ *Sidewalks are to be installed on any new construction of a single family, two-family or duplex residential structure and any addition to an existing building that increases the building's gross floor area by 50 % or more. Will a Type I driveway approach be installed, relocated, removed or repaired as part of this project? Y ☒ N ☐ Width of approach (measured at property line): 12 ft. Distance from intersection (for corner lots only): n/a ft. Are storm sewer inlets located along the property or within ten (10) feet of the boundaries of the property? Y ☐ N ☒	

map 5131.2

map 5526.9

- 6 spaces req. if 4th

15 - DUPLEX.

Job Valuation		
Total Job Valuation: \$ 300,000 Note: The total job valuation should be the sum total of all valuations noted to the right. Labor and materials only, rounded to nearest dollar. Permit fees are based on adopted fee schedule.	Portion of Total Job Valuation Dedicated to Addition/New Construction: \$ 300,000 Primary Structure: \$ _____ Accessory Structure: \$ _____	Portion of Total Job Valuation Dedicated to Remodel/Repair: \$ _____ Bldg: \$ 225,000 Elec: \$ 25,000 Plmbg: \$ 25,000 Mech: \$ 25,000

C3
1

Area Description Note: Provide a separate calculation for each distinct area. Attach additional sheets as necessary. Measurements are to the outside surface of the exterior wall.	Building and Site Area		
	Existing Sq Ft	New/Added Sq Ft	Total Sq Ft
1st floor conditioned area		2846	
2nd floor conditioned area		1626	
3rd floor conditioned area		0	
Basement			
Covered Parking (garage or carport) A.H. GAR - 6224 A.H. Carport 4674		1089	
Covered Patio, Deck or Porch		196	
Balcony			
Other			
Total Building Coverage		4912.8	
Driveway		933	
Sidewalks / STEPS		29	
Uncovered Patio		414	
Uncovered Wood Deck (counts at 50%)			
AC pads		18	
Other (Pool Coping, Retaining Walls)			
Total Site Coverage		5525.9	
Pool			
Spa			

mf
4090
4912.8
4590
5525.9

Gross Floor Area This section is only required for projects located within the Residential Design and Compatibility Standards Ordinance Boundaries as defined and illustrated in Title 25-2 Subchapter F of the Land Development Code. The Gross Floor Area of each floor is measured as the area contained within the outside edge of the exterior walls.

	Existing	New	Exemption	Total
1st Floor		2846		
2nd Floor		1626		
3rd Floor				
Basement				
Attic				
Garage (attached)		622	200'	422
(detached)				
Carport (attached)		467	450	267
(detached)				
Accessory building(s)				
(detached)				

Dvd.

2013 0425-105

Effect 5-6-13

Ceiling height greater than 15' count twice (443^{ft})

TOTAL GROSS FLOOR AREA 5604

(Total Gross Floor Area /lot size) x 100 = 46 Floor-To-Area Ratio (FAR)

- Is this project claiming a "parking area" exemption as described under Article 3? Y ☐ N ☒
- Is this project claiming a "ground floor porch" exemption as described under Article 3? Y ☐ N ☒
- Is this project claiming a "basement" exemption as described under Article 3? Y ☐ N ☒
- Is this project claiming a "habitable attic" exemption as described under Article 3? Y ☐ N ☒
- Is a sidewall articulation required for this project? Y ☐ N ☒
- Does any portion of the structure extend beyond a setback plane? Y ☐ N ☒

May-
4912.8

Parking Area exemption: Up to 450 square feet of a parking area may be deducted if it is a detached rear parking area that is separated from the principal structure by not less than 10 feet; or attached by a covered breezeway that is completely open on all sides, with a walkway not exceeding 6 feet in width and a roof not exceeding 8 feet in width; or a parking area that is open on two or more sides, if: it does not have habitable space above it; and the open sides are clear and unobstructed for at least 80% of the area measured below the top of the wall plate to the finished floor of the carport. Up to 200 square feet may be deducted if it is an attached parking area used to meet the minimum parking requirement; or a garage that is less than 10 feet from the rear of the principal structure, provided that the garage is either detached from the principal structure; or attached by a covered breezeway that is completely open on all sides, with a walkway not exceeding 6 feet in width and a roof not exceeding 8 feet in width. An applicant may receive only one 450-square foot exemption per site under Article 3. An applicant who receives a 450-square foot exemption may receive an additional 200-foot exemption for the same site under Article 3, but only for an attached parking area used to meet minimum parking requirements.

Ground Floor Porch exemption: A ground floor porch, including a screened porch, may be exempted, provided that the porch is not accessible by automobile and is not connected to a driveway; and the exemption may not exceed 200 square feet if a porch has habitable space or a balcony above it.

Basement exemption: A habitable portion of a building that is below grade may be exempted if the habitable portion does not extend beyond the first-story footprint and is below natural or finished grade, whichever is lower; and it is surrounded by natural grade for at least 50% of its perimeter wall area and the finished floor of the first story is not more than three feet above the average elevation at the intersections of the minimum front yard setback line and the side property lines.

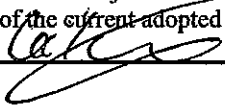
Habitable Attic exemption: A habitable portion of an attic may be exempted if: 1. The roof above it is not a flat or mansard roof and has a slope of 3 to 12 or greater; 2. It

C3/a

Owner	Gil and Michelle Lohr	Applicant or Agent	Gil Lohr
Mailing Address	3900 Greenmountain Lane ,Aus,TX,78759	Mailing Address	3900 Greenmountain Lane ,Aus,TX,78759
Phone	512-653-0553	Phone	512-653-0553
Email	MGILBOA1@AUSTIN.RR.COM	Email	MGILBOA1@AUSTIN.RR.COM
Fax		Fax	
General Contractor	GNM LOHR HOMES	Design Professional	jared Haas
Mailing Address	3900 Greenmountain Lane, Aus,TX,78759	Mailing Address	1905 N Lamar Blvd. #101 Austin, TX 78705
Phone	512-653-0553	Phone	512.277.0945
Email	GIL@GNMLOHRHOMES.COM	Email	www.un-boxstudio.com
Fax		Fax	

Acknowledgments

Is this site registered as the owner's homestead for the current tax year with the appraisal district? Y ☐ N ☒

I understand that in accordance with Sections 25-1-411 and 25-11-66 of the Land Development Code (LDC), non-compliance with the LDC may be cause for the Building Official to suspend or revoke a permit and/or license. I understand that I am responsible for complying with any subdivision notes, deed restrictions, restrictive covenants and/or zoning conditional overlays prohibiting certain uses and/or requiring certain development restrictions (i.e., height, access, screening, etc.) on this property. If a conflict should result with any of these restrictions, it will be my responsibility to resolve it. I understand that, if requested, I must provide copies of all subdivision plat notes, deed restrictions, restrictive covenants, and/or zoning conditional overlay information that may apply to this property. I acknowledge that this project qualifies for the Site Plan Exemption as listed in Section 25-5-2 of the LDC. I understand that nothing may be built upon or over an easement. I further understand that no portion of any roof structure may overhang in any public utility or drainage easement. I acknowledge that customer will bear the expense of any necessary relocation of existing utilities to clear this driveway location and/or the cost to repair any damage to existing utilities caused during construction. I agree that this application will expire on the 181st day after the date that the application is filed if the application is not approved and an extension is not granted. If the application expires, a new submittal will be required and compliance with current code may be required. I hereby certify that to the best of my knowledge and ability, the information provided in this application is complete and accurate. I further acknowledge that, should any information contained herein prove incorrect, the building official may suspend or revoke any resulting permit and/or license. I also understand that if there are any trees greater than 19 inches in diameter located on the property and immediately adjacent to the proposed construction, I am to schedule a Tree Ordinance review by contacting (512) 974-1876 and receive approval to proceed. Tree protection is required per Section 25-8-603. Erosion and Sedimentation Controls are required per Section 25-8-181. I acknowledge that a sidewalk will be required on any new construction of a single family, two-family or duplex residential structure and any addition to an existing building that increases the building's gross floor area by 50 % or more. I acknowledge if my plans are subject to a technical review it will not be construed to be a permit for, or an approval of any violation of any of the provisions of the current adopted building codes or another ordinance of the City of Austin. Applicant's signature:  Date: 4/14/2013



Austin Water Utility
Water & Wastewater Service Plan Verification
(W&WW SPV)

C3
10

PLEASE READ IMPORTANT INSTRUCTIONS ON PAGE 2

(Please Print or Type)

Customer Name: W. Lohr Phone: 512-653-0553 Alternate Phone: _____

Service Address: 2803 OAK CREST

Lot: 25 Block: A Subdivision/Land Status: Oak Ridge Heights Tax Parcel ID No.: _____

Existing Use: vacant _____ single-family res. _____ duplex _____ garage apartment _____ other _____
(Circle one)

Proposed Use: vacant _____ single-family res. (duplex) garage apartment _____ other _____
(Circle one)

Number of existing bathrooms: _____ Number of proposed bathrooms: 5

Use of a pressurized auxiliary water system (i.e. rainwater harvesting, well water, lake/river water, etc.) Yes _____ No _____

City of Austin Office Use

Water Main size: 2" Service stub size: 3/4" Service stub upgrade required? Yes New stub size: _____

Existing Meter number: 136926 Existing Meter size: 5/8" Upgrade required? Yes New size: (2) 5/8"

WW Service: Septic System/On-Site Sewage Facility (OSSF) _____ or WW Collection System _____ WW Main size: _____

If a pressurized auxiliary water system is or will be installed, please contact the Utility's Special Services Division (SSD) at 972-1060, 3907 South Industrial Blvd., Suite 100 for consultation and approval.

Auxiliary Water (if applicable) Approved by SSD (Signature & Print name) _____ Date _____ Phone _____

Approved: ☐ Yes (see attached approved documents) ☐ No

If the site has an OSSF, please contact Utility Development Services (UDS) at 972-0210 or 972-0211, Waller Creek Center, 625 E. 10th Street, Suite 715 for consultation and approval.

W&WWSPV Completed by (Signature & Print name) _____ Date _____ Phone _____

SSD (if applicable) Approved by UDS (Signature & Print name) _____ Date _____ Phone _____

WU Representative _____ Date 5/22/13 Phone 972 0003

Approved: ☐ Yes (see attached approved documents) ☐ No

NOTE: For residential plan review, this original stamped "approval" must be submitted with the stamped "original" floor plan.

Verification expires 180 days after date of Submittal

PLEASE READ IMPORTANT INSTRUCTIONS ON PAGE 2

REVIEWED

MAY 22 2013

Abandon no existing sewer → re-lap with 2 5/8"

C3
11

One Stop Shop
505 Barton Springs Rd
(512) 974-2632 – phone
(512) 974-9112 – phone
(512) 974-9109 – fax
(512) 974-9779 – fax

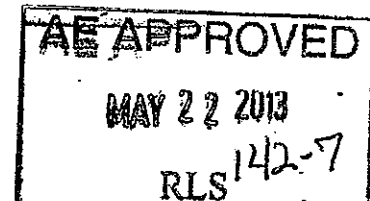


Austin Energy
Building Service Planning Application (BSPA)

*This form to be used for review of Building Permit only
For use in One Stop Shop Only*

Responsible Person for Service Request		Al Lohr	
Email	mgilhoat@austhrr.com	Fax	
Phone		512-653-0553	
☒ Residential	☐ Commercial	☐ New Construction	☐ Remodeling
Project Address		2803 Oak Chest Ave. OR	
Legal Description		Lot 25 Oak Ridge Heights Lot 25 Block F	
Who is your electrical provider?		☒ AE ☐ Other	
☒ Overhead Service	☒ Underground Service	☒ Single-phase (1Ø)	☐ Three-phase (3Ø)
Location of meter		LF	
Number of existing meters on gutter (show all existing meters on riser diagram)			
Expired permit #			
Comments New duplex			
All structures etc. must maintain 7'5" clearance from AE energized power lines. Enforced by AE & NESC codes.			
BSPA Completed by (Signature & Print Name)		Date	Phone
Approved ☒ Yes ☐ No			
AE Representative		Date	Phone

Application expires 180 days after the date of approval
(Any change to the above information requires a new BSPA)



C3
12

ORDINANCE NO. 20130425-105

**AN ORDINANCE AMENDING CITY CODE CHAPTER 25-2, SUBCHAPTER F
RELATING TO RESIDENTIAL DESIGN AND COMPATABILITY.**

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF AUSTIN:

PART 1. Section 3.3 (*Gross Floor Area*) of City Code Chapter 25-2, Subchapter F is amended to add a new Subsection 3.3.5 to read as follows:

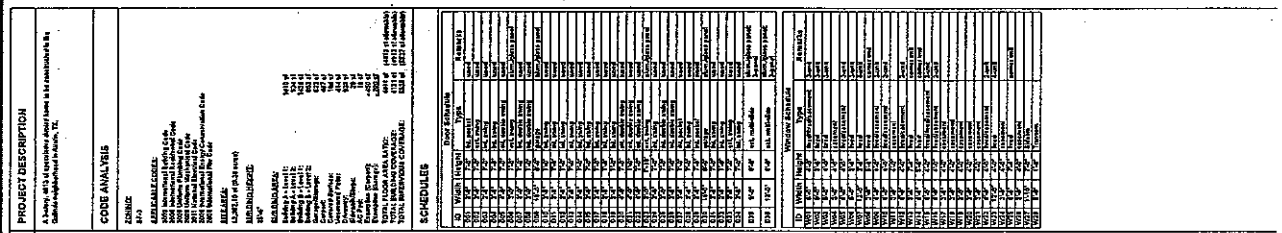
3.3.5 An area with a ceiling height greater than 15 feet is counted twice.

PART 2. This ordinance takes effect on May 6, 2013.

PASSED AND APPROVED

_____, April 25, 2013 §
 § Lee Leffingwell
 § Lee Leffingwell
 Mayor

APPROVED: Karen M. Kennard **ATTEST:** Jannette S. Goodall
 Karen M. Kennard Jannette S. Goodall
 City Attorney City Clerk

[illegible]

Long Section

2803 OAK CREST

SCHEMATIC DESIGN SET

WEST ELEVATION

WEST ELEVATION

WEST ELEVATION

WEST ELEVATION

WEST ELEVATION

WEST ELEVATION

WEST ELEVATION

WEST ELEVATION

WEST ELEVATION

WEST ELEVATION

WEST ELEVATION

WEST ELEVATION

WEST ELEVATION

WEST ELEVATION

WEST ELEVATION

WEST ELEVATION

WEST ELEVATION

WEST ELEVATION

WEST ELEVATION

WEST ELEVATION

WEST ELEVATION

WEST ELEVATION

A2.3

Exterior Elevations

CS
15/11

2803 OAK CREST

SCHEMATIC DESIGN SET

DATE: 08/01/2013

BY: [Signature]

DATE: 08/01/2013

BY: [Signature]

DATE: 08/01/2013

BY: [Signature]

DATE: 08/01/2013

BY: [Signature]

DATE: 08/01/2013

BY: [Signature]

DATE: 08/01/2013

BY: [Signature]

DATE: 08/01/2013

BY: [Signature]

DATE: 08/01/2013

BY: [Signature]

DATE: 08/01/2013

BY: [Signature]

DATE: 08/01/2013

BY: [Signature]

DATE: 08/01/2013

BY: [Signature]

DATE: 08/01/2013

BY: [Signature]

DATE: 08/01/2013

BY: [Signature]

DATE: 08/01/2013

BY: [Signature]

DATE: 08/01/2013

BY: [Signature]

DATE: 08/01/2013

BY: [Signature]

DATE: 08/01/2013

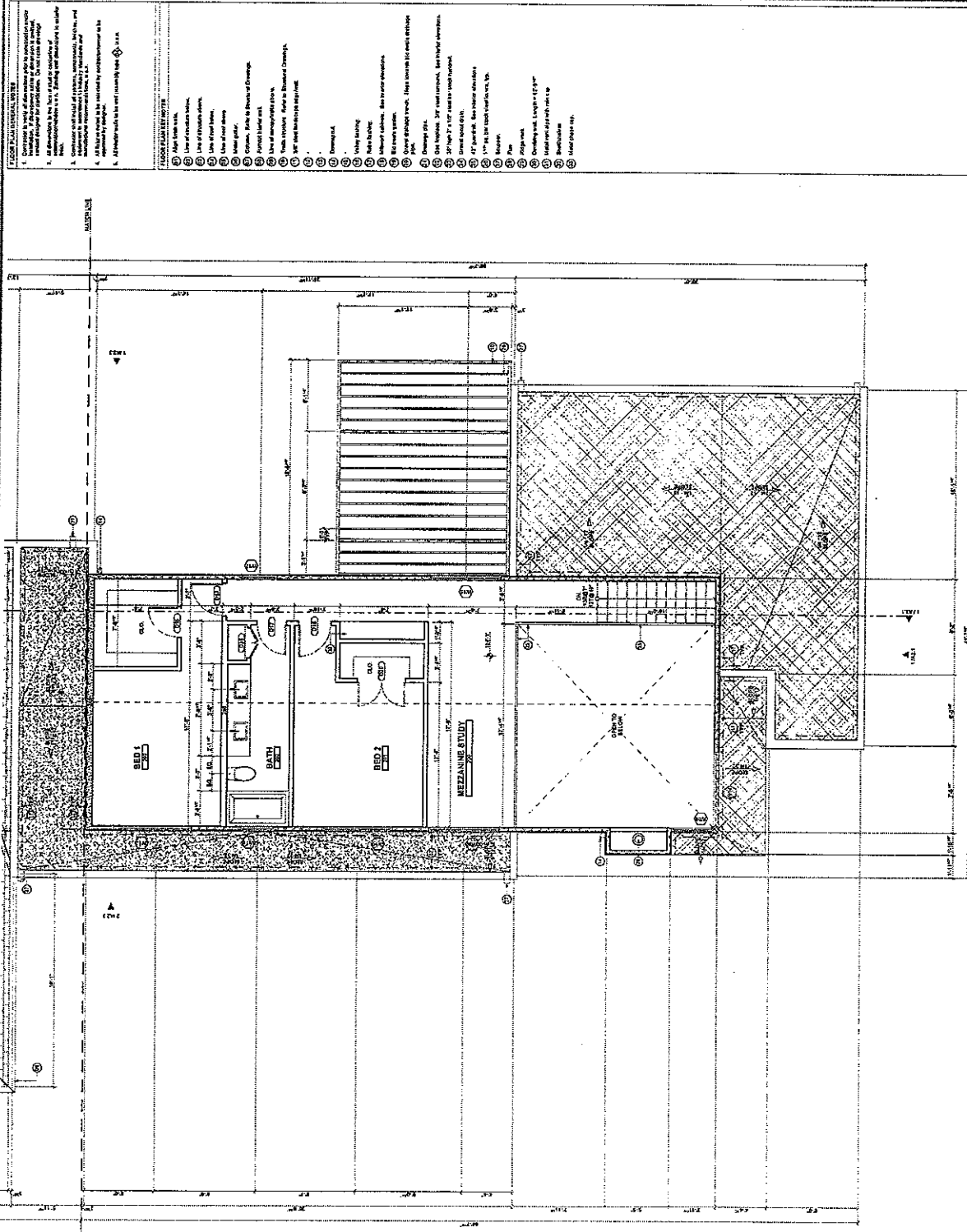
BY: [Signature]

Second Floor Plan - Unit A

A1.3

Sheet 1 of 1

21/03



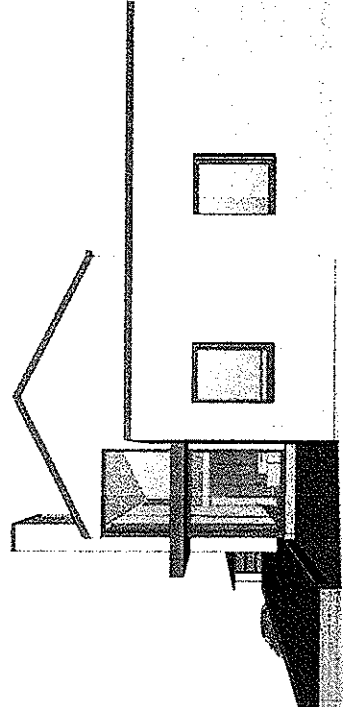
FISH PAPER/ROOF LEAKING	
	Concrete
	Asphalt shingles
	Shingles or asphalt shingles
	Decorative Gravel

RDCC GENERAL MODIFICATION WAIVER



Address: 2803 Oak Crest Ave., Austin, TX 78704
Legal Description: Lot 25 Block F Oak Ridge Heights Sec 3
Owner: GnM Lohr Homes | Gil and Michelle Lohr
Designer: un.box studio, LLC | Jared Haas

Case #: XXXX



C3
24

TCAD RECORD

6/11/13 Travis CAD - Property Details

Travis CAD

Property Search Results > 305713 2803 OCA PROPERTIES LLC for Year 2013

Property

Account: 305713
 Property ID: 0404040808
 Geographic ID: Real
 Property Use Code: 011
 Property Use Description: 25
 Location: 57
 Address: 2803 OAK CREST AVE
 City: TX 78704
 Map ID: 614U
 Map ID: 040708
 Neighborhood: DISTRICT 2 SCHOOLS
 Neighborhood ID: K2000
 Owner: 2803 OCA PROPERTIES LLC
 Owner ID: 1562280
 Mailing Address: % STEPHEN A MITCHELL
 4408 SPRINGWOOD SPRINGS RD
 AUSTIN, TX 78769
 Legal Description: LOT 26 BLK F OAK RIDGE HEIGHTS SEC 3
 Agent Code: 100.00000000000000%

Values

(+) Improvement Homestead Value: 584,301
 (+) Improvement Non-Homestead Value: \$0
 (+) Land Homestead Value: \$190,000
 (+) Land Non-Homestead Value: \$0
 (+) Agricultural Market Valuation: \$0
 (+) Timber Market Valuation: \$0
 (+) Market Value: \$274,301
 (+) Ag or Timber Use Value Reduction: \$0
 (+) Appraised Value: \$274,301
 (+) HS Cap: \$0
 (+) Assessed Value: \$274,301

Taxing Jurisdiction

Owner: 2803 OCA PROPERTIES LLC
 % Ownership: 100.00000000000000%
 Total Value: \$274,301

Entity Description	Tax Rate	Appraised Value	Taxable Value	Estimated Tax
01 AUSTIN/ISD	1.242000	\$274,301	\$274,301	\$3,405.82
02 CITY OF AUSTIN	0.502900	\$274,301	\$274,301	\$1,379.46
03 TRAVIS COUNTY	0.500100	\$274,301	\$274,301	\$1,371.78
04 TRAVIS COUNTY APP DIST	0.000000	\$274,301	\$274,301	\$3.00
2J TRAVIS COUNTY HEALTHCARE DISTRICT	0.078946	\$274,301	\$274,301	\$218.55

propaccess.traviscountytx.gov/property.aspx?prop_id=305713

6/11/13

Travis CAD - Property Details

08 AUSTIN COMM COLL DIST

Total Tax Rate: 2.418046

\$274,301

\$274,301

\$280.86

\$6,635.47

\$6,635.47

Improvement / Building

Improvement #: 1 FAM DWELLING
 State Code: A1
 Living Area: 1301.0 sqft
 Value: \$84,301
 Class CO: WW - 4
 Exterior Wall: 1953
 Year Built: 1953
 SQFT: 1301.0
 Description: 011
 PORCH CREN 1ST F
 25
 BATHROOM
 57
 STORAGE DET
 513
 DECK COVERED
 630
 PORCH CLOS PIN

Land

Type Description Acres Sqft
 1 LAND 0.2879 12540.45
 Eff Front 0.00
 Eff Depth 0.00
 Market Value \$190,000
 Prod Value \$0

Roll Value History

Year	Improvements	Land Market	Ag Valuation	Appraised	HS Cap	Assessed
2013	\$84,301	\$190,000	\$0	\$274,301	\$0	\$274,301
2012	\$87,645	\$190,000	\$0	\$277,645	\$0	\$277,645
2011	\$87,645	\$175,000	\$0	\$262,645	\$0	\$262,645
2010	\$104,366	\$175,000	\$0	\$279,366	\$23,922	\$255,444
2009	\$104,366	\$175,000	\$0	\$279,366	\$47,144	\$232,222
2008	\$125,701	\$100,000	\$0	\$225,701	\$14,590	\$211,111

Deed History - (Last 3 Deed Transactions)

#	Deed Date	Type	Description	Grantor	Grantee	Volume	Page	Deed Number
1	2/7/2013	WD	WARRANTY DEED	EDELMANLES	2803 OCA PROPERTIES LLC	2013024880TR		
2	9/21/2012	WD	WARRANTY DEED	VERIYACHANTA CHINTANA	EDELMANLES	2012180147TR		
3	9/21/2012	WD	WARRANTY DEED	VERIYACHANTA CHINTANA	EDELMANLES	2012161274TR		

Questions Please Call (512) 834-9317

Website version: 1.2.2.3

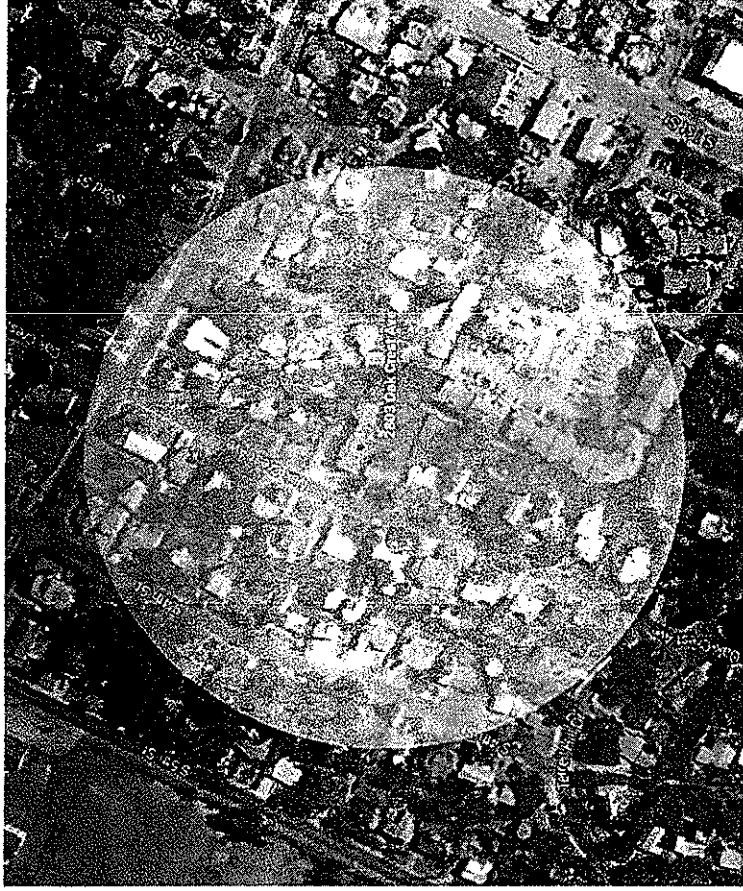
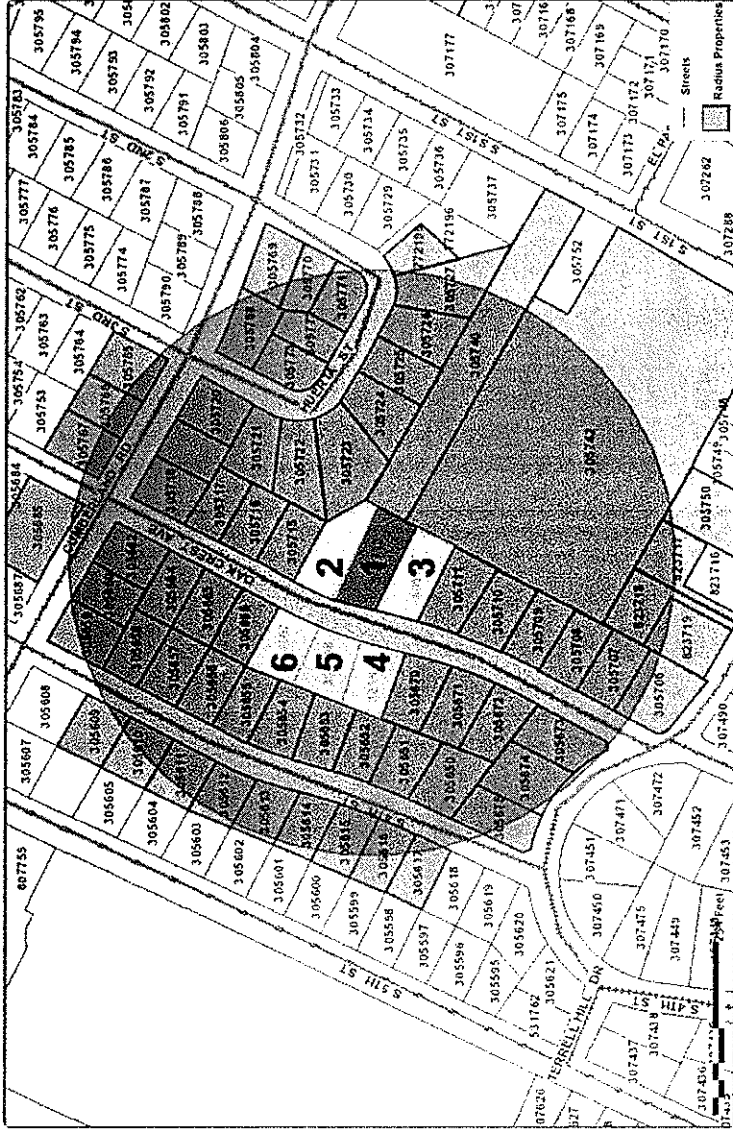
Database last updated on: 6/10/2013 3:57 AM

© 2013 True Automation, Inc. All Rights Reserved. Privacy Notice

This site only supports Internet Explorer 6+, Netscape 7+ and Firefox 1.5+.

25/11/13

PROPERTY 500' RADIUS



NEIGHBORING PROPERTIES:



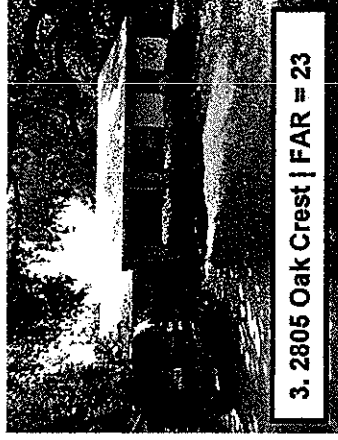
1. 2803 Oak Crest | FAR = 10



2. 2801A Oak Crest | FAR = 38



2. 2801B Oak Crest | FAR = 36



3. 2805 Oak Crest | FAR = 23



4. 2804 Oak Crest | FAR = 15



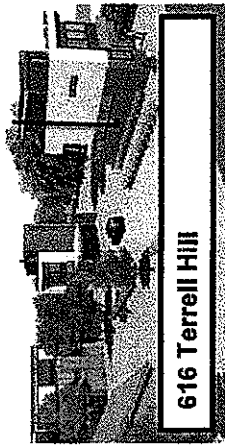
5. 2802 Oak Crest | FAR = 13



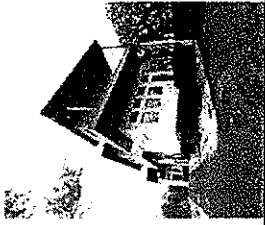
6. 2800 Oak Crest | FAR = 13

C3
26

OTHER PRECEDENT NEARBY PROPERTIES



616 Terrell Hill



606 B Peacock

3
27

PROPERTIES WITHIN 500' RADIUS

ID	ADDRESS	OWNER	VALUE	LAND	HVAC	GARAGE	STORAGE	OTHER	TOTAL	FAR	FAR > 40%
305609	2702 S 4 ST TX 78704	HOLDER ROBERT B	\$244,263	8,032 sf	1,248 sf	- sf	- sf	- sf	- sf	15%	
305610	2706 S 4 ST TX 78704	DIETRICH WILLIAM E	\$277,260	7,785 sf	2,124 sf	sf	sf	sf	sf	27%	
305611	2708 S 4 ST TX 78704	THOMPSON SARAH ANNE	\$245,079	7,491 sf	912 sf	sf	sf	sf	sf	12%	
305612	2800 S 4 ST TX 78704	GARCIA BERTHA	\$239,481	6,852 sf	936 sf	sf	sf	sf	sf	14%	
305613	2802 S 4 ST TX 78704	GOLDBERG ANDREW S &	\$253,454	7,120 sf	1,024 sf	sf	sf	sf	sf	14%	
305614	2804 S 4 ST TX 78704	BAHM JEROLYN A	\$190,000	7,186 sf	0 sf	sf	sf	sf	sf	22%	
305615	2806 S 4 ST TX 78704	SAID ADIL & IRMA	\$318,394	7,773 sf	1,672 sf	sf	sf	sf	sf	22%	
305616	2808 S 4 ST TX 78704	FUQUA SHIRL RENEE	\$293,015	7,384 sf	1,134 sf	sf	sf	sf	sf	15%	
305617	2902 S 4 ST TX 78704	CHANEY ELAINE M	\$299,049	7,237 sf	1,201 sf	sf	sf	sf	sf	17%	
305650	2903 S 4 ST TX 78704	BALLEW JACK	\$376,421	9,642 sf	2,702 sf	sf	sf	sf	sf	28%	
305651	2901 S 4 ST TX 78704	TIERNY CAMERON S	\$349,293	8,443 sf	2,170 sf	sf	sf	sf	sf	26%	
305652	2907 S 4 ST TX 78704	FISHER MARK	\$292,823	7,528 sf	1,112 sf	sf	sf	sf	sf	15%	
305653	2805 S 4 ST TX 78704	GOLDSMITH CLAIR	\$594,350	8,368 sf	2,363 sf	sf	sf	sf	sf	28%	
305654	2803 S 4 ST TX 78704	SCHULMAN DANIEL	\$232,856	8,543 sf	716 sf	sf	sf	sf	sf	8%	
305655	2801 S 4 ST TX 78704	SMOTHERS MICHAEL W &	\$342,661	7,577 sf	1,775 sf	sf	sf	sf	sf	23%	
305656	2709 S 4 ST TX 78704	FUSTES BRANSON J & CARSON A	\$243,348	7,799 sf	940 sf	sf	sf	sf	sf	12%	
305657	2707 S 4 ST TX 78704	CONSTANZO DAVID A	\$271,001	8,227 sf	1,185 sf	sf	sf	sf	sf	14%	
305658	2705 S 4 ST TX 78704	RAMIREZ MARY LUPE ET AL	\$285,205	7,572 sf	1,113 sf	sf	sf	sf	sf	15%	
305659	2703 S 4 ST TX 78704	CROW JENNIFER A	\$252,299	8,094 sf	1,901 sf	sf	sf	sf	sf	23%	
305660	809 CUMBERLAND RD TX 78704	FICKER DESIREE	\$248,059	7,146 sf	885 sf	sf	sf	sf	sf	13%	
305662	807 CUMBERLAND RD TX 78704	PINA ROLAND	\$242,454	7,846 sf	2,700 sf	sf	sf	sf	sf	34%	
305664	2702 OAK CREST AVE TX 78704	PINA ROLAND	\$290,980	sf	sf	sf	sf	sf	sf		
305665	2706 OAK CREST AVE TX 78704	FIREY BROOK M &	\$264,385	7,983 sf	1,512 sf	sf	sf	sf	sf	19%	
305666	2708 OAK CREST AVE TX 78704	WHISTLE PROPERTIES LLC	\$237,801	7,818 sf	748 sf	sf	sf	sf	sf	10%	
305667	2800 OAK CREST AVE TX 78704	CULLINANE MARY CATHRYN	\$249,574	8,724 sf	1,170 sf	sf	sf	sf	sf	13%	
305668	2802 OAK CREST AVE TX 78704	HANSEN DORA M TRUSTEE	\$246,574	8,693 sf	1,160 sf	sf	sf	sf	sf	13%	
305669	2804 OAK CREST AVE TX 78704	DICK PETER & MAUREEN P SCOLLAN	\$279,958	8,411 sf	1,244 sf	sf	sf	sf	sf	15%	
305670	2806 OAK CREST AVE TX 78704	BACAK CHRISTINA GUERRA &	\$296,439	9,104 sf	1,657 sf	sf	sf	sf	sf	18%	
305671	2900 OAK CREST AVE TX 78704	PETRI JULIE DYANNE	\$303,950	9,461 sf	1,513 sf	sf	sf	sf	sf	16%	
305672	2902 OAK CREST AVE TX 78704	CAYNESS DENISE TRUSTEE	\$275,583	8,732 sf	1,192 sf	sf	sf	sf	sf	14%	
305673	800 TERRELL HILL DR TX 78704	GARCIA ALFREDO JR	\$286,425	9,287 sf	1,874 sf	sf	sf	sf	sf	20%	
305674	802 TERRELL HILL DR TX 78704	MENDEZ BERTHA C	\$513,659	10,429 sf	2,619 sf	sf	sf	sf	sf	25%	
305675	2905 S 4 ST TX 78704	CANTU LUPE ESTRADA	\$286,451	9,100 sf	1,524 sf	sf	sf	sf	sf	17%	
305685	2630 OAK CREST AVE TX 78704	CLARK PRESTON & MARY FAMILY TR	\$370,149	15,051 sf	1,992 sf	sf	sf	sf	sf	13%	
305706	2909 OAK CREST AVE TX 78704	THOMPSON GREGORY & VERNAN	\$245,239	12,070 sf	1,520 sf	sf	sf	sf	sf	13%	
305707	2907 OAK CREST AVE TX 78704	WILLIAMS JOHN	\$288,620	8,399 sf	1,221 sf	sf	sf	sf	sf	15%	
305708	2905 OAK CREST AVE TX 78704	BUTERBAUGH PHILLIP & C KELLEY	\$329,734	8,399 sf	1,940 sf	sf	sf	sf	sf	23%	
305709	2903 OAK CREST AVE TX 78704	HANCOCK CONNI RUTH	\$357,013	8,498 sf	1,890 sf	sf	sf	sf	sf	22%	

C3
28

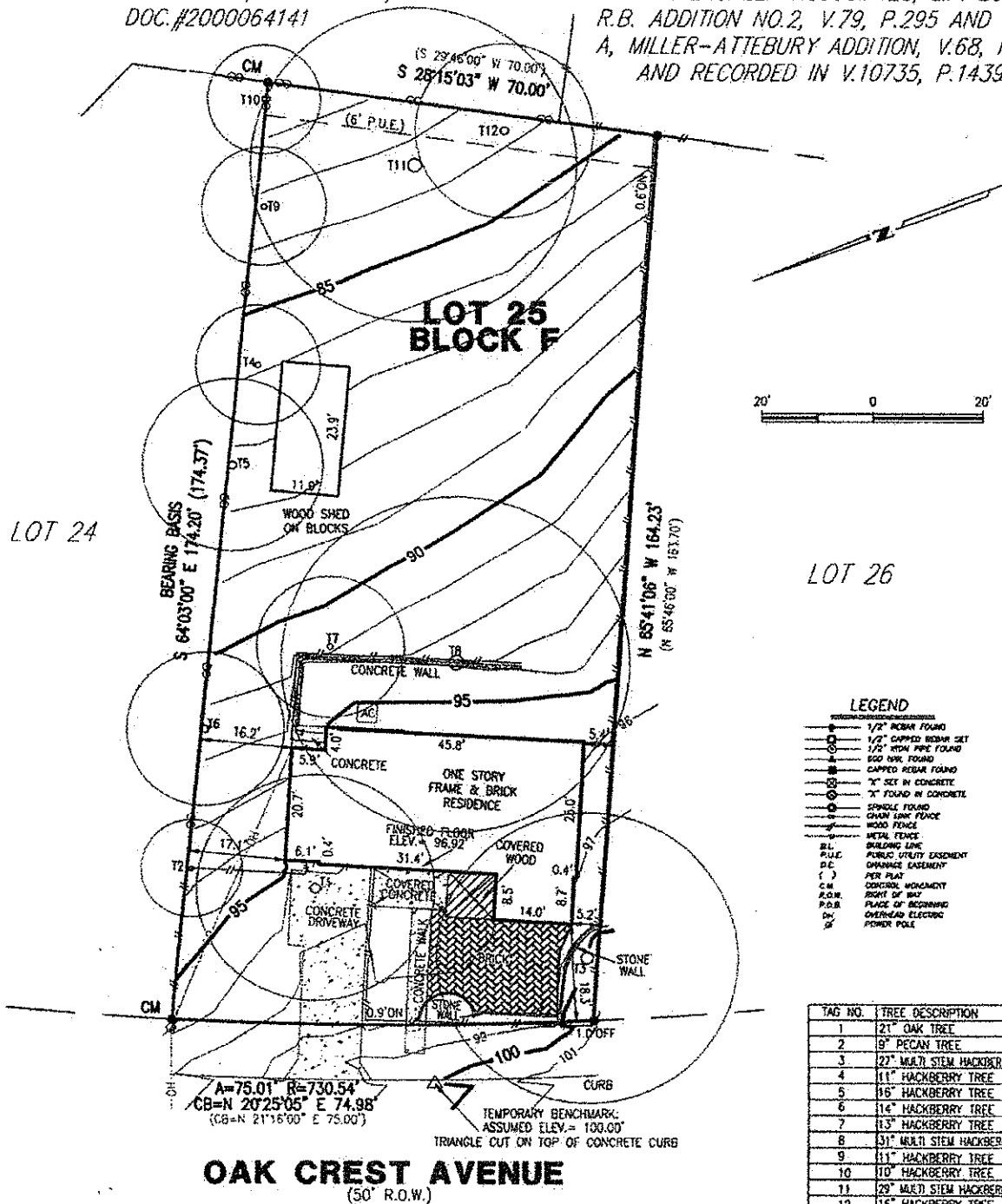
305710	2901 OAK CREST AVE TX 78704	JOHNSON NINA & DAVID GILLES	\$293,643	9,714 sf	1,944 sf	sf	sf	sf	sf	20%	
305711	2807 OAK CREST AVE TX 78704	SMITH CLINTON W & MARGARET HEN	\$253,604	10,348 sf	864 sf	sf	sf	sf	sf	8%	
305712	2805 OAK CREST AVE TX 78704	CANO JESUS Z & ANITA Q	\$256,255	10,843 sf	1,062 sf	sf	sf	sf	sf	10%	
305713	2803 OAK CREST AVE TX 78704	STEPHEN A MITCHELL 2803 OCA PROPERTIES LLC	\$274,301	sf	sf	sf	sf	sf	sf		
305715	2709 OAK CREST AVE TX 78704	LING SEJA RACHAEL & KALILA B	\$293,635	8,021 sf	1,780 sf	sf	sf	sf	sf	22%	
305716	2707 OAK CREST AVE TX 78704	ARNOLD TYLER G	\$306,689	8,024 sf	1,493 sf	sf	sf	sf	sf	19%	
305717	2705 OAK CREST AVE TX 78704	BARKLEY CHRISTOPHER B	\$232,069	7,198 sf	876 sf	sf	sf	sf	sf	12%	
305718	805 CUMBERLAND RD TX 78704	BILLIG JAY T	\$392,630	8,024 sf	3,283 sf	sf	sf	sf	sf	41%	
305720	801 CUMBERLAND RD TX 78704	BOLDUC HANNAH F & EDWARD P MCKENNA	\$249,183	8,232 sf	832 sf	sf	sf	sf	sf	10%	
305721	2704 S 3 ST TX 78704	HUERTA DOLORES & MICHAEL	\$322,849	8,805 sf	1,720 sf	sf	sf	sf	sf	20%	
305722	2706 S 3 ST TX 78704	KUGLER HEIDI M	\$272,873	10,749 sf	1,357 sf	sf	sf	sf	sf	13%	
305723	709 HUERTA ST TX 78704	TICE HENRY B & LENORE TICE	\$283,221	15,051 sf	1,160 sf	sf	sf	sf	sf	8%	
305724	707 HUERTA ST TX 78704	HOWE PEGGY L	\$234,321	10,205 sf	1,310 sf	sf	sf	sf	sf	13%	
305725	705 HUERTA ST TX 78704	HUERTA MARGARITO C & MARY C	\$301,701	8,372 sf	2,283 sf	sf	sf	sf	sf	27%	
305726	703 HUERTA ST TX 78704	DELEON ESCOLASTICA	\$286,344	9,541 sf	1,264 sf	sf	sf	sf	sf	13%	
305727	701 HUERTA ST TX 78704	MAHONEY MARGARET J	\$280,981	sf	sf	sf	sf	sf	sf	13%	
305740	2804 S 1 ST TX 78704	CABANIUC MICHAEL (dba AUTO CARE & D S FRAME & WHEEL)	\$584,867	sf	sf	sf	sf	sf	sf		
305742	2800 S 1 ST TX 78704	C F SILVER CREEK ASSOCIATES L P (dba SILVERCREEK APTS)	\$9,486,595	209,288 sf	104,193 sf	sf	sf	sf	sf	50%	
305750	610 TERRELL HILL DR TX 78704	WILLIAMS SCOTT	\$520,401	20,037 sf	1,216 sf	sf	sf	sf	sf	6%	
305765	800 CUMBERLAND RD TX 78704	LANCASTER MIKE & ANGELICA LOPEZ	\$269,306	8,355 sf	1,069 sf	sf	sf	sf	sf	13%	
772195	2709 S 2 ST TX 78704	SIEGFRIED SAMARA K & JOHN L	\$254,780	5,763 sf	1,120 sf	sf	sf	sf	sf	19%	
305766	802 CUMBERLAND RD TX 78704	ROCK JASON & SHERRI WILSON	\$260,051	7,103 sf	1,096 sf	sf	sf	sf	sf	15%	
305767	804 CUMBERLAND RD TX 78704	MACHUCA TORIBIO CANTU	\$253,104	7,914 sf	1,828 sf	sf	sf	sf	sf	23%	
305768	705 CUMBERLAND RD TX 78704	HERNANDEZ GILBERT	\$228,979	8,493 sf	800 sf	sf	sf	sf	sf	9%	
305769	2700 S 2 ST TX 78704	GARZA ALICIA ANA	\$250,453	8,319 sf	896 sf	sf	sf	sf	sf	11%	
305770	2702 S 2 ST TX 78704	BUOY J KEVIN	\$339,280	6,188 sf	1,344 sf	sf	sf	sf	sf	22%	
305771	2704 S 2 ST TX 78704	HUERTA MARK ANTHONY C & MELISSA	\$339,395	6,933 sf	2,726 sf	sf	sf	sf	sf	39%	
305772	702 HUERTA ST TX 78704	HUERTA MARGARITO & MARY	\$240,131	6,152 sf	784 sf	sf	sf	sf	sf	13%	
305773	704 HUERTA ST TX 78704	MATHISON CAITLIN & H CLARK	\$258,304	7,078 sf	1,245 sf	sf	sf	sf	sf	18%	
823717	614 TERRELL HILL DR C TX 78704	GLOVER GLENN H	\$171,000	sf	sf	sf	sf	sf	sf		
823718	614 TERRELL HILL DR E TX 78704	GLOVER GLENN H	\$171,000	sf	sf	sf	sf	sf	sf		
823719	TERRELL HILL DR 78704	GLOVER GLENN H	\$271,844	10,959 sf	1,164 sf	sf	sf	sf	sf	11%	

13/29

63/30

MICHAEL CABANIUC, 1.003 ACRE,
DOC. #2000064141

C.F. SILVERCREEK ASSOCIATES, L.P. LOT 1,
R.B. ADDITION NO.2, V.79, P.295 AND LOT
A, MILLER-ATTEBURY ADDITION, V.68, P.65
AND RECORDED IN V.10735, P.1439



OAK CREST AVENUE
(50' R.O.W.)

TOPOGRAPHIC & TREE SURVEY

Note:

1) Subject to restrictions and easement rights as stated in V.1410, P.410 Deed Records and per plot in Vol.4, Pg.241 Plot Records.



[Signature]
TO THE LIENHOLDER AND / OR PRESENT OWNERS OF THE PREMISES SURVEYED AND TO

**INDEPENDENCE TITLE COMPANY
NATIONAL INVESTORS TITLE INSURANCE COMPANY**

I DO HEREBY CERTIFY TO THOSE LISTED HEREON THAT THIS SURVEY WAS THIS DAY MADE ON THE GROUND, UNDER MY SUPERVISION, OF THE PROPERTY LEGALLY DESCRIBED HEREON, IS PREPARED IN ACCORDANCE TO THE TITLE COMMITMENT REFERENCED HEREON, AND THAT THERE ARE NO VISIBLE, BOUNDARY LINE CONFLICTS, ENCROACHMENTS OVERLAPPING OF IMPROVEMENTS, OR JOBS IN PLACE, EXCEPT AS SHOWN HEREON.

FLOOD CERTIFICATION

THIS AREA IS NOT DEPICTED AS BEING IN A SPECIAL FLOOD HAZARD AREA PER FEMA'S FLOOD INSURANCE RATE MAP (FIRM), DATED 09/26/08. IT IS REPRESENTED AS IN ZONE "X", HOWEVER, AT THE PRESENT TIME, NO ELEVATIONS, GRADAGE, OR FLOOD STUDIES HAVE BEEN PERFORMED AND INFORMATION IS BASED SOLELY UPON SAID MAP. THE SURVEYOR DOES NOT ASSUME RESPONSIBILITY AS TO ANY INFORMATION PROVIDED SAID MAP AND DOES NOT IMPLY THAT THE PROPERTY AND/OR THE STRUCTURES THEREON WILL BE FREE OF FLOOD DAMAGE. FOR FURTHER INFORMATION, CONTACT YOUR FLOOD PLAN ADMINISTRATOR.

STREET ADDRESS: **2803 OAK CREST AVENUE**

CITY: **AUSTIN** COUNTY: **TRAVIS** STATE OF TEXAS

LOT: **25** BLOCK: **F** SUBDIVISION: **OAK RIDGE HEIGHTS, SECTION THREE** VOL/CAS: **4** PG/SLD: **241** PLAT RECORDS

REFERENCE NAME: **LES EDELMAN**

ADDED TOPO & TREES: **01/18/13**

G.F. #: **1222148-BOK**



B & G SURVEYING, INC.
DEWEY H. BURRIS & ASSOCIATES, INC.
Surveyed by: *Dewey H. Burris & Associates*

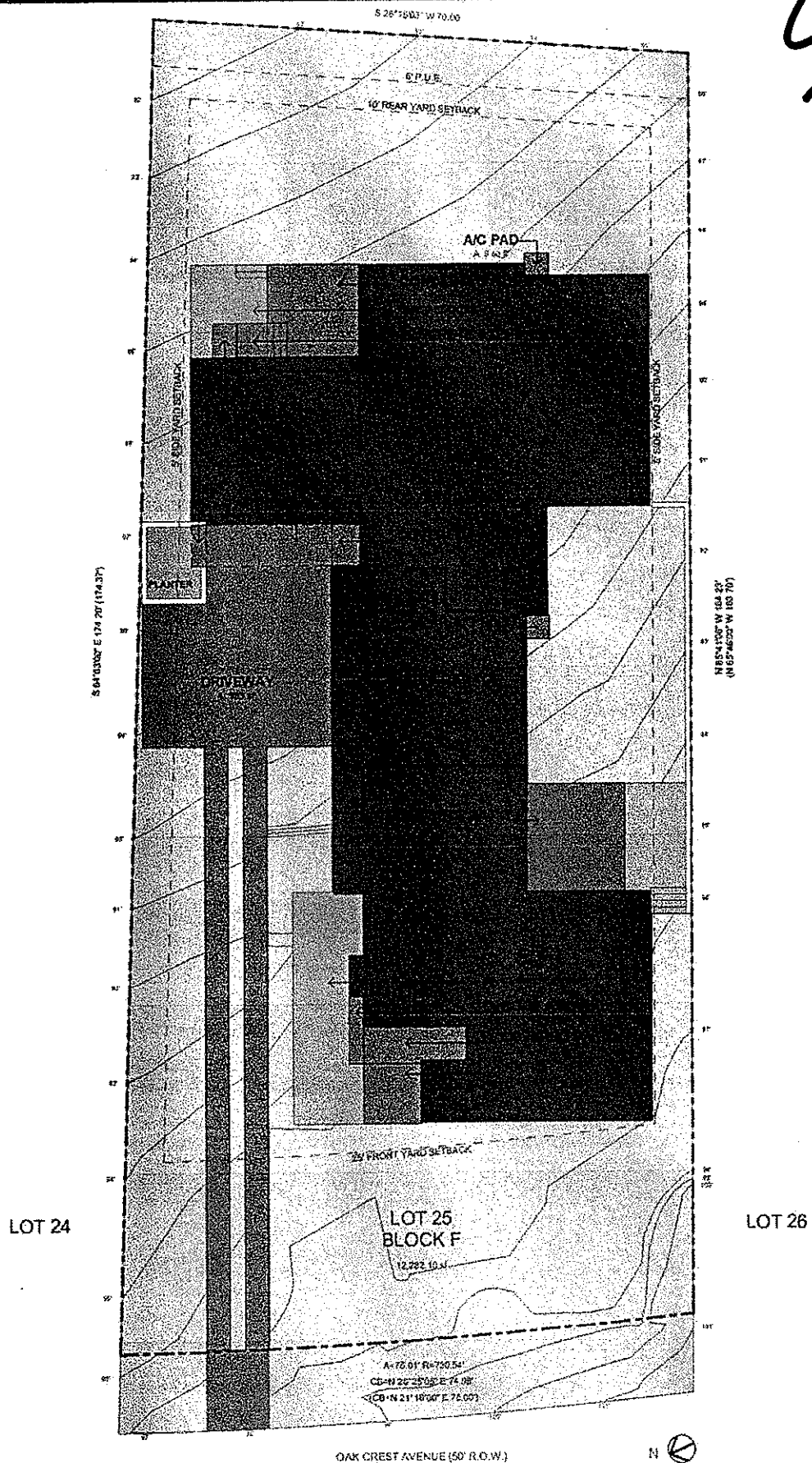
WWW.BANDGSURVEY.COM
1404 West North Loop Blvd Austin, Texas 78756
Office 512-458-6969, Fax 512-458-9845

JOB #: **R0104013_TA**
DATE: **9-18-12**
SCALE: **1"= 20'**

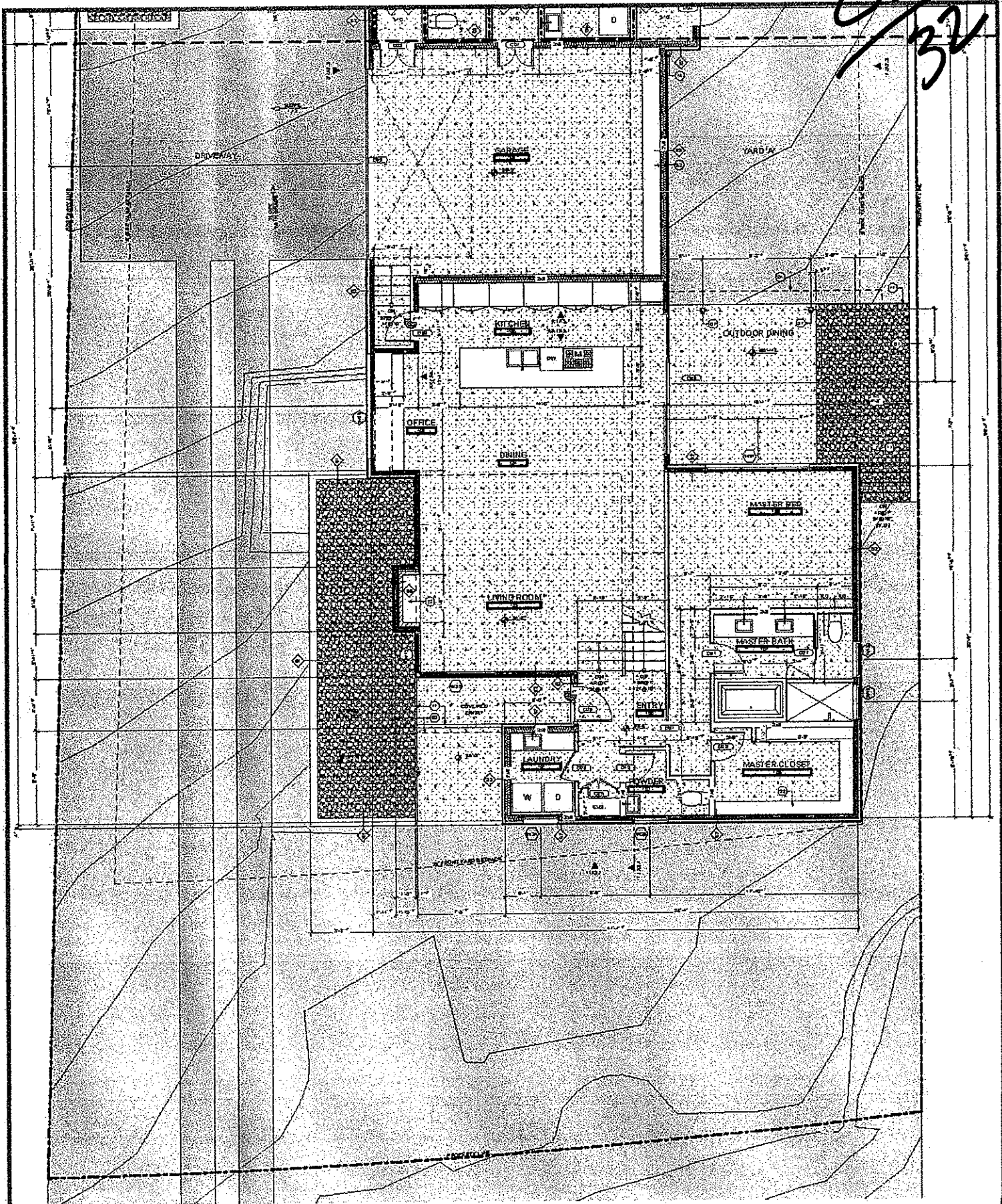
FILED BY	DATE
FILED BY	9-18-12
FILED BY	9-18-12
FILED BY	9-18-12

SITE SURVEY

C3/
31

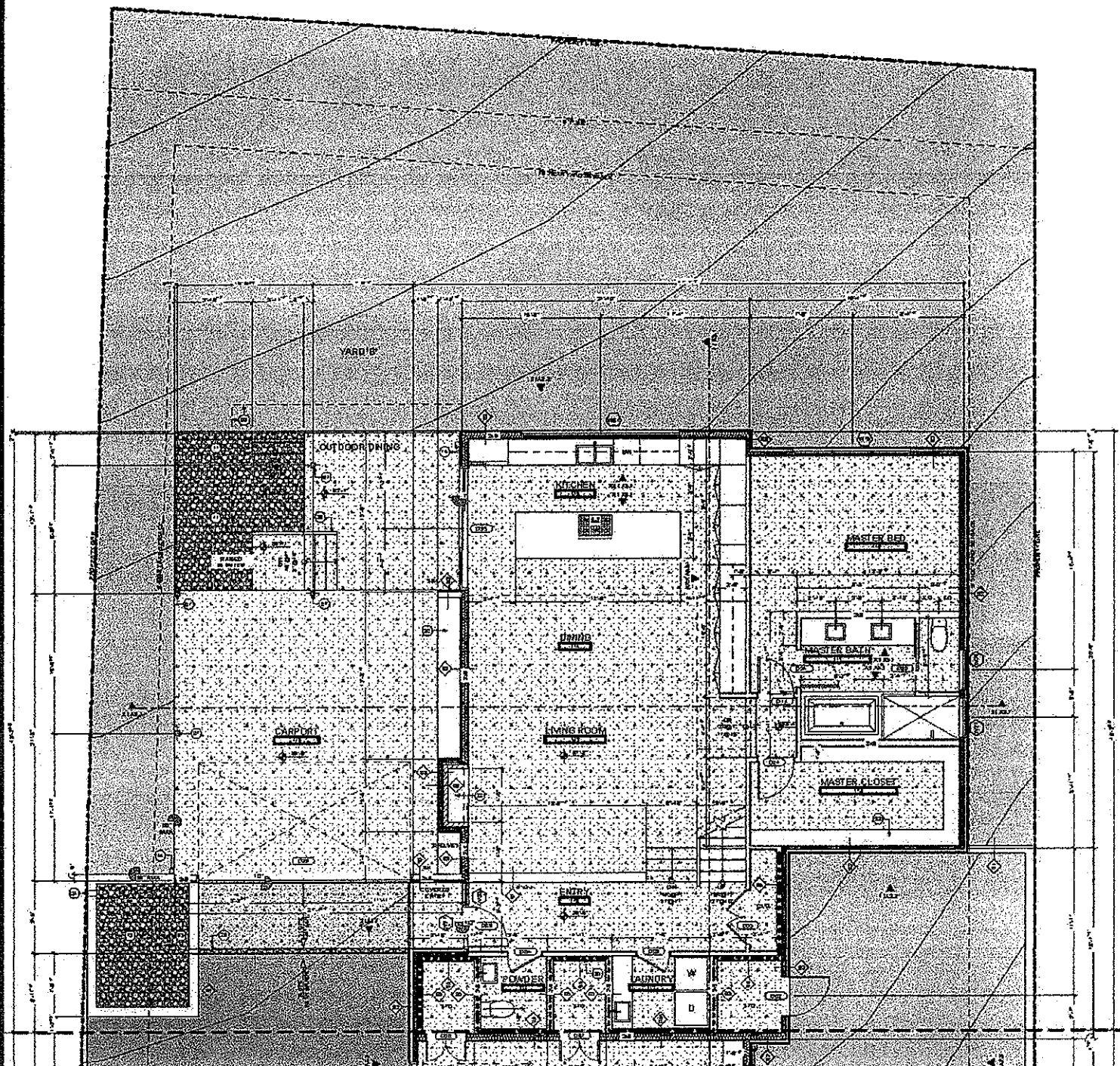


43/32



1 First Floor Plan - Unit A
SCALE: 3/32" = 1'-0"

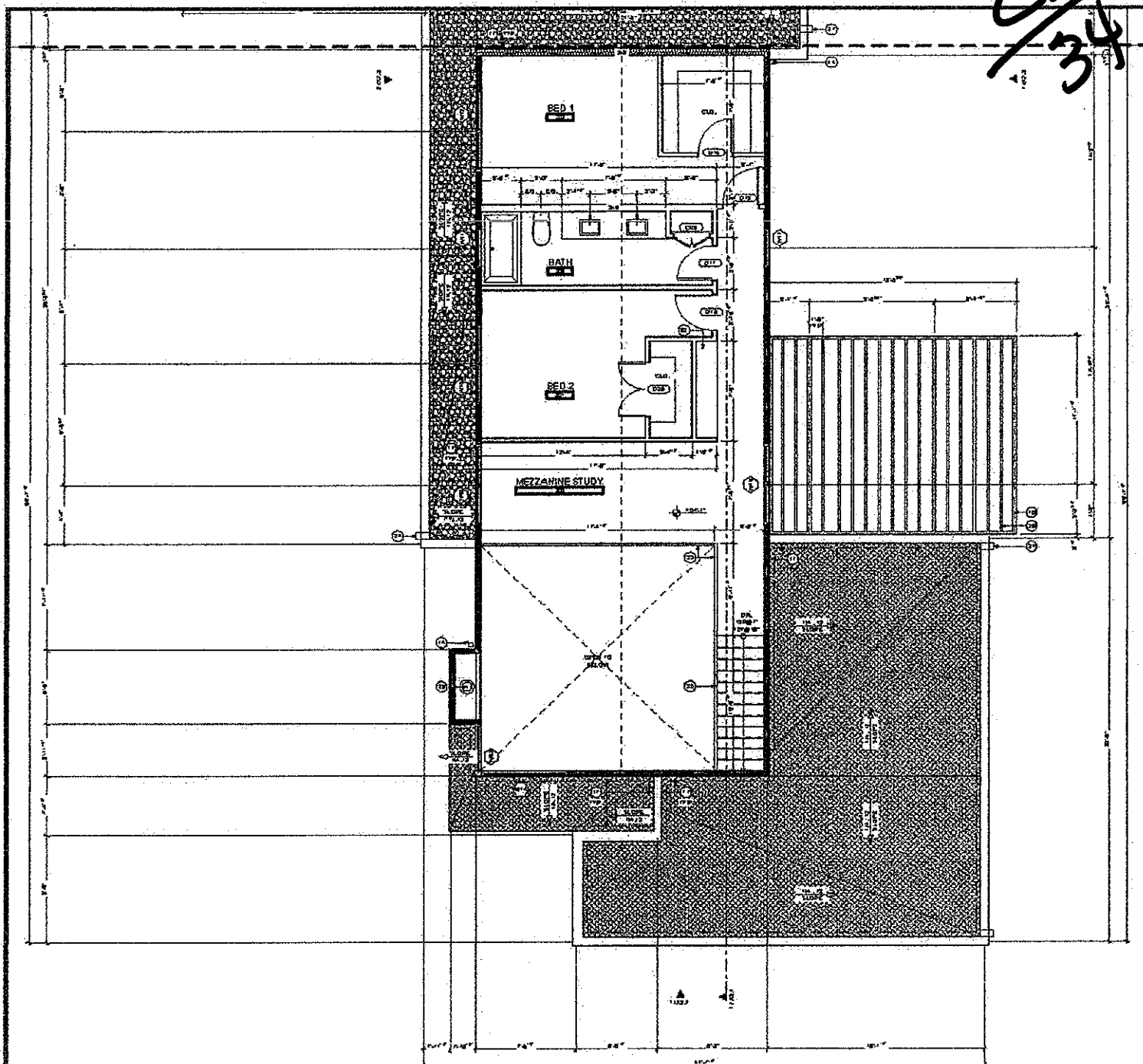
33/33



1

First Floor Plan - Unit B
SCALE: 3/32" = 1'-0"

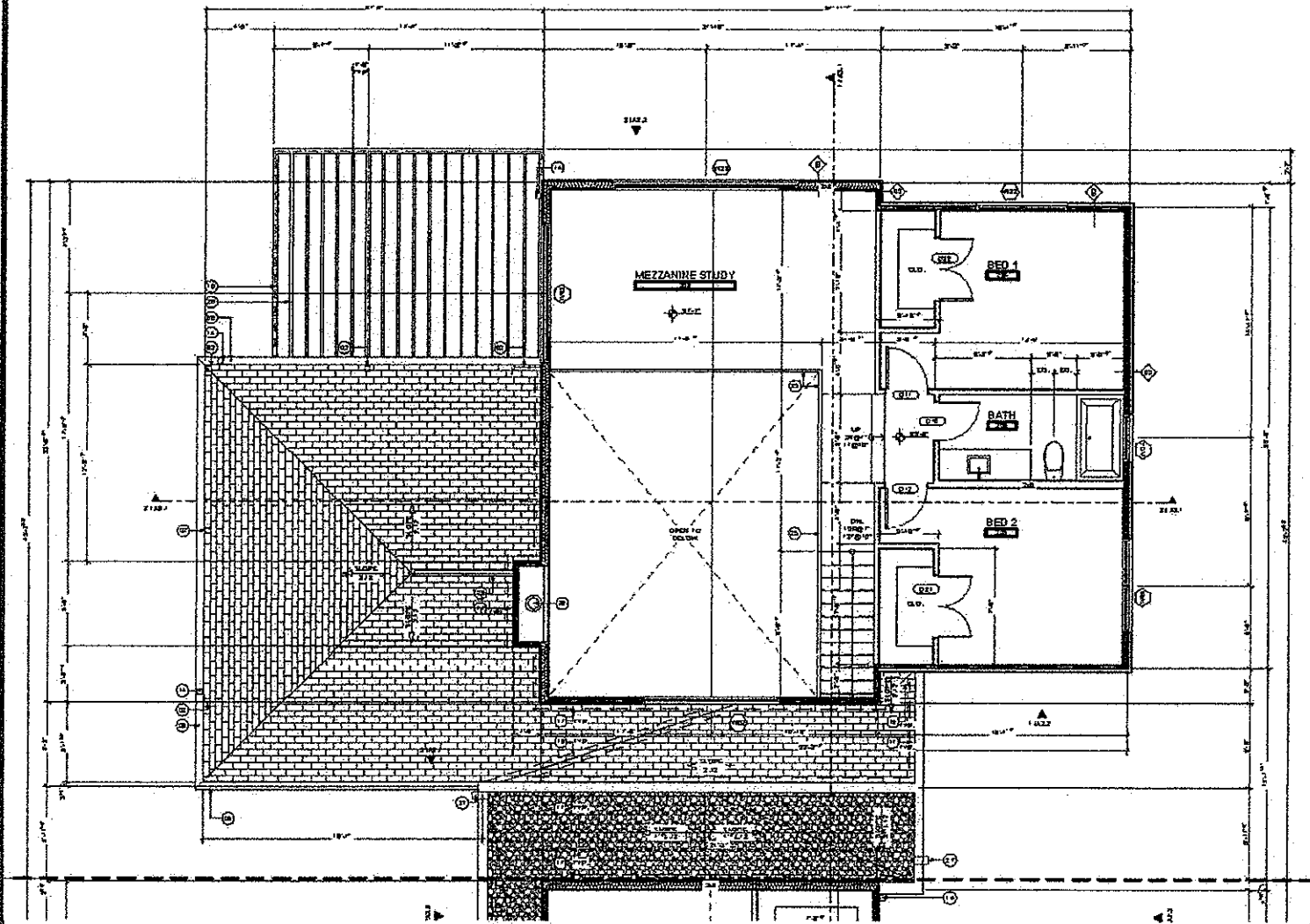
C3/34



1

Second Floor Plan - Unit A
SCALE: 3/32" = 1'-0"

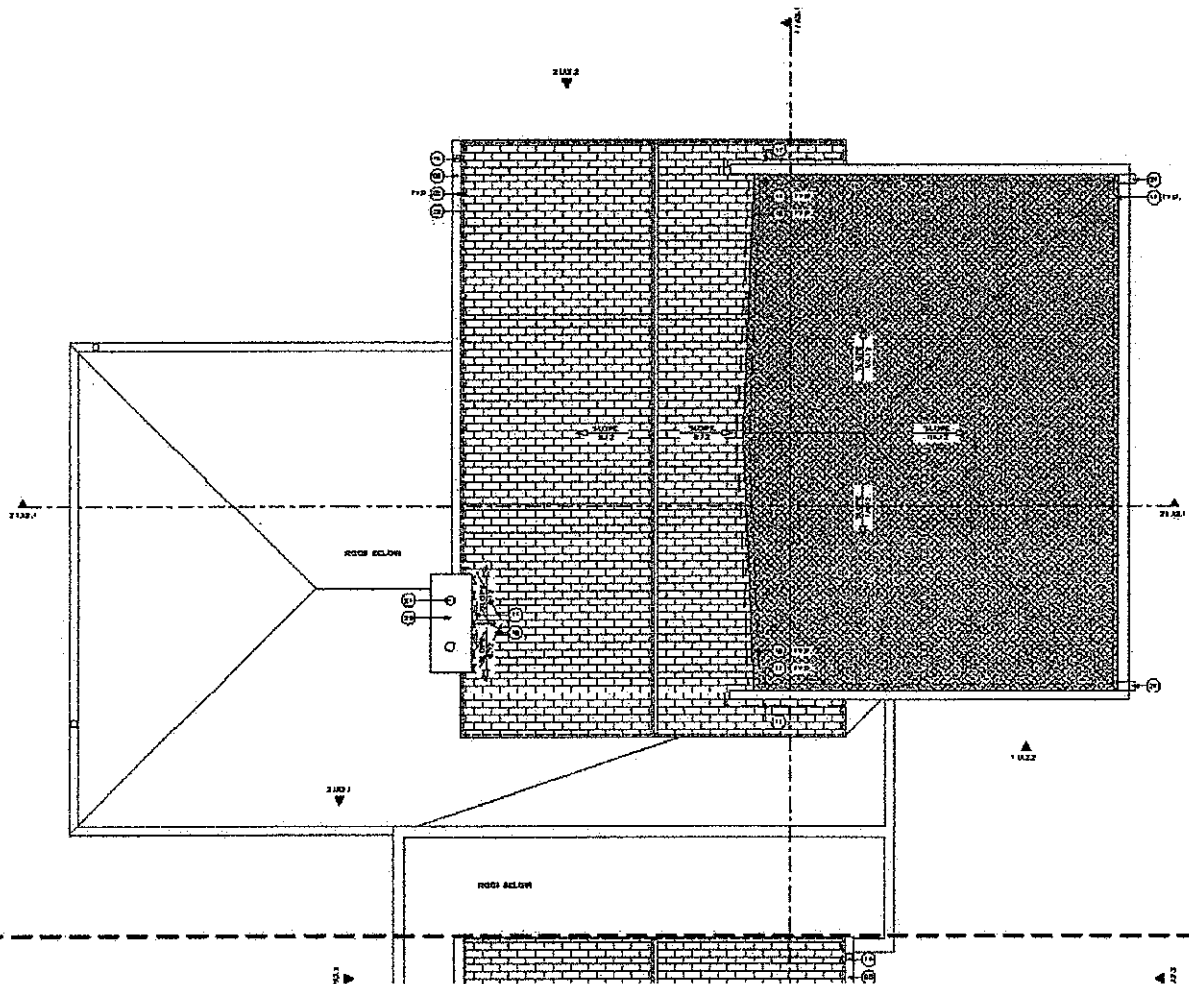
C3/35



1 Second Floor Plan - Unit B
SCALE: 3/32" = 1'-0"

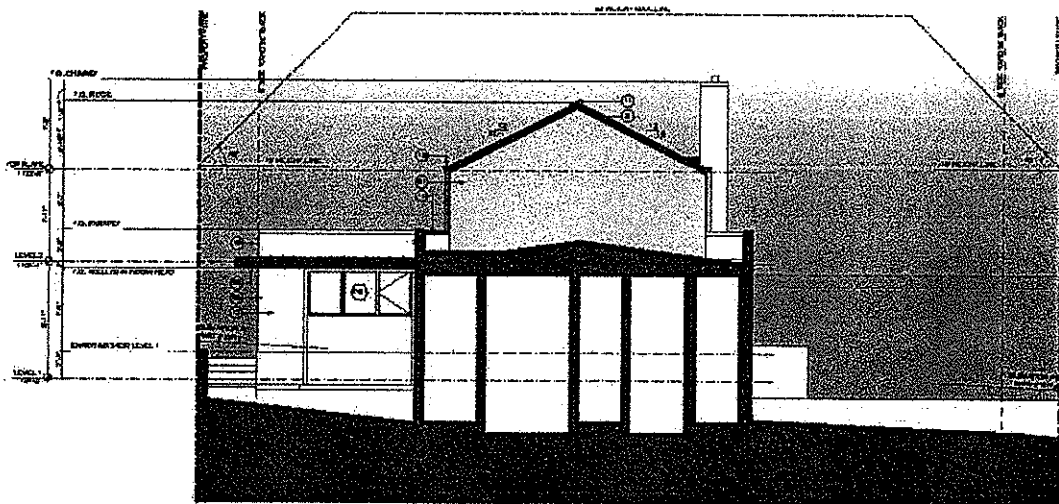
100

C3
37

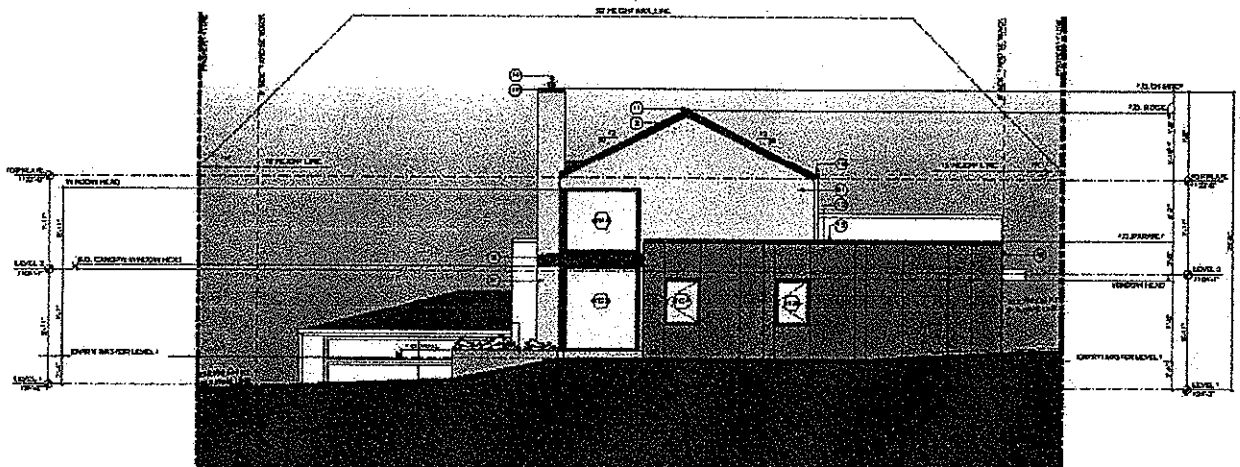


1 Second Floor Plan - Unit B
SCALE: 3/32" = 1'-0"

U3/38

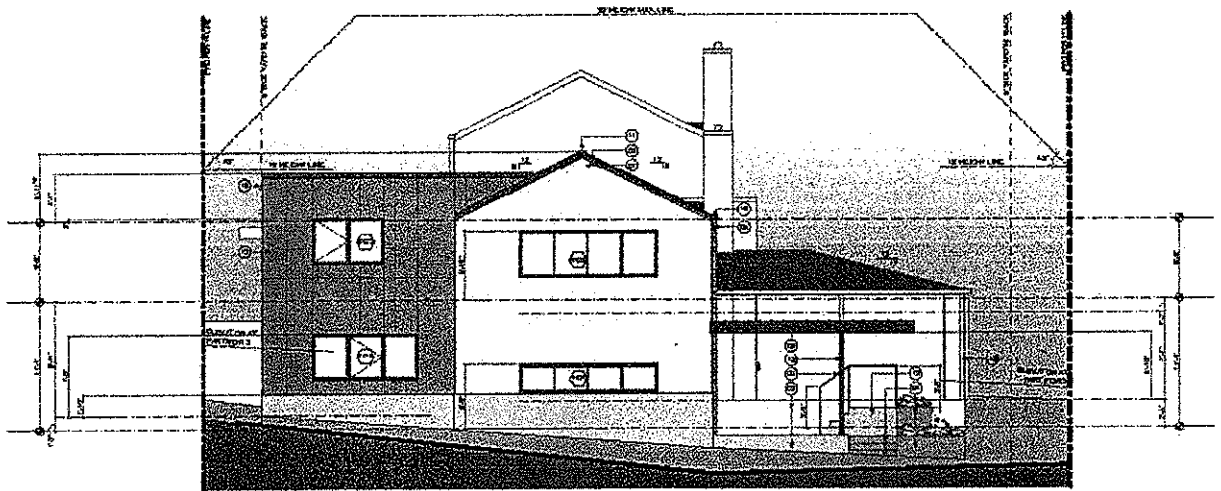


2 Unit A Rear Elevation
SCALE: 1/16" = 1'-0"

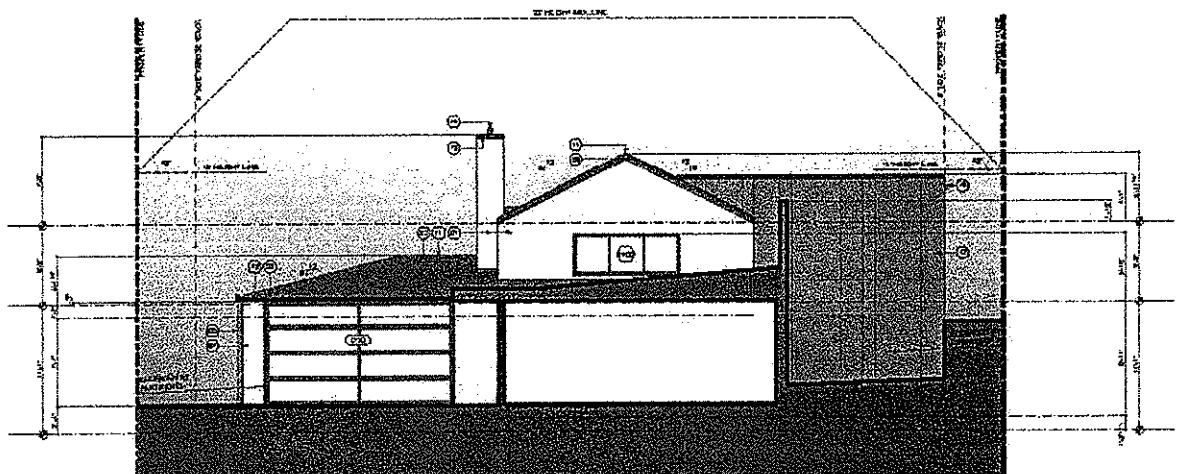


1 Unit A Front Elevation
SCALE: 1/16" = 1'-0"

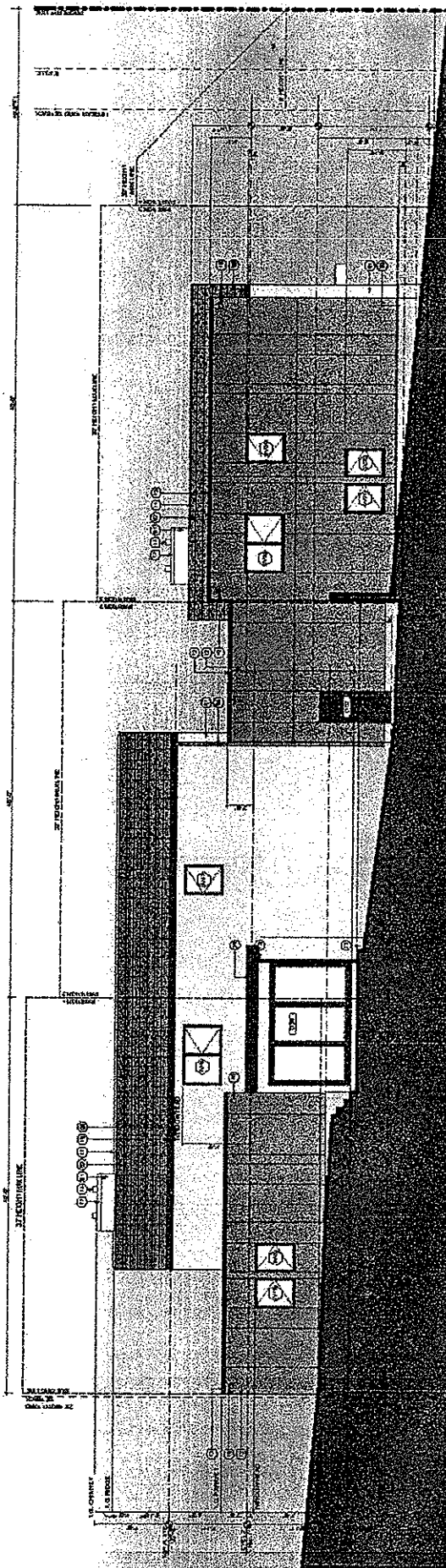
C3
39



2 Unit B Rear Elevation
SCALE: 1/16" = 1'-0"

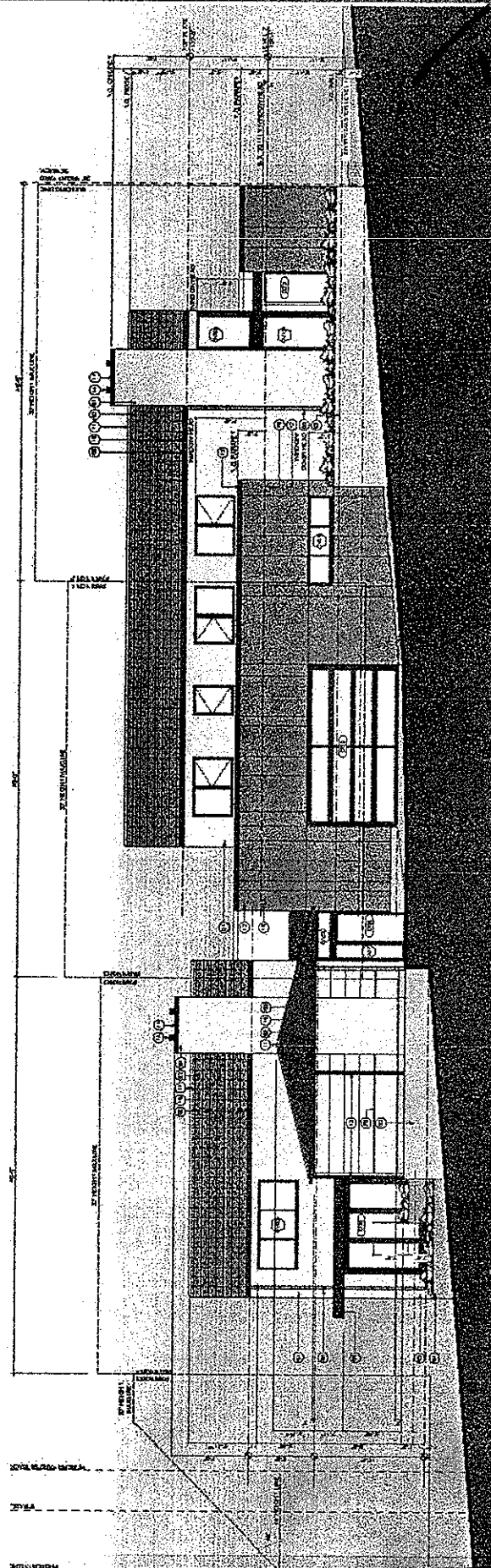


1 Unit B Front Elevation
SCALE: 1/16" = 1'-0"



Right Elevation
SCALE: 1/16" = 1'-0"

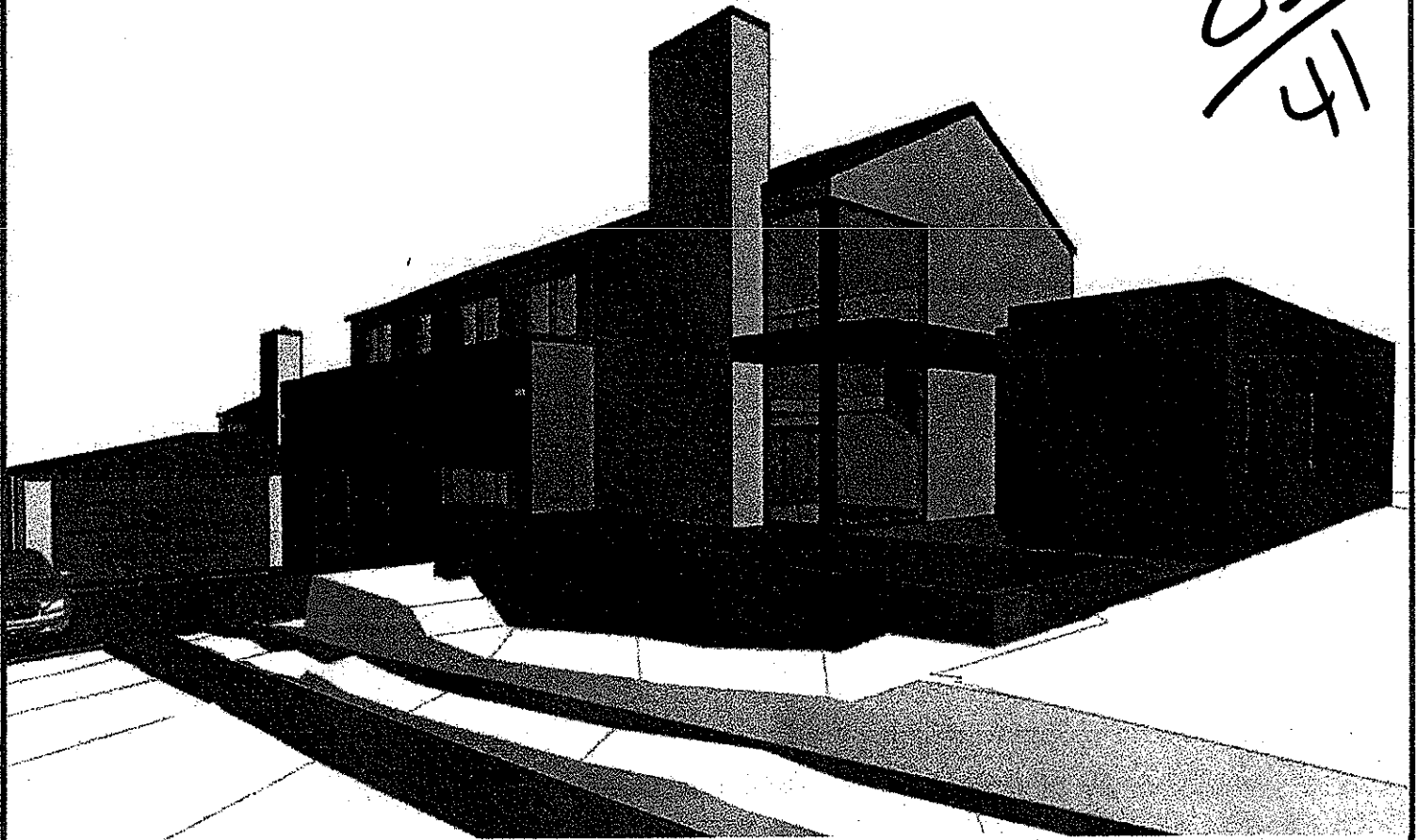
2



Left Elevation
SCALE: 1/16" = 1'-0"

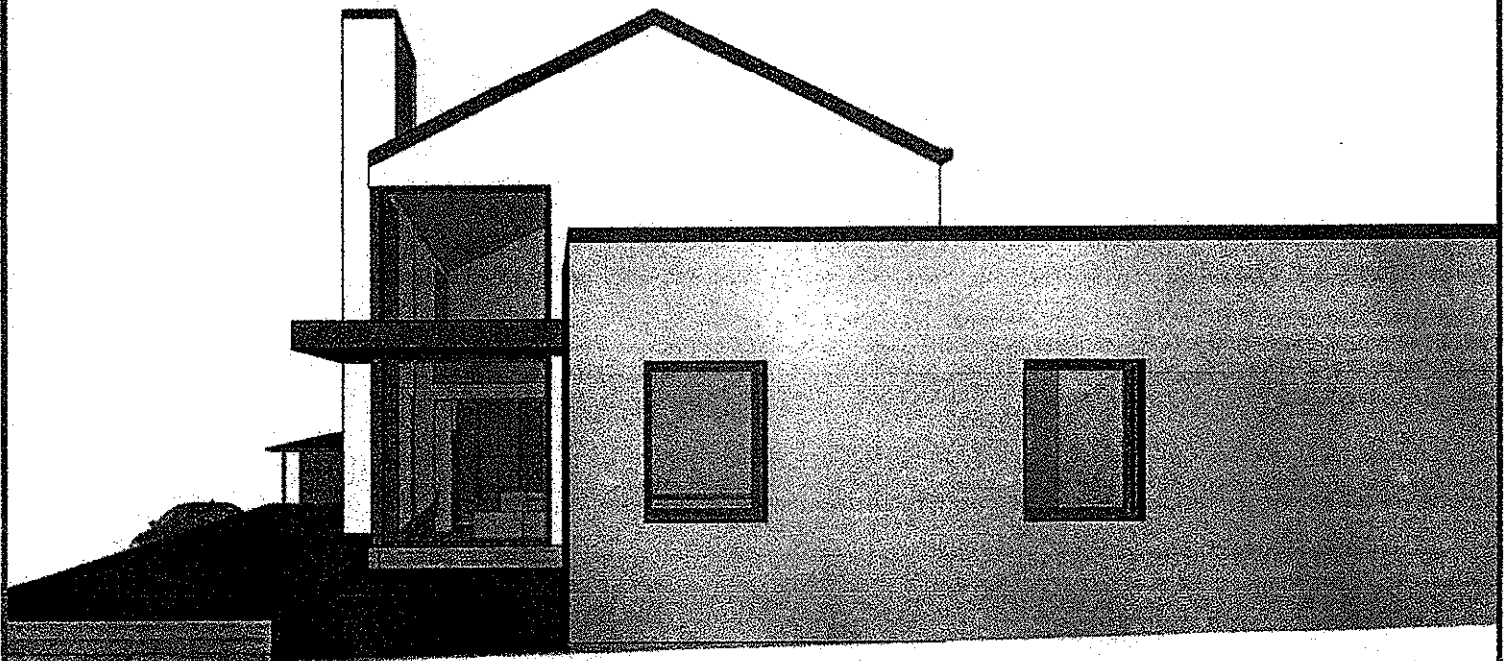
1

C3
41



2

Side Perspective
SCALE: 1" = 40'



1

Front Perspective
SCALE: 1" = 40'

COA PERMIT REVIEW COMMENTS

CITY OF AUSTIN - PLANNING AND DEVELOPMENT REVIEW DEPARTMENT RESIDENTIAL PLAN REVIEW APPLICATION - MASTER COMMENT REPORT



CASE NUMBER: 2013-053007 PR
CASE MANAGER: Taylor Horton PHONE #: 512-974-2618
PROJECT NAME: 2803 OAK CREST AVE
LOCATION: Lot: 25 Block: F Subdivision: OAK RIDGE HEIGHTS SEC 3
SUBMITTAL DATE: Wednesday, May 22, 2013
FINAL REPORT DATE: May 28, 2013

STAFF REPORT:

This report includes all staff comments received to date concerning your most recent residential application submittal. The comments may include requirements, recommendations, or information. The requirements in this report must be addressed by an updated submittal.

The application will be approved when all requirements from each review discipline have been addressed. However, until this happens, your application is considered disapproved. Additional comments may be generated as a result of information or design changes provided in your update.

If you have any questions, problems, concerns, or if you require additional information about this report, please do not hesitate to contact your case manager at the phone number listed above or by writing to the City of Austin, Planning and Development Review Department, P.O. Box 1088, Austin, Texas 78704.

UPDATE SUBMITTALS: An update submittal is required.

REVIEWERS:

Taylor Horton

Residential Zoning Review - Taylor Horton - 512-974-2618

The permit application is rejected based on the following discrepancies:

1. The FAR is incorrect: the garage deduction is not allowed and the square footages of areas with ceiling heights more than 15' must be included twice.
2. Provide 6 parking spaces because the building is greater than 4000 square feet. See 25-6-appendix A.
3. A landscape plan is required because the building is greater than 4000 square feet.
4. A fire review is required because the building is more than 3600 square feet.
5. Provide the height of all retaining walls; any retaining wall more than 4' in height is required to have a site plan exemption.
6. Show the outline of both floors of each unit and clearly label accordingly on the site plan.
7. Provide sidewalks per section 25-6-3.4
8. A minimum driveway width of 15' at the property line is required for a duplex.
9. The following information must be included on the site plan and elevations in order to confirm compliance with the McManis Ordinance:
 - o high adjacent grade at building
 - o low adjacent grade at building
 - o Average adjacent grade at building
 - o McManis setback intervals with spot grades at each corner and high point on all elevations
 - o Building setback line on plot plan

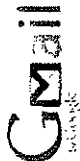
- o Building heights dimensioned from average elevation to the proper point on roof sections
10. Additional comments may be generated as a result of the resubmittal.

C3
42

COA PERMIT REVIEW COMMENTS EMAIL

6/14/13

Gmail - 2803 Oak Crest | permit



2803 Oak Crest | permit

Jared Haas <haas@un-boxstudio.com>
Tue, Jun 11, 2013 at 5:48 PM
To: "McDonald, John" <John.McDonald@ausintexas.gov>, "Horton, Taylor" <taylor.horton@ausintexas.gov>
Cc: "Guernsey, Greg" <Greg.Guernsey@ausintexas.gov>, Gil Lohr <gil@gnmlhthomes.com>

Hello John/Taylor,

As per our meeting last week, I wanted to get verification from you that:

1. We will be allowed our 450 sf garage exemption along with the 200 sf parking exemption under 25-2 Subchapter F section 3.3.2
2. We will only be required 5 parking spaces total with the 80% reduction rule under 25-6-478

We will be applying for our RDC Modification Waiver tomorrow and will need your approval on these issues as it will most likely become an issue during our hearing.

Thank you,

Jared Haas | un-box studio

LEED Green Associate
www.un-boxstudio.com
1905 H Lamar Blvd. #101
Austin, TX 78705
512.277.0935



Horton, Taylor <Taylor.Horton@ausintexas.gov>
Wed, Jun 12, 2013 at 9:29 AM
To: Jared Haas <haas@un-boxstudio.com>, "McDonald, John" <John.McDonald@ausintexas.gov>
Cc: "Guernsey, Greg" <Greg.Guernsey@ausintexas.gov>, Gil Lohr <gil@gnmlhthomes.com>

Jared:

You will be allowed the FAR exceptions for both the 450 square feet (garage) and the 200 square feet (garage). The application applied the exceptions incorrectly but the total credit is, in fact, 850 square feet.

The number of required parking spaces is 5, taking into consideration the 80% reduction allowed for urban roadways.

<https://mail.google.com/mail/u/0/?ui=2&ik=12c723c23d5ciewp&g-day-for-horton%3Dausintexas.gov&...>

1/2

6/14/13

Gmail - 2803 Oak Crest | permit

Please let me know if you have further questions by replying to this email.

E. Taylor Horton, ASLA, AICP

Senior Planner

City of Austin

Planning & Development Review Department

Residential Review

(512) 974-7638

(512) 974-6546 fax

**We are currently experiencing a high volume of activity. We make every effort to respond to you by the end of the next business day. Thank you in advance for your patience. **

NEW HOURS Effective January 28th, 2013

Intake: Mon 8-11am, Wed 8-11am & 1-3pm, Fri 8-11am

Consultation: Mon/Wed/Fri 8-11am

CLOSED TUESDAY & THURSDAY (to perform reviews)

From Jared Haas [mailto:haas@un-boxstudio.com]

Sent: Tuesday, June 11, 2013 5:48 PM

To: McDonald, John; Horton, Taylor

Cc: Guernsey, Greg; Gil Lohr

Subject: 2803 Oak Crest | permit

[Quoted text hidden]

Wed, Jun 12, 2013 at 10:53 AM

Jared Haas <haas@un-boxstudio.com>

To: "Horton, Taylor" <Taylor.Horton@ausintexas.gov>

Cc: "McDonald, John" <John.McDonald@ausintexas.gov>, "Guernsey, Greg" <Greg.Guernsey@ausintexas.gov>

Gil Lohr <gil@gnmlhthomes.com>

Thank you Taylor.

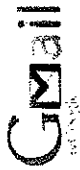
Jared Haas | un-box studio

LEED Green Associate
www.un-boxstudio.com

<https://mail.google.com/mail/u/0/?ui=2&ik=12c723c23d5ciewp&g-day-for-horton%3Dausintexas.gov&...>

03/43

6/14/13
Brent - 2803 Oak Crest / damming wall review



2803 Oak Crest | demising wall review

Jared Haas <haas@un-boxstudio.com>
To: "Word, Daniel" <daniel.word@austintx.com>
Cc: Gil Lohr <gil@annafghames.com>

Tue, Feb 12, 2013 at 12:37 PM

Carriel

Attached are the current plans for 2603 Oak Crest Dr. duplex spec home project for Gil Lohr. We would like to get your thoughts and approval on the current design before we move forward with developing a permit set. As we have discussed previously, you had some hesitations about the "zipper wall" between the 2 units. The idea seems to follow all COA regulation requirements but wanted to get your final opinion to see if there is something we might be missing. I have also attached 2 examples of previous projects by Gil Lohr that have been approved and developed within the City of Austin utilizing the "zipper wall" between units.

Taylor

Thank you for meeting with us yesterday and please weigh in on your thoughts and opinions as well.

Thank you.

opute xaq'w'i seeq p'ari

LEED Green Associate
www.un-boxstudio.com
1905 H Lamar Blvd, #101
Austin, TX 78705
512.277.0945



3 attachments

zipper wall between carparks 5607 Clay -approved by COA.tif
1105K

4810 caswell zipper wall between carports approved COA.pdf
2626K

SD Oak Crest 2803.PDF

[illegible]

51413

G214d - 2803 Oak Creek - Demolishing wall review

1549K

Word. Daniel <Daniel.Word@austintexas.gov>

Word, Daniel <Daniel.Word@austintexas.gov> Wed, Feb 13, 2013 at 8:36 AM
To: Jared Haas <jhaas@un-box-studio.com>; "Horton, Taylor" <Taylor.Horton@austintexas.gov>
Cc: Gil Lohr <gil@unmolehomes.com>

I will not approve this design based on the following:

(D) The two dwelling units are subject to the following requirements:

(1) The two units must have a common floor and ceiling or a common wall, which may be a common garage wall, that:

(a) extends for at least 50 percent of the maximum depth of the building, as measured from the front to the rear of the lot; and

(b) maintains a straight line for a minimum of four foot intervals or segments.

(2) The two units must have a common roof.

(3) At least one of the two units must have a front porch that faces the front street and an entry to the dwelling unit, except that units located on a corner lot must each have a front porch that faces a separate street and an entry to the dwelling unit.

(4) The two units may not be separated by a breezeway, carport, or other open building element.

Daniel Word

Planner Principal, Residential Review Division

Planning and Development Review- City of Austin

15121974-3341

505 Barton Springs Rd. 2nd floor

Austin, TX 78704

“We are currently experiencing a dramatic increase in application submittals while at the same time experiencing a dramatic reduction in staffing levels. We are working diligently to restore our staffing levels. Due to these issues, email and phone responses are taking longer than normal to return. In addition, given the unpredictable nature of the services we provide, we cannot provide estimates on the expected review period. We appreciate your continued patience during this frustrating time. **

We are currently reviewing submissions from the week of Oct 29th for "senior" level reviews.

We are currently reviewing submissions from the week of Nov 19th for "junior" level reviews.

Address: sample@email.ru | Tel: +7(723) 333 3333 | Fax: +7(723) 333 3333

5

un.box studio

2803 OAK CREST

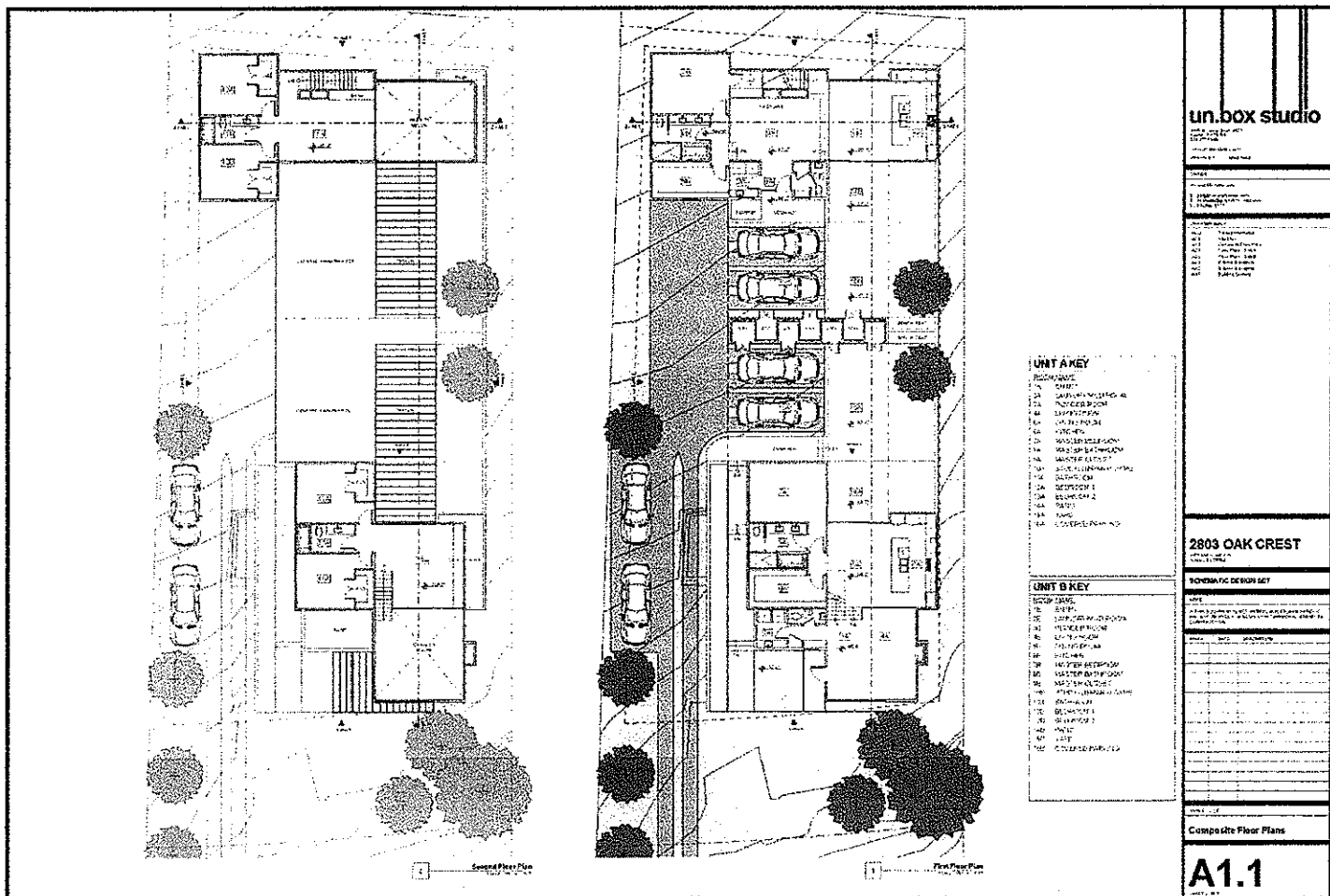
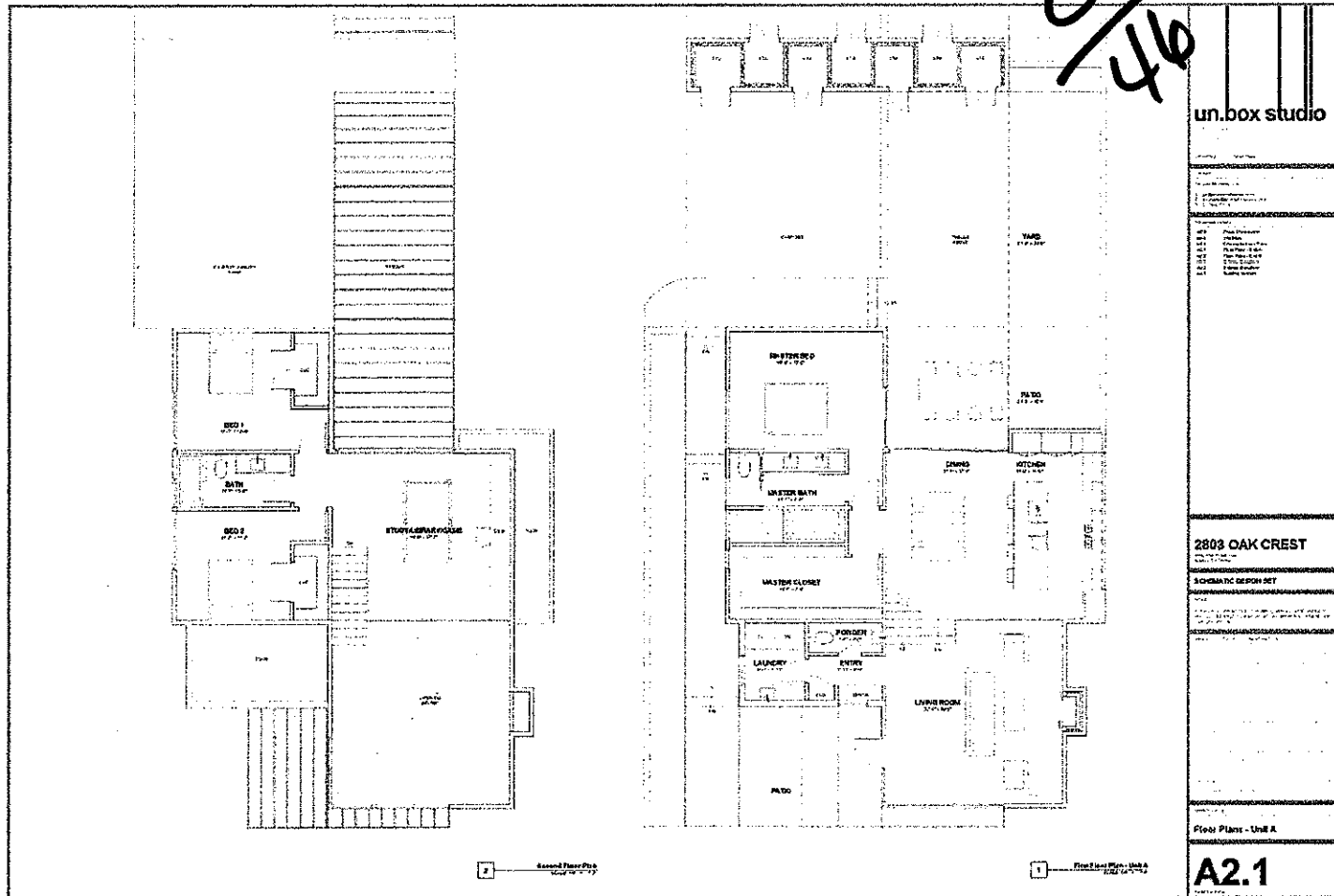
KORCHIEN INC DESIGN SET

Site Plan

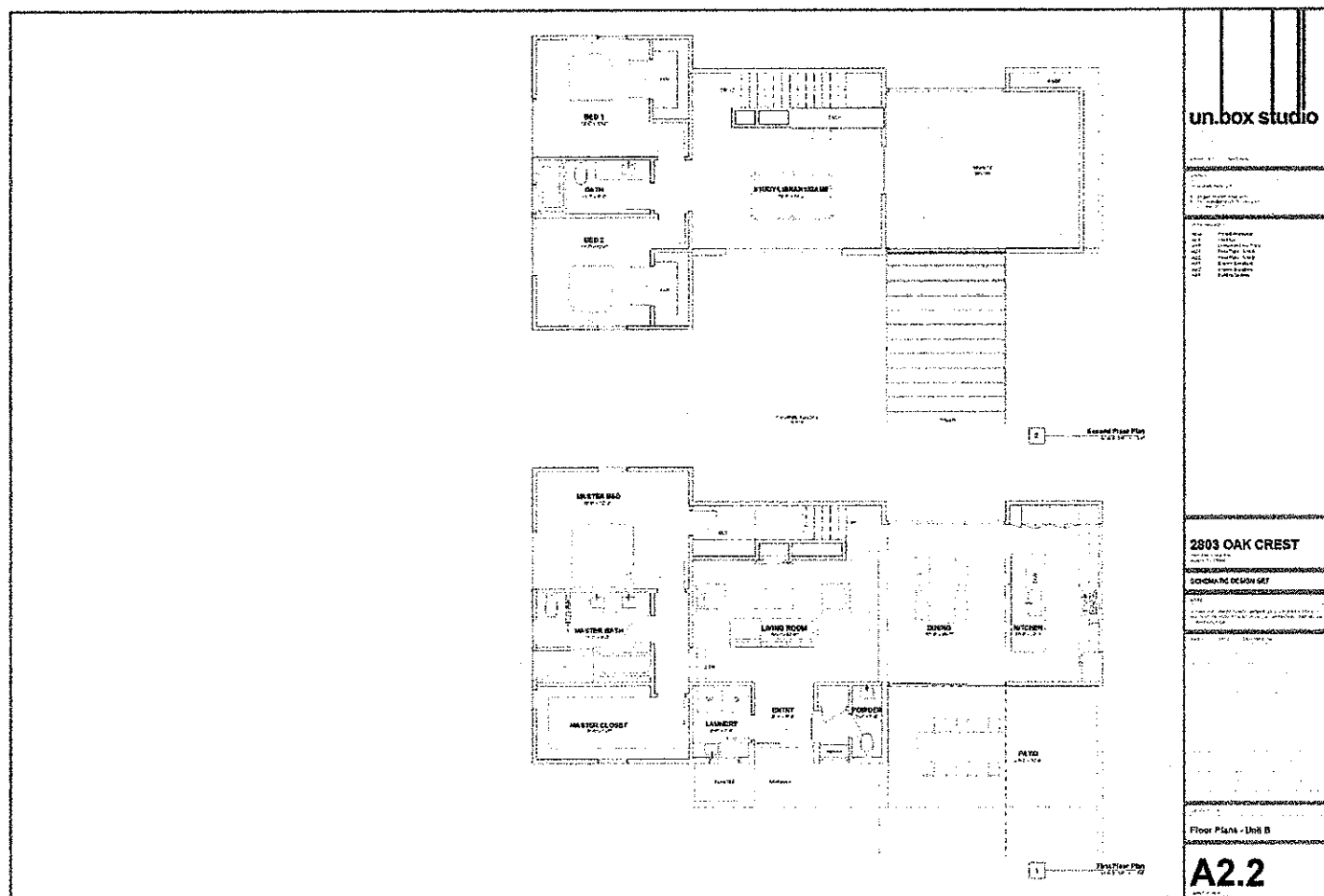
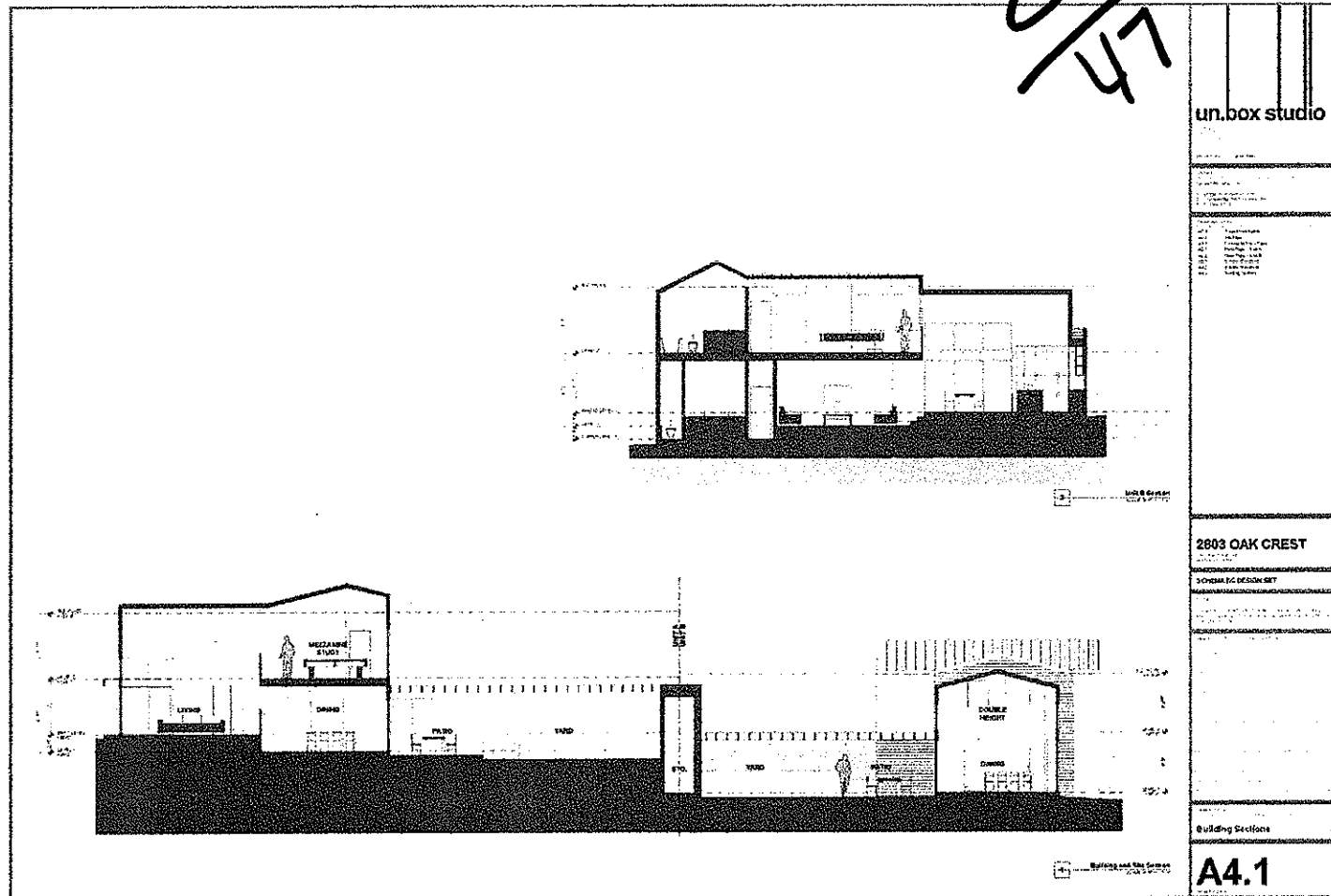
A0.1

CODE ANALYSIS	AREA CALCULATIONS																																																														
Zoning: SF-3 Area: 12,282.10 sf Height: (never ab 30 ft or 2-stories) Setback: • Front: 25 ft • Street side: 15 ft • Interior side: 5 ft • Rear: 10 ft Impervious (max): 5628.86 sf (45%) Building coverage (max): 4,912.84 sf (40%) FAIR (max): 4,912.84 sf (operator of 104:1.5 or 2,300 sq ft) Parking: • 8 spaces or 1 space per bedroom • Not more than 1 parking space located behind another required parking space Roof/Walk: • Share common wall/door/ceiling that extends $\geq 50\%$ of the max. depth of bldg. • Share common roof • Maintain straight line for min. 4' intervals • 36" brackets for walls $\geq 15'$ high and $< 9'$ avg. distance from vertical line - o Must be $\geq 4'$ deep, perpendicular, and extend $\geq 10'$ along side property line - o Extend evenly upward for entire height of building Block: 1 used to have front porch that faces front street and entry to unit? Separation: Units may not be separated by breezeway, carport, or other open building element. Setback plane exceptions: • Roof overhangs or eaves allowed up to 2' beyond • Chimney, vent, antenna, energy conservation or production equipment feature not designed for occupancy • Either: - o Side-gabled roof (with total horizontal length $\leq 30'$) - o Or - o Gable or shed roof (with horizontal length $\leq 18'$ each side of bldg) and dormer (with total horizontal length $\leq 15'$) Front yard setback, separation, avg. front yard setback of 4 principal residential structures that are within 50 ft. of front lot line and closest to and on same side block as project property • Lot 23: ~35' • Lot 24: ~41' • Lot 26: ~25' • Lot 27: ~23' • Avg: ~30.5'	<table border="1"> <tbody> <tr> <td>Building A - Level 1</td> <td>1405 sf</td> <td></td> <td></td> </tr> <tr> <td>Building A - Level 2</td> <td>793 sf</td> <td></td> <td></td> </tr> <tr> <td>Building B - Level 1</td> <td>1416 sf</td> <td></td> <td></td> </tr> <tr> <td>Building B - Level 2</td> <td>813 sf</td> <td></td> <td></td> </tr> <tr> <td>Storage:</td> <td>178 sf</td> <td></td> <td></td> </tr> <tr> <td>Carport:</td> <td>758 sf</td> <td></td> <td></td> </tr> <tr> <td>Patio:</td> <td>518 sf</td> <td></td> <td></td> </tr> <tr> <td>Covered Sidewalk:</td> <td>174 sf</td> <td></td> <td></td> </tr> <tr> <td>Driveway:</td> <td>2228 sf</td> <td></td> <td></td> </tr> <tr> <td>Exemption (Carports)</td> <td>-450 sf</td> <td></td> <td></td> </tr> <tr> <td>Exemption (Patio)</td> <td>-200 sf</td> <td></td> <td></td> </tr> <tr> <td>Exemption (Patio)</td> <td>-200 sf</td> <td>4128/218</td> <td>50</td> </tr> <tr> <td>TOTAL FLOOR AREA RATIO</td> <td>4736 sf</td> <td>4913 sf</td> <td>-179 sf</td> </tr> <tr> <td>TOTAL BUILDING COVERAGE:</td> <td>3825 sf</td> <td>4613 sf</td> <td>-078 sf</td> </tr> <tr> <td>TOTAL IMPERVIOUS COVERAGE:</td> <td>6680 sf</td> <td>5527 sf</td> <td>+1153 sf</td> </tr> </tbody> </table>			Building A - Level 1	1405 sf			Building A - Level 2	793 sf			Building B - Level 1	1416 sf			Building B - Level 2	813 sf			Storage:	178 sf			Carport:	758 sf			Patio:	518 sf			Covered Sidewalk:	174 sf			Driveway:	2228 sf			Exemption (Carports)	-450 sf			Exemption (Patio)	-200 sf			Exemption (Patio)	-200 sf	4128/218	50	TOTAL FLOOR AREA RATIO	4736 sf	4913 sf	-179 sf	TOTAL BUILDING COVERAGE:	3825 sf	4613 sf	-078 sf	TOTAL IMPERVIOUS COVERAGE:	6680 sf	5527 sf	+1153 sf
Building A - Level 1	1405 sf																																																														
Building A - Level 2	793 sf																																																														
Building B - Level 1	1416 sf																																																														
Building B - Level 2	813 sf																																																														
Storage:	178 sf																																																														
Carport:	758 sf																																																														
Patio:	518 sf																																																														
Covered Sidewalk:	174 sf																																																														
Driveway:	2228 sf																																																														
Exemption (Carports)	-450 sf																																																														
Exemption (Patio)	-200 sf																																																														
Exemption (Patio)	-200 sf	4128/218	50																																																												
TOTAL FLOOR AREA RATIO	4736 sf	4913 sf	-179 sf																																																												
TOTAL BUILDING COVERAGE:	3825 sf	4613 sf	-078 sf																																																												
TOTAL IMPERVIOUS COVERAGE:	6680 sf	5527 sf	+1153 sf																																																												

COA DESIGN CORRESPONDENCE



U3/47



COA DESIGN CORRESPONDENCE

6/14/13

Email - 2803 Oak Crest / demising wall review

NEW HOURS Effective January 28th, 2013

Intake: Mon 8-11am, Wed 8-11am & 1-3pm, Fri 8-11am

Consultation: Mon/Wed/Fri 8-11am

CLOSED TUESDAY & THURSDAY (to perform reviews)

From: Jared Haze [mailto:hazea@un-boxstudio.com]
Sent: Tuesday, February 12, 2013 12:37 PM
To: Word, Daniel; Horton, Taylor
Cc: Gil Lehr
Subject: 2803 Oak Crest | demising wall review

[Quoted text hidden]

Jared Haas <haas@un-boxstudio.com>
To: "Word, Daniel" <Daniel.Word@austintexas.gov>
Cc: "Horton, Taylor" <Taylor.Horton@austintexas.gov>
Gil Lohr <gil@annmichomes.com>

Daniel

Technically the buildings are not separated by the carports since the demising wall is within the shared storage area. This concept was approved in the past at the attached referenced projects (4810 Caswell and 5507 Clay).

Jared Huas | un.box studio

LEED Green Associate
www.un-boxstudio.com
1905 H Lamar Blvd. #101
Austin, TX 78705
512.277.0945



Quoted text: p10n01

2 attachments

zipper wall between carports 5607 Clay -approved by COA.tif
1105K

<https://mail.google.com/mail/u/0/?ui=2&ui=2&ui=2&ui=2&ui=2&ui=2>

30

உயிர்

Gmail - 2803 Oak Crest Rd, Lexington, MA 01864

48110_Caswell_Ave_site.pdf
135K

Jared Haas <haas@run-boxstudio.com>

To: "Word, Daniel" <Daniel.Word@austintexas.gov>

Cc: "Horton, Taylor" <Taylor.Horton@austintexas.gov>, Gil Lohr <gil@gnmlahrhomes.com>

Daniel,

Thank you for your quick response earlier. We have been working all morning/afternoon to try and work out a solution. We are now showing that the units are separated by an enclosed garage (see attached). Hopefully this still meets COA regulation requirements.

ired haas | un.box studio

LEED Green Associate
www.un-boxstudio.com
1905 N Lamar Blvd. #101
Austin, TX 78705
512.277.0945



[Quoted text hidden]

SD_Oak Crest.2803.PDF
B40K

Ward, Daniel <Daniel.Ward@auslietexas.gov>

To: Jared Haas & Associates, Inc. 401.663.1111 ext. 333

Cc: "Horton, Taylor" <Taylor.Horton@austintexas.gov>, Gil Lohr <gil@annulohrhomes.com>

I still do not agree. The units are still separated by carports and breezeways. The garages are not, but the main living areas still do not satisfy 75-2-773 D.4 in my mind.

Daniel W. Ward

Planner Principal, Residential Review Division

Planning and Development Review, City of Austin

(512) 974-3341

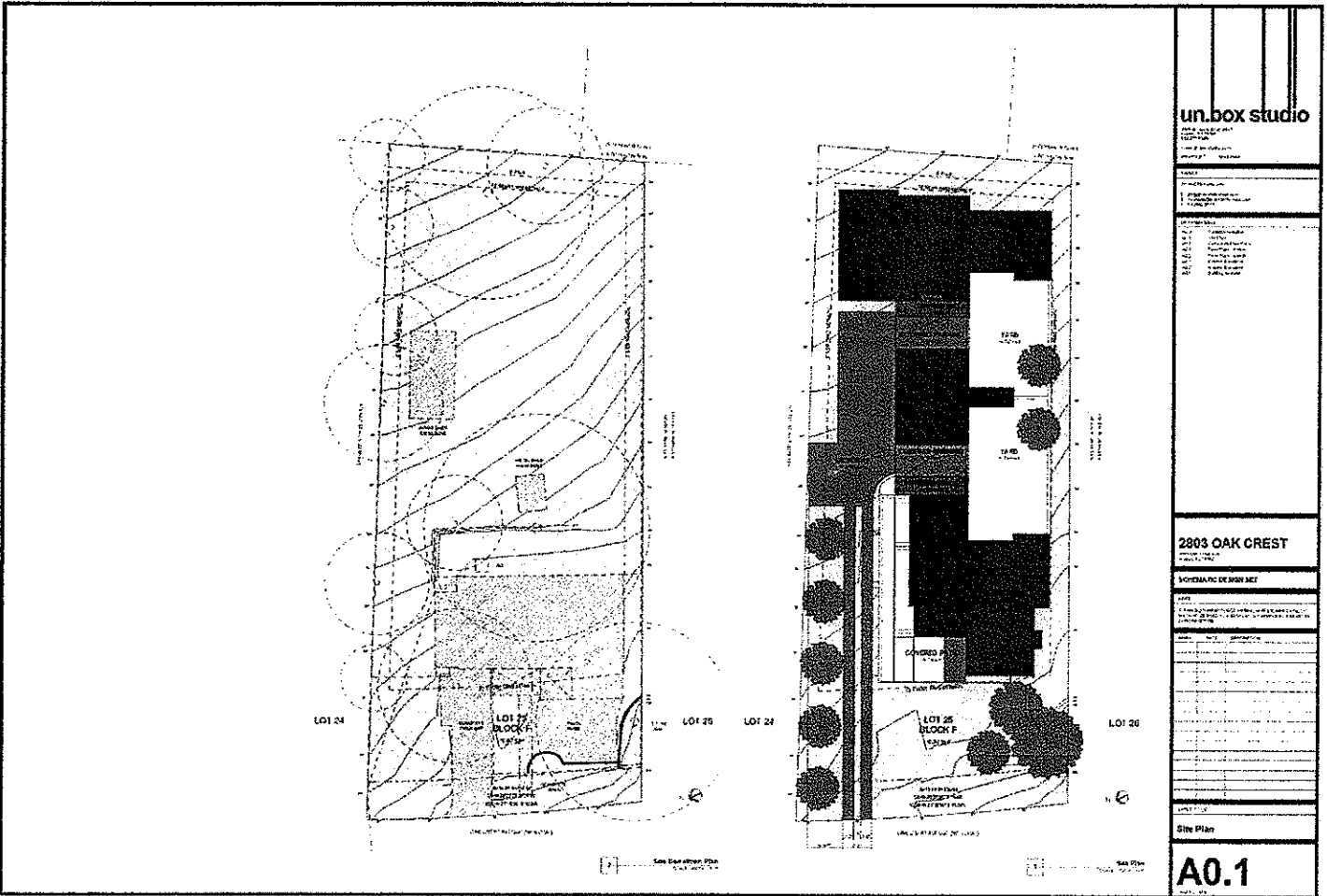
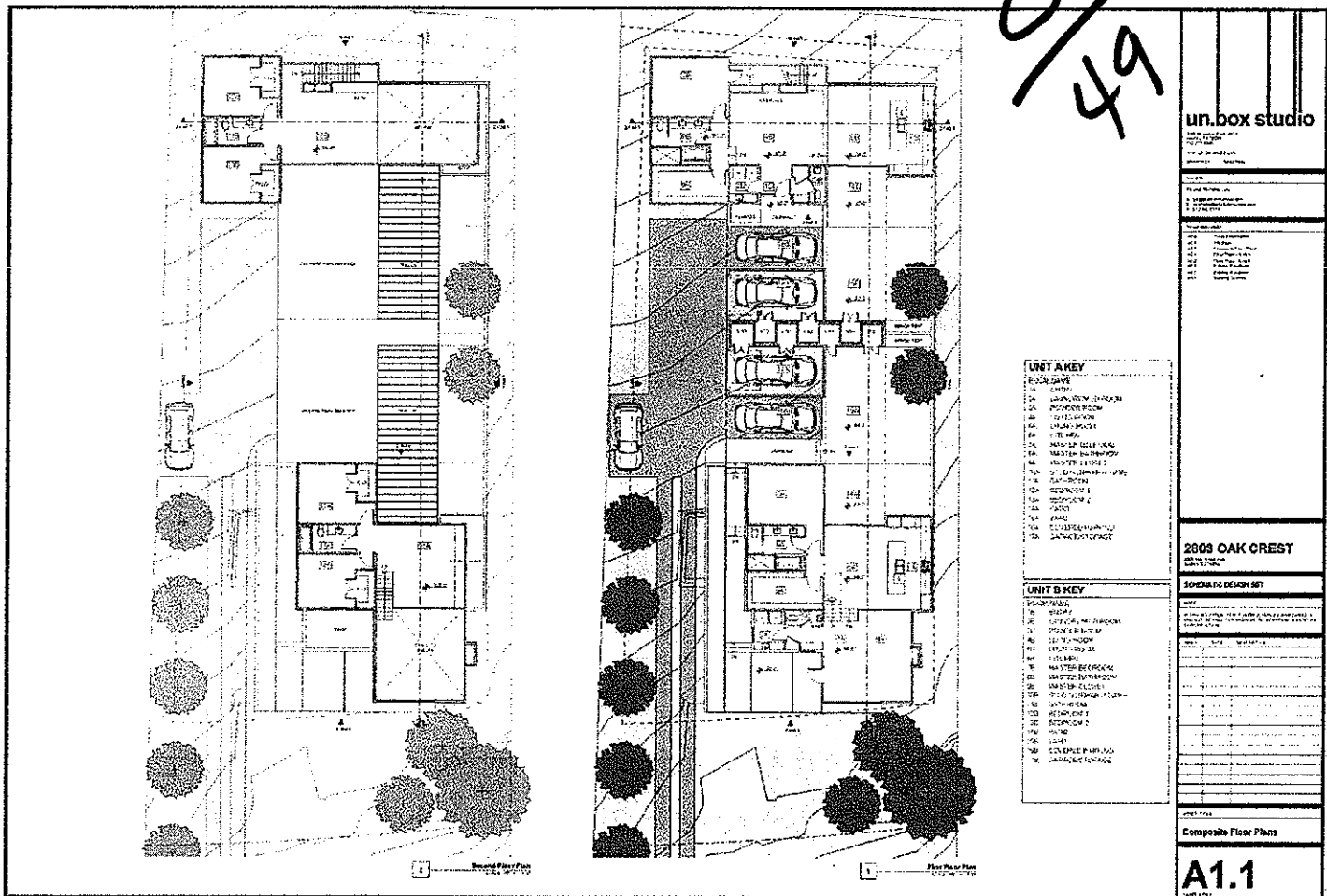
505 Barton Springs Rd. 2nd floor

Austin, TX 78704

**We are currently experiencing a dramatic increase in application submissions while at the same time

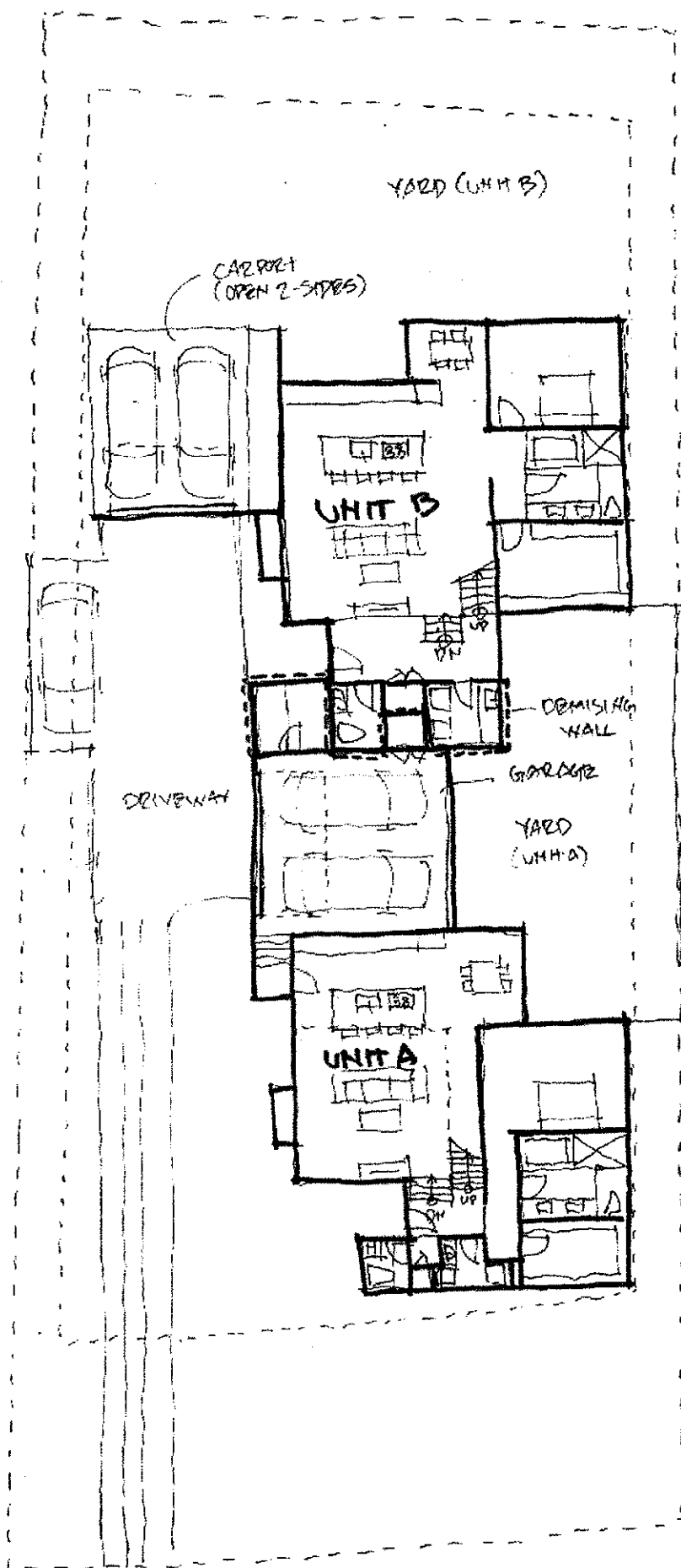
<https://mail.google.com/mail/u/0/?ui=2&ik=126723623&view=as&as=Projects%20OK%20Crest%2023&as=>

A 25



COA DESIGN CORRESPONDENCE

U3/51



COA DESIGN CORRESPONDENCE

07/12/13 Gmail - 2803 Oak Crest | demising wall review

Word, Daniel <Daniel.Word@ausintexas.gov>
To: Jared Haas <haas@un-box-studio.com>, "Horton, Taylor" <Taylor.Horton@ausintexas.gov>
Cc: Gil Lohr <gil@gmmlhthomes.com>

Tue, Apr 2, 2013 at 8:15 AM

The carport needs to be 80% open on the minimum 2 sides and NO habitable space above for the up to 450-sf credit. The attached garage would be eligible for up to 200-sf (if used to meet min parking requirements). Enclosed storage does count as FAR. The main problem is the demising wall. You should only count the portions that are "common" to the dwelling units. You have some exterior walls counting, which are not "common" to both dwellings.

Daniel Word
Planner Principal, Residential Review Division
Planning and Development Review, City of Austin
(512) 974-3341

505 Barton Springs Rd, 2nd floor
Austin, TX 78704

***We are currently experiencing a dramatic increase in application submittals while at the same time experiencing a dramatic reduction in staffing levels. We are working diligently to restore our staffing levels. Due to these issues, email and phone responses are taking longer than normal to return. In addition, given the unpredictable nature of the services we provide, we cannot provide estimates on the expected review period. We appreciate your continued patience during this frustrating time. **

We are currently reviewing submittals from the week of Dec 10th for "senior" level reviews.

We are currently reviewing submittals from the week of Dec 31st for "junior" level reviews.

NEW HOURS Effective January 28th, 2013

Intake: Mon 8-11am, Wed 8-11am & 1-3pm, Fri 8-11am

Consultation: Mon/Wed/Fri 8-11am

CLOSED TUESDAY & THURSDAY (to perform reviews)

From: Jared Haas [mailto:haas@un-box-studio.com]
Sent: Monday, April 01, 2013 6:21 PM
To: Word, Daniel; Horton, Taylor

<https://mail.google.com/mail/u/0/?ui=2&ik=12c725c23d6f&view=pt&as=Projects%2FOak+Crest-2803&as...>

07/12/13

Gmail - 2803 Oak Crest | demising wall review

Cc: Gil Lohr

[Quoted text hidden]

[Quoted text hidden]

[Quoted text hidden]

[Quoted text hidden]

Daniel,

[Quoted text hidden]

[Quoted text hidden]

On Wed, Feb 13, 2013 at 10:17 AM, Jared Haas <haas@un-box-studio.com> wrote:

Daniel,

Technically the buildings are not separated by the carports since the demising wall is within the shared storage area. This concept was approved in the past at the attached referenced projects (4810 Caswell and 5607 Clay).

Jared Haas | un-box studio

LEED Green Associate
www.un-box-studio.com
1805 N Lamar Blvd, #101
Austin, TX 78705
512.277.0845

On Wed, Feb 13, 2013 at 8:35 AM, Word, Daniel <Daniel.Word@ausintexas.gov> wrote:

[Quoted text hidden]

Jared Haas <haas@un-box-studio.com>

To: "Word, Daniel" <Daniel.Word@ausintexas.gov>

Cc: "Horton, Taylor" <Taylor.Horton@ausintexas.gov>, Gil Lohr <gil@gmmlhthomes.com>

Tue, Apr 2, 2013 at 10:28 AM

Thank you for your quick response. We will adjust the demising wall and move forward toward permit drawings.

Jared Haas | un-box studio

LEED Green Associate
www.un-box-studio.com
1805 N Lamar Blvd, #101
Austin, TX 78705
512.277.0845

<https://mail.google.com/mail/u/0/?ui=2&ik=12c725c23d6f&view=pt&as=Projects%2FOak+Crest-2803&as...>

C3/S2

C3/54

Written comments must be submitted to the board or commission (or the contact person listed on the notice) before or at a public hearing. Your comments should include the board or commission's name, the scheduled date of the public hearing, and the Case Number and the contact person listed on the notice.

Case Number: 2013-053007R

ADDRESS: 2803 Oak Crest Avenue

Contact: Sylvia Benavidez, 974-2522

Public Hearing: July 3, 2013

Residential Design and Compatibility Commission

☐ I am in favor
☒ I object

Maureen Scollan MAOREEN SCOLLAN
Your Name (please print)

2804 OAK CREST AV
Your address (es) affected by this application

Maureen Scollan 6.22.13
Signature Date

Comments: regarding 2803 OAK CREST 78704
unacceptable that so much
living space be put on
a street that is
99% single family residents
the fact that there is going to
be a duplex is already too much.
If oversized, it will be way out
of scale with the rest of the
street.

If you use this form to comment, it may be returned to:

City of Austin

Sylvia Benavidez

P.O. Box 1088

Austin, TX 78767-8810