

**HISTORIC LANDMARK COMMISSION**  
**JULY 22, 2013**  
**NATIONAL REGISTER HISTORIC DISTRICT**  
**NRD-2013-0053**  
**Old West Austin**  
**1502 W. 30th Street**

**PROPOSAL**

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Demolish an existing non-contributing house and construct a new 2,965 sq. ft. house.

**PROJECT SPECIFICATIONS**

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The existing c. 1938 house is a 986 sq. ft., one-story, house with a hipped roof. There are rear wings, with hipped, gable and shed roofs. There is a partial-width, inset front porch with a concrete slab floor. The horizontal siding appears to be vinyl or aluminum and is likely not original. There are various widows, including a large, multi-paned, "picture" window, and pairs of double-hung windows on the façade. There is a wide pilaster to one side of the front door.

The applicant proposes to demolish the existing house as well as a board and batten sided, detached garage and construct a new 2,965 sq. ft., two-story house and detached one car garage. The new house will have a front-facing gable roof, and a two-story, full-width front porch with a half-hipped roof. The second floor balcony of the porch will have a decorative balustrade. There will be side and rear, one story screened porches with half-hipped roofs. The siding will be horizontal, fiber cement siding with an 8" exposure and the roof will be standing seam metal. The detached garage will have horizontal siding to match the house and a carriage style door facing the street.

**STANDARDS FOR REVIEW**

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The existing property is non-contributing to the Old West Austin National Register Historic District. Applicable general design review guidelines state:

- Contemporary design for alterations and additions to existing properties are appropriate when such alterations and additions do not destroy significant historic, architectural, or cultural material and are compatible with the size, scale, color, material, and character of the property, neighborhood, or environment.

Although the existing house is non-contributing it was constructed during the period of significance for the district, and could likely be rehabilitated to its original appearance, with compatible additions if needed. However, even in a restored state it likely lacks sufficient architectural and historical significance for local landmarking. The design of the new house has features that reference historical architectural styles, and there are other two-story, contemporary houses on this block, however the size, form and style as proposed is not compatible with contributing houses in the area.

**STAFF RECOMMENDATION**

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Release the permit with the recommendation that the applicant consider a design that is more compatible with contributing houses in the area, or consider rehabilitating the existing house so that it is returned to a contributing status.

PHOTOS

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1502 W. 30th Street



Detached garage





View of houses immediately across the street from 1502 W. 30th Street

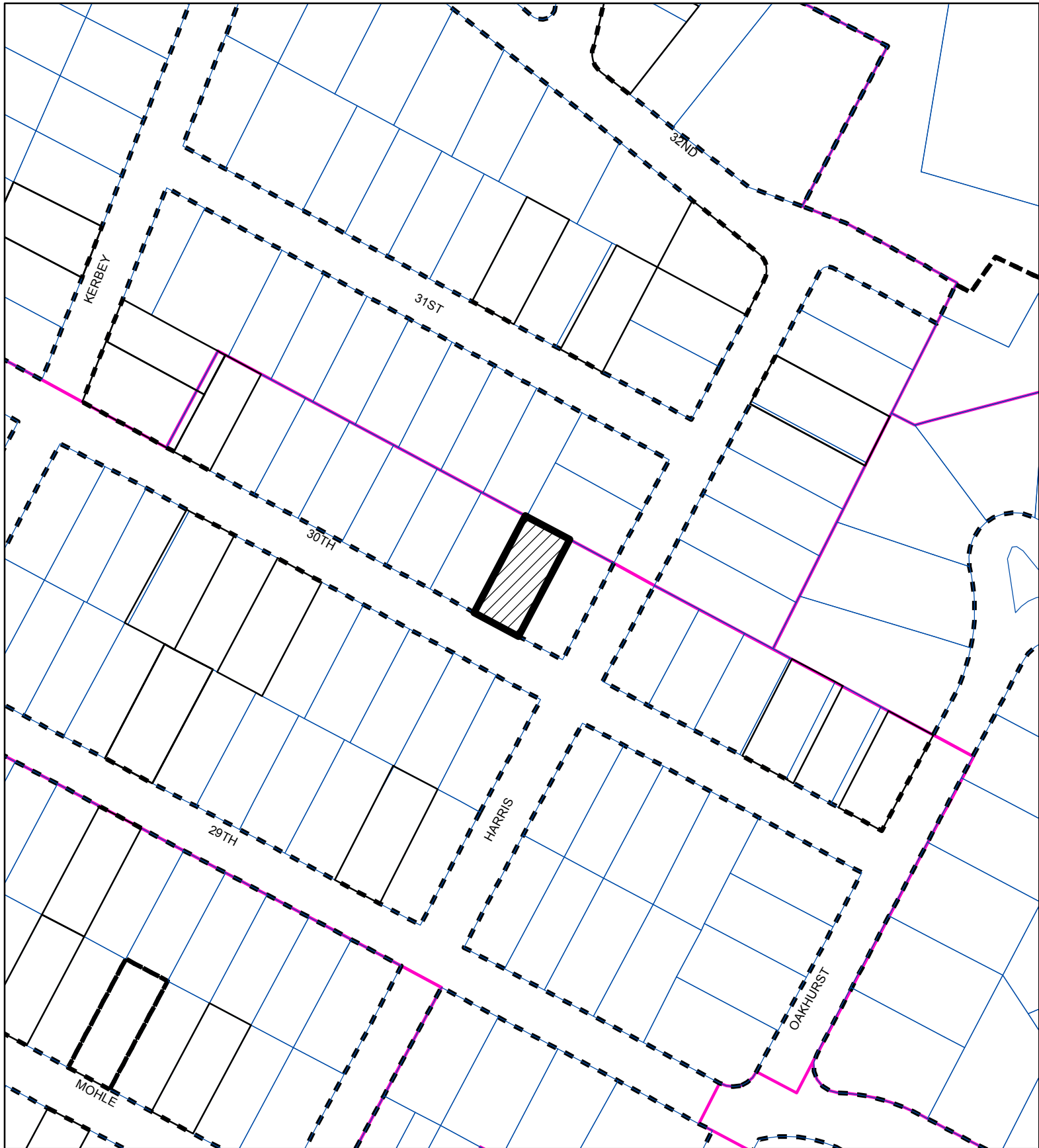


House immediately adjacent to 1502 W. 30th Street



Non-contributing two-story houses on the same block as 1502 W. 30th Street





SUBJECT TRACT



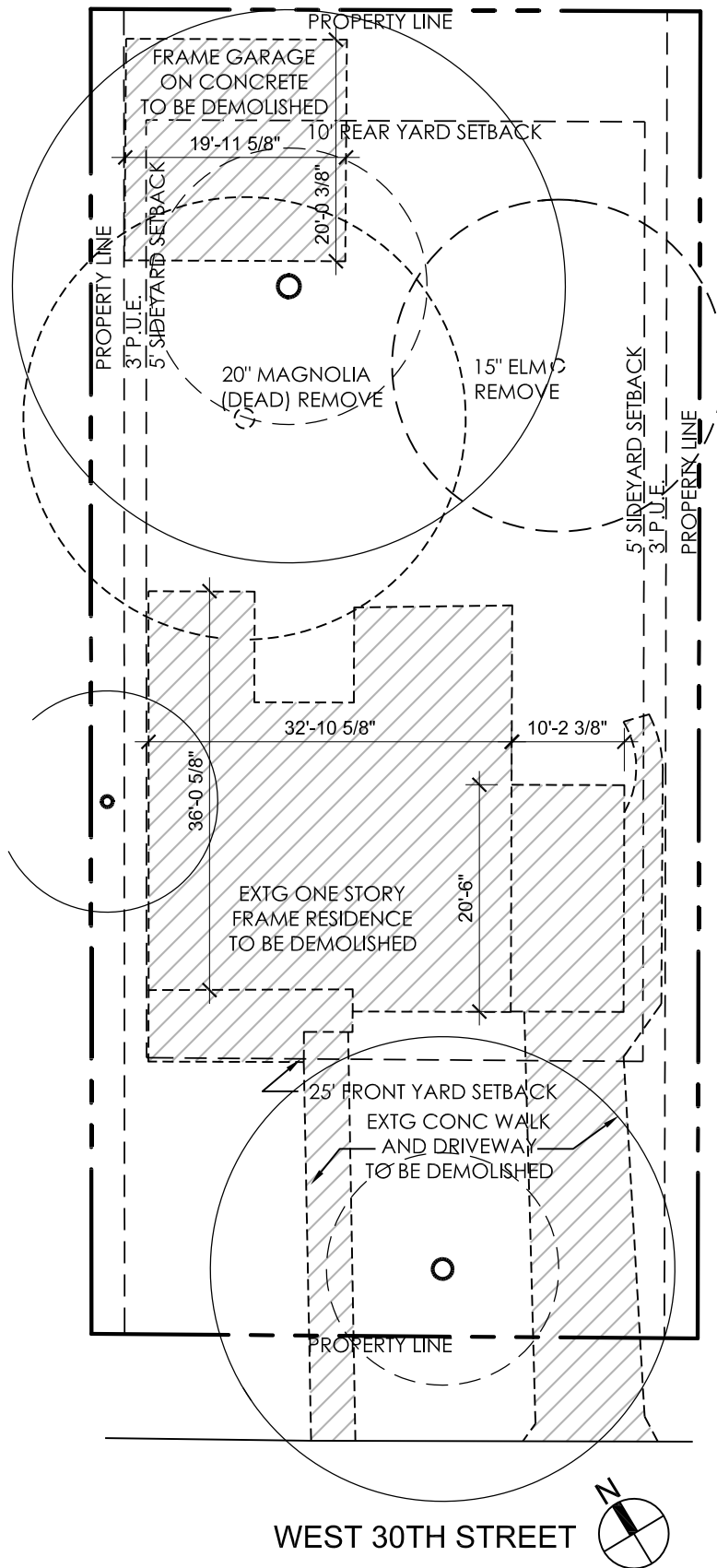
ZONING BOUNDARY

CASE#: NRD-2013-0053  
LOCATION: 1502 W. 30th Street



This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

This product has been produced by the Planning and Development Review Department for the sole purpose of geographic reference. No warranty is made by the City of Austin regarding specific accuracy or completeness.



BACKGROUND INFO MAY BE  
DIAGRAMMATIC & IS BASED ON  
SURVEY INFORMATION PROVIDED  
BY: B&G SURVEYING, INC.

PLOT PLAN SCALE:  
1/16"=1'-0"

PROJECT INFORMATION  
PROPERTY ADDRESS:  
1502 W. 30TH STREET, AUSTIN TX 78703  
LEGAL DESCRIPTION: LOT 61, BLOCK 2  
SUBDIVISION: BRYKER - WOODS ADDITION B  
ZONING: SF-3-NP

DRAKE RESIDENCE  
1502 W 30TH ST  
AUSTIN, TX

D1.0 DEMOLITION PLAN

BUILDING DESIGNER:  
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Sarah Bullock McIntyre  
3706 Werner Avenue  
Austin, TX 78722  
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ARCHITECT:  
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DRAWING LIST

A0.1	PLOT PLAN
A0.2	SETBACK PLANE COMPLIANCE PLAN
D1.0	DEMOLITION PLAN
A1.0	ROOF PLAN, CONSTRUCTION NOTES
A1.1	FLOOR PLANS
A1.2	FLOOR PLANS
A2.0	EXTERIOR ELEVATIONS
A2.1	EXTERIOR ELEVATIONS
A6.0	WINDOW & DOOR SCHEDULES

ABBREVIATIONS

ABV	ABOVE	MIN	MINIMUM
AFF	ABOVE FINISHED FLOOR	MO	MASONRY OPENING
BD	BOARD	MTL	METAL
BLDG	BUILDING	OC	ON CENTER
BLKG	BLOCKING	PLYWD	PLYWOOD
BLW	BELOW	PL	PLATE
B.O.	BOTTOM OF	PTD	PAINTED
BM	BEAM	PT	PRESSURE TREATED
CL	CENTERLINE	REQ'D	REQUIRED
CLR	CLEAR	REQ'MTS	REQUIREMENTS
CLG	CEILING	SD	INTERCONNECTED SMOKE DETECTOR
CMU	CONCRETE MASONRY UNIT	TBD	TO BE DETERMINED
CO	CARBON MONOXIDE DETECTOR	T.O.	TOP OF
COL	COLUMN	TPL	TRIPLE
CONC	CONCRETE	TYP	TYPICAL
COORD	COORDINATE	UNO	UNLESS NOTED OTHERWISE
DBL	DOUBLE	V.I.F.	VERIFY IN FIELD
DBLS	DIMENSIONS	WD	WOOD
DN	DOWN	WDW	WINDOW
DS	DOWNSPOUT	WP	WEATHER-PROOF
EA	EACH		
EQUIP	EQUIPMENT		
EXT	EXTERIOR		
EXTG	EXISTING		
FD	FLOOR DRAIN		
F.F.	FINISH FLOOR		
FIN	FINISH		
F.O.	FACE OF		
FP	FROST PROOF		
FTG	FOOTING		
FV	FIELD VERIFY		
FPHB	FROST PROOF HOSE BIBB		
GYP	GYPSUM		
HDR	HEADER		
HT	HEIGHT		
IBC	INSTALLED BY CONTRACTOR		

GENERAL NOTES

1. THE PLANS AND ARRANGEMENTS DEPICTED HEREIN ARE THE SOLE PROPERTY OF SARAH BULLOCK MCINTYRE, BUILDING DESIGNER, AND ADA CORRAL, ARCHITECT, AND SHALL BE RETAINED BY THE RECIPIENT, THE PLANS MAY NOT BE REPRODUCED, CHANGED OR COPIED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE LOANED OR ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION, THE BUILDING DESIGNER OR ARCHITECT ASSUME NO RESPONSIBILITY FOR CHANGES OR MODIFICATIONS MADE TO THESE PLANS BY OTHERS.
2. THESE DRAWINGS CONSTITUTE WHAT IS NORMALLY CONSIDERED WITHIN THE CONSTRUCTION INDUSTRY A "BUILDER'S SET" IN AS MUCH AS THEY ARE INTENDED TO CONVEY THE DESIGN INTENT ONLY. THE IMPLEMENTATION OF THE PLANS REQUIRE A GENERAL CONTRACTOR AND SUBCONTRACTORS THOROUGHLY KNOWLEDGEABLE WITH THE APPLICABLE BUILDING CODES AND METHODS OF CONSTRUCTION. THE PLANS ARE INTENDED TO PROVIDE BASIC INFORMATION REGARDING SITE WORK, ELECTRICAL, MECHANICAL, PLUMBING AND OTHER TRADES TO SUBSTANTIALLY COMPLETE CONSTRUCTION OF THE STRUCTURE.
3. CONSTRUCTION MEANS, METHODS AND MATERIALS ARE SOLELY THE JURISDICTION OF THE CONTRACTOR AND ARE NOT DESCRIBED IN THESE PLANS. EXACT DETAILING, STRUCTURAL, MECHANICAL, ELECTRICAL, WATERPROOFING AND FLASHINGS ARE TO BE DETERMINED BY THE CONTRACTOR EXCEPT AS NOTED OR DESCRIBED WITHIN THESE DRAWINGS. IN ALL CASES, THE MOST STRINGENT REQUIREMENTS OF ALL APPLICABLE FEDERAL, STATE, COUNTY AND LOCAL CITY, BUILDING, MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE CODES, LAWS, ORDINANCES, AND REGULATIONS MUST BE MET. IF THE CONTRACTOR OR ANY SUBCONTRACTORS PERFORMS ANY WORK IN CONFLICT WITH THE ABOVE MENTIONED LAWS, RULES, CODES, ORDINANCES AND REGULATIONS THEN THE CONTRACTOR IN VIOLATION SHALL BEAR ALL COSTS OF REPAIR ARISING OUT OF NON-CONFORMING WORK. ALL SUCH CODES, ORDINANCES, DEED RESTRICTIONS, AND REGULATIONS TAKE PRECEDENCE OVER ANY PART OF THESE DRAWINGS WHICH MAY BE DEFICIENT OR IN CONFLICT. CONSULT THE BUILDING DESIGNER/ARCHITECT IF UNSURE ABOUT THE EXTENT OF OR DETAILING REQUIRED TO COMPLETE THE PROJECT AS SHOWN. FAILURE TO DO SO IN ADVANCE OF COMMENCEMENT OF CONSTRUCTION OR ORDERING OF MATERIALS CONSTITUTES UNDERSTANDING OF THE PROJECT SCOPE AND INTENT, AND ACCEPTANCE OF ALL RESPONSIBILITY BY CONTRACTOR. CONTACT THE BUILDING DESIGNER/ARCHITECT IMMEDIATELY FOR RESOLUTION PRIOR TO CONSTRUCTION IF ANY DISCREPANCIES OR CONFLICTS EXIST REGARDING THE INFORMATION ON THESE DRAWINGS.
4. DO NOT SCALE DRAWINGS. CONTRACTOR TO CONFIRM AND VERIFY LOCATION OF ALL STRUCTURES IN RELATION TO BUILDING LINES OR SETBACK, PROPERTY LINES AND EASEMENTS. NOTIFY DESIGNER/ARCHITECT AND OWNER IMMEDIATELY WITH ANY DISCREPANCIES.
5. THE OBTAINING OF PERMITS AND GOVERNMENT APPROVALS AND PAYMENT OF RELATED FEES IS THE RESPONSIBILITY OF THE CONTRACTOR UNLESS OTHERWISE AGREED.
6. THE DESIGN LAYOUT AND DETAILING OF ALL STRUCTURAL ELEMENTS, INCLUDING BUT NOT LIMITED TO PIERS, FOOTINGS, RETAINING WALLS, SHEAR WALLS, FLOOR AND ROOF TRUSSES, RAFTERS, FLOOR AND CEILING JOISTS, STUD WALLS, COLUMNS AND COLUMN FOOTINGS, CONCRETE FLOORS AND REINFORCING MUST BE DESIGNED, ENGINEERED AND CERTIFIED BY A REGISTERED PROFESSIONAL ENGINEER LICENSED TO PRACTICE IN THE STATE OF TEXAS.
7. DIMENSIONS ARE TO F.O. STUD UNLESS NOTED OTHERWISE.
8. PROTECT EXISTING TREES DURING CONSTRUCTION.
9. ALL HANDRAIL AND GUARDRAILS WILL COMPLY WITH INTERNATIONAL RESIDENTIAL CODE, 2012. GUARDRAILS @ 36" A.F.F., HANDRAILS @ 34" ABOVE STAIR NOSING MIN., 38" MAX. THE HANDRAIL WILL BE 1 1/2" DIAMETER AND WILL NOT EXCEED 2 1/2" IN CROSS SECTIONAL DIMENSION. STAIR HANDRAIL WILL BE PROVIDED ON ONE OR BOTH SIDES OF THE STAIRWAY. GUARDRAILS WILL BE INSTALLED ON PORCHES, DECKS, WALKWAYS, BALCONIES AND OPEN SIDES OF STAIRS WHEN THOSE SURFACES ARE 30" OR MORE HIGHER THAN THE ADJACENT GRADE OR SURFACE. OPENINGS BETWEEN VERTICAL RAILING MEMBERS WILL BE NO WIDER THAN 4".
10. ANY WOOD FRAMING IN CONTACT WITH CONCRETE OR CONCRETE BLOCK WILL BE PRESSURE TREATED.
11. ALL STAIRWAY WIDTHS WILL BE AT LEAST 3'-0" FINISHED. MAXIMUM RISER WILL BE 7 3/4" AND MINIMUM TREAD DEPTH WILL BE 10" WITH A NOSING BETWEEN 3/4" AND 1 1/4". MINIMUM HEADROOM WILL BE 6'-8" MEASURED VERTICALLY FROM TIP OF NOSING TO CEILING OR OBSTRUCTION ABOVE.
12. CONTRACTOR TO VERIFY MECHANICAL LAYOUT PRIOR TO COMMENCING FRAMING.
13. CONTRACTOR IS RESPONSIBLE FOR ENSURING PROPER DRAINAGE AWAY FROM BUILDINGS.

CONSTRUCTION NOTES

FOR GENERAL STRUCTURAL NOTES & DESIGN, REFER TO STRUCTURAL DRAWINGS.

FOUNDATION & FLOOR CONSTRUCTION

1. NEW CONCRETE SLABS, PIERS, BEAMS AND FOOTINGS AS DETERMINED BY STRUCTURAL.
2. EXPOSED CONCRETE SLAB FINISH AND STAIN T.B.D. IF APPLICABLE.
3. STUCCO UNDERPINNING ON METAL LATH, COORDINATE TEXTURE AND FINISH WITH OWNER
4. CONTRACTOR TO COORDINATE SLAB RECESSES WITH OWNER BASED ON FINISHED FLOOR TYPE AND DEPTH.

EXTERIOR WALL CONSTRUCTION

1. EXTERIOR WALL FRAMING TO BE 2X4 STUDS @ 16" O.C. W/ 1/2" OSB SHEATHING. DBL 30# FELT TO COVER EXTERIOR FACE OF WALL SHEATHING.
2. SMOOTH FIBER CEMENT LAP SIDING WHERE INDICATED ON EXTERIOR ELEVATIONS; 8" EXPOSURE.
3. 1/2" SMOOTH FIBER CEMENT FLAT PANELING WITH TRIM WHERE INDICATED ON EXTERIOR ELEVATIONS.
4. EXTERIOR WALLS TO RECEIVE MIN R-19 BLOWN-IN BLANKET (BIB) INSULATION AS REQ'D BY CODE.
5. 1/2" GYP BOARD SYSTEM OVER INTERIOR FACE OF STUDS UNLESS NOTED OTHERWISE. MOISTURE RESISTANT GYP BOARD WILL BE USED IN ALL BATHROOMS.

INTERIOR WALL CONSTRUCTION

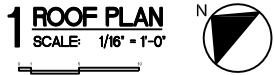
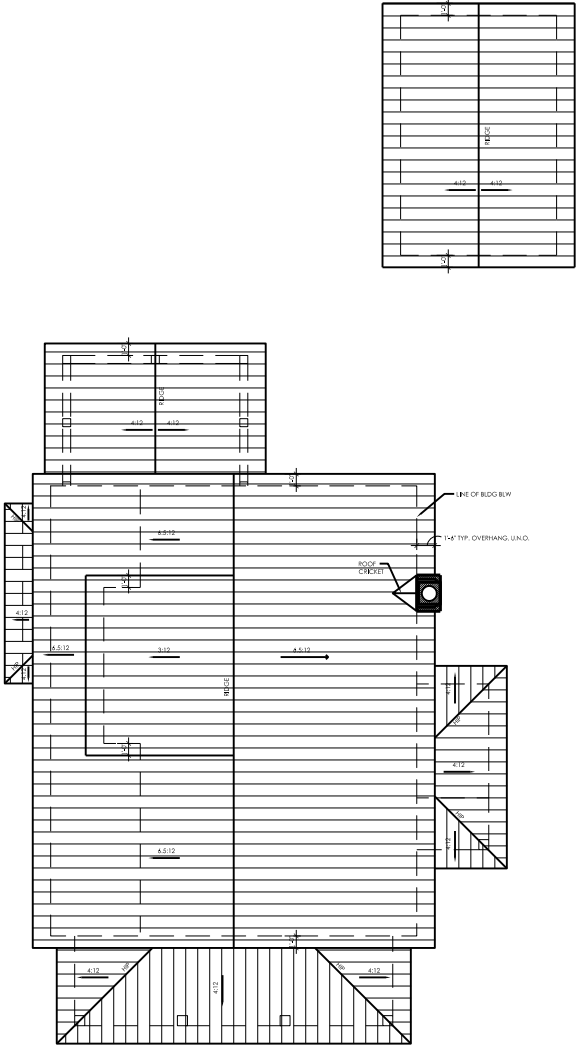
1. 2X4 WOOD STUDS @ 16" O.C. UNLESS NOTED OTHERWISE.
2. 2X6 WOOD STUDS @ 16" O.C. WHERE REQ'D FOR DRAINS, VENTS OR OTHER EQUIP.
3. 1/2" GYP BOARD ON BOTH SIDES OF STUD WALLS. COORDINATE TEXTURE WITH OWNER.
4. 1/2" MOISTURE RESISTANT GYP BD IN ALL BATHROOMS.
5. 5/8" GYP BOARD ON ALL CEILINGS.
6. SOUND ATTENUATING INSULATION IN ALL WALLS SURROUNDING BATHROOMS AND BEDROOMS.
7. PRIOR TO DRYWALL INSTALLATION, CONTRACTOR TO COORDINATE ALL BLOCKING REQUIRED WITH OWNER. BLOCKING FOR GRAB BARS SHOULD BE ACCOMMODATED IN ALL BATHROOM, SHOWER AND TUB SPACES.

ATTIC

1. WOOD RAFTER AND CEILING JOIST CONSTRUCTION PER STRUCTURAL ENGINEER.
2. 5/8" GYP BOARD CEILING. COORDINATE TEXTURE WITH OWNER.
3. ATTIC ASSEMBLY TO RECEIVE R-38 INSULATION AS REQ'D BY CODE. PROVIDE AIR SPACE FOR VENTILATION WHERE REQUIRED.
4. COORDINATE ATTIC ACCESS LOCATIONS WITH OWNER AND DESIGNER IN THE FIELD.

ROOF

1. 1/2" PLYWOOD ROOF SHEATHING WITH RADIANT BARRIER. SOFFIT VENTING TO BE DETERMINED IN FIELD.
2. STANDING SEAM METAL ROOF, COLOR T.B.D.
4. EXTERIOR PORCH CEILINGS TO BE DETERMINED.
5. COORDINATE GUTTER, DOWNSPOUT AND RAINWATER COLLECTION TANK LOCATION AND DESIGN WITH OWNER AND DESIGNER/ARCHITECT.



ROOF PLAN NOTES  
1. ALL PENETRATIONS PER CODE & COORDINATED BY CONTRACTOR.

A1.0 ROOF PLAN

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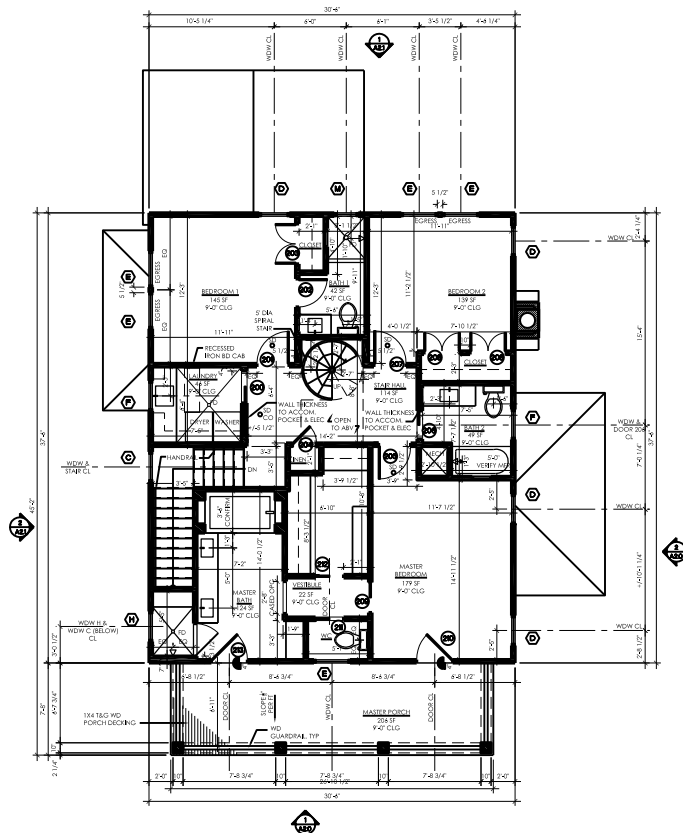
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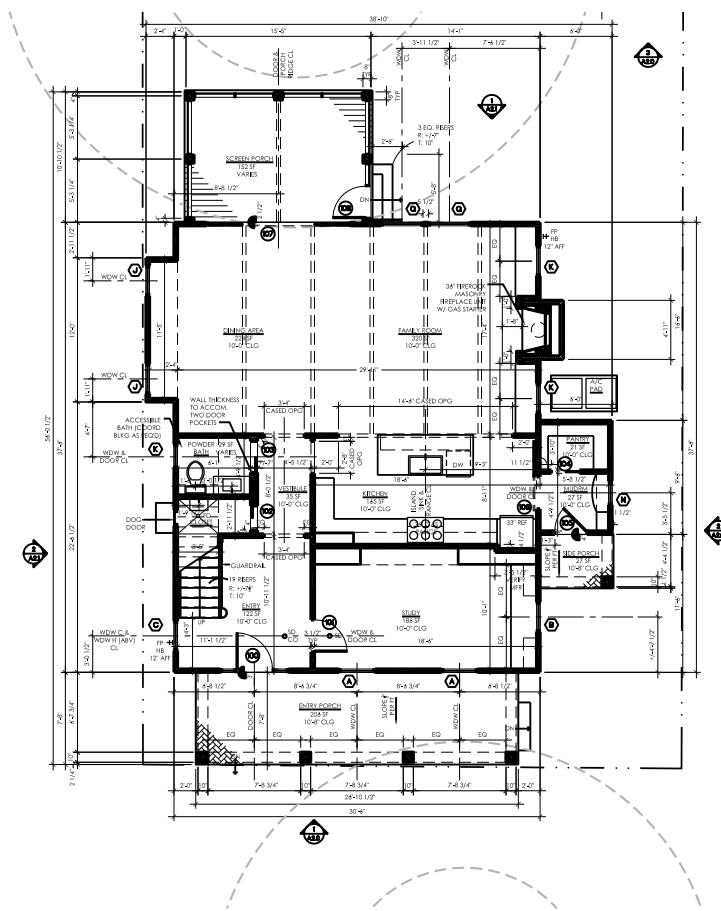


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**2 SECOND FLOOR PLAN**  
SCALE: 1/16" = 1'-0"



**1 FIRST FLOOR PLAN**  
SCALE: 1/16" = 1'-0"

## A1.1 FLOOR PLANS

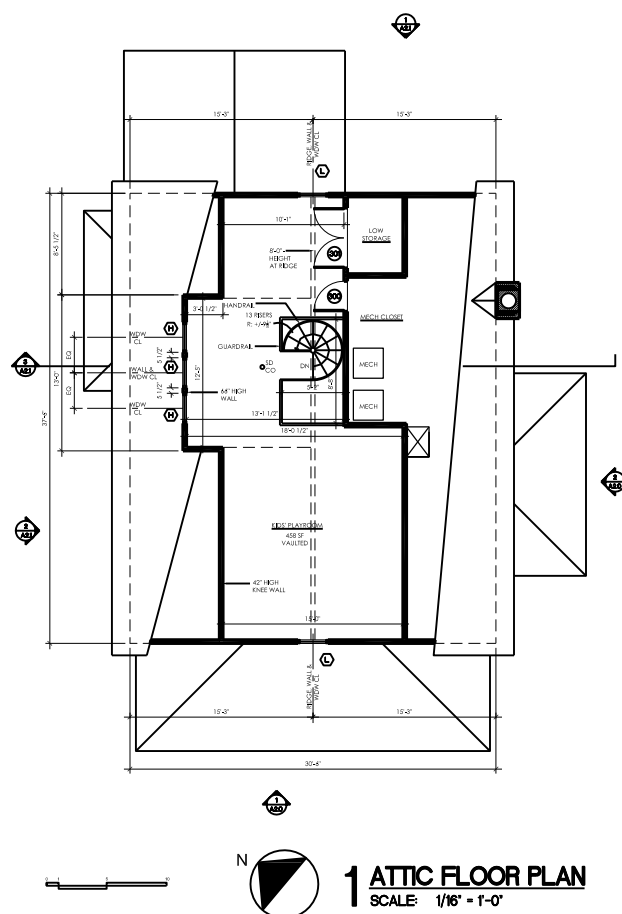
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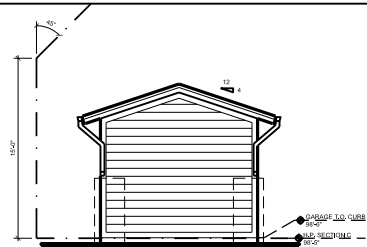
BUILDING DESIGNER:  
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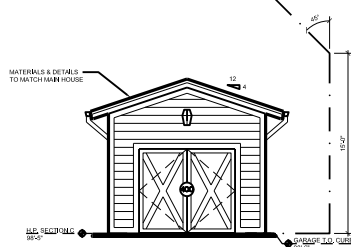


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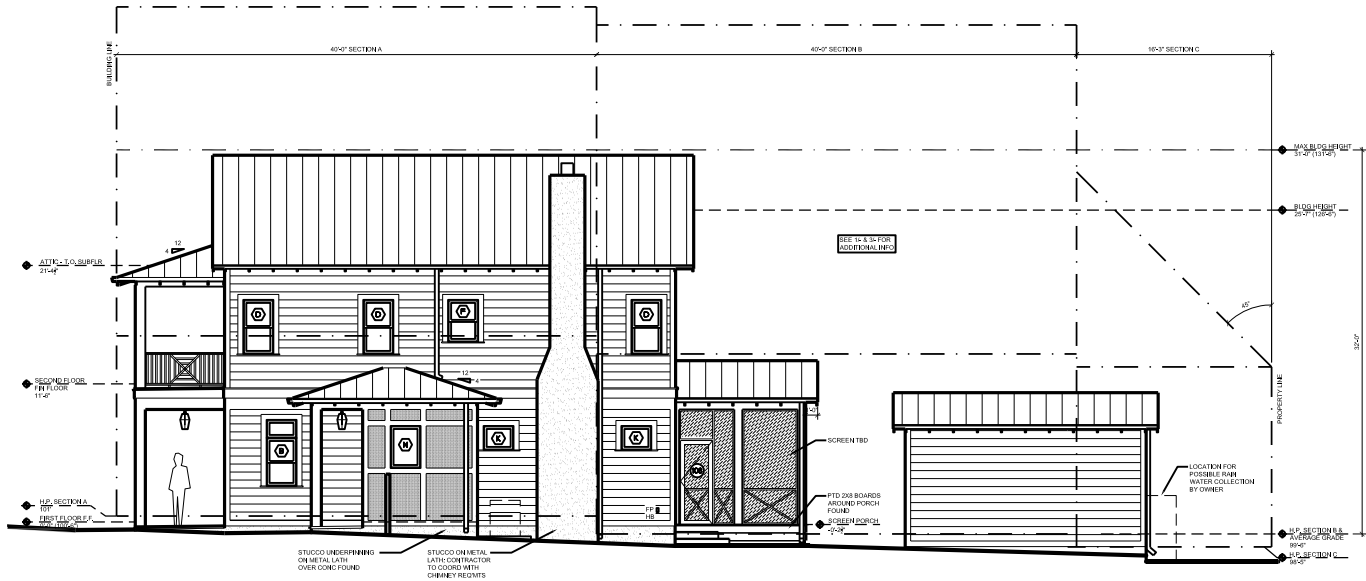




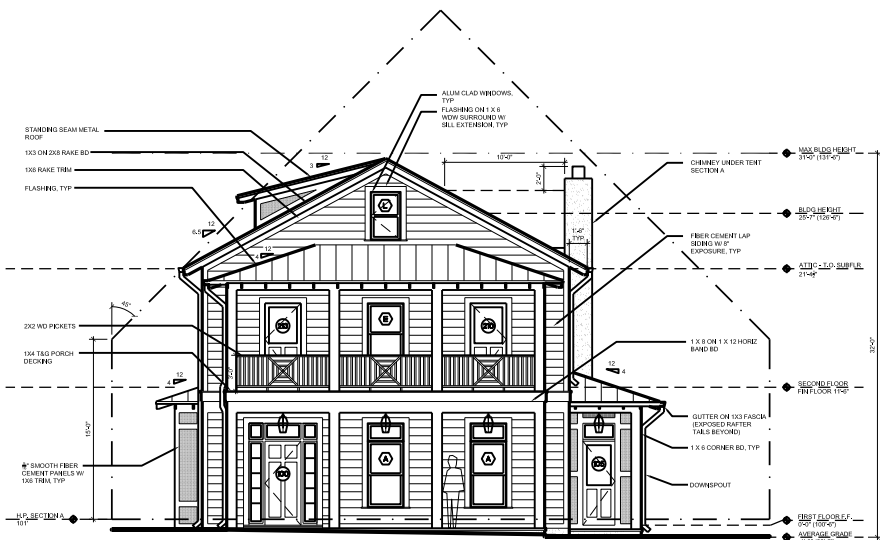
4 NORTH ELEVATION - GARAGE  
SCALE 1/16" = 1'-0"



3 SOUTH ELEVATION - GARAGE  
SCALE 1/16" = 1'-0"



2 EAST ELEVATION  
SCALE 1/16" = 1'-0"



1 SOUTH ELEVATION  
SCALE 1/16" = 1'-0"

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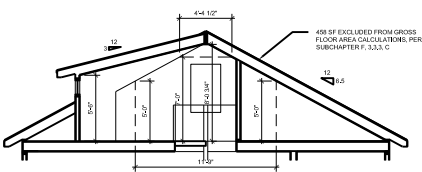
## A2.0 EXTERIOR ELEVATIONS

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ATTIC SF EXEMPTION CALCULATIONS	
TOTAL ATTIC FLOOR AREA	458 SF
AREA W/ CLG HGT < 7'	297 SF
% OF AREA W/ CLG HGT < 7'	65%

3 ATTIC SECTION  
SCALE: 1/16" = 1'-0"



2 WEST ELEVATION  
SCALE: 1/16" = 1'-0"



1 NORTH ELEVATION  
SCALE: 1/16" = 1'-0"

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A2.1 EXTERIOR ELEVATIONS

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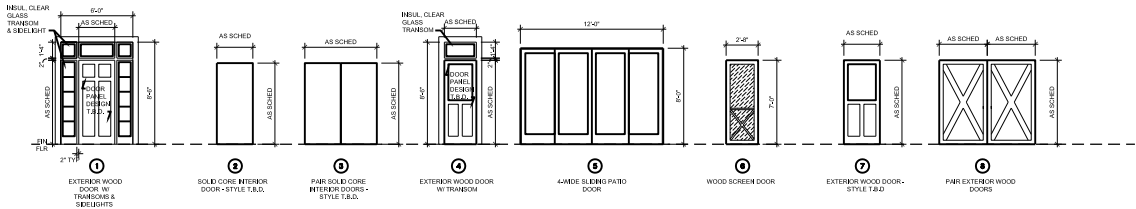


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DOOR SCHEDULE							
DOOR NO.	DOOR TYPE	WIDTH	HEIGHT	THICK	FINISH	HARDWARE	NOTES
FIRST FLOOR							
100	1	3'-0"	7'-0"	1-3/4"	TBD	TBD	ENTRY DOOR
101	2	2'-8"	7'-0"	1-3/8"	TBD	TBD	SWING DOOR
102	2	2'-0"	7'-0"	1-3/8"	TBD	TBD	POCKET DOOR
103	2	2'-6"	7'-0"	1-3/8"	TBD	TBD	POCKET DOOR
104	2	2'-4"	7'-0"	1-3/8"	TBD	TBD	POCKET DOOR
105	2	2'-8"	7'-0"	1-3/8"	TBD	TBD	CEILING HEIGHT RESTRICTED, V.I.F.
106	4	+/-3'-0"	+/- 7'-3"	1-3/4"	TBD	TBD	VERIFY HT/ WIDTH: BARN DOOR
107	5	SEE TYPE			TBD	TBD	SLIDING DOOR
108	6	2'-8"	7'-0"	1-3/4"	TBD	TBD	SWING DOOR
SECOND FLOOR							
200	2	2'-8"	6'-8"	1-3/8"	TBD	TBD	POCKET DOOR
201	2	2'-8"	6'-8"	1-3/8"	TBD	TBD	SWING DOOR
202	3	2'-4"	6'-8"	1-3/8"	TBD	TBD	SWING DOOR
203	2	1'-8" PAIR	6'-8"	1-3/8"	TBD	TBD	SWING DOOR
204	2	2'-0"	6'-8"	1-3/8"	TBD	TBD	SWING DOOR
205	2	2'-8"	6'-8"	1-3/8"	TBD	TBD	SWING DOOR
206	2	2'-4"	6'-8"	1-3/8"	TBD	TBD	POCKET DOOR
207	2	2'-8"	6'-8"	1-3/8"	TBD	TBD	SWING DOOR
208	3	1'-6" PAIR	6'-8"	1-3/8"	TBD	TBD	SWING DOOR
209	2	2'-6"	6'-8"	1-3/8"	TBD	TBD	POCKET DOOR
210	7	3'-0"	7'-0"	1-3/4"	TBD	TBD	SWING DOOR
211	2	2'-4"	6'-8"	1-3/8"	TBD	TBD	POCKET DOOR
212	2	2'-4"	6'-8"	1-3/8"	TBD	TBD	POCKET DOOR
213	7	3'-0"	7'-0"	1-3/4"	TBD	TBD	SWING DOOR
ATTIC: KIDS' PLAYROOM							
300	2	2'-6"	+/-6'-2"	1-3/8"	TBD	TBD	CONFIRM DOOR HT IN FIELD
301	3	2'-6" PAIR	+/-6'-2"	1-3/8"	TBD	TBD	CONFIRM DOOR HT IN FIELD
GARAGE							
400	8	4'-0" PAIR	7'-0"	1-3/4"	TBD	TBD	GARAGE DOOR

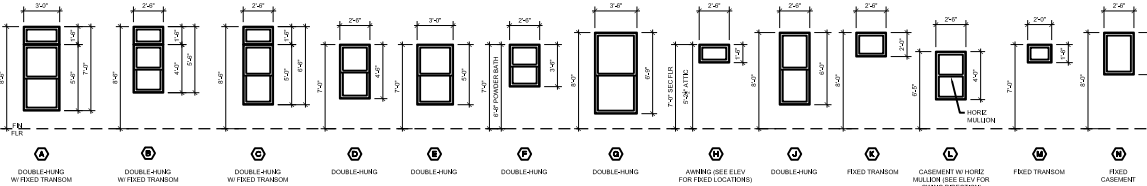
DOOR NOTES

1. INTERIOR DOOR FINISH T.B.D.
2. INTERIOR DOOR HARDWARE T.B.D.
3. EXTERIOR DOOR HARDWARE T.B.D.
4. DOOR HINGING INDICATED ON PLANS.
5. CONTRACTOR TO ORDER TEMPERED GLASS IN UNITS RECD BY CODE.
6. GLAZING SHALL BE INSULATED.
7. WALL THICKNESS AS INDICATED ON PLANS.
7. CUSTOM EXTERIOR ENTRY DOORS WITH TRANSOM & Sidelights.
8. GLASS IN DOORS TO BE TEMPERED.
9. SLIDING DOOR UNIT TO HAVE TEMPERED INSULATED GLASS.



WINDOW NOTES

1. ALL DIMENSIONS SHOWN ARE ROUGH OPENING DIMENSIONS. CONTRACTOR TO VERIFY ACTUAL WINDOW AND DOOR OPENING DIMENSIONS AFTER FINAL WINDOW FRAME IS SELECTED.
2. UNITS SHOWN ARE FOR DOUBLE & TYPICAL SERIES WINDOWS WITH DOUBLE EXTERIOR GLASS. CONTRACTOR TO DETERMINE FINAL WINDOW FRAME WITH OWNER. WINDOWS TO HAVE INSULATED DOUBLE GLASS. COORDINATE EXTERIOR/INTERIOR FINISH WITH OWNER. IF UNITS ARE ORDER PRE-FINISHED, COORDINATE COLOR OF SILL TO MATCH FINISH.
3. FOR DOUBLE-HUNG UNITS, WINDOWS SHALL NOT HAVE INTEGRAL FINISH GROOVES. OWNER TO DETERMINE LOCATION WHERE HARDWARE IS NECESSARY.
4. COORDINATE WINDOW HARDWARE STYLE & FINISH WITH OWNER.
5. TEMPERED GLAZING LOCATIONS INDICATED ON PLANS. CONTRACTOR TO VERIFY.
6. CASEMENT & AWNING HINGING SHOWN ON EXTERIOR ELEVATIONS, WHERE NO HINGING IS INDICATED, UNIT IS FIXED.
7. WALL THICKNESS AS INDICATED ON PLANS. COORDINATE MOULD OR OTHER WINDOW DETAIL WITH OWNER.
8. GROSS WINDOWS: SILL HEIGHT ABOVE FIN FLOOR MUST BE 4".
9. WHERE A WINDOW SILL HEIGHT IS 12" ABOVE FINISHED GRADE, THE LOWEST PART OF THE CLEAR OPENING SHALL BE A MINIMUM OF 24" ABOVE THE FIN FLOOR OF THE ROOM IN WHICH THE WINDOW IS LOCATED. IF THE LOWEST PART OF THE CLEAR OPENING IS BELOW 24", A DOUBLE-HUNG WINDOW OR WINDOW GUARD SHALL BE INSTALLED. WINDOW GUARD LOCATIONS INDICATED ON PLANS. CONTRACTOR TO VERIFY.
10. THE WINDOWS WITHIN 2'-0" OF DOOR SWINGS OR WITH THE BOTTOM EDGE LESS THAN 18" ABOVE THE FINISHED FLOOR SHALL HAVE TEMPERED GLASS.



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A6.0 SCHEDULES

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