

If you need assistance completing this application (general inquiries only) please contact Susan Walker, 974-2202; 505 Barton Springs Road, 2<sup>nd</sup> Floor (One Texas Center).

ROW

CASE # C15-2013-0065  
Row # 10963078  
TP-0209091409

CITY OF AUSTIN  
APPLICATION TO BOARD OF ADJUSTMENT  
GENERAL VARIANCE/PARKING VARIANCE

**WARNING: Filing of this appeal stops all affected construction activity.**

PLEASE: APPLICATION MUST BE TYPED WITH ALL REQUESTED  
INFORMATION COMPLETED.

STREET ADDRESS: 2012 E 16 St

LEGAL DESCRIPTION: Subdivision - Crows

Lot(s) 6 Block 4 Outlot 35 Division B

I/We Kathryn A Taylor on behalf of myself/ourselves as authorized agent for

Kathryn A Taylor affirm that on May 7, 2013,

hereby apply for a hearing before the Board of Adjustment for consideration to:

(check appropriate items below)

☐ ERECT ☐ ATTACH ☐ COMPLETE ☒ REMODEL ☐ MAINTAIN

Existing second level 560sq ft. storage space into a secondary apartment and  
and add a 225sq ft covered porch. Total addition + remodel is 785sq ft.

in a SF-3 district.  
(zoning district)

NOTE: The Board must determine the existence of, sufficiency of and weight of evidence supporting the findings described below. Therefore, you must complete each of the applicable Findings Statements as part of your application. Failure to do so may result in your application being rejected as incomplete. Please attach any additional support documents.

**VARIANCE FINDINGS:** I contend that my entitlement to the requested variance is based on the following findings (see page 5 of application for explanation of findings):

**REASONABLE USE:**

1. The zoning regulations applicable to the property do not allow for a reasonable use because:  
The garage & storage were built prior to SubChapter F requirements and don't allow for use of the property granted by SubChapter F. Allowed 3840 sq ft., Requesting 2907 sq ft. Variance Request is for a 560sq ft. second level apartment with a 225sq ft. covered porch;  
Code limits 2nd level apartments to 550sq ft.

**HARDSHIP:**

2. (a) The hardship for which the variance is requested is unique to the property in that:  
Configuration of the existing house and garage, both built before SubChapter F, don't allow for the further development to the property

(b) The hardship is not general to the area in which the property is located because:

This is an unusually large (9600 sq ft) lot. Existing buildings don't allow for the permissible 3840 sq ft.

**AREA CHARACTER:**

3. The variance will not alter the character of the area adjacent to the property, will not impair the use of adjacent conforming property, and will not impair the purpose of the regulations of the zoning district in which the property is located because:

Adjacent lots in the neighborhood are being developed to the full 4 FAR and adding 850sq ft secondary apartments

**PARKING:** (Additional criteria for parking variances only.)

Request for a parking variance requires the Board to make additional findings. The Board may grant a variance to a regulation prescribed Section 479 of Chapter 25-6 with respect to the number of off-street parking spaces or loading facilities required if it makes findings of fact that the following additional circumstances also apply:

1. Neither present nor anticipated future traffic volumes generated by the use of the site or the uses of sites in the vicinity reasonable require strict or literal interpretation and enforcement of the specific regulation because:

No parking variance

2. The granting of this variance will not result in the parking or loading of vehicles on public streets in such a manner as to interfere with the free flow of traffic of the streets because:

all parking on site

3. The granting of this variance will not create a safety hazard or any other condition inconsistent with the objectives of this Ordinance because:

The Ordinance allows for 3840sq ft. of development including an 850sq ft apartment. We are asking for 2907sq ft which includes a 785sq ft apartment

4. The variance will run with the use or uses to which it pertains and shall not run with the site because:

SF 3 zoning only allows residential uses

**NOTE:** The Board cannot grant a variance that would provide the applicant with a special privilege not enjoyed by others similarly situated or potentially similarly situated.

**APPLICANT CERTIFICATE** – I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Signed Kathryn A. Taylor Mail Address 2012 E 16 St

City, State & Zip Austin Texas 78702

Printed Kathryn A Taylor Phone 512-585-5284 Date May 7 2013

**OWNERS CERTIFICATE** – I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

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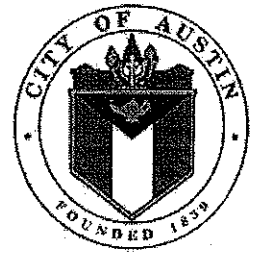


SUBJECT TRACT



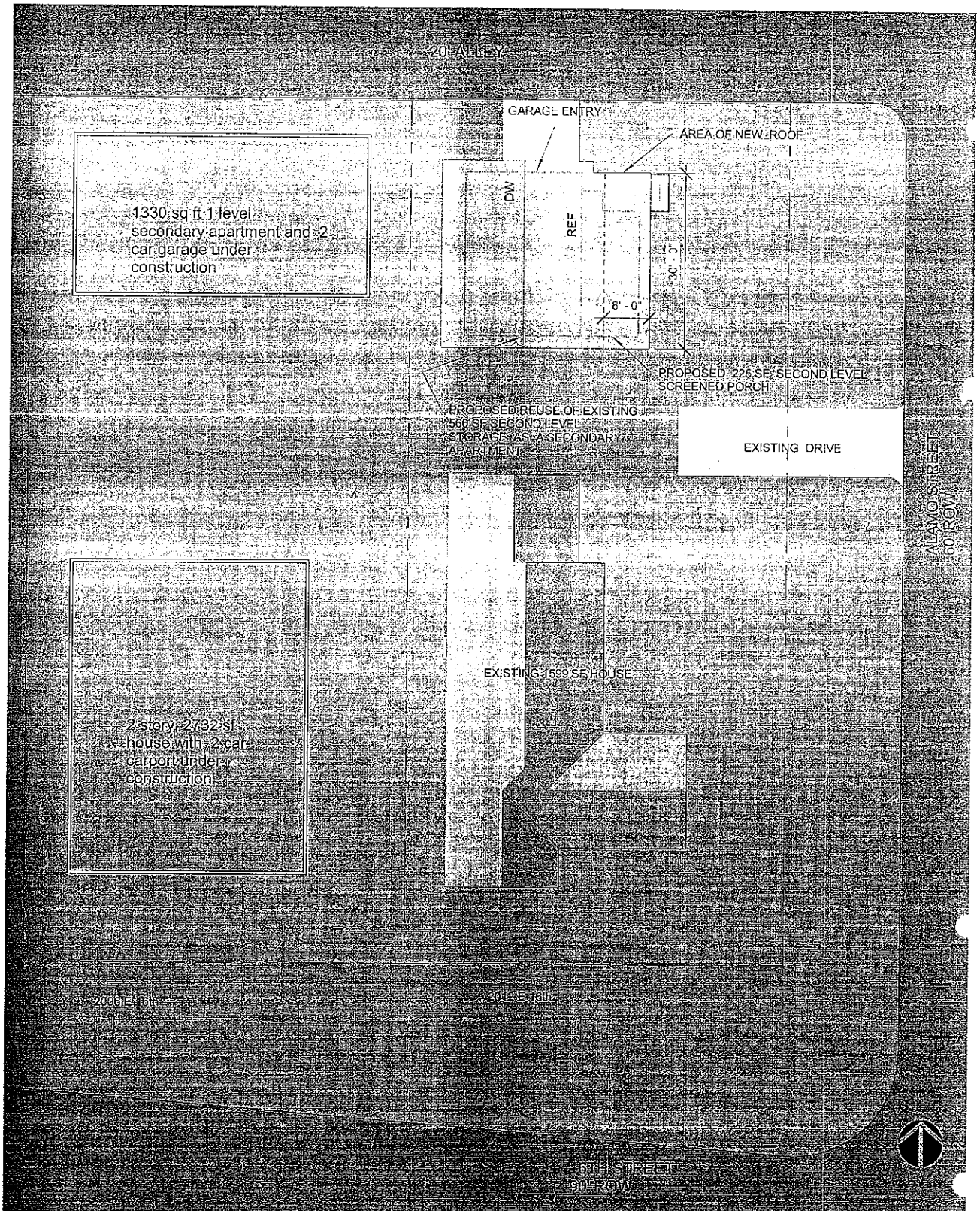
ZONING BOUNDARY

CASE#: C15-2013-0065  
LOCATION: 2012 E 16th Street

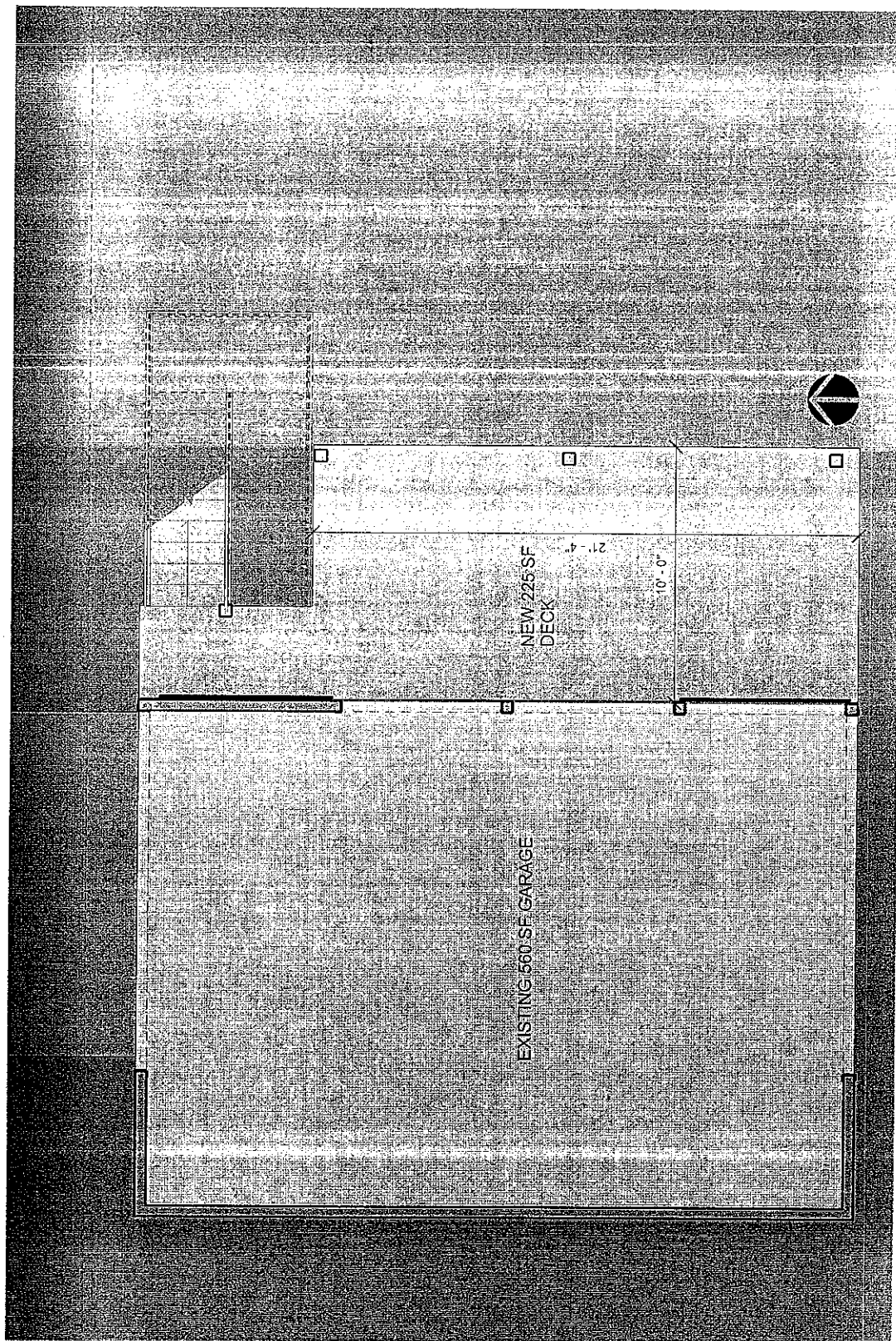


This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

This product has been produced by the Planning and Development Review Department for the sole purpose of geographic reference. No warranty is made by the City of Austin regarding specific accuracy or completeness.



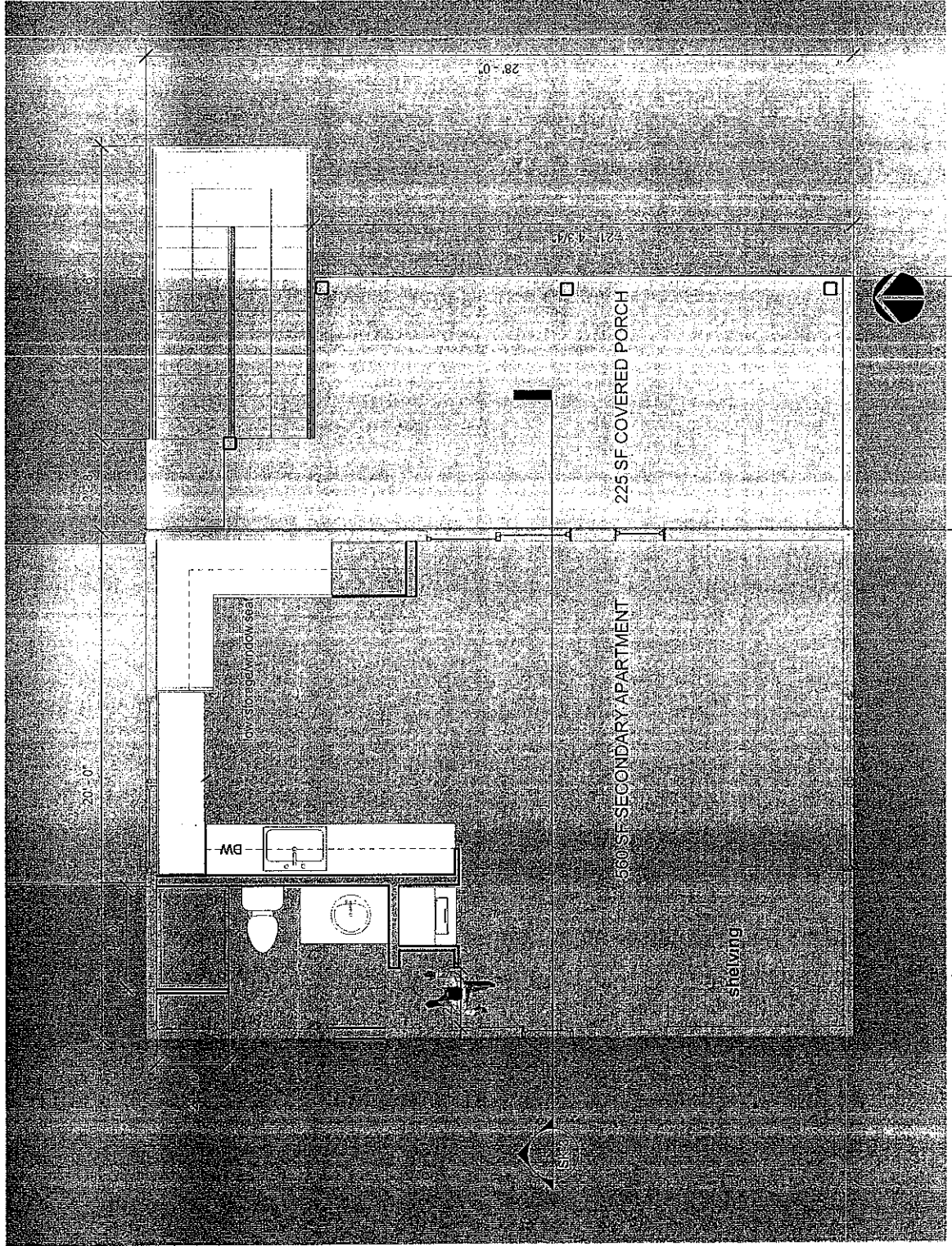
1 Site  
1/16" = 1'-0"



1 Level 1  
1/4" = 1'-0"

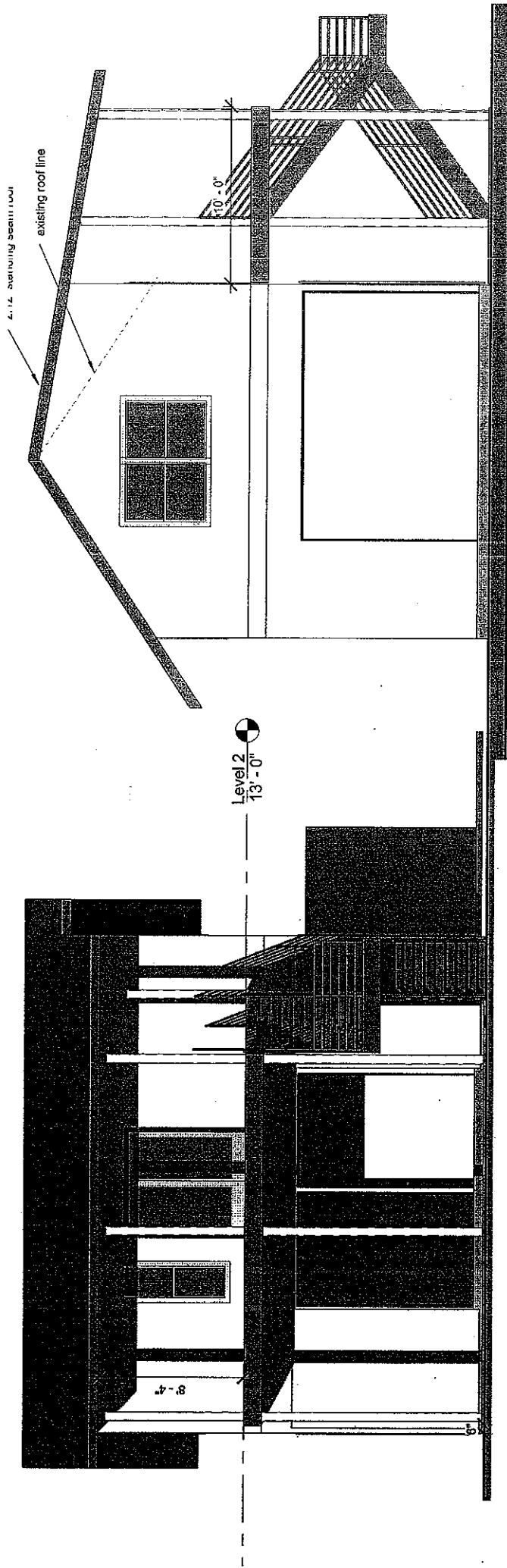
2012 E. 16th Street





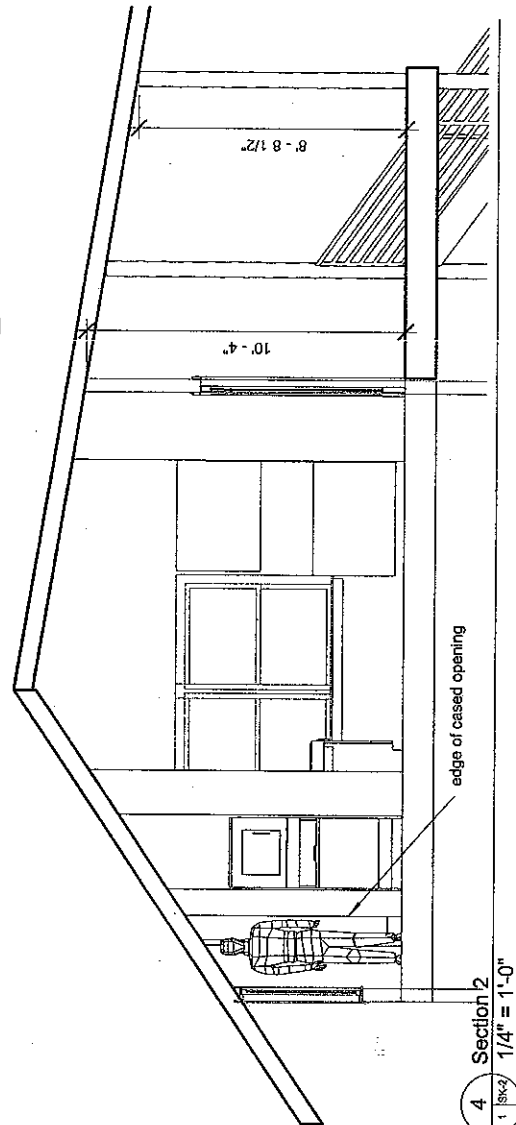
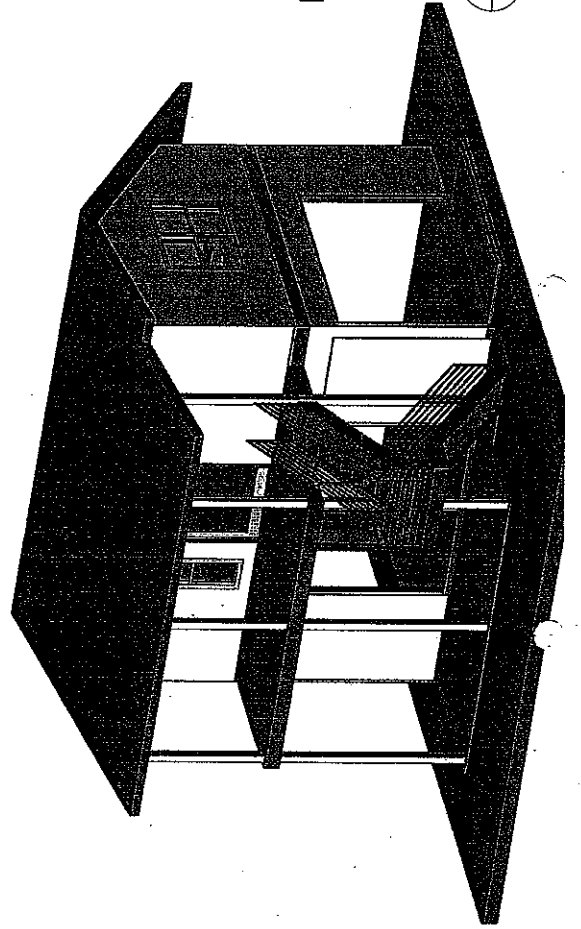
2012 E 16<sup>th</sup> Street

1 Level 2  
1/8" = 1'-0"



1 East Elevation  
3/16" = 1'-0"

3 South Elevation  
3/16" = 1'-0"



4 Section 2  
1/4" = 1'-0"

2012 E 10th Street



HANDLED TO  
SUSAN WALKER  
LET MESSAGE  
5.31  
10:46 AM

512 974.2202

MAY 9TH

CK # 2386 \$360

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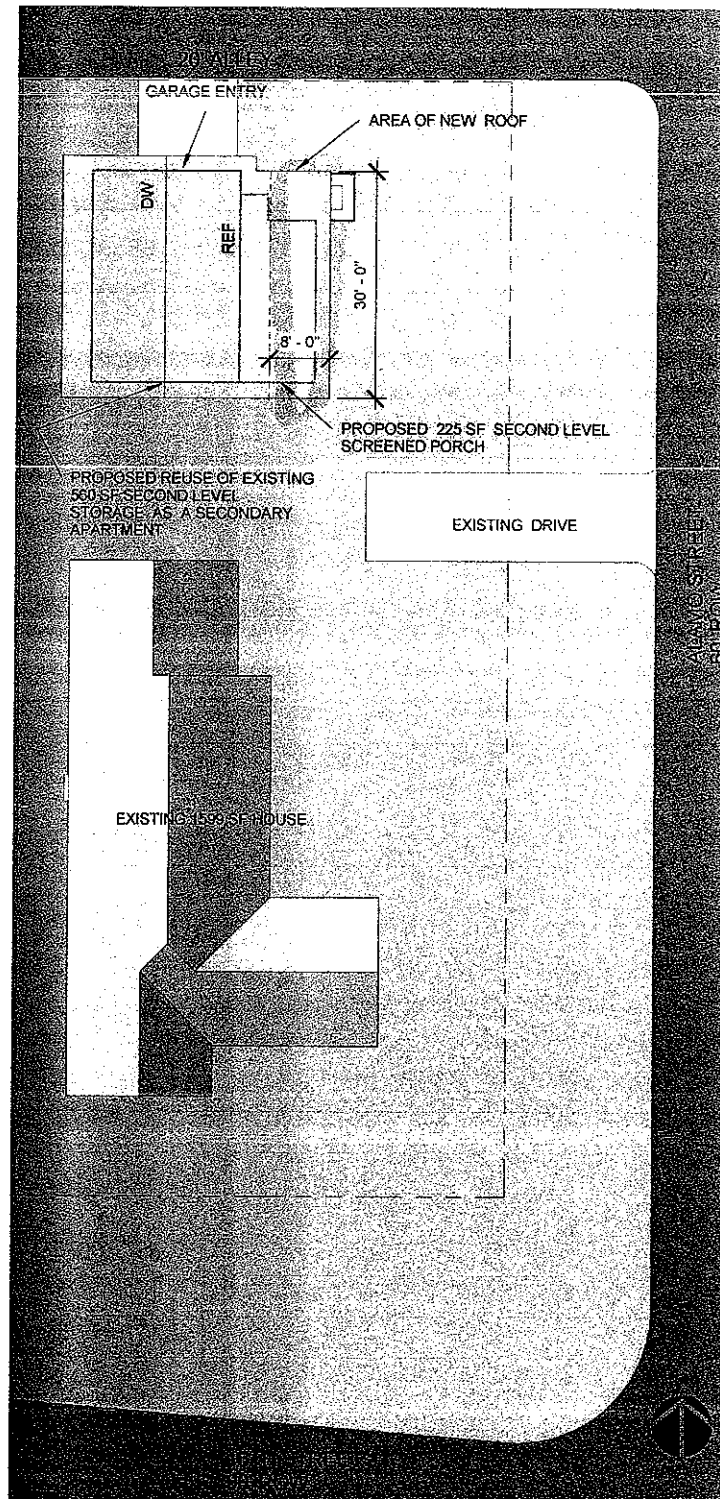
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Printed Kathryn A Taylor Phone 512-585-5284 Date May 7 2013



1 Site  
1/16" = 1'-0"

2012 E 16TH ST

CASE # 015-2012-0065



VIEW OF EXISTING  
GARAGE/STORAGE  
(SHOWING SOUTH EAST  
ELEVATION)



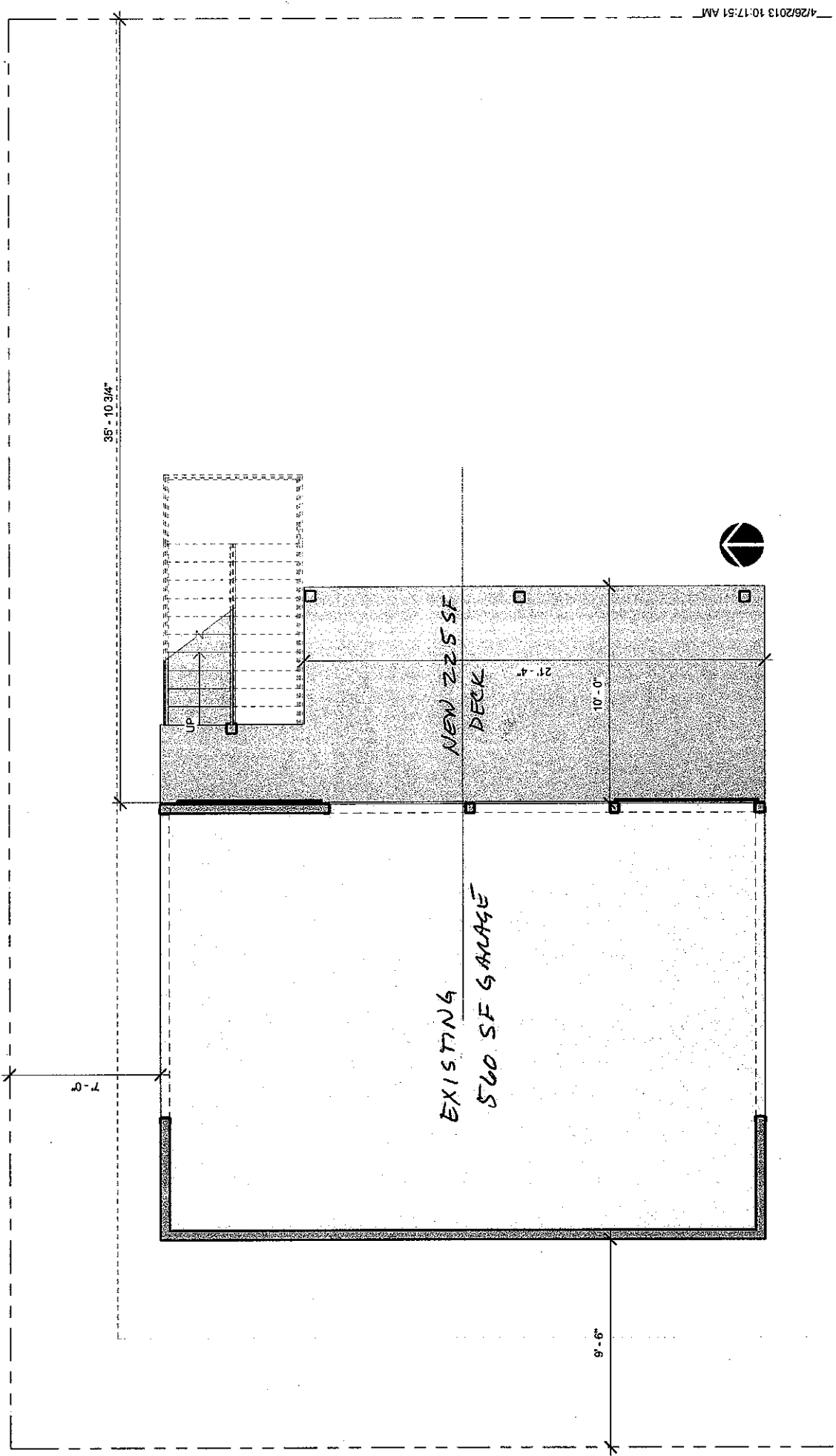
VIEW OF  
EAST  
ELEVATION



EXISTING  
SECOND STORY  
STORAGE AREA



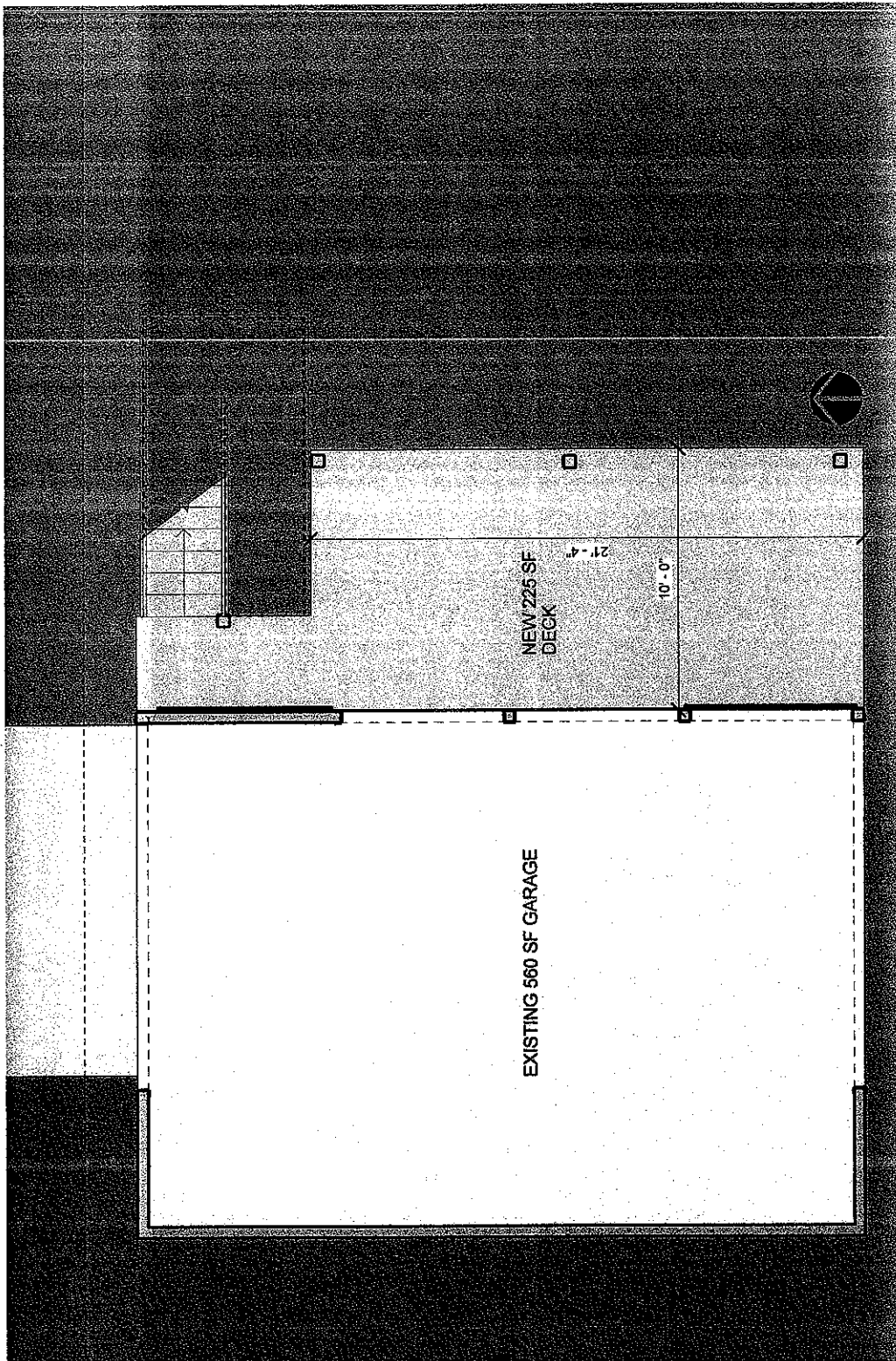
CASE # C15-2013-0065



4/26/2013 10:17:51 AM

FIRST LEVEL SHOWING  
RELATIONSHIP TO LOT BOUNDARIES

2016 E 16 ST

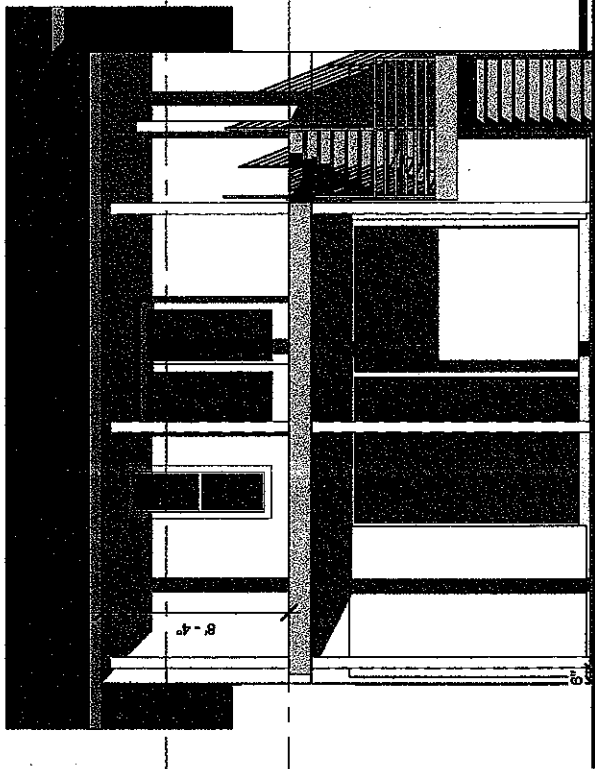


1 Level 1  
1/4" = 1'-0"

5/8/2013 12:01:06 PM

CASE # C15-2013 - 0065

2012 E 14 ST

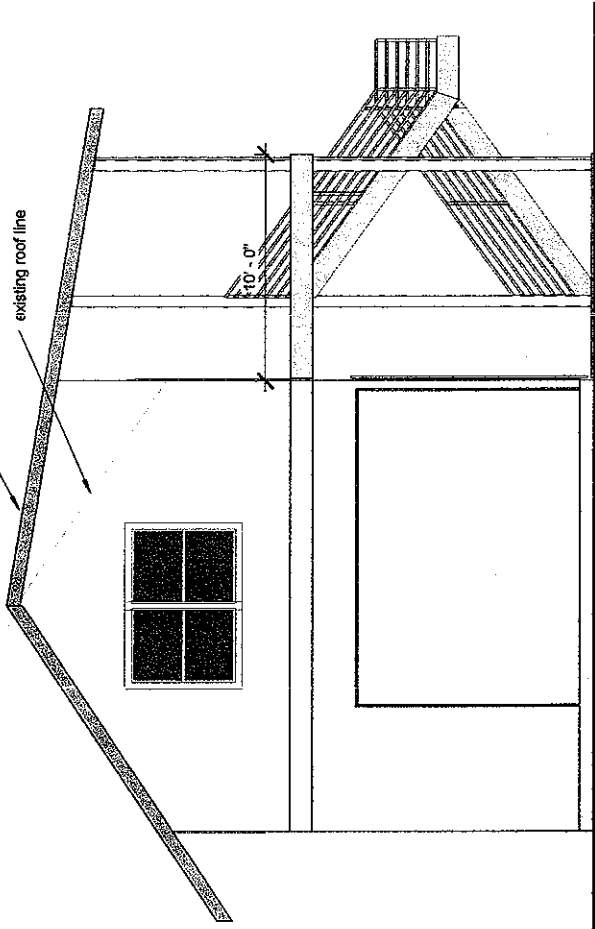


1 East Elevation  
3/16" = 1'-0"

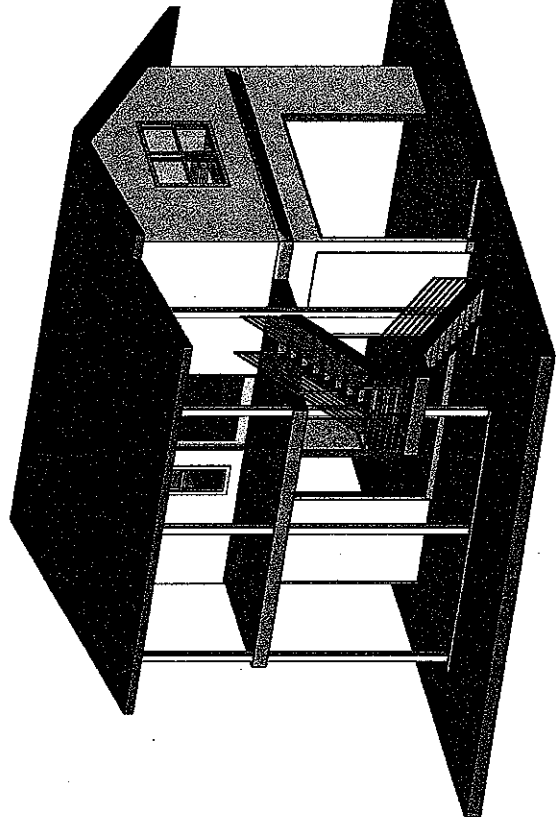
Level 3  
18' - 6"

Level 2  
13' - 0"

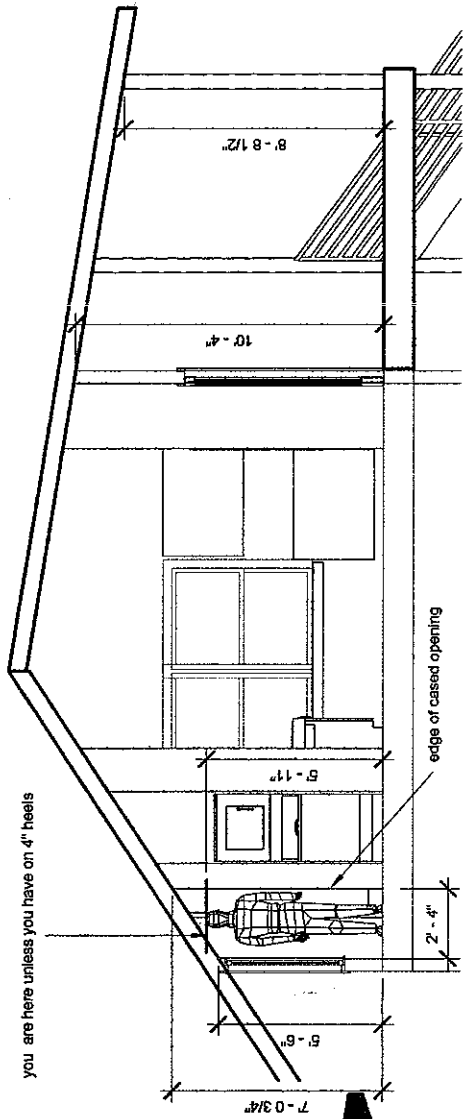
2:12 standing seam roof  
existing roof line



3 South Elevation  
3/16" = 1'-0"



you are here unless you have on 4" heels

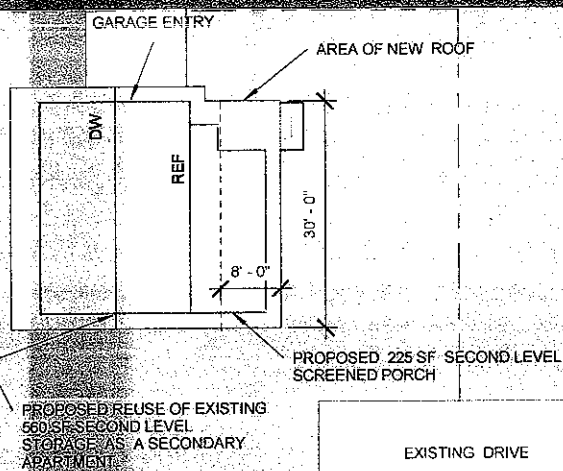


BASE # 115-7012 00/00

2012 E 16 ST

1330 sq ft 1 level  
secondary apartment and 2  
car garage under  
construction

2 story, 2732 sf  
house with 2 car  
carport under  
construction



EXISTING 1599 SR HOUSE

2006 E 16th

2012 E 16th



Site  
1/16" = 1'-0"

2012 E 16TH ST

Chestnut Neighborhood Plan Contact Team • 2601 E 17<sup>th</sup> St • Austin, Texas 78702

City of Austin Board of Adjustment

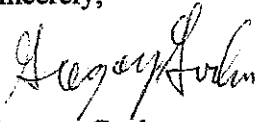
June 24, 2013

Re: Support for variance request, case C15-2013-0065

Board members,

On behalf of the Chestnut Neighborhood Plan Contact Team, I am writing to register our support for the variance request for a 560 sq ft second level apartment with a 225 sq ft covered porch at 2012 E 16<sup>th</sup> St. We agreed by consensus to support this variance request at our NPCT meeting on June 17<sup>th</sup>, 2013.

Sincerely,



Gregory Goeken  
Chair, Chestnut Neighborhood Plan Contact Team

2012 E16

CASE # C15-2013-0065



**Chestnut NPCT  
Spring Quarterly Meeting  
June 17, 2013  
6:30-8:00pm**

**Redeemer Presbyterian Church**

**Agenda**

1. Officer election - Secretary
2. Revisions to our bylaws to clarify online communication and decision making
3. Architecture Survey Committee report
4. Official request from the Chestnut Neighborhood Revitalization Corporation for the NPCT's stance on Density & Affordability.
5. Communication between the NPCT and the different groups and organizations operating throughout Chestnut
6. Variance request – 2012 E 16<sup>th</sup> St. - Kathy Taylor
7. Variance request – 2507 E 16<sup>th</sup> St. – William Hodge

# Chestnut Addition Neighborhood Association

"A Community of Sharing and Caring"

June 20, 2013

Board of Adjustment,

On May 18<sup>th</sup>, our monthly Chestnut Addition Neighborhood Association meeting included a presentation by Susan Wallace concerning the Variance Request # C15-2013-0065 for 2012 E 16<sup>th</sup> St.

Susan presented the site plan, photographs of the existing property and building, along with architectural renderings of the proposed project. She presented the facts and reasons a Variance was necessary in this case. The applicants' expressed intent to personally discuss the project with their immediate neighbors was encouraged. The project and Variance Request was discussed fully by our members present, with no negative feedback or voiced opposition to this matter.

The 5.19 CANA meeting did not have a quorum present, and therefore no official vote of endorsement was possible. A copy of the 5.18 CANA Meeting minutes is attached.

Respectfully Submitted,



Willis Hunt  
CANA President

2012 E 16

CASE # C15-2013-0065

Chestnut Addition Neighborhood Association - CANA  
Saturday, May 18, 2013  
10:00am-11:30am  
New Hope Missionary Baptist Church  
2405 East 16th St.

1) Welcome at 10:08am

- Prayer - Willis Hunt
- Introductions and Sign-In/Dues

2) Citizen Communication (Open to Public) - 3 minutes per speaker unless prior arrangement

- Keep Austin Affordable - Carl Walls, Field Director - coalition of a non-profit agency, makes reinvestments into affordable housing

Keep Austin Affordable bonds did not pass in 2012 so they are reaching out to the communities directly to establish relationships and to provide answers about what they do. The bonds do not raise taxes. The bonds will provide affordability to people at 30% median family income. Bonds will go back to ballots in November 2013.

- Susan Wallace (CANA resident), 2012 East 16th St. - Variance request to finish out second floor of existing garage from storage into an apartment with a covered deck. CANA verbally supported this variance without any negative feedback. CANA did not vote or take an action at this time for the variance. The variance request goes to the Board of Adjustment on July 8, 2013.

3) Announcements/Handouts

- VICE Austin, Cemetery master plans
- APD Town Hall meeting at the Millennium
- Reconnect Austin
- Slow Foods
- East 12th Food Walk, June 1
- Watering calendar

4) Reports

- Austin Neighborhood Council, Steve
  - May 22 at 7pm at Barton Springs Town Center, general membership meeting. ANC will be discussing land development code re-write. This will include rules for growth and development and re-tweaking zoning.

- Chestnut Neighborhood Plan Contact Team - Greg
  - May 29, 7pm at the Wet Whistle, meeting regarding the architectural surveys of the neighborhood
  - June 17, 6:30 at Redeemer Presbyterian Church, general quarterly meeting

- CNPCT is wrapping up the surveys. They are considering a potluck this summer to discuss options related to the surveys. They are also considering an initiative to re-use/salvage materials from houses in the neighborhood that are being demolished.

- Chestnut Neighborhood Revitalization Committee - Sean
  - 13th/14th and Chicon development - Will be breaking ground in fall 2013 and completed in Fall of 2014. CNRC is looking for businesses to occupy the commercial units in the development. Also discussing a fundraiser.
- Commander's Forum or Neighborhood Police Updates
  - APD is considering moving the Commander's Forum around to different locations
- Newsletter Updates - N/A

5) Secretary's Report - N/A

6) Treasurer's Report - Balance \$563.71 as of May 16, 2013

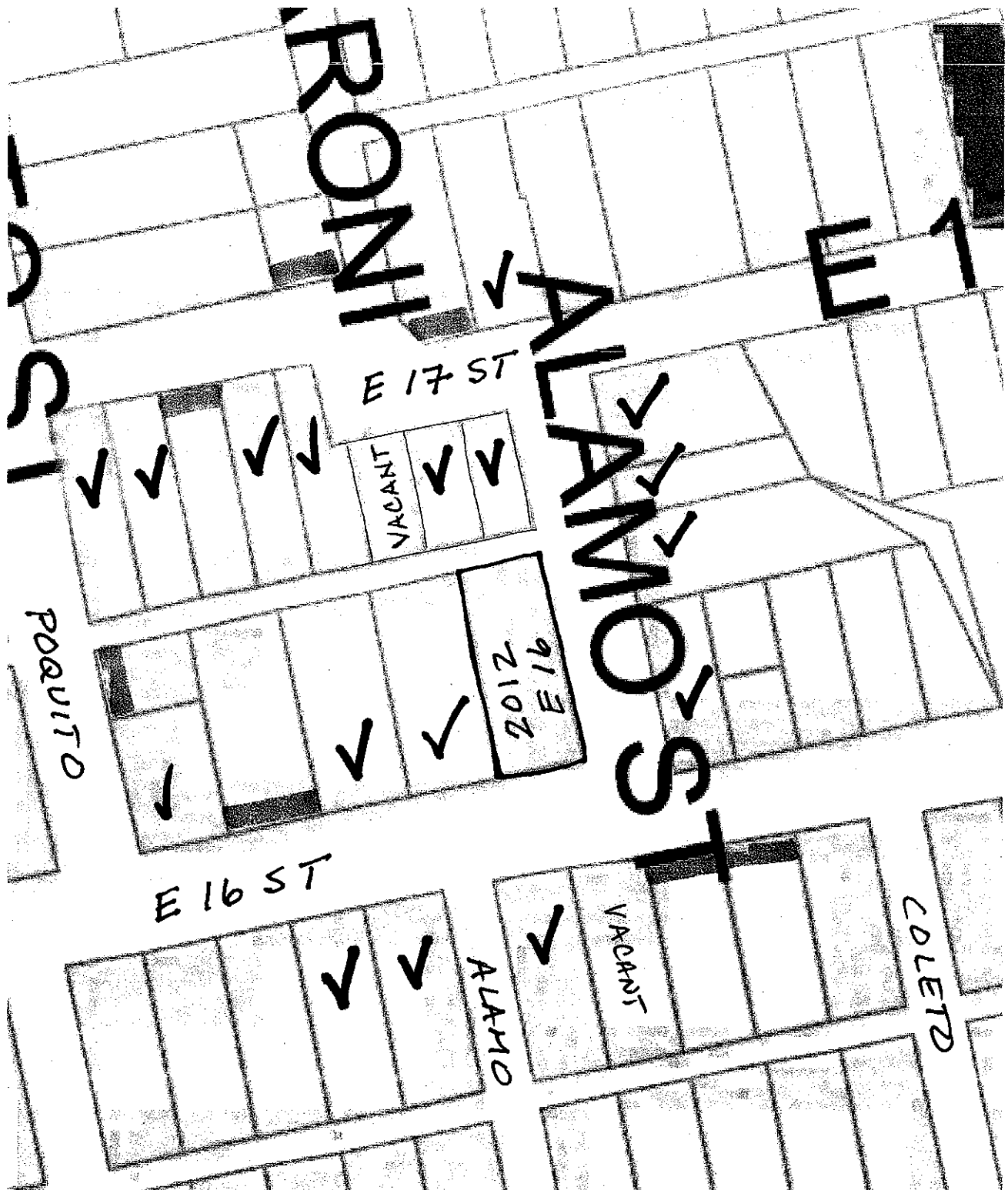
7) Issues/Concerns/Action

- Nominations and Election of Officers (Quorum necessary) - considering doing the Quorum at the next potluck
- Complaints from neighbors who live on Walnut about the boat and storage container in the back of the Cedar street neighborhood store. They also complained about the "potential" for noise with the new volleyball court and picnic tables. CANA members suggested they speak directly with the owner, Raz, who is trying to make improvements and provide services to the neighborhood.
- Participation in meetings and community activities
- 14th St fire victims - Talk to Lola of Queen Lola's for donations

8) Recommendations or Pending Projects

- Summer Park gathering (dates needed) - picnic
- National Night Out 2013 - Tuesday, October 1st

Meeting adjourned at 11:30am

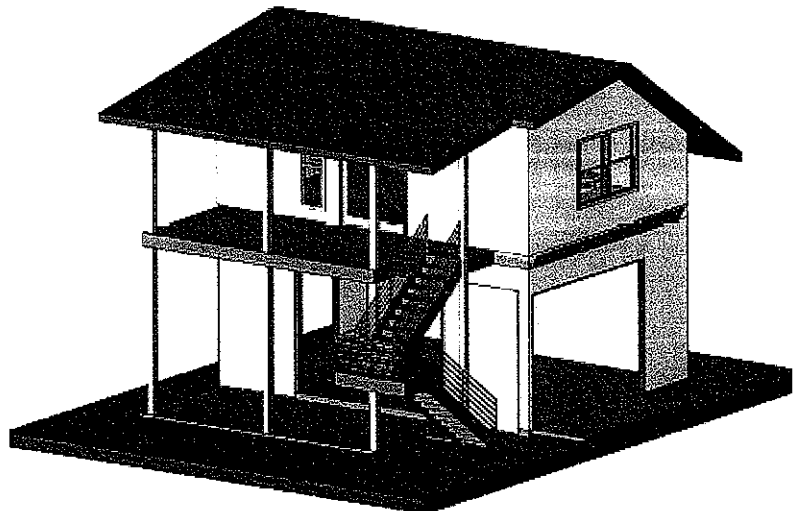
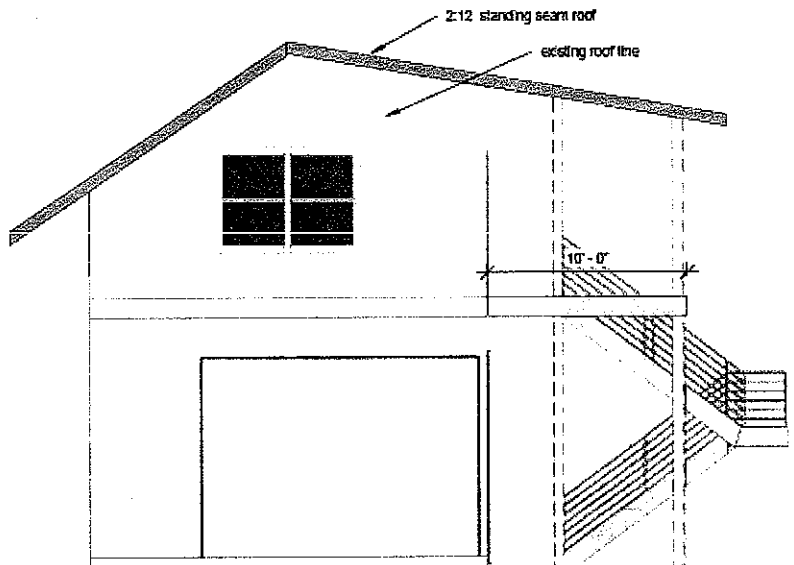
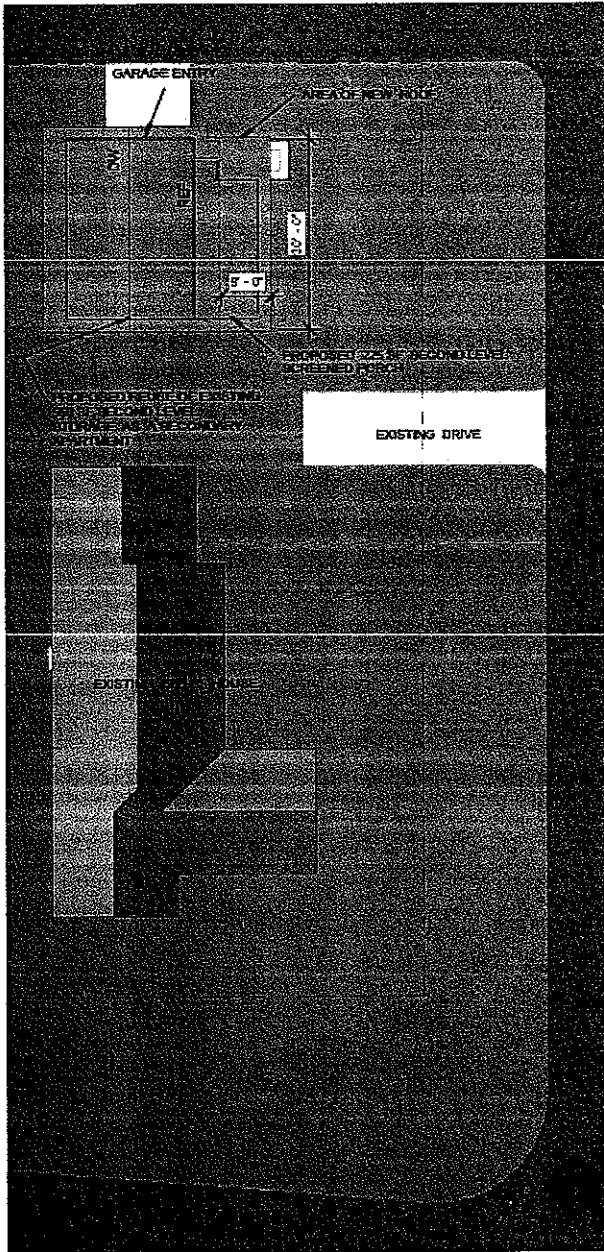


- ✓ APPROVE
- OPPOSED
- || ABSTAIN
- NOTIFIED BUT NO ANSWER BACK

2132102

2144-3102-510 # 3540





**2012 E. 16<sup>th</sup> Street**  
 Corner of 16<sup>th</sup> and Alamo, rear side alley  
 9600 sq ft lot;

Kathy Taylor & Susan Wallace want to complete/finish out the existing 560 square foot second story space above garage (originally built in 2001), and add a covered deck on the east side of the structure. Application submitted to City of Austin Board of Adjustments for a Variance for adding the 225 square foot covered porch. Proposed covered porch area approx. 10' x 21', and stairs.

I / We do not oppose:

I / We oppose:

I / We abstain:

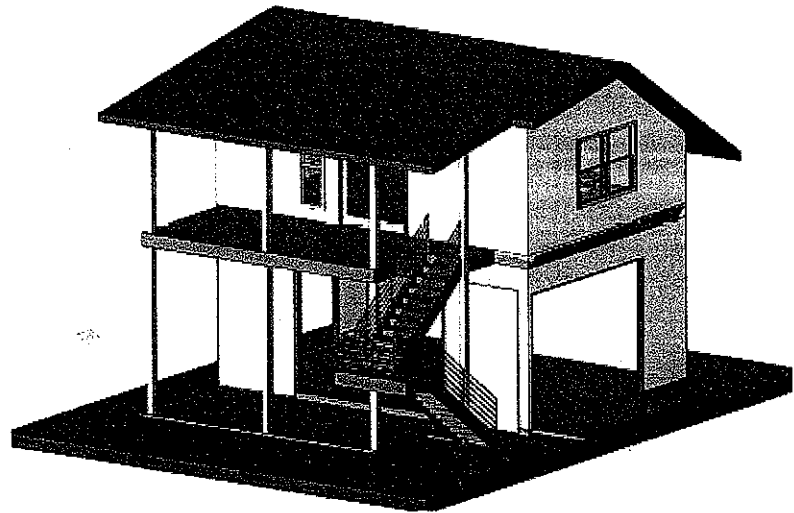
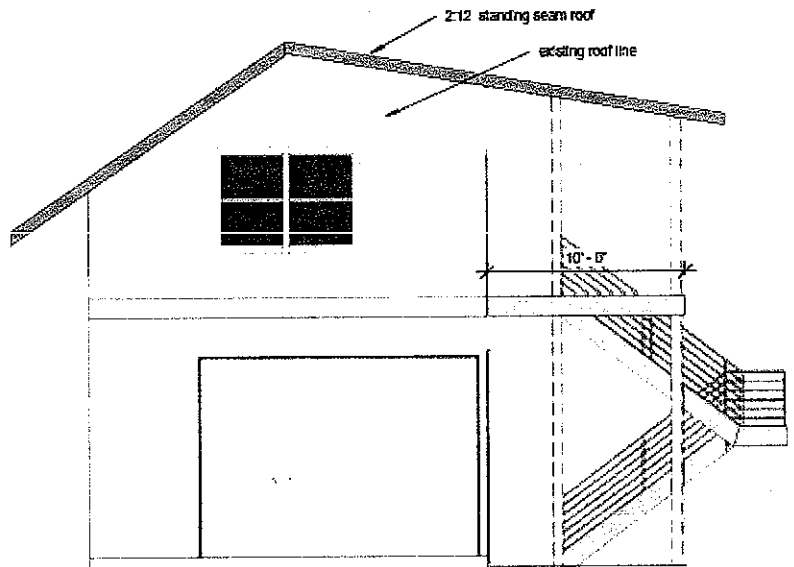
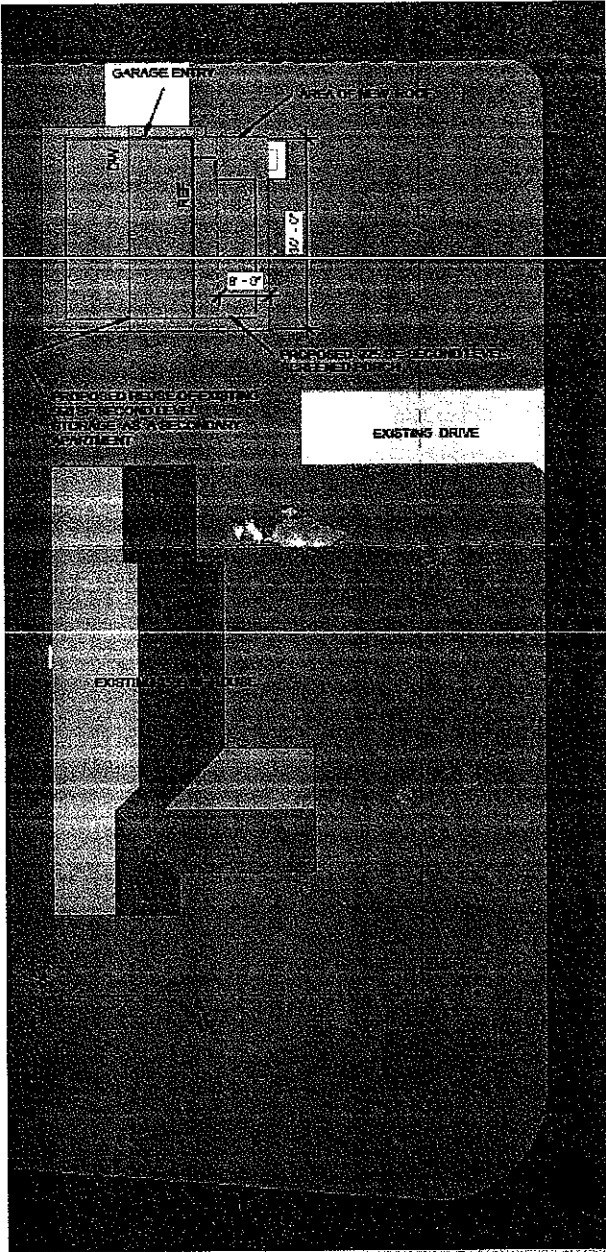
LITO E. PORTO  
 (NAME)

Address:

Date:

2006 E. 16<sup>th</sup> ST. 78702

June 23-2013



2012 E. 16<sup>th</sup> Street  
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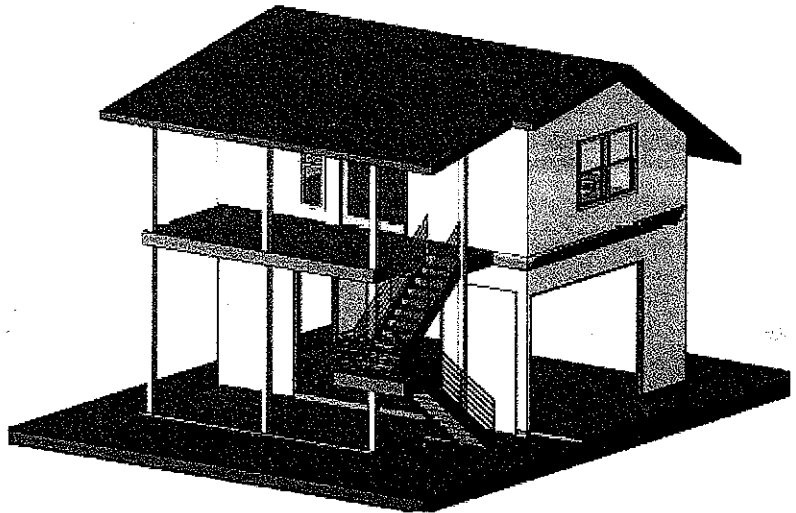
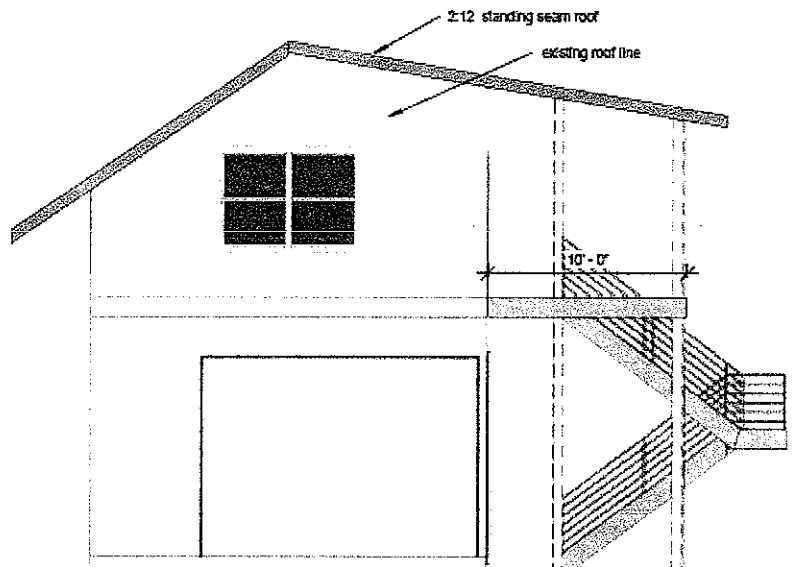
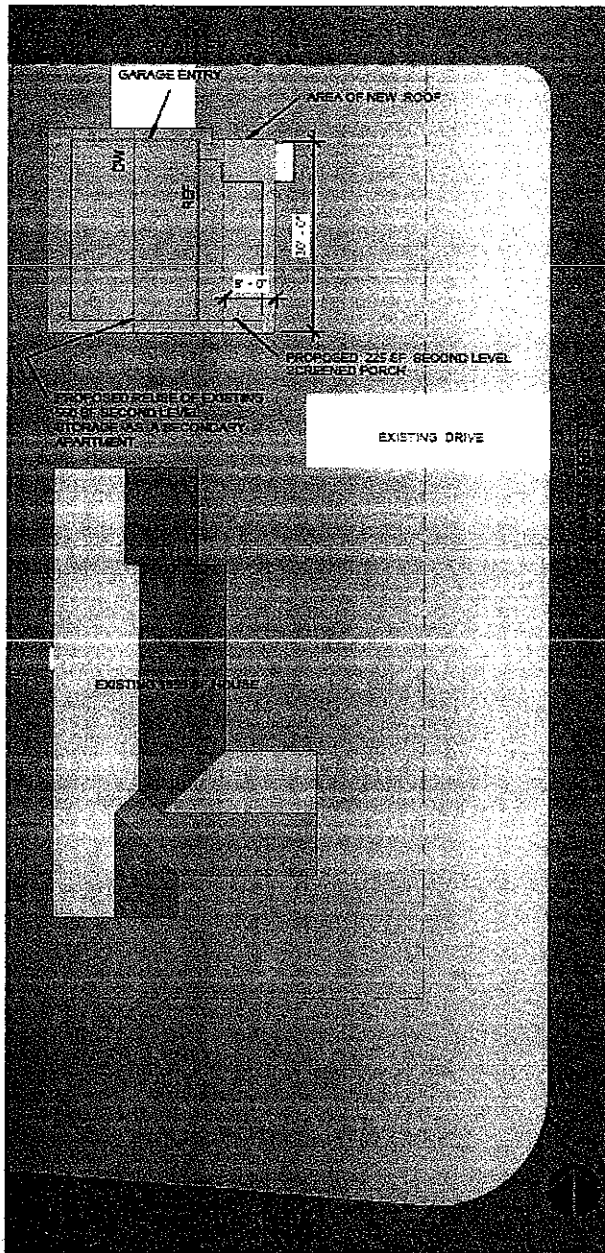
I / We abstain:

Stephen & Antonia  
 Zabel  
 (NAME)

Address:

Date:

2000 E 16th St. Austin, Tx 78702 6/23/13



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I / We do not oppose:

Lara O'Toole

Denise Hendlinyer  
 (NAME)

I / We oppose:

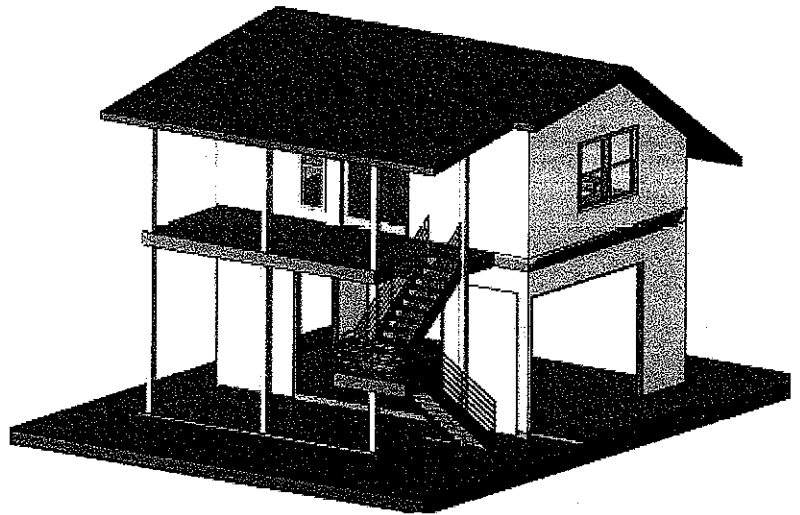
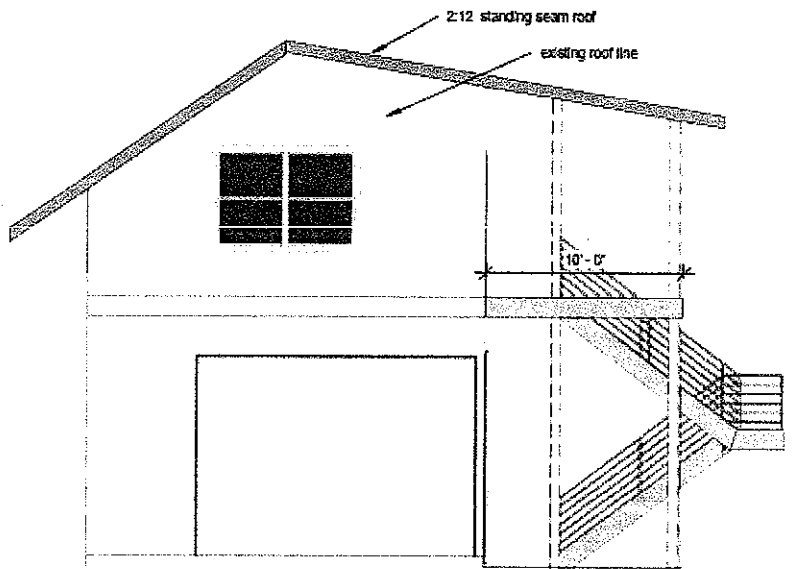
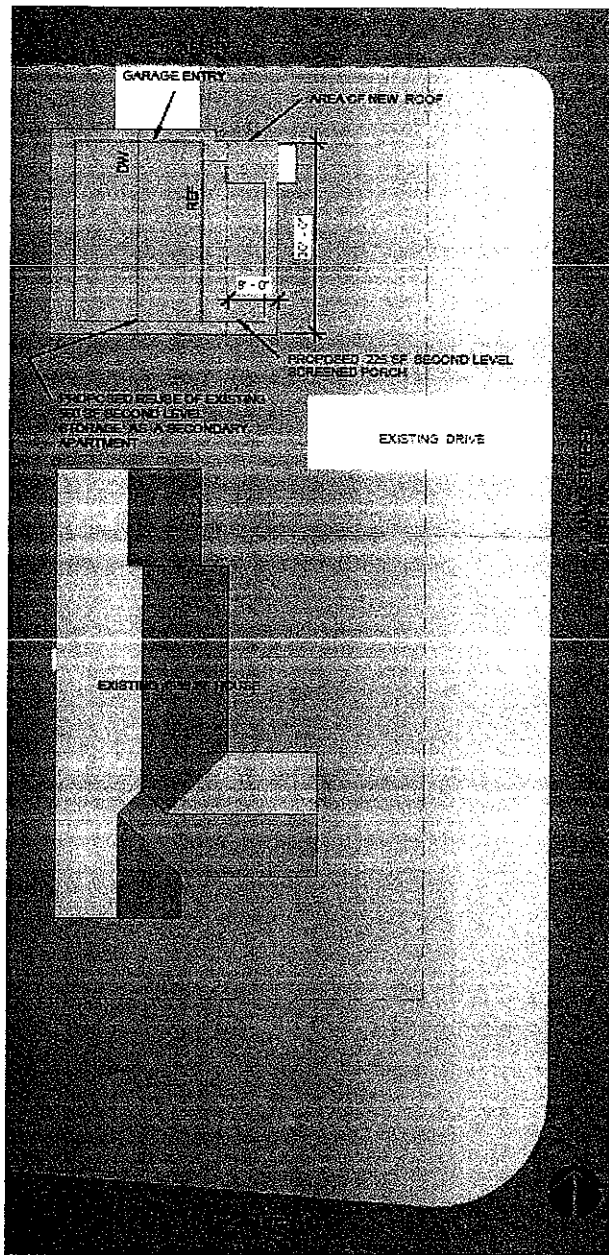
I / We abstain:

Address:

Date:

2009 E. 17th St. 78702

6/23/2013



2012 E. 16<sup>th</sup> Street  
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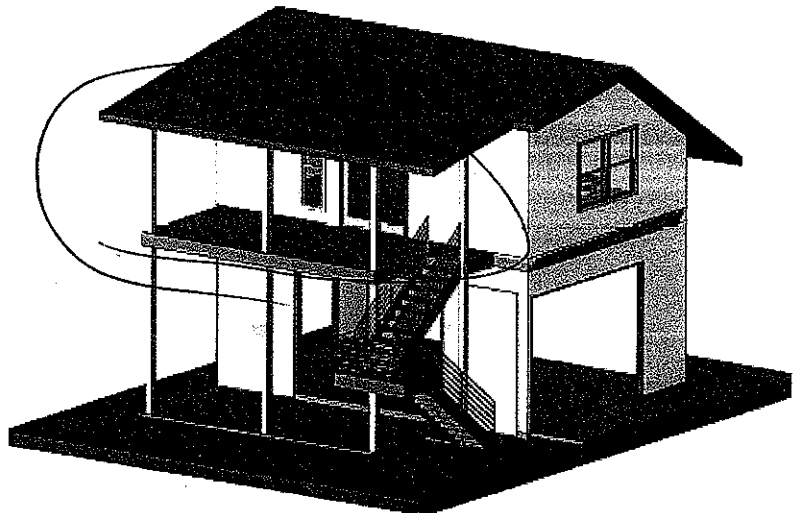
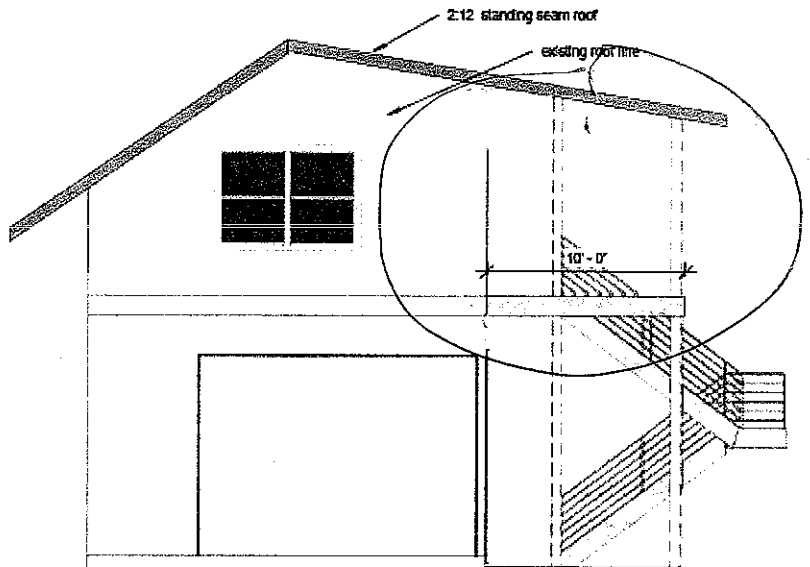
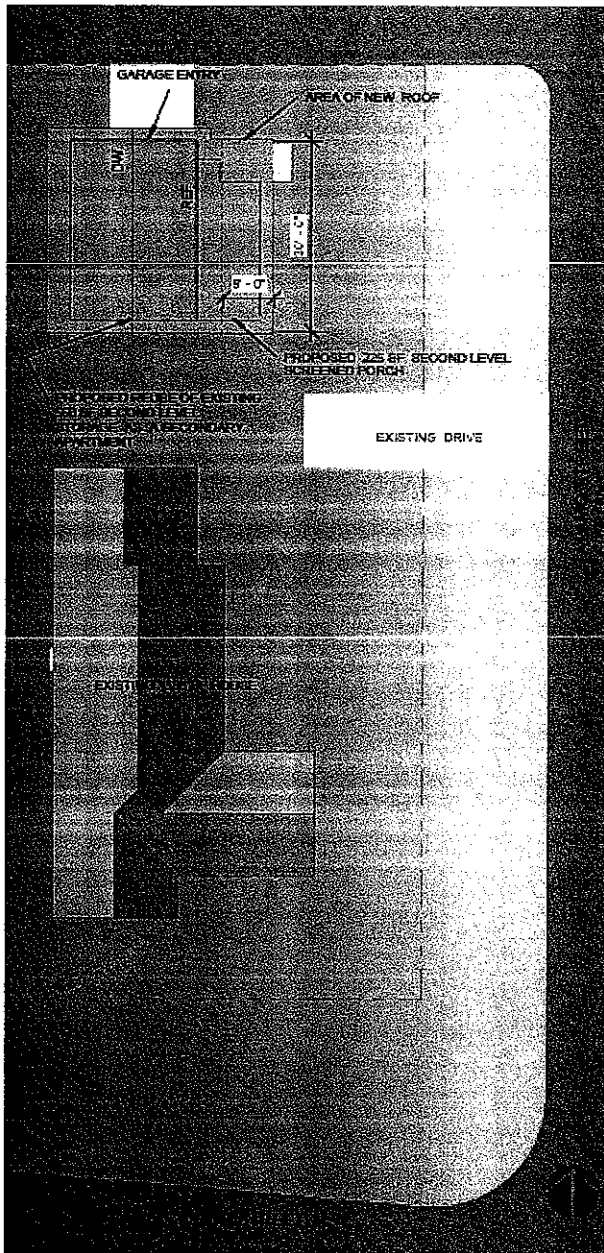
Keith Zeiler  
 Timothy Andrews  
 (NAME)

Address: 206-354-7394

Date:

2007 E 17<sup>th</sup> ST Austin 78702

6/22/13



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I / We oppose:

I / We abstain:

*OK*  
*Horacio Bauliste*

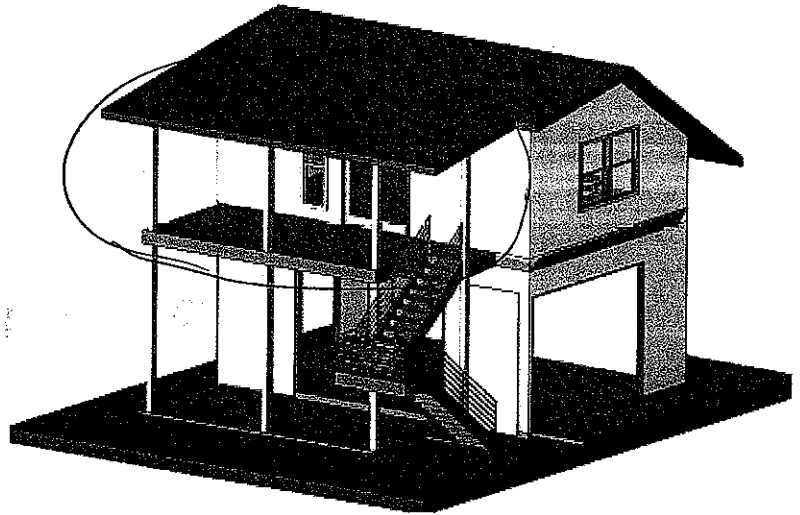
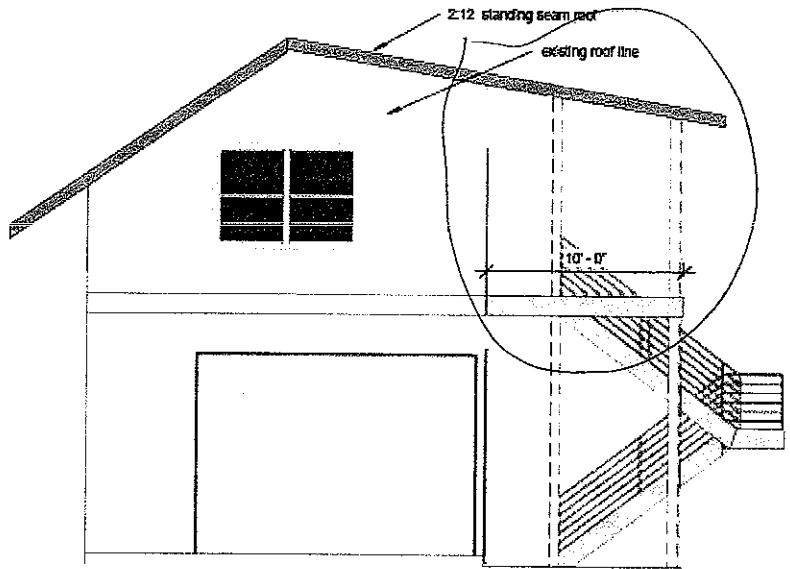
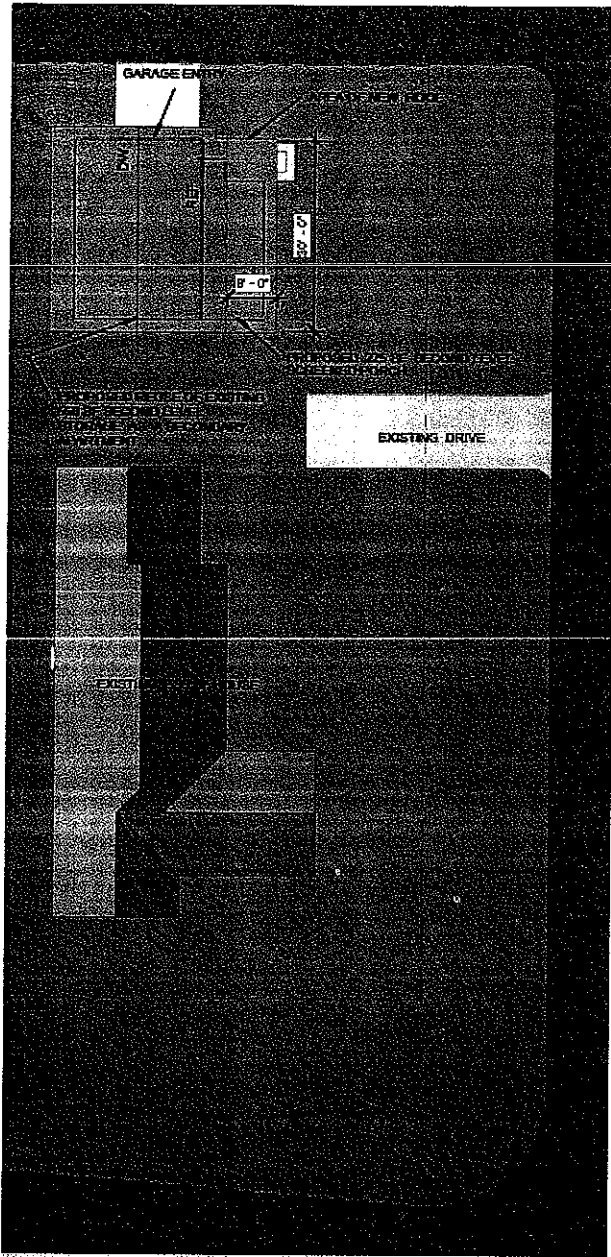
Address:

Date:

1607 ALAMO ST.

6/16/2013





2012 E. 16<sup>th</sup> Street  
 Corner of 16<sup>th</sup> and Alamo, rear side alley  
 9600 sq ft lot;

Kathy Taylor & Susan Wallace want to complete/finish out the existing 560 square foot second story space above garage (originally built in 2001), and add a covered deck on the east side of the structure. Application submitted to City of Austin Board of Adjustments for a Variance for adding the 225 square foot covered porch. Proposed covered porch area approx. 10' x 21', and stairs.

I / We do not oppose: ☒

I / We oppose: ☐

I / We abstain: ☐

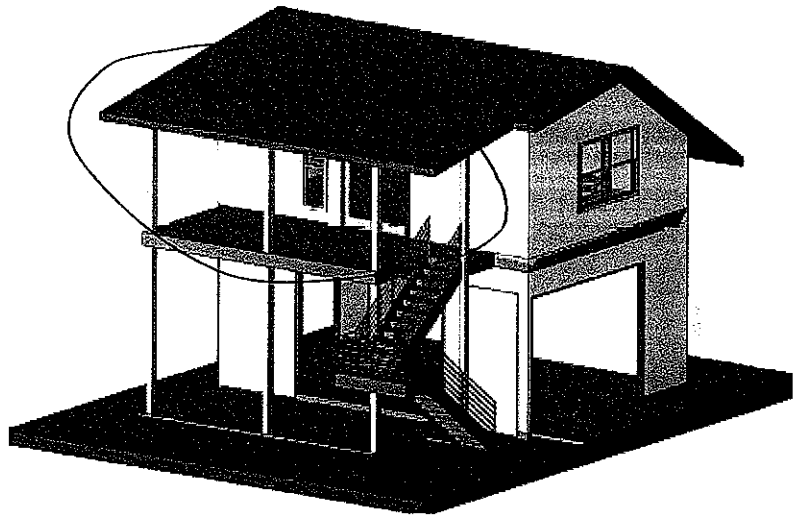
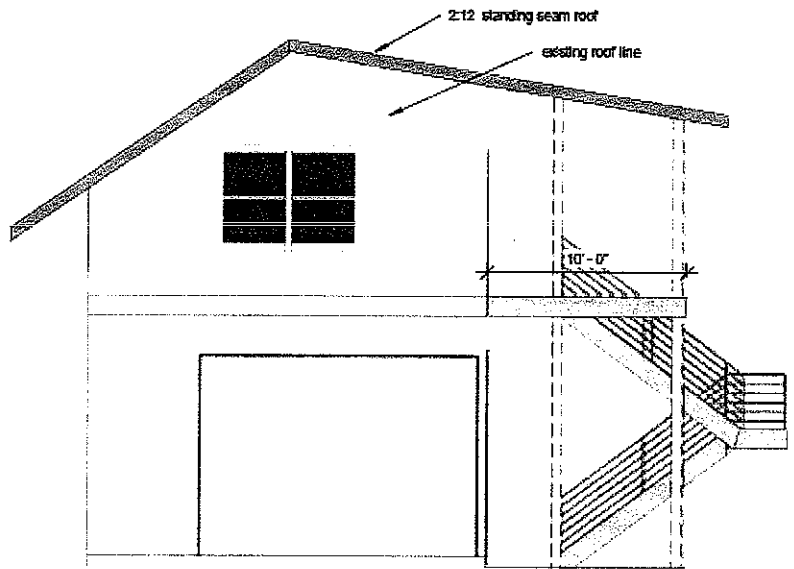
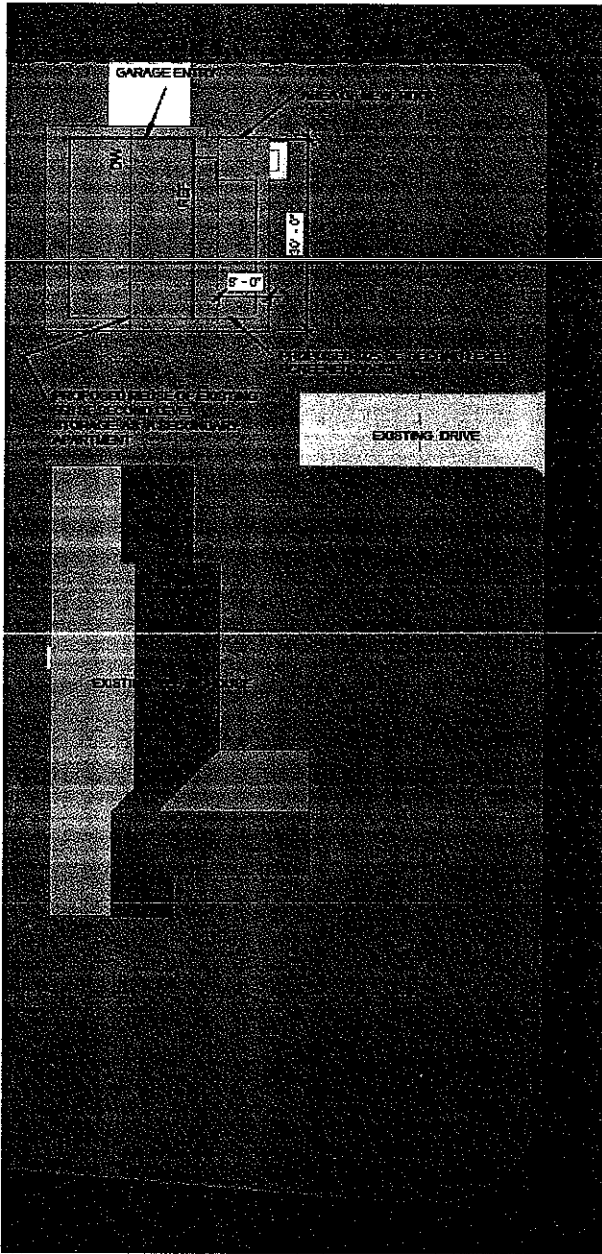
*Pete Eckhardt*

Address:

Date:

1605 #A ALAMO

6/16/2013



**2012 E. 16<sup>th</sup> Street**  
 Corner of 16<sup>th</sup> and Alamo, rear side alley  
 9600 sq ft lot;

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I / We do not oppose:

I / We oppose:

I / We abstain:

Beverly A. Rosen

\_\_\_\_\_

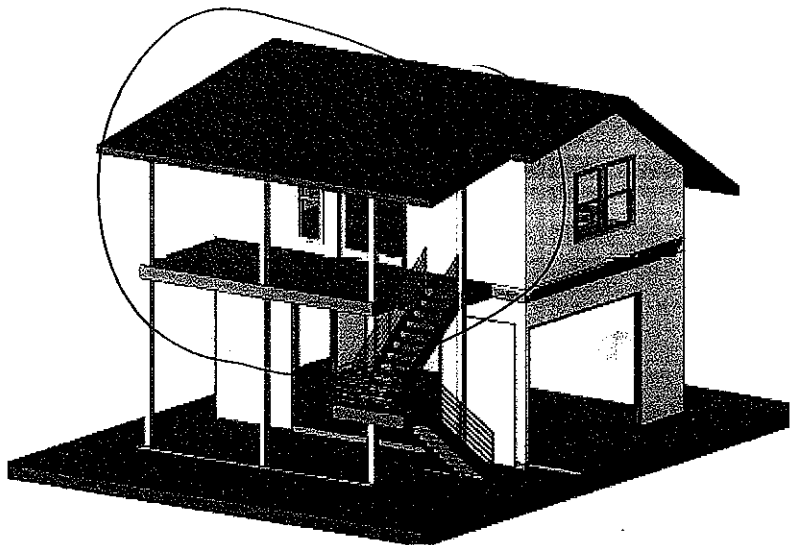
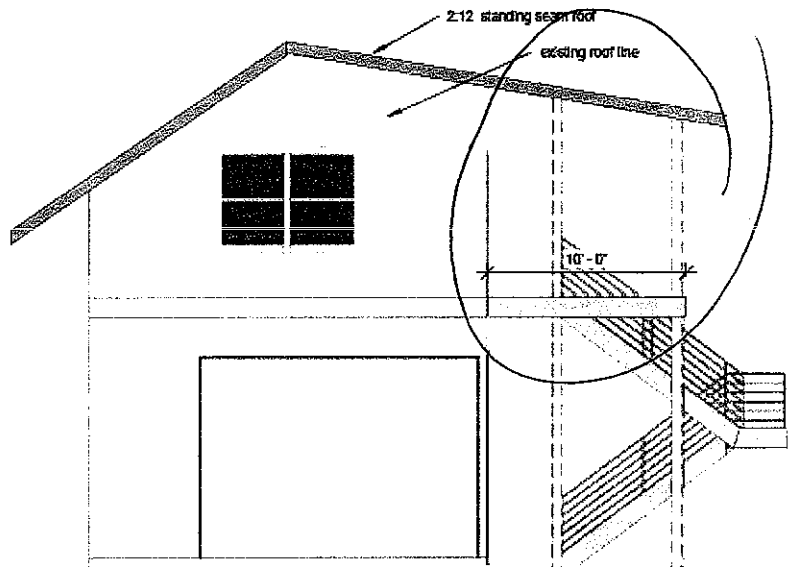
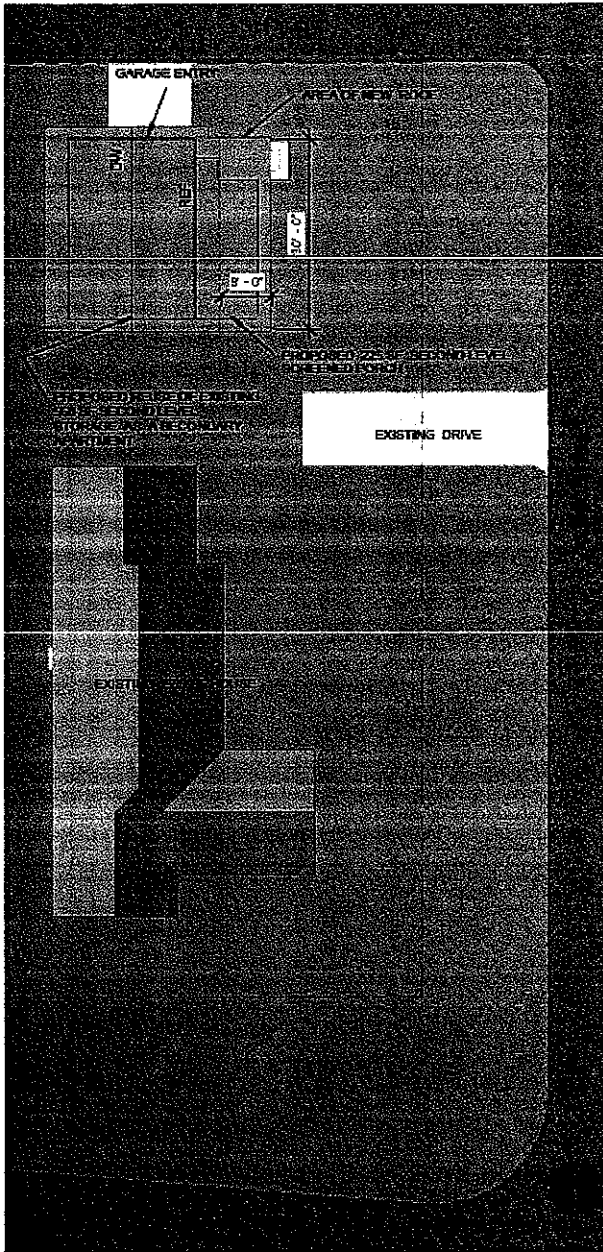
\_\_\_\_\_

Address:

Date:

2103 East 17<sup>th</sup> Street

6/6/13



2012 E. 16<sup>th</sup> Street  
 Corner of 16<sup>th</sup> and Alamo, rear side alley  
 9600 sq ft lot;

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I / We do not oppose:

*[Signature]*

I / We oppose:

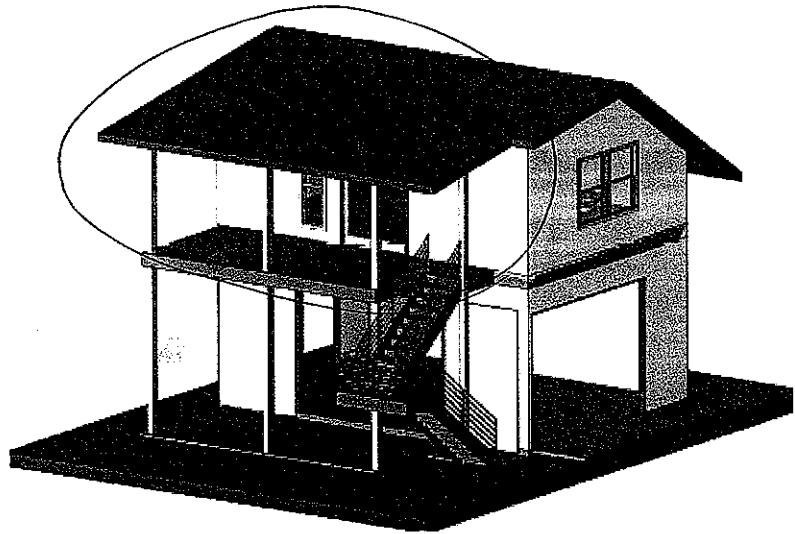
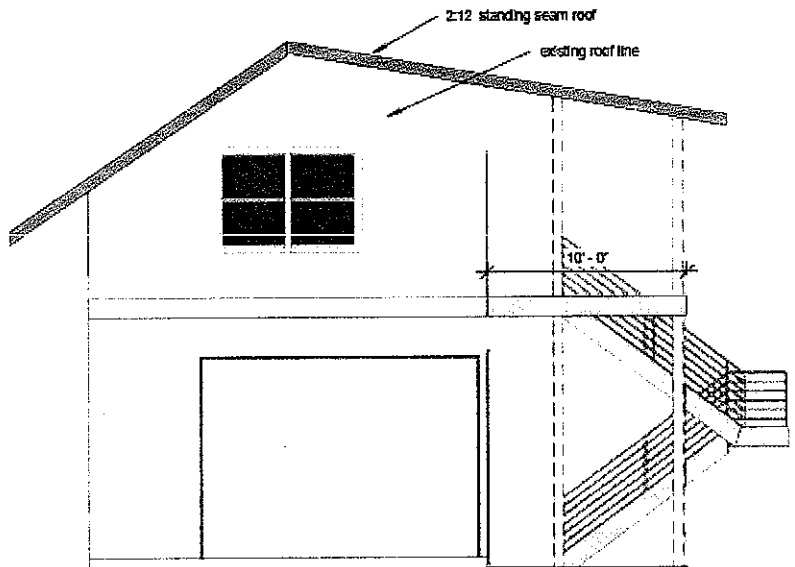
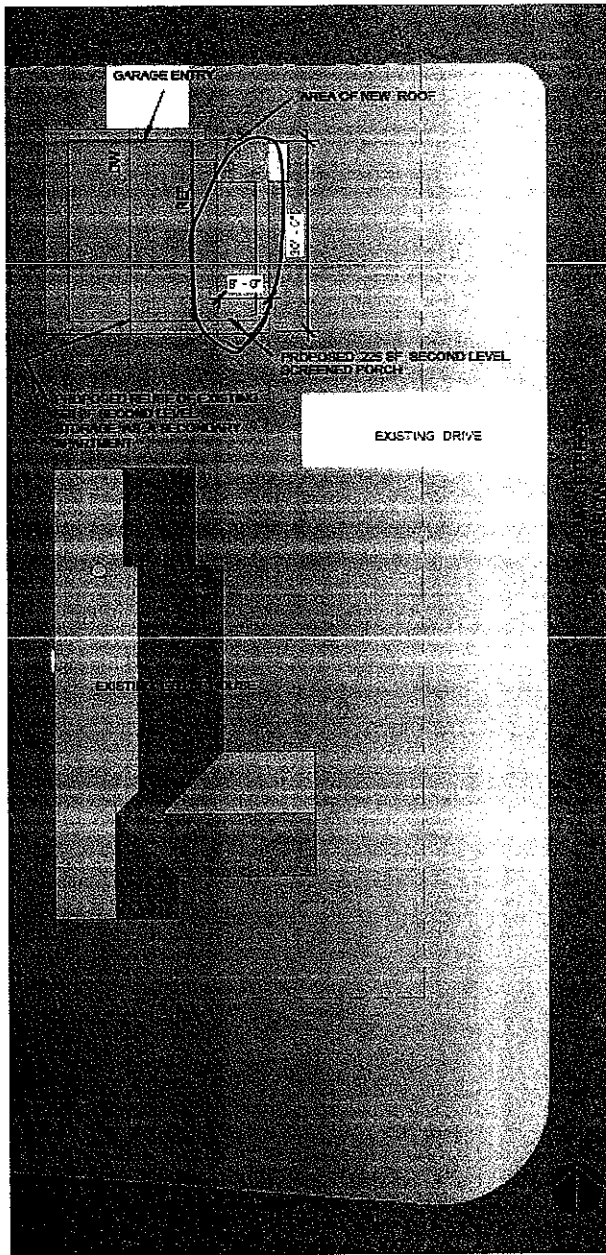
I / We abstain:

Address:

2003 17<sup>th</sup> St. Austin TX 78702

Date:

5/16/2005



**2012 E. 16<sup>th</sup> Street**  
 Corner of 16<sup>th</sup> and Alamo, rear side alley  
 9600 sq ft lot;

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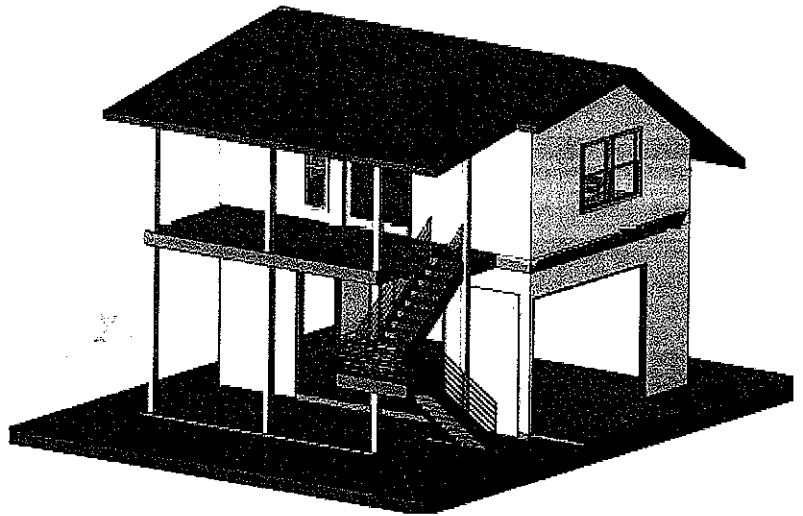
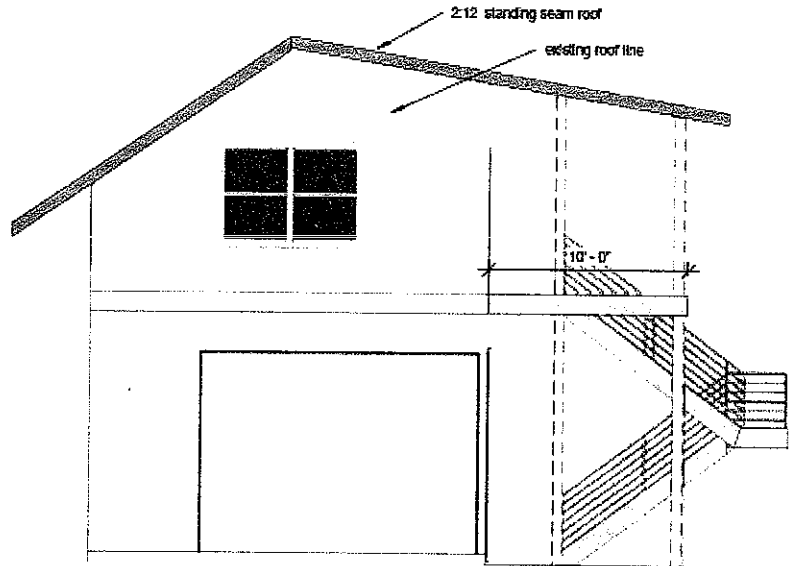
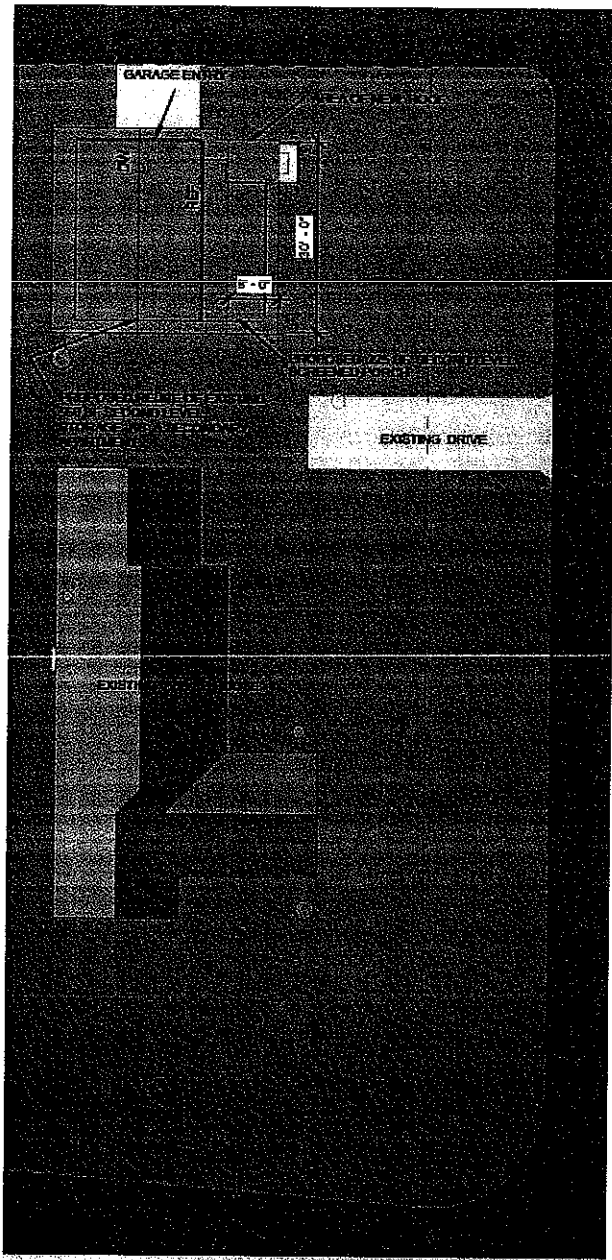
✓ I / We do not oppose: Shillea Pcell 476-5210  
Konnie Jackson (512) 926-1732  
 Address:

I / We oppose:

I / We abstain:

2004 E. 16th St.

Date: June 16, 2013



**2012 E. 16<sup>th</sup> Street**  
 Corner of 16<sup>th</sup> and Alamo, rear side alley  
 9600 sq ft lot;

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I / We do not oppose:

I / We oppose:

I / We abstain:

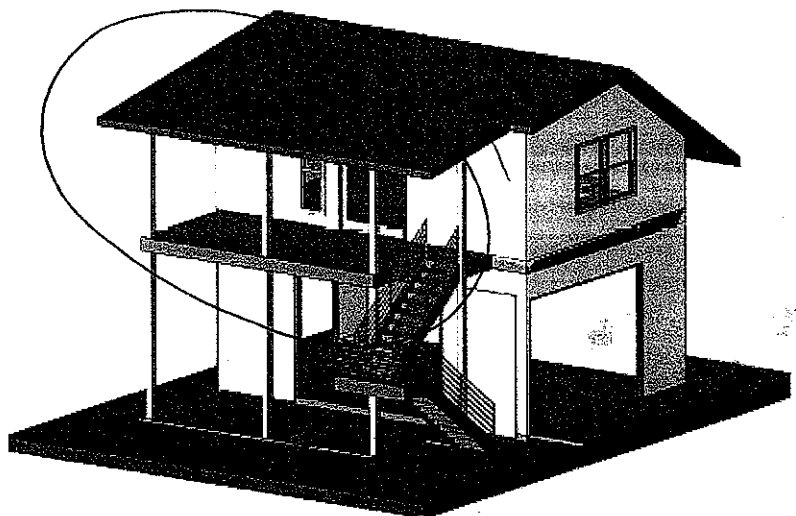
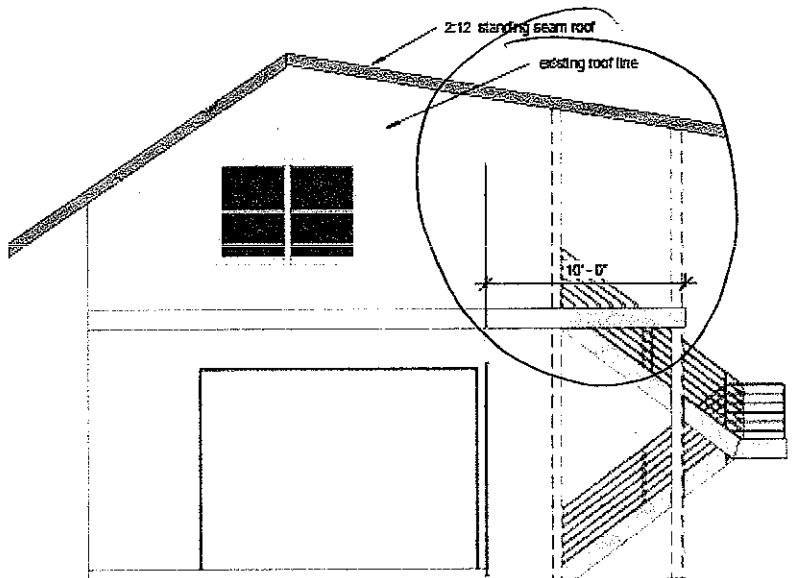
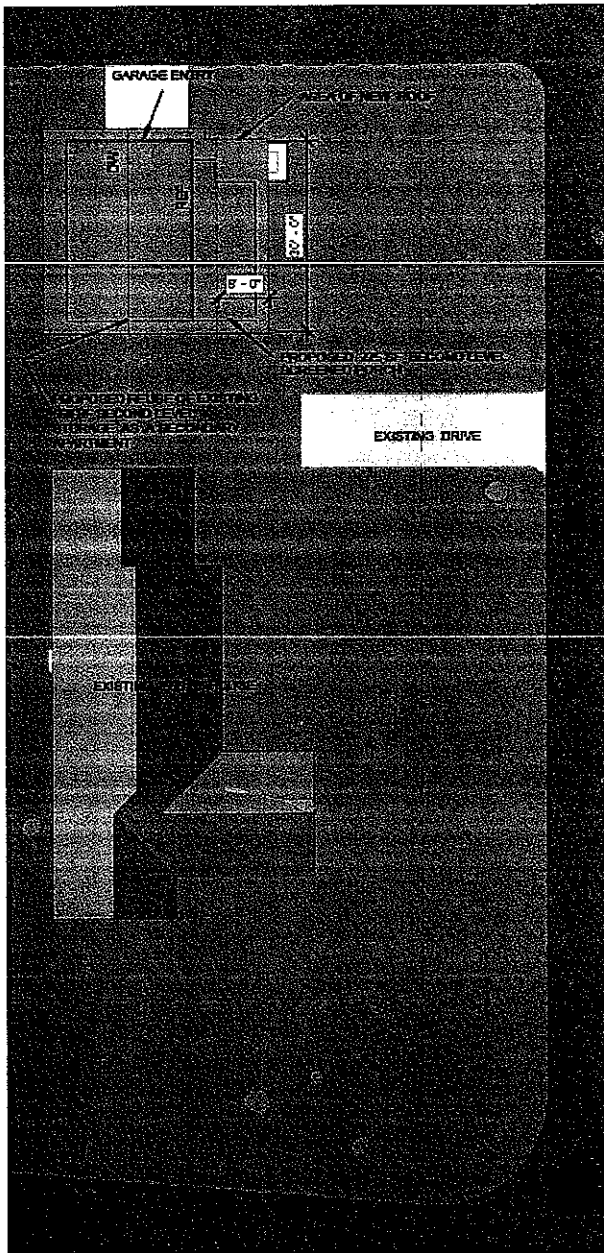
J. A. Bush

Address:

Date:

2007 E. 16 78702

6/16/13



**2012 E. 16<sup>th</sup> Street**  
 Corner of 16<sup>th</sup> and Alamo, rear side alley  
 9600 sq ft lot;

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I / We do not oppose:

I / We oppose:

I / We abstain:

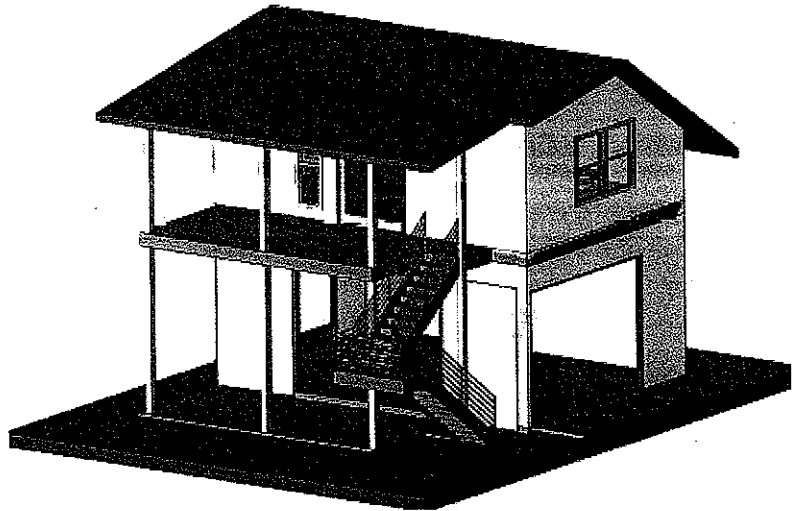
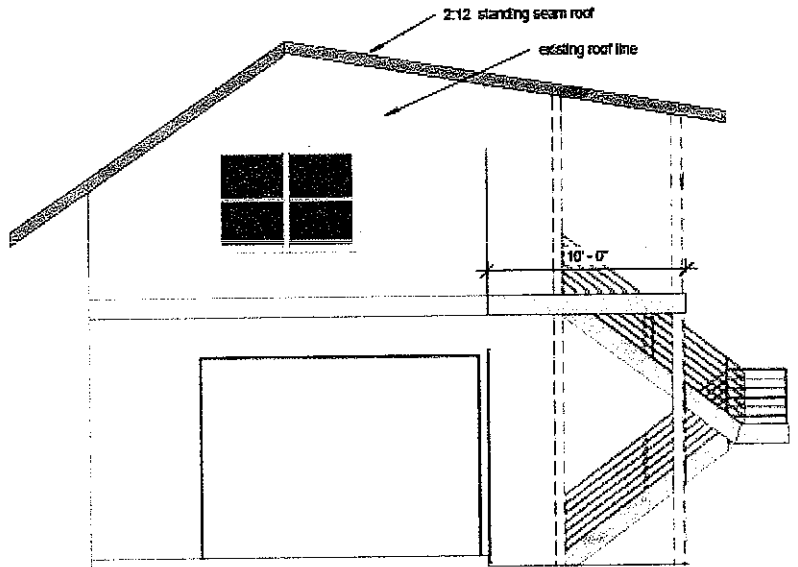
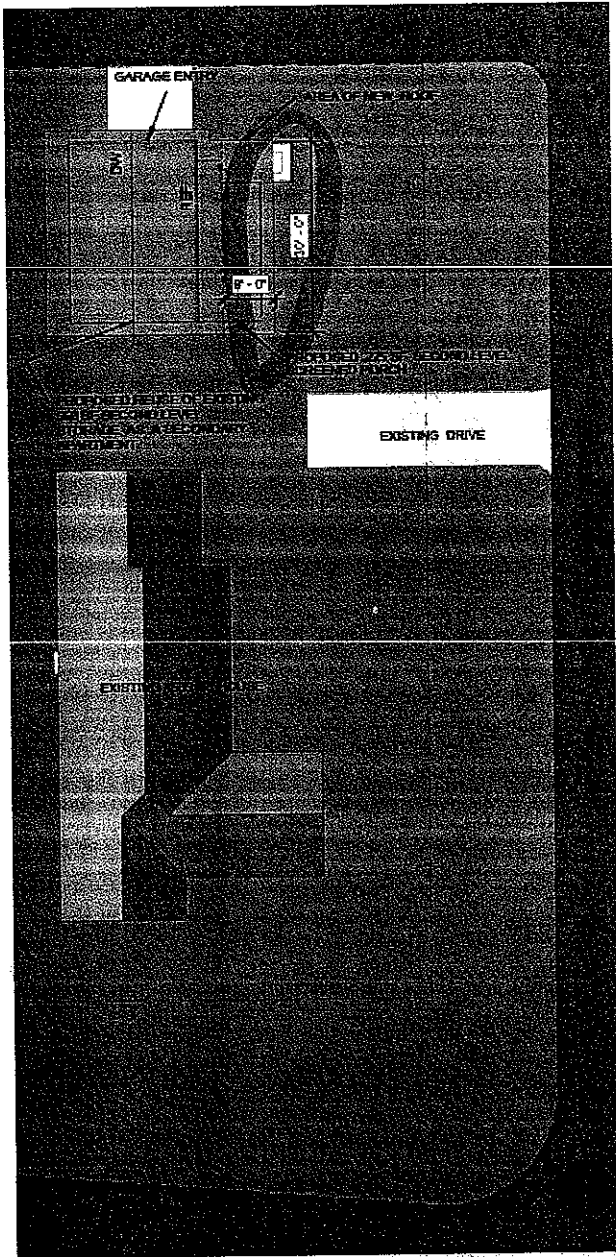
Address:

Date:

2009 E. 16th St Austin TX 78702

6/16/13





**2012 E. 16<sup>th</sup> Street**  
 Corner of 16<sup>th</sup> and Alamo, rear side alley  
 9600 sq ft lot;

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I / We do not oppose: ✓

*Roberta Olguin*

*Berni for Co Rangel*

I / We oppose:

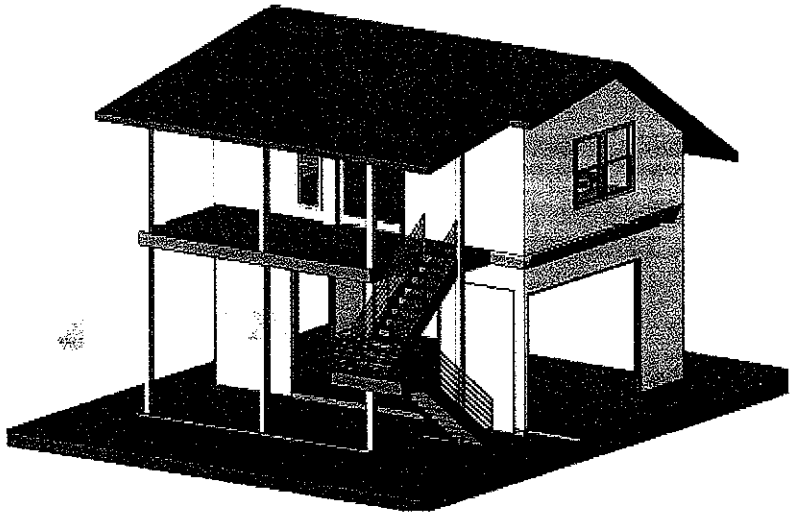
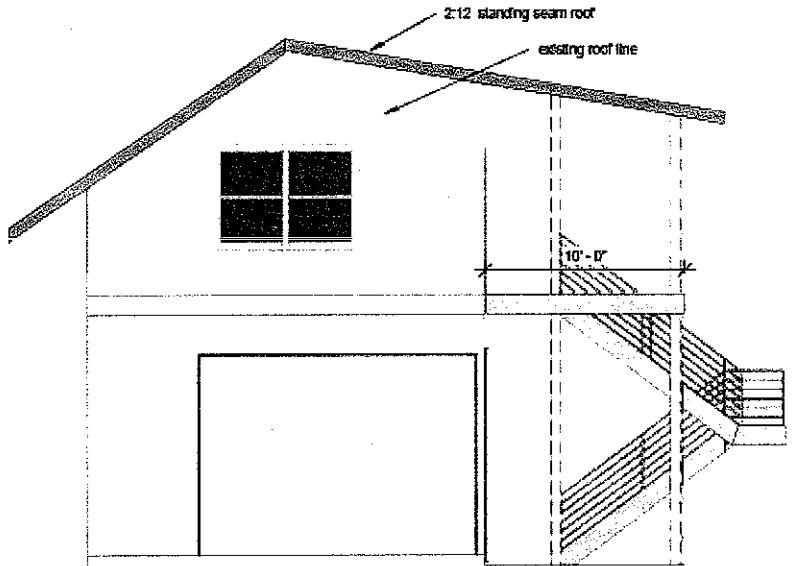
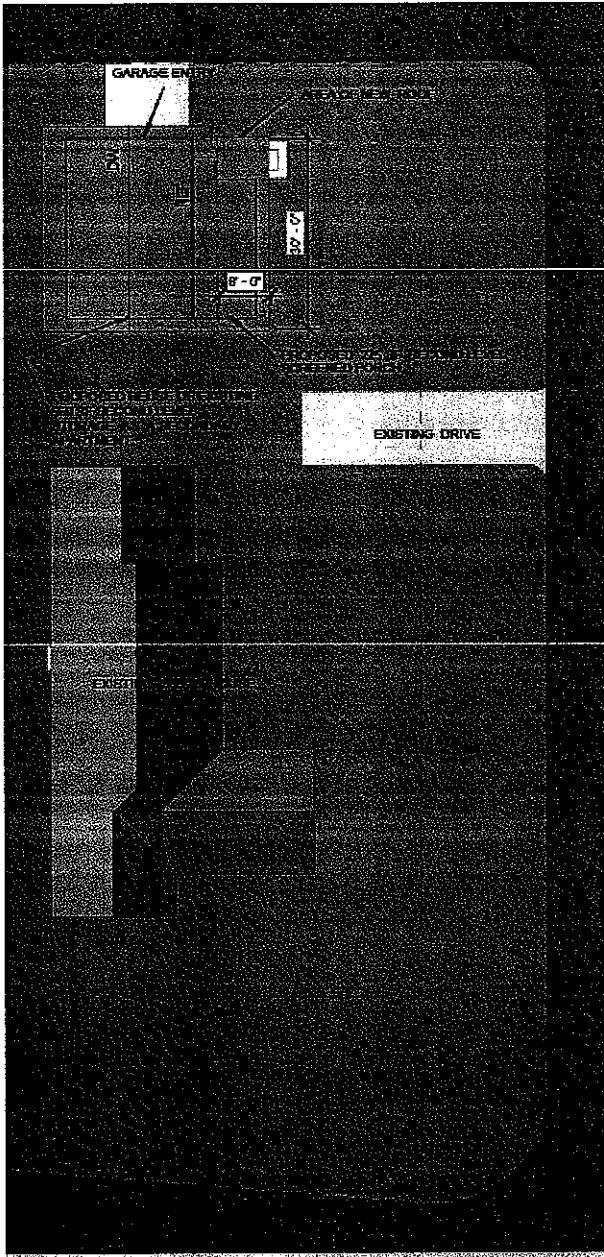
I / We abstain:

Address:

Date:

2108 E. 16TH STREET

6/16/2013



**2012 E. 16<sup>th</sup> Street**  
 Corner of 16<sup>th</sup> and Alamo, rear side alley  
 9600 sq ft lot;

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I / We do not oppose:

I / We oppose:

I / We abstain:

RACHAEL SHANNON

Address:

Date:

2101 E 16TH ST

6/21/13



## Susan Wallace

---

**From:** Taylor, Kathy <kathy.taylor@...>  
**Sent:** Friday, June 21, 2013 11:04 AM  
**To:** rachael shannon  
**Cc:** Susan Wallace  
**Subject:** RE: Variance request - 2012 E. 16th Street (Susan Wallace/Kathy Taylor)

You bet!!!

Thanks for the response. How's everything going in your world?

---

**From:** rachael shannon [mailto:rrraunchy@hotmail.com]  
**Sent:** Friday, June 21, 2013 10:07 AM  
**To:** Taylor, Kathy  
**Subject:** RE: Variance request - 2012 E. 16th Street (Susan Wallace/Kathy Taylor)

As long as our next brunch is on the upper deck!!

Looks great.

Let me know if I need to do anything else besides confirm in this email.

Good luck,

;-) RACHAEL SHANNON!!

---

The future is an infinite succession of presents, and to live now as we think human beings should live, in defiance of all that is bad around us, is itself a marvelous victory. -Howard Zinn

---

Date: Mon, 17 Jun 2013 00:38:06 +0000  
From: kathy.taylor@...  
Subject: Variance request - 2012 E. 16th Street (Susan Wallace/Kathy Taylor)  
To: leport@...; l...@...; rrraunchy@hotmail.com  
CC: suwall@...@...@...

Hi Lito, Rachel and Suzi!

Susan and I are wanting to add a ~225 square foot covered porch to the east side of the second story of the garage (that we originally built in 2001) and finally complete/finish out the existing storage space into livable space. The existing raw space is 560 sq ft, so the total proposed upstairs addition + remodel is 785 sq ft.

We've submitted a variance request to the Board of Adjustments, and may be included on their July 8<sup>th</sup> monthly meeting. We been circulating the attached document ("2012 E16th") to nearby neighbors to make them aware of our plans and obtain their "don't oppose/oppose/abstain" indication. I've gone door-to-door to try to catch residents this weekend, and will continue this week trying to catch those I didn't find at home.

If you don't mind, would you please review the attachments, and send me back your response as to whether you don't oppose, oppose or abstain?

Let me know if you have any questions or need more info.

## Susan Wallace

---

**From:** Taylor, Kathy <kathy.taylor@hawaii.com>  
**Sent:** Friday, June 21, 2013 11:16 AM  
**To:** Susan Wallace  
**Subject:** FW: Variance request - 2012 E. 16th Street (Susan Wallace/Kathy Taylor)  
**Attachments:** 2012\_E16threply.doc

---

**From:** Taylor, Kathy  
**Sent:** Tuesday, June 18, 2013 7:37 PM  
**To:** 'Susan Wallace'  
**Subject:** FW: Variance request - 2012 E. 16th Street (Susan Wallace/Kathy Taylor)

YAY!

---

**From:** Jeff & Suzie Baker [mailto:jeff@suzie.com]  
**Sent:** Tuesday, June 18, 2013 7:14 PM  
**To:** Taylor, Kathy  
**Cc:** Jeff & Suzie Baker  
**Subject:** Re: Variance request - 2012 E. 16th Street (Susan Wallace/Kathy Taylor)

I think that we did this right. Let us know if we need to redo it. We do not oppose

thanks, Jeff and Suzie

On Jun 16, 2013, at 7:38 PM, Taylor, Kathy wrote:

Hi Lito, Rachel and Suzi!

Susan and I are wanting to add a ~225 square foot covered porch to the east side of the second story of the garage (that we originally built in 2001) and finally complete/finish out the existing storage space into livable space. The existing raw space is 560 sq ft, so the total proposed upstairs addition + remodel is 785 sq ft.

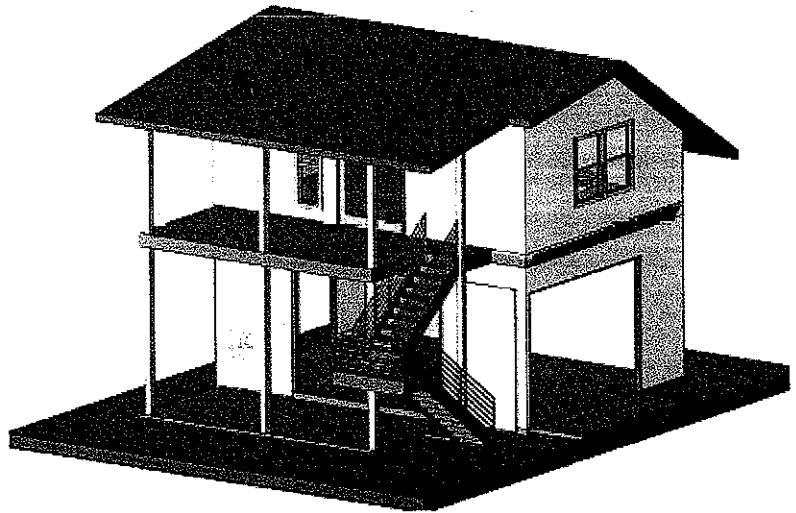
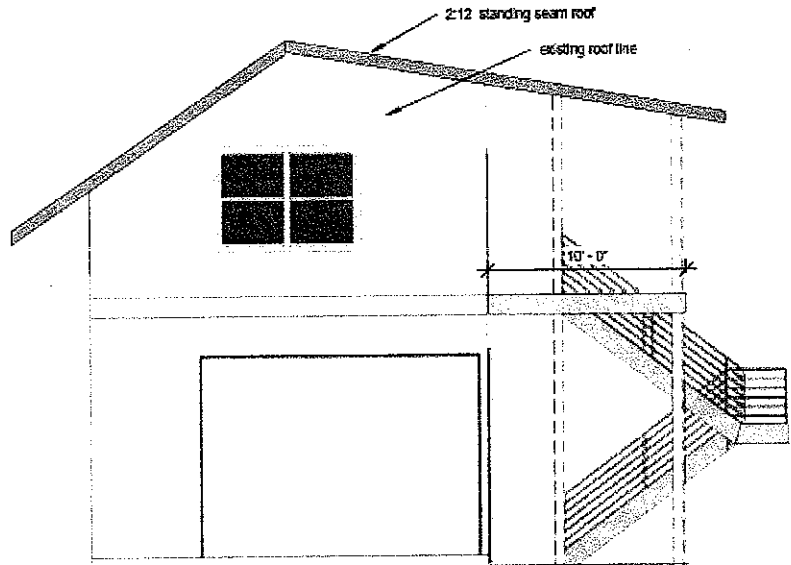
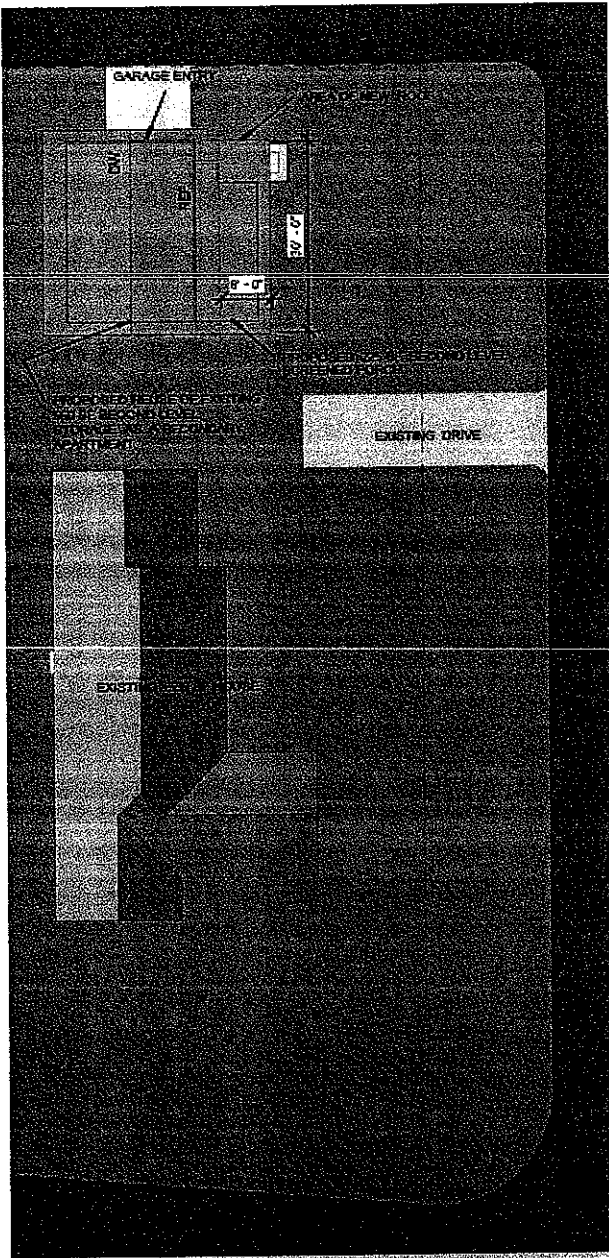
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If you don't mind, would you please review the attachments, and send me back your response as to whether you don't oppose, oppose or abstain?

Let me know if you have any questions or need more info.

Hope all is well in your worlds!

Thanks,  
-Kathy



**2012 E. 16<sup>th</sup> Street**  
 Corner of 16<sup>th</sup> and Alamo, rear side alley  
 9600 sq ft lot;

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I / We do not oppose:

I / We oppose:

I / We abstain:

We do not oppose  
 Suzi and Jeff Baker

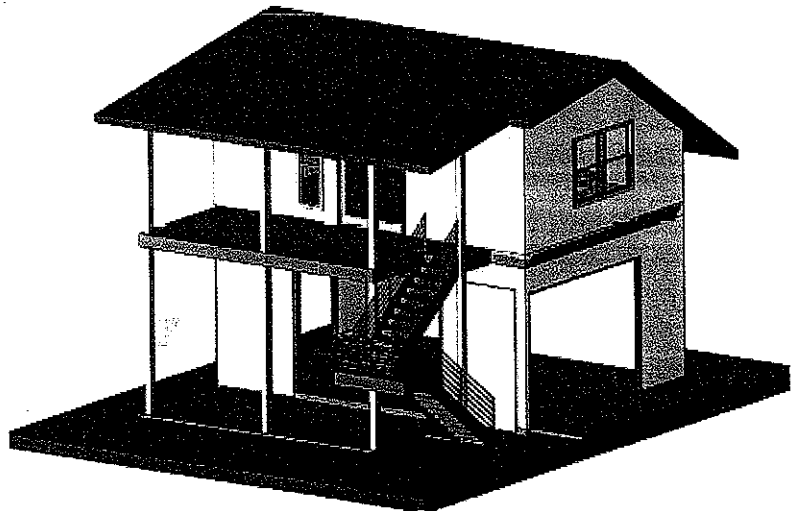
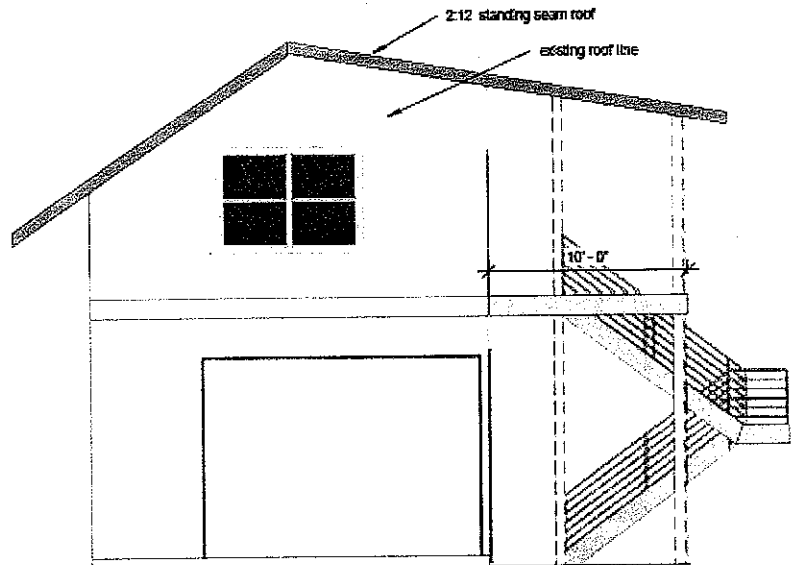
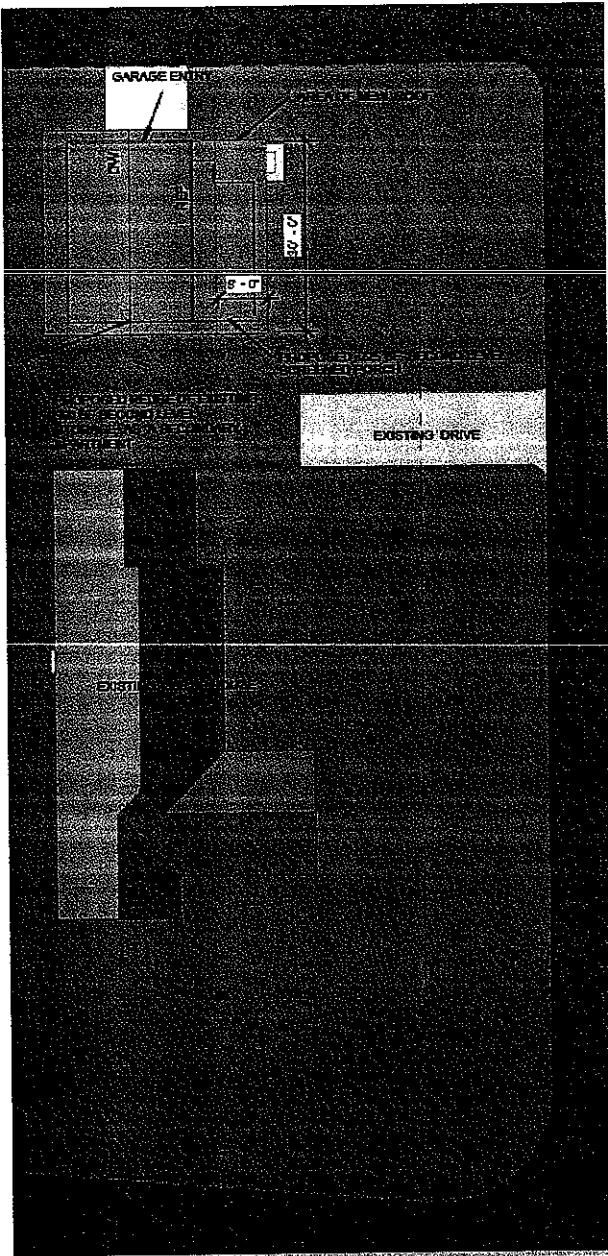
✓

Address:

Date:

2102 E 17<sup>th</sup> Street

6-18-2013



**2012 E. 16<sup>th</sup> Street**  
 Corner of 16<sup>th</sup> and Alamo, rear side alley  
 9600 sq ft lot;

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I / We do not oppose:

I / We oppose:

I / We abstain:

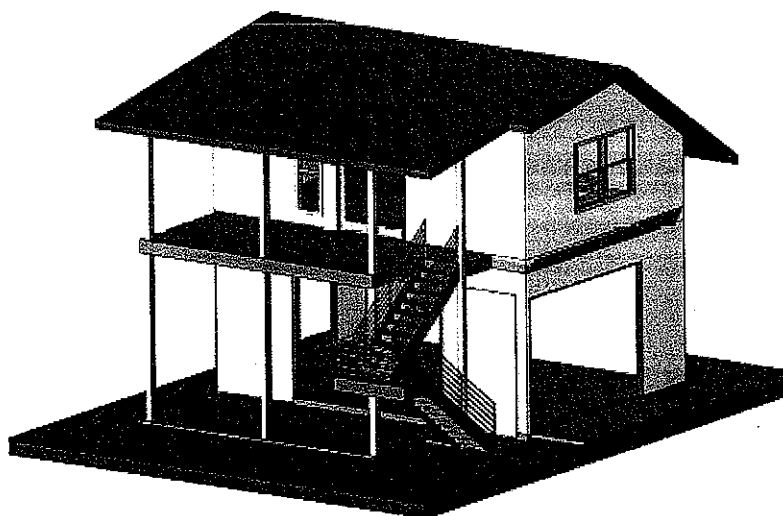
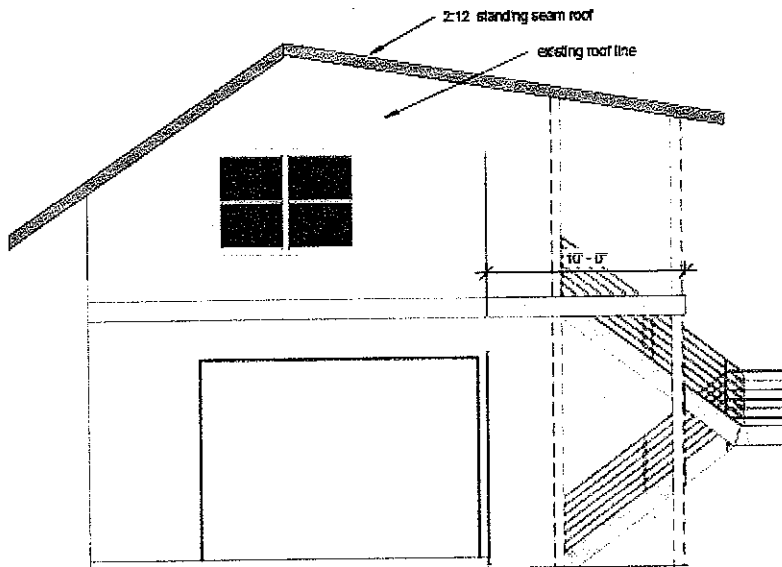
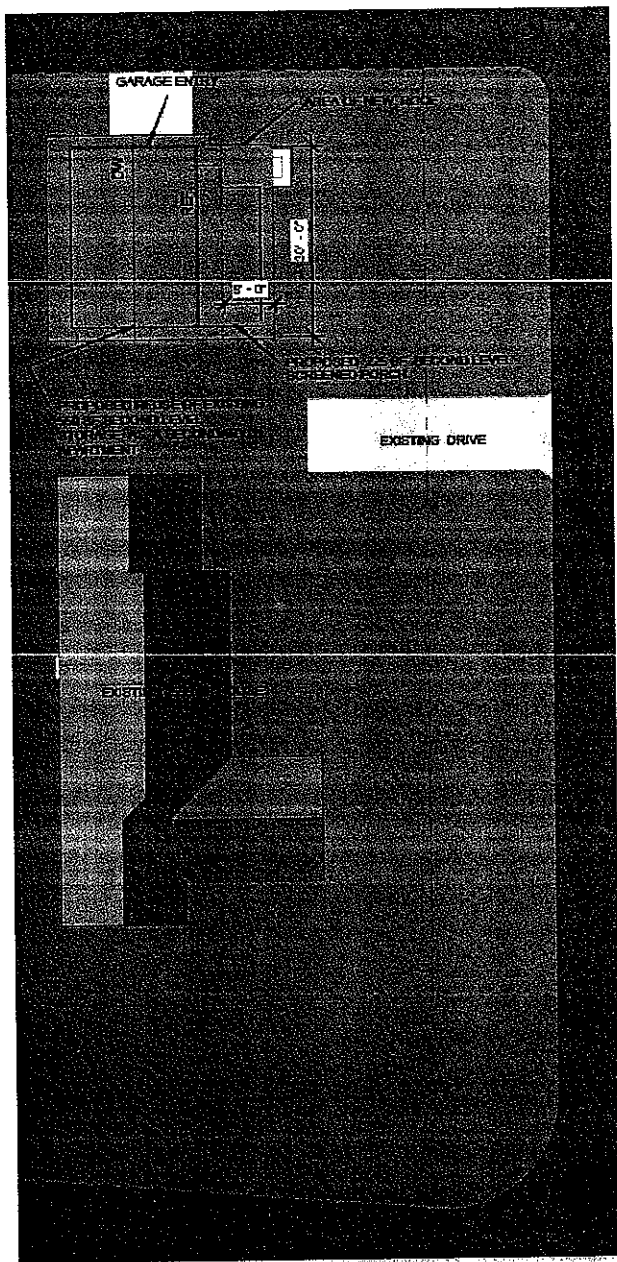
Elyse Brown Jr.

Address:

Date:

2105 East 17<sup>th</sup> St Austin, Texas 78702

6-22-13



2012 E. 16<sup>th</sup> Street  
 Corner of 16<sup>th</sup> and Alamo, rear side alley  
 9600 sq ft lot;

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I / We do not oppose:

I / We oppose:

I / We abstain:

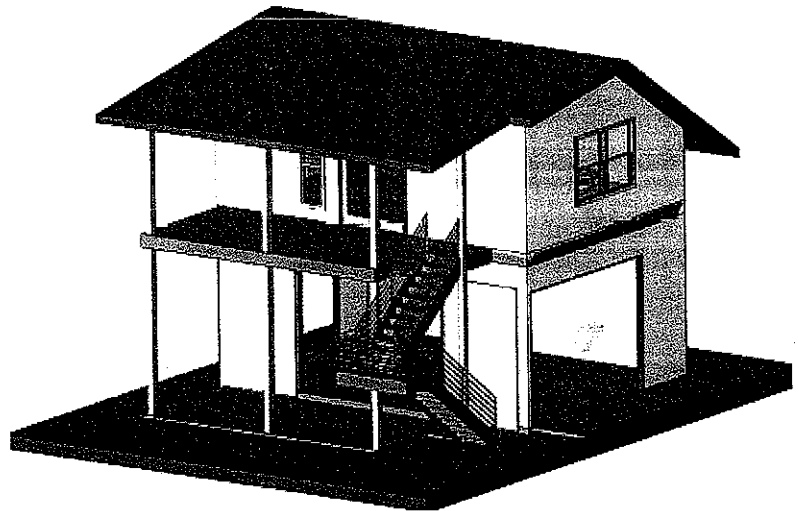
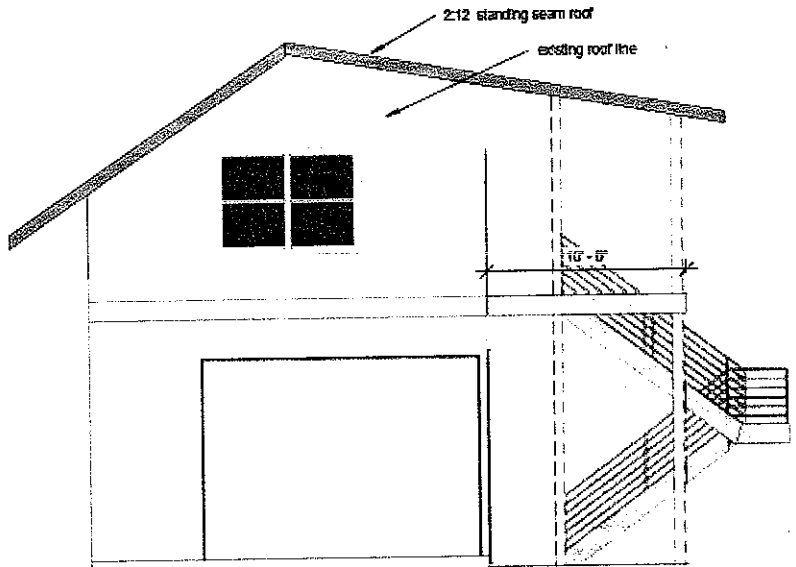
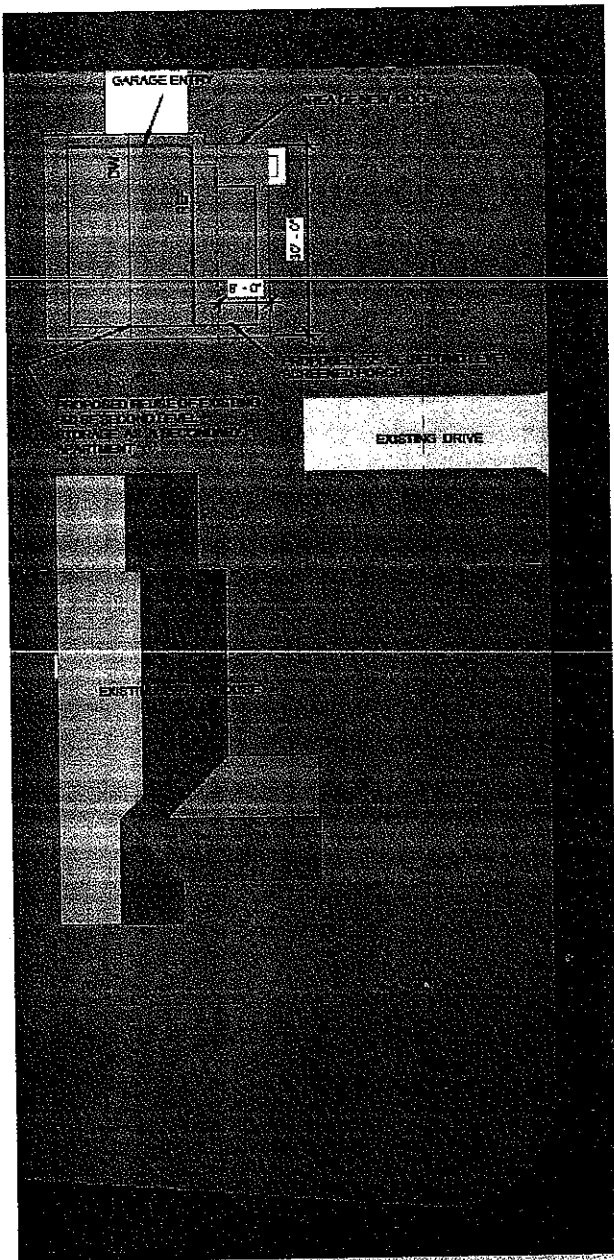
Jessica Grace  
 (NAME)

Address:

Date:

1609 Alamo St. Austin, Tx 78702

06/22/13



**2012 E. 16<sup>th</sup> Street**  
 Corner of 16<sup>th</sup> and Alamo, rear side alley  
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I / We do not oppose: ☒  
 (NAME)

*Loretta Johnson*

I / We oppose:

\_\_\_\_\_

I / We abstain:

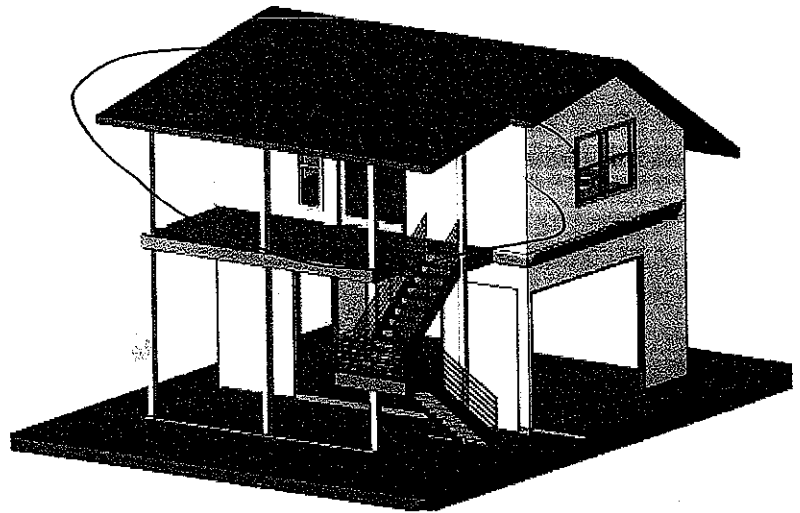
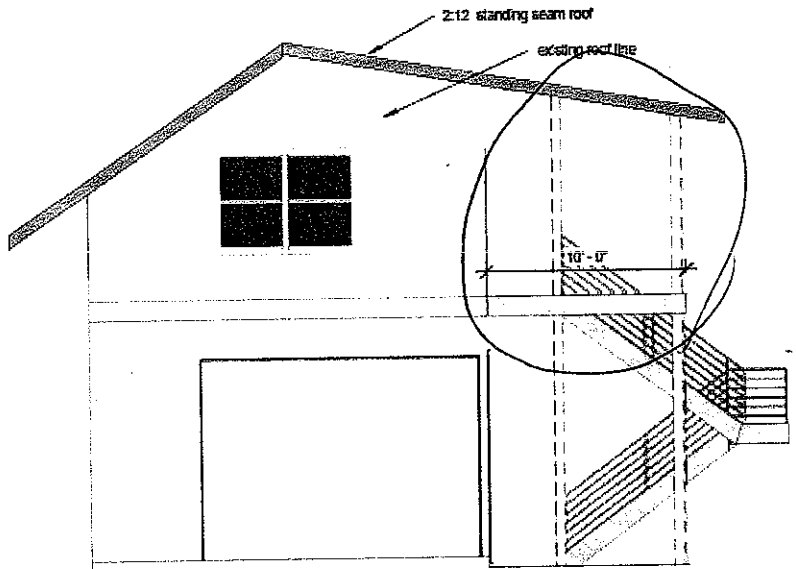
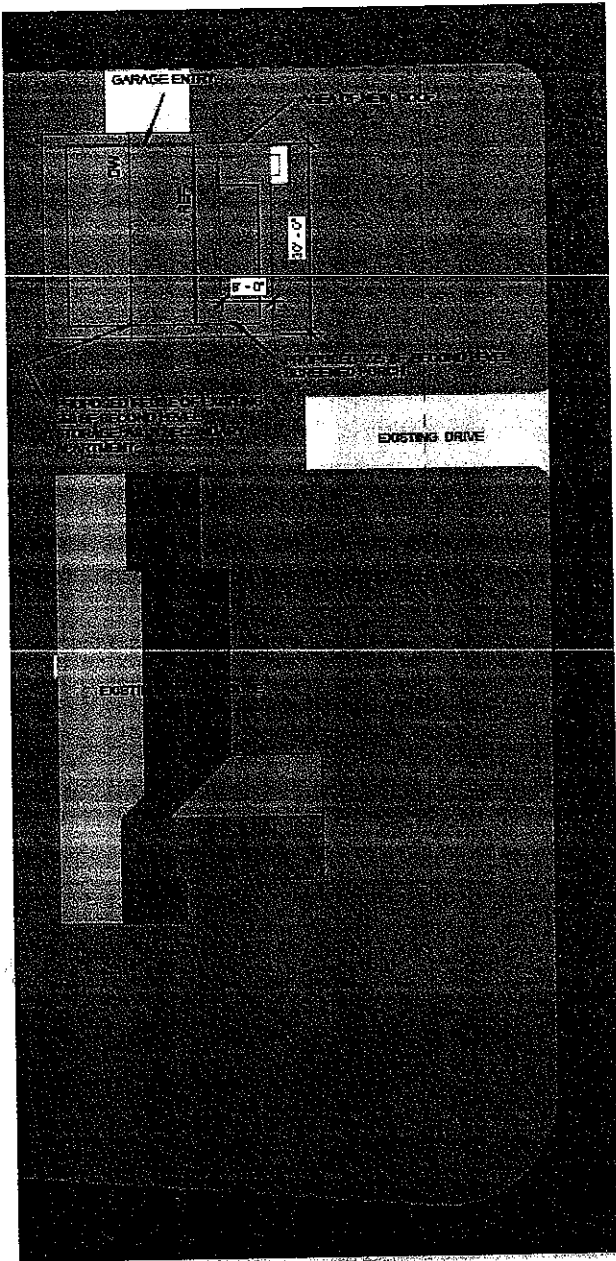
\_\_\_\_\_

Address:

Date:

2111 E 17th St

06/22/13



**2012 E. 16<sup>th</sup> Street**  
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 9600 sq ft lot;

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I / We do not oppose:

*[Signature]*

I / We oppose:

\_\_\_\_\_

I / We abstain:

\_\_\_\_\_

Address:

2001 E 17<sup>th</sup> Austin, Tx 78702

Date:

6 16 2013