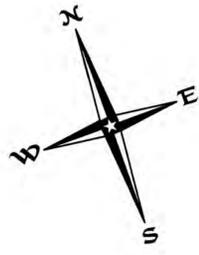


Legend

- ⊙ 1/2" Iron Rod Found
- IPF 1/2" Iron Pipe Found
- ⊠ Iron Rod Set with plastic cap imprinted with "Holt Carson, Inc."
- ▲ 60D Nail Found
- Wire Fence
- Wood Board Fence
- Overhead Utility Line (Record Dimension)



SCALE: 1" = 30'

SURVEY MAP OF
 0.297 ACRE OF LAND, BEING A PORTION OF OUTLOT 10, DIVISION E, OF THE GOVERNMENT OUTLOTS ADJOINING THE ORIGINAL CITY OF AUSTIN ACCORDING TO THE MAP ON FILE WITH THE GENERAL LAND OFFICE OF THE STATE OF TEXAS, AND BEING ALL OF THAT CERTAIN TRACT OF LAND AS CONVEYED TO E. LAWRENCE TAYLOR, JR. BY DEED RECORDED IN VOLUME 5814 PAGE 1569 OF THE DEED RECORDS OF TRAVIS COUNTY, TEXAS, AND FURTHER DESCRIBED IN QUITCLAIM DEED RECORDED IN DOCUMENT No. 2005226613 OF THE OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY, TEXAS.

see accompanying Field Note Description
 GF No. 201300646
 TO: BDA Trust
 Heritage Title Company of Austin, Inc.
 First American Title Insurance Company

THE STATE OF TEXAS
 THE COUNTY OF TRAVIS
 The undersigned does hereby certify that a survey was this day made on the ground of the property legally described hereon and is accurate to the best of my abilities and that there are no boundary line conflicts, encroachments, shortages in area, overlapping of improvements, visible utility lines, or roads in place, except as shown hereon, and said property abuts a dedicated roadway.
 This property is within Zone X (areas determined to be outside of the 100 Year Flood Plain) according to the Federal Emergency Management Agency Flood Insurance Rate Map Panel No. 480624 0465 H, dated September 26, 2008.
 THIS the 7th day of MARCH, A.D., 2013.

BY: *Holt Carson*
 Holt Carson
 Registered Professional Land Surveyor No. 5166
 HOLT CARSON, INC.
 1904 Fortview Road Austin, Texas 78704
 (512)-442-0990
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Schedule B Notes:
 Item 1.) This tract is subject to restrictive covenants as set forth in Volume 257, Page 143 of the Deed Records of Travis County, Texas.
 Item 10.c.) This tract is subject to a sewage easement granted to The Austin Sewerage Company as set forth in Volume 232, Page 389 of the Deed Records of Travis County, Texas. This is a blanket type easement over the entirety of Outlot 10, Division E.
 Item 10.d.) This tract is subject to reservation of a strip twenty (20) feet in width as set forth in Volume 257, Page 143 of the Deed Records of Travis County, Texas, "for the use as an alley way for the purpose of ingress and egress over the subject property and the property lying immediately North thereof," and Item 10.d.) "for the purpose of placing upon said alleyway telephone and electric light poles and wires"

GOVERNMENT OUTLOTS
 ADJOINING THE
 ORIGINAL CITY OF AUSTIN

OUTLOT 10
 DIVISION E

Reverend Charles A. Sumners, et ux
 Volume 5307 Page 1311
 Valerie E. Wickland
 (0.297 Acre)
 Warranty Deed
 Document No. 2007158391

Hsi-Sheng Yen and Yecu-Seh Yen, co-trustees
 Special Warranty Deed
 Volume 11877 Page 749

OUTLOT 9
 DIVISION E
 Michael E. Ward
 Volume 12714 Page 11

Jeffrey D. Harper
 and Mark Wayne Seeger
 (0.575 Acre)
 Volume 13331 Page 1083
 prior description in
 Volume 2851 Page 260

Dr. Roman Beretovych et Ux
 Volume 1404 Page 409

APPROVED
 By Dave Carley at 9:23 am, Mar 13, 2013

A 883128

EXISTING SITE PLAN PROVIDED BY OTHERS

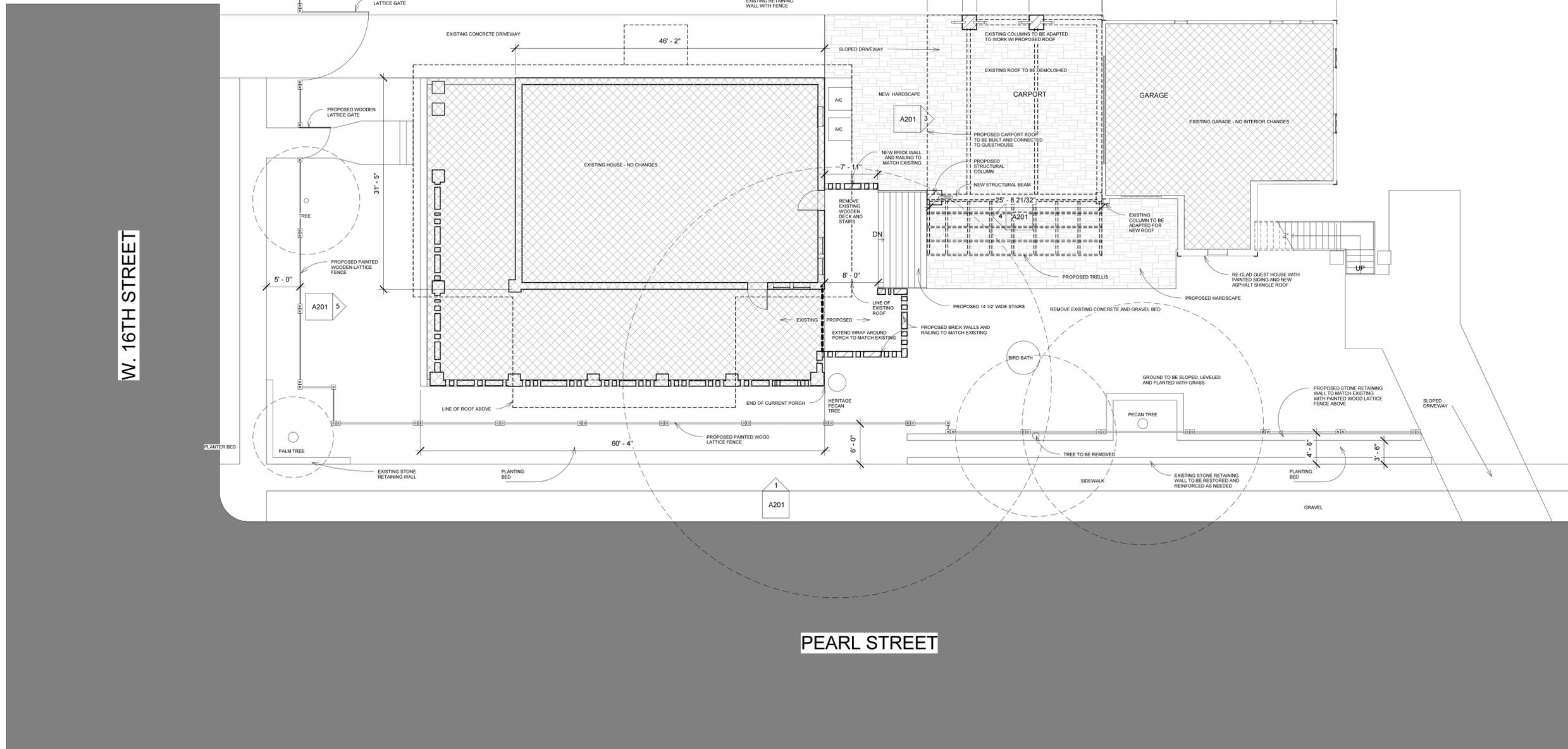
1601 Pearl Street

Betty Hung

Date 07/08/2013
 Drawn by UNKNOWN
 Checked by UNKNOWN
 REVISION
 #1.

Existing Site Plan

AS-101



1 PROPOSED SITE PLAN
1/8" = 1'-0"

1601 Pearl Street

Betty Hung

Date 07/08/2013
Drawn by AP, AM
Checked by HJR

REVISION
#1.

Proposed Site Plan

AS-102



1 Perspective from South



Back of House



South Side of House



South Side of Garage / Guesthouse

1601 Pearl Street

Betty Hung

Date 07/08/2013
 Drawn by AP, AM
 Checked by HJR

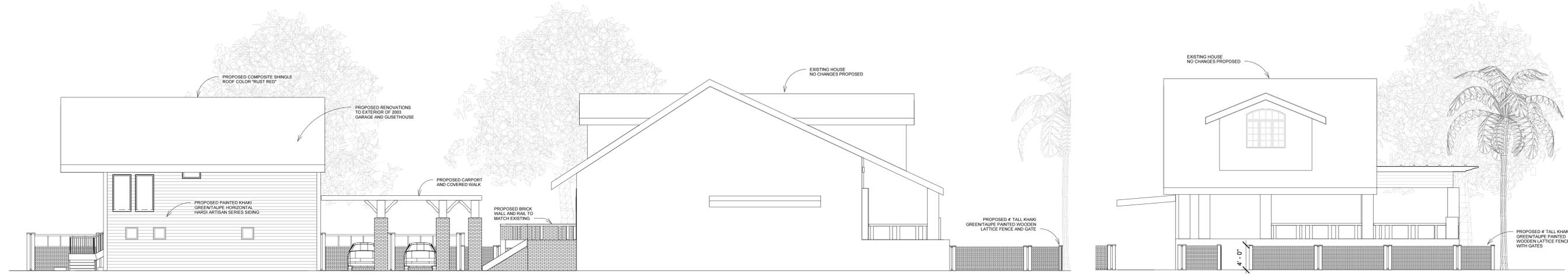
REVISION
 #1.

Perspectives &
 Photos

A101

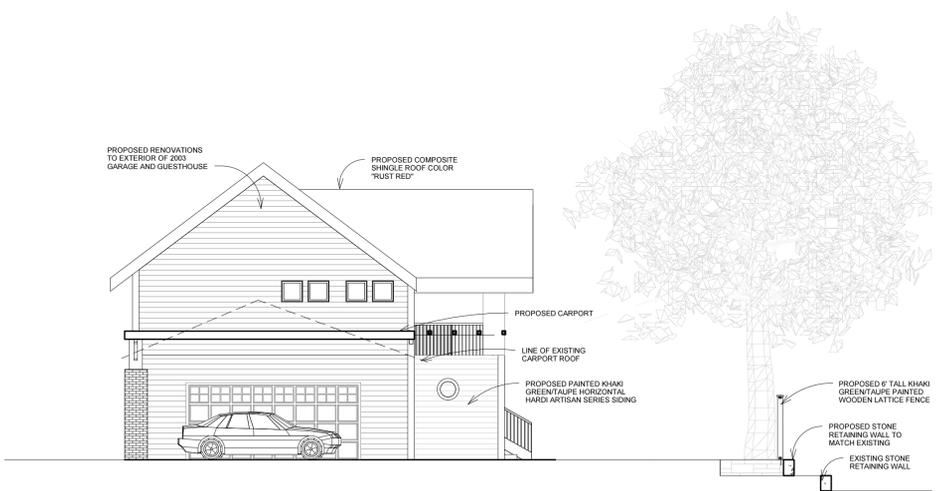


1 South
1/8" = 1'-0"



2 North
1/8" = 1'-0"

5 West House
1/8" = 1'-0"



3 West Garage
1/8" = 1'-0"



4 East House
1/8" = 1'-0"

1601 Pearl Street

Betty Hung

Date 07/08/2013
Drawn by AP, AM
Checked by HJR

REVISION
#1.

Elevations

A201