

If you need assistance completing this application (general inquiries only) please contact Susan Walker, 974-2202; 505 Barton Springs Road, 2nd Floor (One Texas Center).

ROW

CASE # C15-2013-0066
ROW# 10963090
TP-0229110608

CITY OF AUSTIN
APPLICATION TO BOARD OF ADJUSTMENT
GENERAL VARIANCE/PARKING VARIANCE

WARNING: Filing of this appeal stops all affected construction activity.

PLEASE: APPLICATION MUST BE TYPED WITH ALL REQUESTED INFORMATION COMPLETED.

STREET ADDRESS: 303 Brentwood St, Austin, TX

LEGAL DESCRIPTION: Subdivision - Plaza Place

Lot(s) 8 Block K Outlot _____ Division _____

I/We Donna D. Carter on behalf of myself/ourselves as authorized agent for
Thomas K. Hubbard affirm that on 05 May 2013,

hereby apply for a hearing before the Board of Adjustment for consideration to:

(check appropriate items below)

ERECT ATTACH COMPLETE REMODEL MAINTAIN 15' 7"

a dwelling unit, attached to an existing dwelling unit to form one duplex unit with a common wall of ~~10' 0"~~, located on a legally subdivided 9,662.70 square feet lot.

in a SF-3 district.
(zoning district)

NOTE: The Board must determine the existence of, sufficiency of and weight of evidence supporting the findings described below. Therefore, you must complete each of the applicable Findings Statements as part of your application. Failure to do so may result in your application being rejected as incomplete. Please attach any additional support documents.

VARIANCE FINDINGS: I contend that my entitlement to the requested variance is based on the following findings (see page 5 of application for explanation of findings):

REASONABLE USE:

1. The zoning regulations applicable to the property do not allow for a reasonable use because:

they do not anticipate a shared enclosed integral part of each unit acting as the required common wall. In addition they do not anticipate changing community goals that encourage sustainability by re-use of existing structures by requiring substantial reconstruction of an existing structure to accommodate the required common walls or ceiling.

HARDSHIP:

2. (a) The hardship for which the variance is requested is unique to the property in that: the location and configuration of the existing residence, driveway, and area currently being used for the carport are unique to this site.

- (b) The hardship is not general to the area in which the property is located because:

The other houses in the area are more centered on the width of their lots and are also closer to the street. The layout of the existing house is therefore different from the the predominant style.

AREA CHARACTER:

3. The variance will not alter the character of the area adjacent to the property, will not impair the use of adjacent conforming property, and will not impair the purpose of the regulations of the zoning district in which the property is located because:

This preserves the existing house and it's relationship to the street in it's entirety. All additions are to the rear of the structure and do not change it.

PARKING: (Additional criteria for parking variances only.)

Request for a parking variance requires the Board to make additional findings. The Board may grant a variance to a regulation prescribed Section 479 of Chapter 25-6 with respect to the number of off-street parking spaces or loading facilities required if it makes findings of fact that the following additional circumstances also apply:

1. Neither present nor anticipated future traffic volumes generated by the use of the site or the uses of sites in the vicinity reasonable require strict or literal interpretation and enforcement of the specific regulation because:

NOT APPLICABLE

2. The granting of this variance will not result in the parking or loading of vehicles on public streets in such a manner as to interfere with the free flow of traffic of the streets because:

NOT APPLICABLE

3. The granting of this variance will not create a safety hazard or any other condition inconsistent with the objectives of this Ordinance because:

NOT APPLICABLE

4. The variance will run with the use or uses to which it pertains and shall not run with the site because:

NOT APPLICABLE

NOTE: The Board cannot grant a variance that would provide the applicant with a special privilege not enjoyed by others similarly situated or potentially similarly situated.

APPLICANT CERTIFICATE – I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Signed Donna D. Carter Mail Address 817 W. 11th St.

City, State & Zip Austin, TX 78701

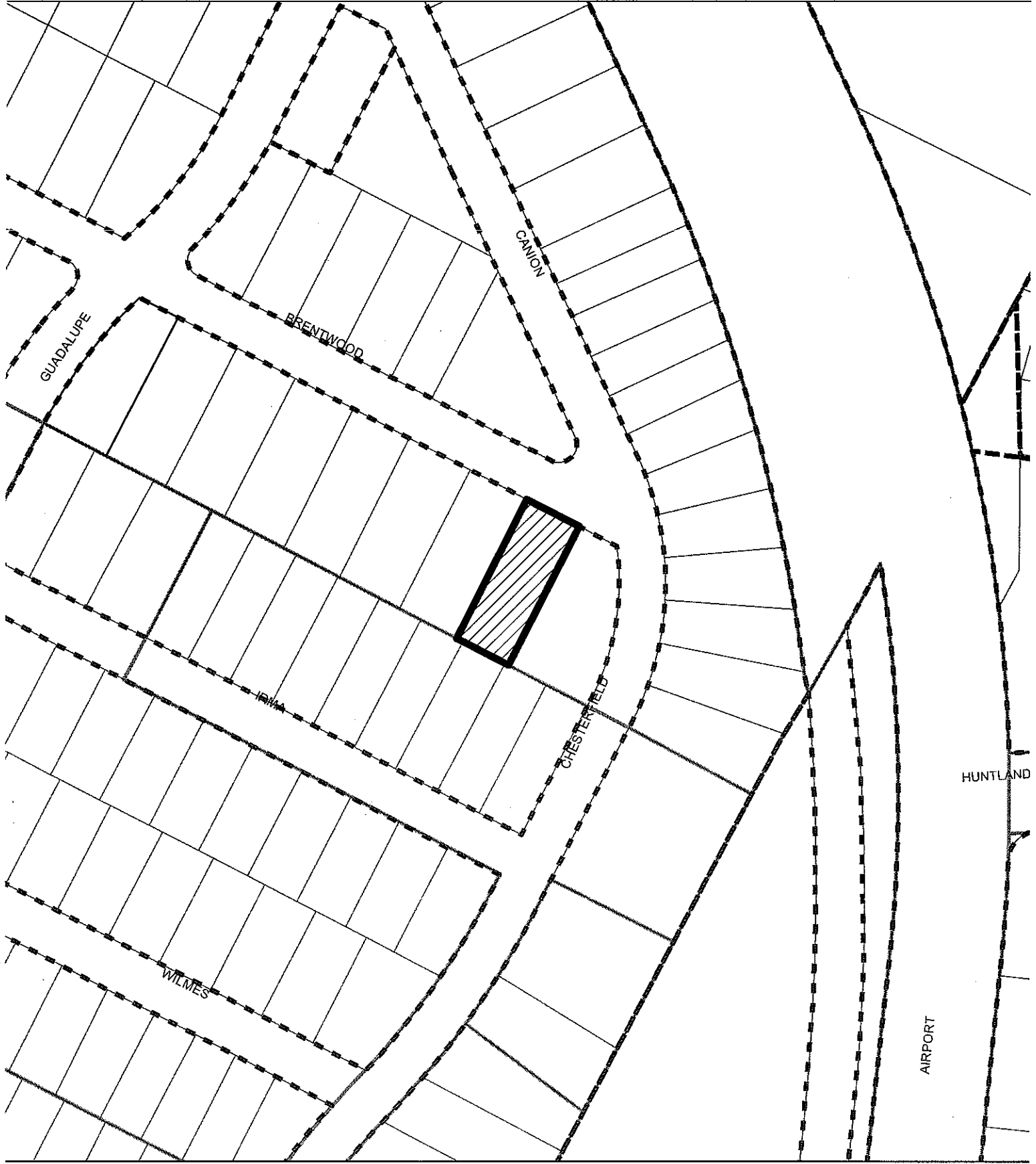
Printed Donna D. Carter Phone 5120476-1812 Date 9 May 2013

OWNERS CERTIFICATE – I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Signed Thomas K. Hubbard Mail Address 11500 Oak View Dr.

City, State & Zip Austin, TX 78759

Printed Thomas K. Hubbard Phone 331-5175 Date 5/10/13



SUBJECT TRACT



ZONING BOUNDARY

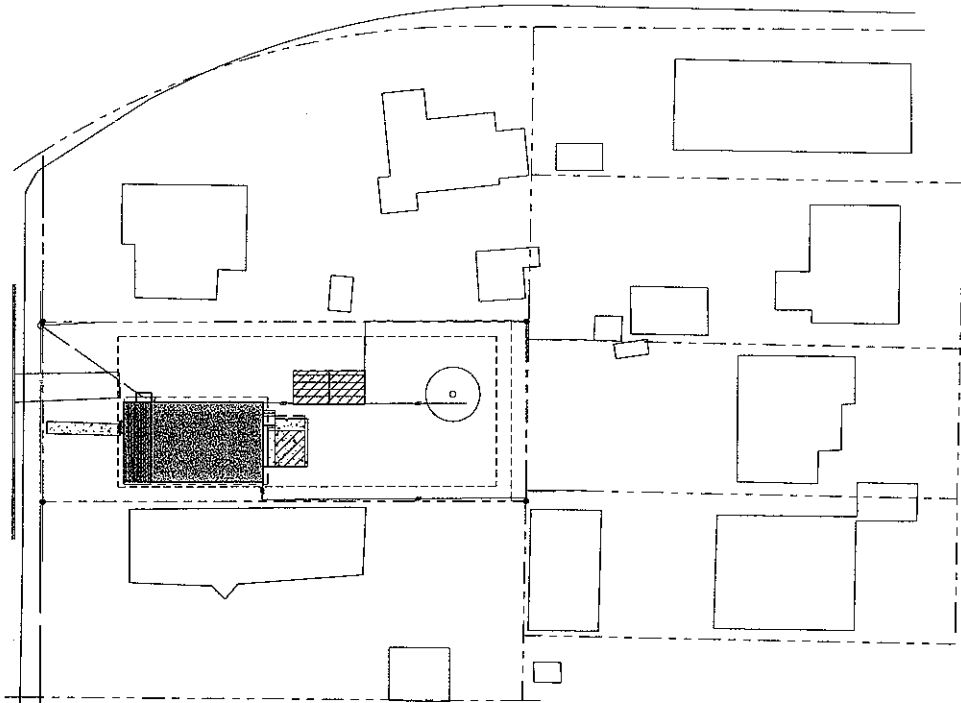
CASE#: C15-2013-0066
 LOCATION: 303 Bretwood St.



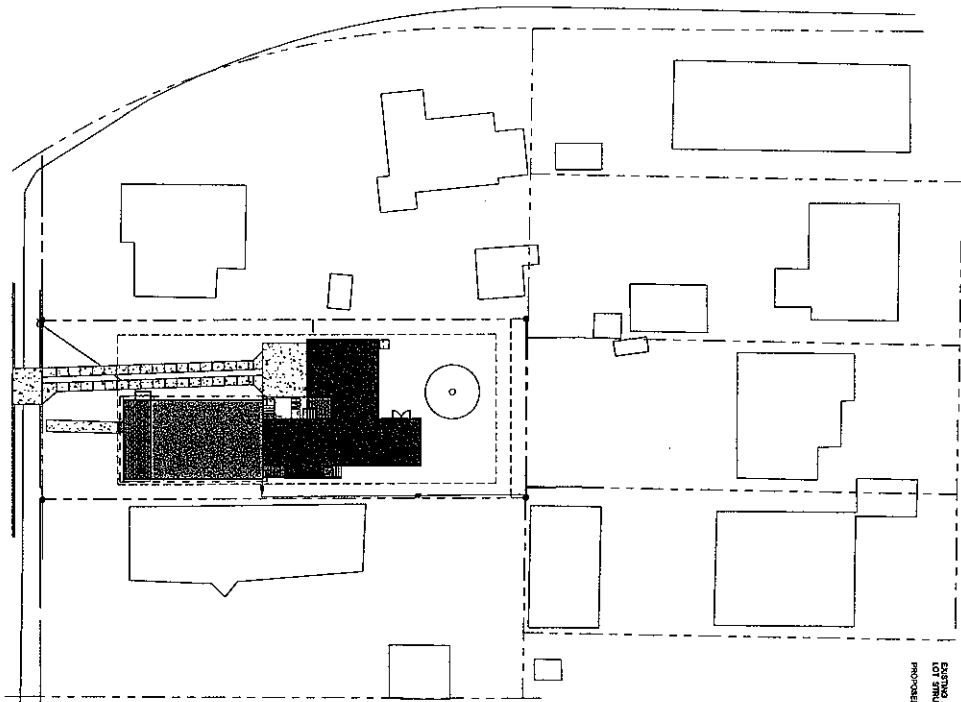
This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

This product has been produced by the Planning and Development Review Department for the sole purpose of geographic reference. No warranty is made by the City of Austin regarding specific accuracy or completeness.

2 EXISTING ARCHITECTURAL SITE PLAN - PRESENT CONSTRUCTION
T = 2010



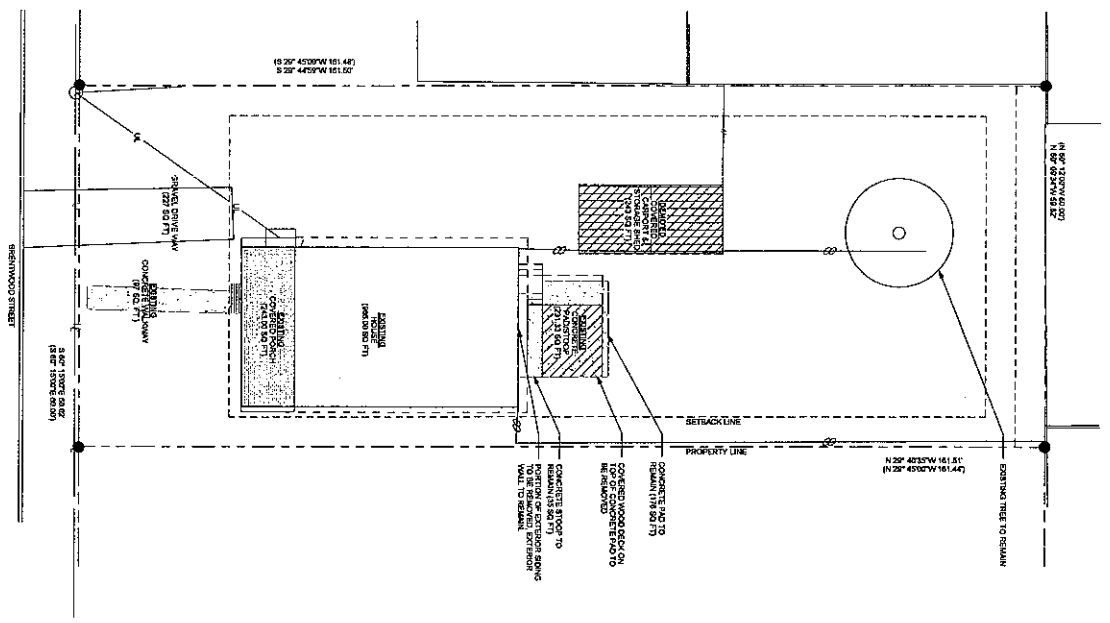
1 ARCHITECTURAL SITE PLAN - PROPOSED CONSTRUCTION
T = 2010



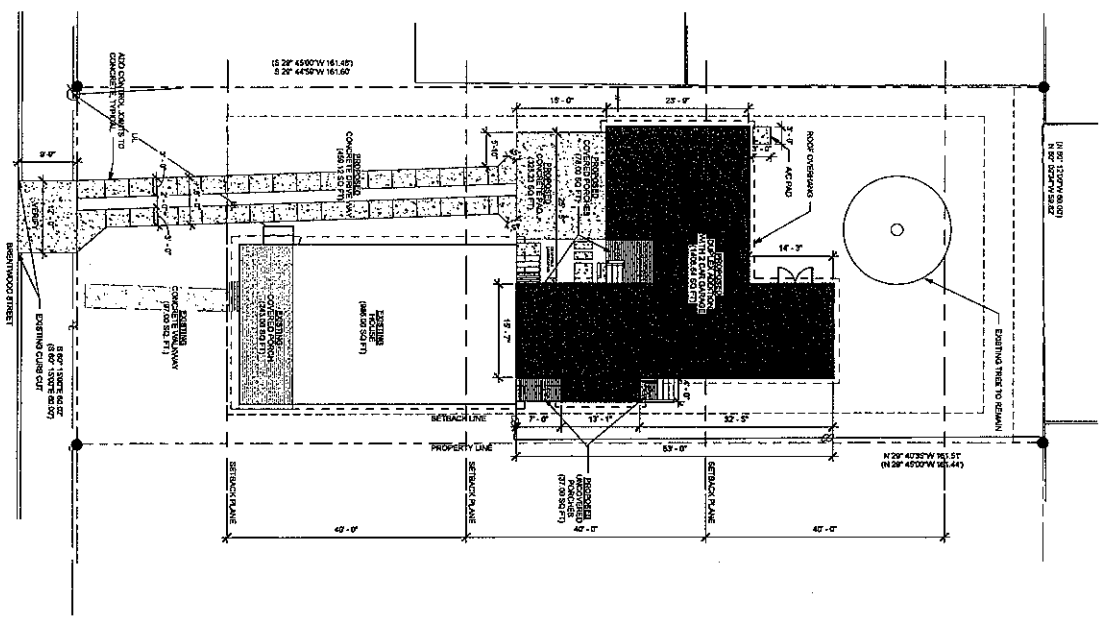
SITE LEGEND

	CHAIN LINK FENCE
	UTILITY LINE
	SETBACK LINE (ALL)
	SETBACK LINE (PRESENT)
	PRESENT LINE
	ROAD
	EXISTING ADJACENT LOT STRUCTURES
	PROPOSED

2 EXISTING ARCHITECTURAL SITE PLAN
1" = 10'-0"



1 ARCHITECTURAL SITE PLAN
1" = 10'-0"



- GENERAL NOTES - SITE PLAN**
1. VISUAL SCREENING AND SOUND BARRIER WALLS SHALL BE CONSIDERED AS PART OF THE ARCHITECTURAL DESIGN AND SHALL BE SUBMITTED AS PART OF THE ARCHITECTURAL SUBMITTALS.
 2. SEE ALL DIMENSIONS FROM FOUNDATION, INCLUDING AT SP.UBAL.COM/LOCATIONS.

SITE LEGEND

[Symbol]	CHALKLINE
[Symbol]	WOOD FENCE
[Symbol]	RETRACTABLE FENCE
[Symbol]	CONCRETE WALKWAY
[Symbol]	PROPERTY LINE
[Symbol]	DEMO
[Symbol]	EXISTING

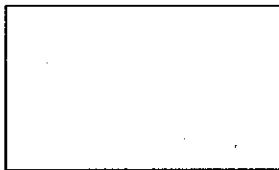
SITE INFORMATION

TOTAL LOT AREA	6802.39 SQ. FT.
ALLOWED IMPERVIOUS COVER	4246.25 SQ. FT.
EXISTING IMPERVIOUS COVER	966.50 SQ. FT.
RETRACTABLE FENCE	241.00 SQ. FT.
WOOD FENCE	675.00 SQ. FT.
CONCRETE WALKWAY	243.00 SQ. FT.
CONCRETE DRIVEWAY	507.00 SQ. FT.
WALKWAY	69.00 SQ. FT.
DECK	84.00 SQ. FT.
DECK WALK	84.00 SQ. FT.
DECK TOTAL	168.00 SQ. FT.
IMPERVIOUS TOTAL	966.50 SQ. FT.
DECK	201.00 SQ. FT.
WOOD FENCE	675.00 SQ. FT.
RETRACTABLE FENCE	241.00 SQ. FT.
CONCRETE WALKWAY	243.00 SQ. FT.
CONCRETE DRIVEWAY	507.00 SQ. FT.
WALKWAY	69.00 SQ. FT.
DECK	84.00 SQ. FT.
DECK WALK	84.00 SQ. FT.
TOTAL IMPERVIOUS COVER	2249.50 SQ. FT.
TOTAL IMPERVIOUS SITE COVERAGE	33.07%
TOTAL IMPERVIOUS BUILDING COVERAGE	30.73%

ISSUE DATE: 14 MARCH 2013
PROJECT NUMBER: 110091
DRAWN BY: LHM
CHECKED BY: DOC

REVISIONS:

NO.	REFERENCE	ISSUES

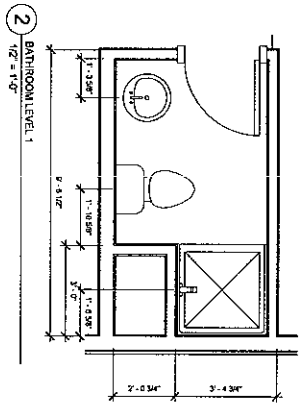


CARTER & DESIGN ASSOCIATES
817 WEST ELEVENTH STREET
AUSTIN TEXAS 78701 (512) 476-1812
ARCHITECTURE PLANNING PRESERVATION

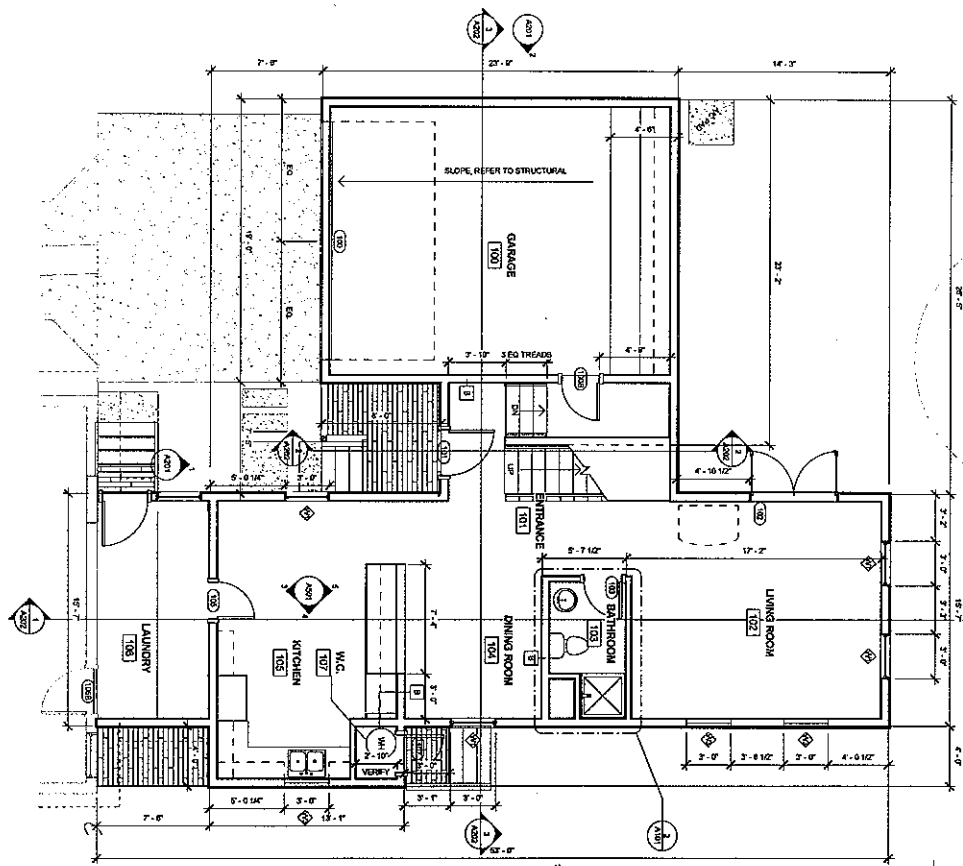
BRENTWOOD DUPLEX

303 BRENTWOOD STREET
AUSTIN, TEXAS 78703

ARCHITECTURAL SITE PLAN
A100



1 LEVEL 1 FLOOR PLAN
1/8" = 1'-0"



- GENERAL NOTES - FLOOR PLAN**
- DO NOT SCALE DRAWING. VERIFY DIMENSIONS ON SITE.
 - ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 - CONSTRUCTION SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM THE BUILDING.
 - CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. ALL OF THESE PERMITS SHALL BE INSTALLED BEFORE COMMENCEMENT OF CONSTRUCTION.
 - CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM THE BUILDING.
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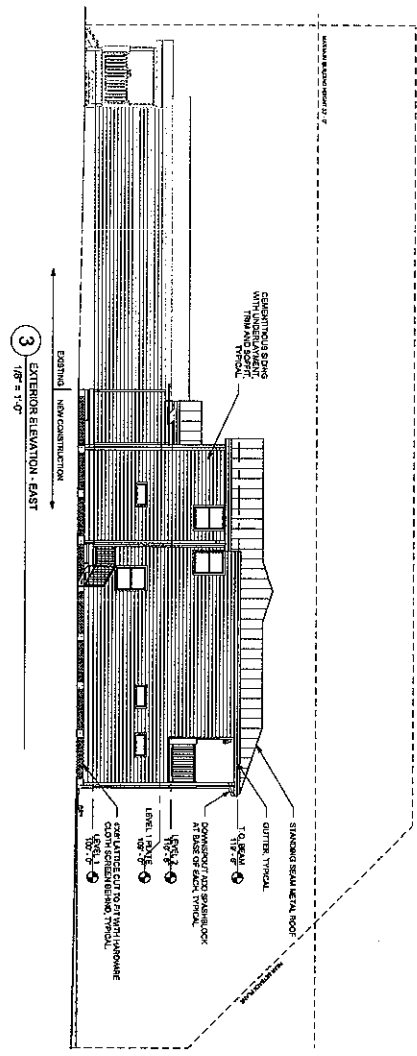
WALL TYPES

1	3 1/2" WOOD STUD WITH GYPSUM BOARD
2	5 1/2" WOOD STUD WITH GYPSUM BOARD

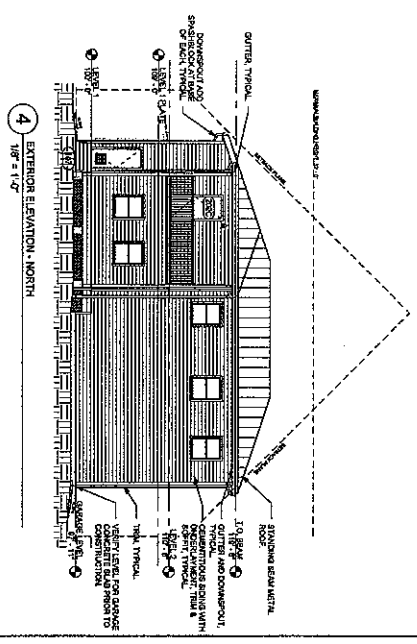
<p>BRENTWOOD DUPLEX</p> <p>303 BRENTWOOD STREET AUSTIN, TEXAS 78701</p>	<p>CARTER · DESIGN ASSOCIATES 817 WEST ELEVENTH STREET AUSTIN TEXAS 78701 (512) 476-1812 ARCHITECTURE PLANNING PRESERVATION</p>		<table border="1" style="width: 100%;"> <tr> <td>ISSUE DATE:</td> <td>14 MARCH 2013</td> </tr> <tr> <td>PROJECT NUMBER:</td> <td>115801</td> </tr> <tr> <td>DRAWN BY:</td> <td>LJH</td> </tr> <tr> <td>CHECKED BY:</td> <td>DDG</td> </tr> <tr> <td>REVISIONS:</td> <td></td> </tr> <tr> <td>NO.</td> <td>DESCRIPTION</td> </tr> <tr> <td>1</td> <td>SS880</td> </tr> </table>	ISSUE DATE:	14 MARCH 2013	PROJECT NUMBER:	115801	DRAWN BY:	LJH	CHECKED BY:	DDG	REVISIONS:		NO.	DESCRIPTION	1	SS880
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A101

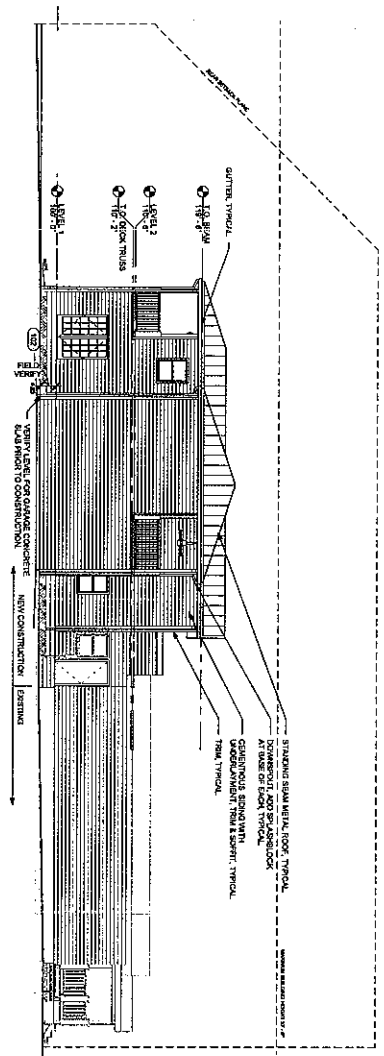
LEVEL 1 FLOOR PLAN



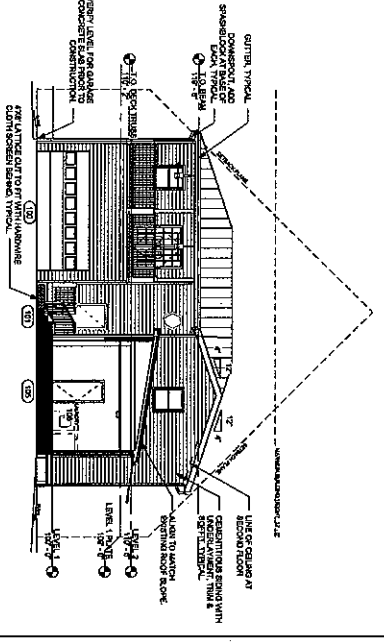
3 EXTERIOR ELEVATION - EAST
1/8" = 1'-0"



4 EXTERIOR ELEVATION - NORTH
1/8" = 1'-0"



2 EXTERIOR ELEVATION - WEST
1/8" = 1'-0"



1 EXTERIOR ELEVATION - SOUTH
1/8" = 1'-0"

ISSUE DATE:	14 MARCH 2013
PROJECT NUMBER:	116601
DRAWN BY:	LJH
CHECKED BY:	DCS
REVISIONS:	
NO.	REVISION
1	
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ARCHITECTURE PLANNING PRESERVATION

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803 BRENTWOOD STREET
AUSTIN, TEXAS 78701

EXTERIOR ELEVATIONS
A201