

HISTORIC LANDMARK COMMISSION
OCTOBER 28, 2013
CERTIFICATE OF APPROPRIATENESS
LHD-2013-0019
4406 Avenue F
Hyde Park Local Historic District

PROPOSAL

Construct a new 2,428 sq. ft. house.

PROJECT SPECIFICATIONS

Although the existing house is a Contributing property in the District the Historic Landmark Commission, on the recommendation of staff, approved its demolition on November 26, 2012. The property has unique conditions, which justify its demolition, including a slab foundation constructed without reinforcement that has failed, and the location of the property in the floodplain. That demolition approval required that the demolition permit not be released until the design for new construction was approved by the Historic Landmark Commission.

The new owner of the property and applicant for this case proposes to construction a new 2,428 sq. ft. house in place of the existing house. The new house will be a two-story contemporary interpretation of Craftsman-style architecture. The house will have a cross gable roof with a moderate pitch and a gabled dormer on the front elevation. The partial width front porch will have a projecting, low pitch, shed roof that will be supported by two pairs of battered columns set on brick piers. Adjacent to the porch, on the front elevation, will be an exterior brick chimney. There will be numerous single and paired, double-hung windows on each elevation. The house will be clad in wide, horizontal, fiber cement siding, and have a composition roof. Due to the parcel being located in the flood plain, the pier and beam foundation will have a skirt with vents to allow water flow under the house in case of a flood.

A partially open carport will be constructed at the rear of the property and will be accessed from the alley. Additional parking accessed from the street will be provided by a gravel ribbon driveway.

STANDARDS FOR REVIEW

The existing house is a contributing property in the Hyde Park Local Historic District. The Hyde Park Local Historic District Goals and Design Standards for new construction state:

5. Residential Standards: New Construction of Single Family Structures

Local Historic District designation does not prevent change, but instead provides design parameters that work with the special character of the district. Hyde Park recognizes that any new residential structure should reflect its time; consequently, contemporary design for new residential construction is appropriate, as long as it fits the architectural patterns of the neighborhood and its immediately surrounding structures. Items of most concern are finished floor height, floor-to-floor heights, roof heights and pitches, fenestration pattern, porch size and location, setbacks, and an overall scale that reflects neighborhood patterns.

5.1: Massing, Scale, and Architectural Elements

Use massing, scale, and architectural elements typical of the contributing buildings on the block when designing a new building. The geometry of new house construction shall be in a

scale with contributing buildings on the same block. When applying to Historic Landmark Commission, include photographs of all existing adjacent buildings and any other buildings on the block which have inspired design choices for the new construction.

5.3: Porches

Front porches on new construction are not necessary, but if present, they must be at least 7 feet deep.

5.4: Height

Raise porch and first floor levels for new houses to a height comparable to existing houses with pier and beam construction, even if new construction is on a slab.

5.5: Roofs

Use a hipped roof, gabled roof, or a combination of hipped and gabled roof on new houses, as these roof forms are traditional on the contributing structures in the district. Use a simple roof on new construction in blocks where bungalows with simple roof forms prevail. Shed roofs are appropriate for porches, but are not appropriate as the principal roof on the main structure.

5.6: Entrances

Locate the primary entrance to the building on the front.

5.7: Exterior Wall Materials

Use exterior wall materials that are compatible with those on the contributing structures on the block, such as wood, cementitious siding, brick, or stone.

5.8: Chimneys

Do not use wood siding on a chimney.

5.9: Garages

Construct new garages to be detached and located to the rear of the lot. Design a new garage to be complementary to the main structure on the property. Do not locate garages or carports on the façade of a building.

5.10: Garage Apartments/Secondary Units

Secondary units in Hyde Park traditionally face the street and share access to parking with the primary unit, except in the case of corner lots, where the secondary unit may face the side street and access parking from the side street. Pursuant to the Hyde Park NCCD, garage apartments and secondary units are allowed only on lots equal to or greater than an area of 7,000 square feet.

1. Design new secondary units to respect the traditional patterns of Hyde Park in determining the location of the building and access to parking.
2. Design new secondary units and garage apartments to complement the form, massing, materials, scale, character elements, and fenestration patterns of the primary structure.
3. Use wood or wood-appearing garage doors.
4. Retain the historic appearance of contributing garages and carriage houses when designing an addition to them.

5.11: Driveways

A single lane driveway, entered from the front of the lot and located to the side of a house, is character-defining for Hyde Park. They are constructed of gravel or runners. Parking has traditionally been located to the side or rear of the house.

Locate driveways from the front lot line along the side of the house. The NCCD specifies acceptable materials for driveways. Locate parking as required in the NCCD. Do not design or construct a circular drive in front of the house.

5.12: Fences

Fences shall adhere to the regulations set forth in the Hyde Park Neighborhood Conservation Combining District (Ordinance No. 020131-20). Design fences with materials that are compatible with the architectural character of the structure.

COMMITTEE RECOMMENDATION

Chimney should be unpainted brick, delete shutters on 2nd floor window, add windows on side elevations toward front of house, and keep 2nd story windows on the side elevation.

COMMITTEE RECOMMENDATION

Approve the project as submitted.

PHOTOS



Existing house at 4406 Avenue F



Non-contributing (2010) house at 4400 Avenue F



Non-contributing (2010) house at 4402 Avenue F



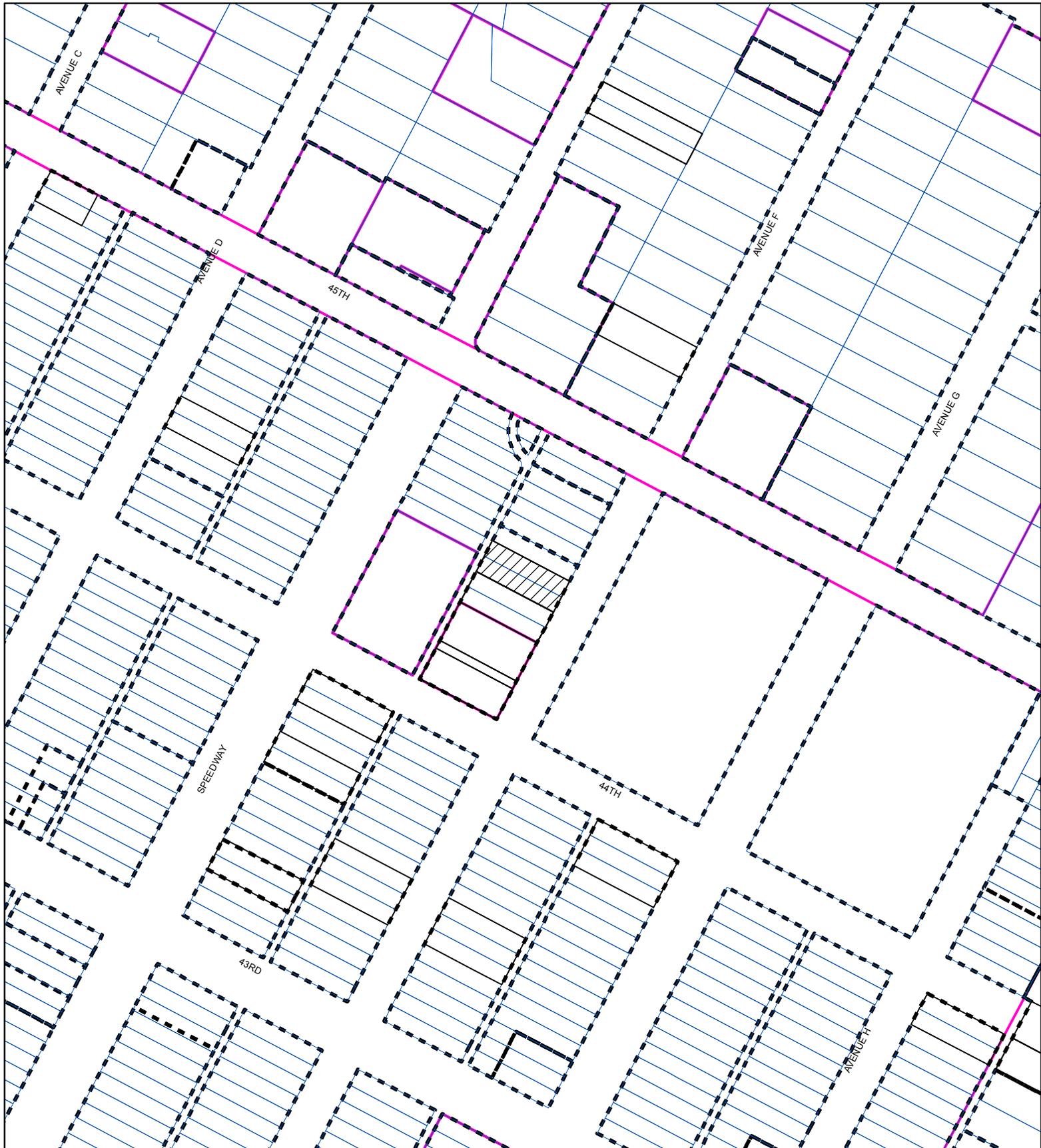
Non-contributing (2013) house at 4404 Avenue F



Non-contributing apartments adjacent to 4406 Avenue F



Craftsman style houses in Hyde Park LHD



-  SUBJECT TRACT
-  ZONING BOUNDARY

CASE#: LHD-2013-0019
 LOCATION: 4406 Avenue F



This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

This product has been produced by the Planning and Development Review Department for the sole purpose of geographic reference. No warranty is made by the City of Austin regarding specific accuracy or completeness.

HYDE PARK ADDITION

4406 AVENUE "F"

LOTS: 24 & 25 BLOCK: 4

LEGEND

- 1/2" REBAR FOUND
- ◻ 1/2" CAPPED REBAR SET
- 1/2" IRON PIPE FOUND
- ▲ 60D NAIL FOUND
- CAPPED REBAR FOUND
- ⊗ "X" SET IN CONCRETE
- ⊗ "X" FOUND IN CONCRETE
- ◇ SPINDLE FOUND
- ∞ CHAIN LINK FENCE
- ∥ WOOD FENCE
- M METAL FENCE
- B.L. BUILDING LINE
- P.U.E. PUBLIC UTILITY EASEMENT
- D.E. DRAINAGE EASEMENT
- () PER PLAT
- [] CALCULATED FROM RECORD DATA
- C.M. CONTROL MONUMENT
- R.O.W. RIGHT OF WAY
- P.O.B. PLACE OF BEGINNING
- OH OVERHEAD ELECTRIC
- ⚡ POWER POLE

FLOOR TO AREA RATIO

TOTAL HVAC (counting stairs twice)	2428 SQ.FT.
CARPORT OPEN ON TWO+ SIDES	0 SQ.FT.
TOTAL	2428 SQ.FT.
SIZE OF LOT	6285 Sq.ft.
PERCENTAGE	38.6

SQUARE FOOTAGE LEGEND

MAIN LEVEL HVAC	1803 SQ.FT.
BONUS ROOM ABOVE (counting stairs twice)	625 SQ.FT.
FRONT PORCH	132 SQ.FT.
REAR PORCH	147 SQ.FT.
CARPORT	280 SQ.FT.

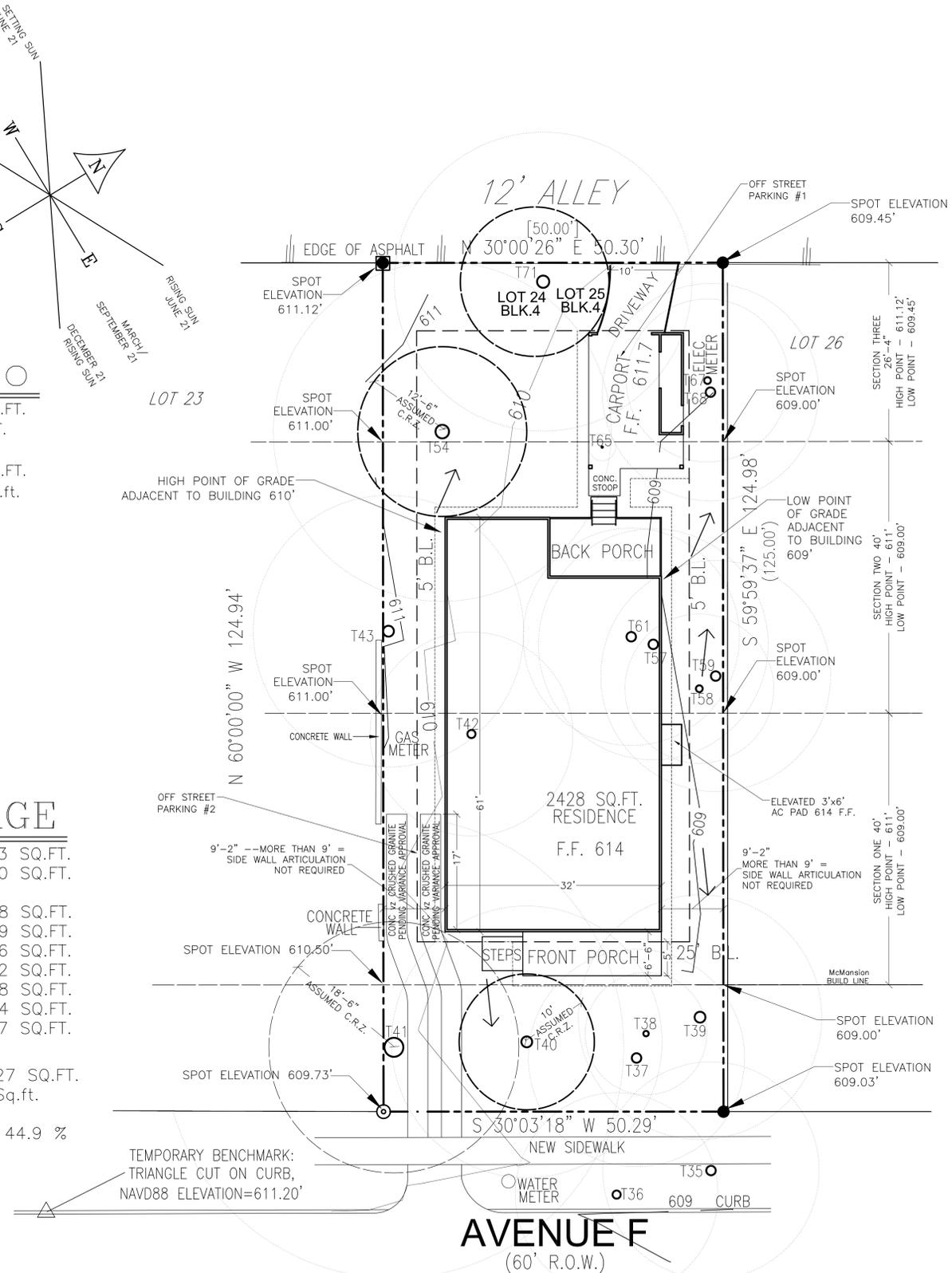
IMPERVIOUS COVERAGE

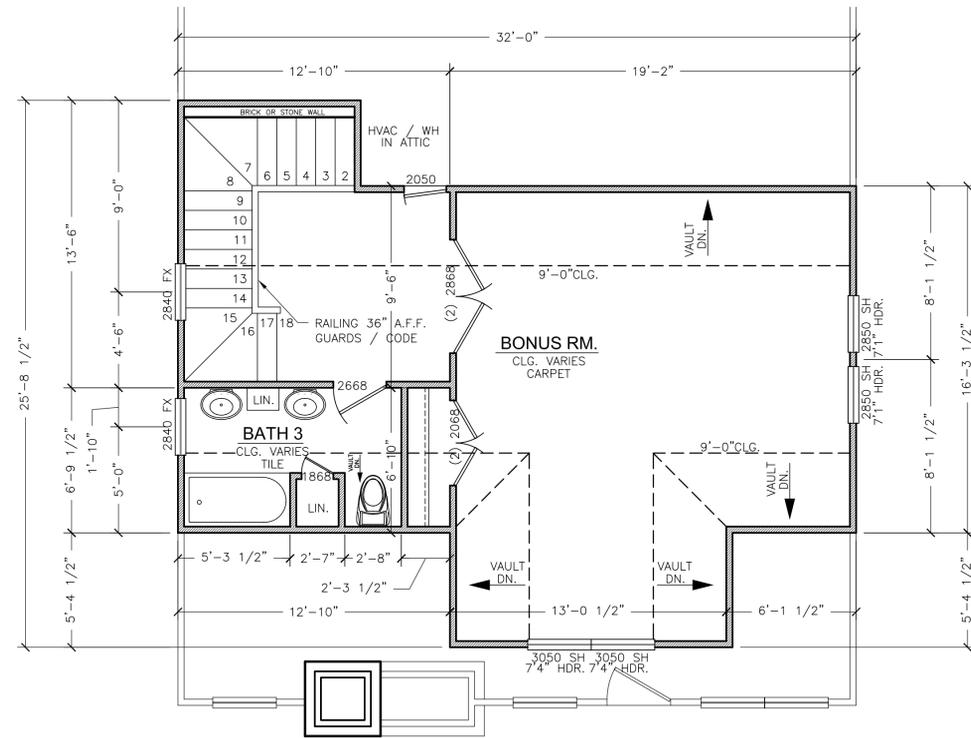
HOUSE (LOWER LVL)	1803 SQ.FT.
CARPORT	280 SQ.FT.
A/C	18 SQ.FT.
REAR DRIVEWAY	99 SQ.FT.
FRONT DRIVEWAY	236 SQ.FT.
FRONT PORCH	132 SQ.FT.
FRONT SIDEWALK AND STEPS	78 SQ.FT.
REAR STEPS AND STOOP	34 SQ.FT.
REAR DECK	147 SQ.FT.
TOTAL	2827 SQ.FT.
SIZE OF LOT	6285 Sq.ft.
PERCENTAGE	44.9 %

TAG NO.	TREE DESCRIPTION
35	16" PECAN TREE
36	15" HACKBERRY TREE
37	16" PECAN TREE
38	9" PECAN TREE
39	18" TWIN PECAN TREE
40	20" PINE TREE
41	35" ELM TREE
42	15" HACKBERRY TREE
43	20" HACKBERRY TREE TO BE REMOVED SEE PERMIT
54	25" PECAN TREE
57	17" PECAN TREE
58	11" HACKBERRY TREE
59	17" HACKBERRY TREE
61	16" PECAN TREE
65	2" PECAN TREE
67	12" PECAN TREE
68	16" PECAN TREE
71	22" ELM TREE

Site Plan

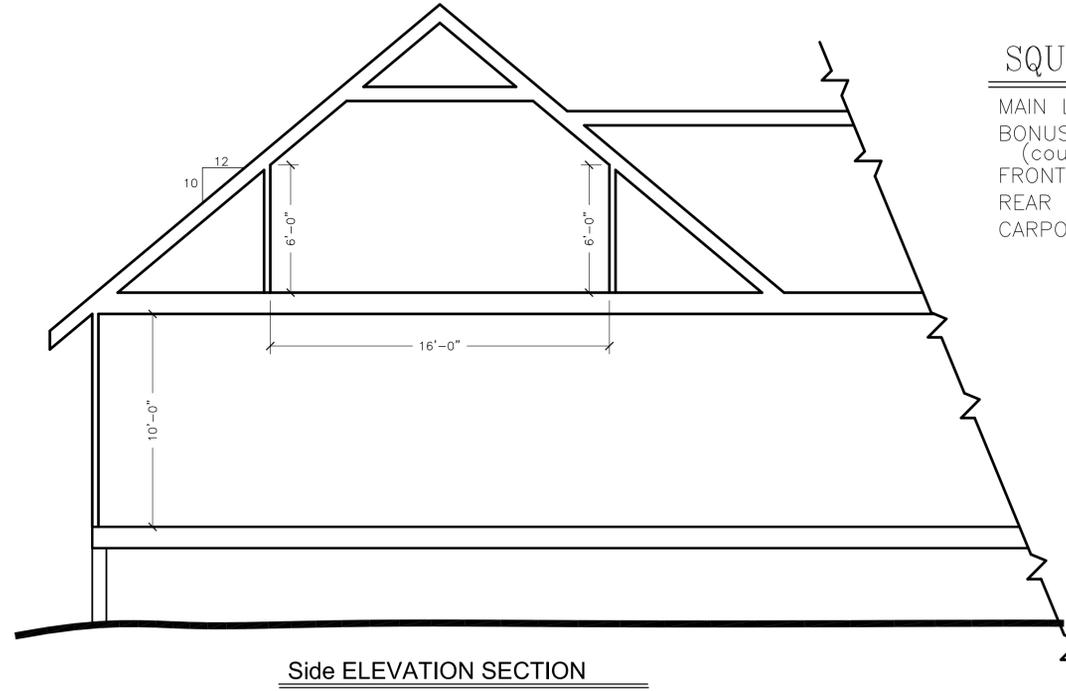
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Bonus Rm.

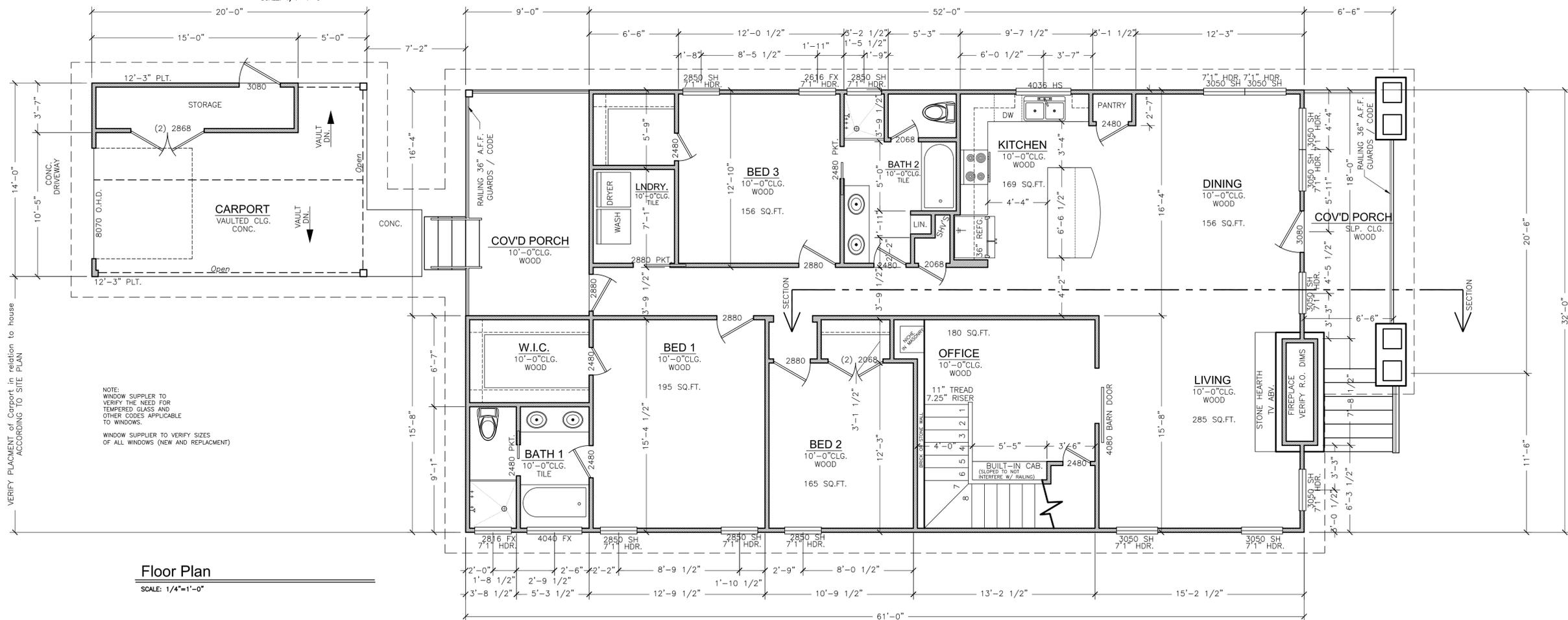
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Side ELEVATION SECTION

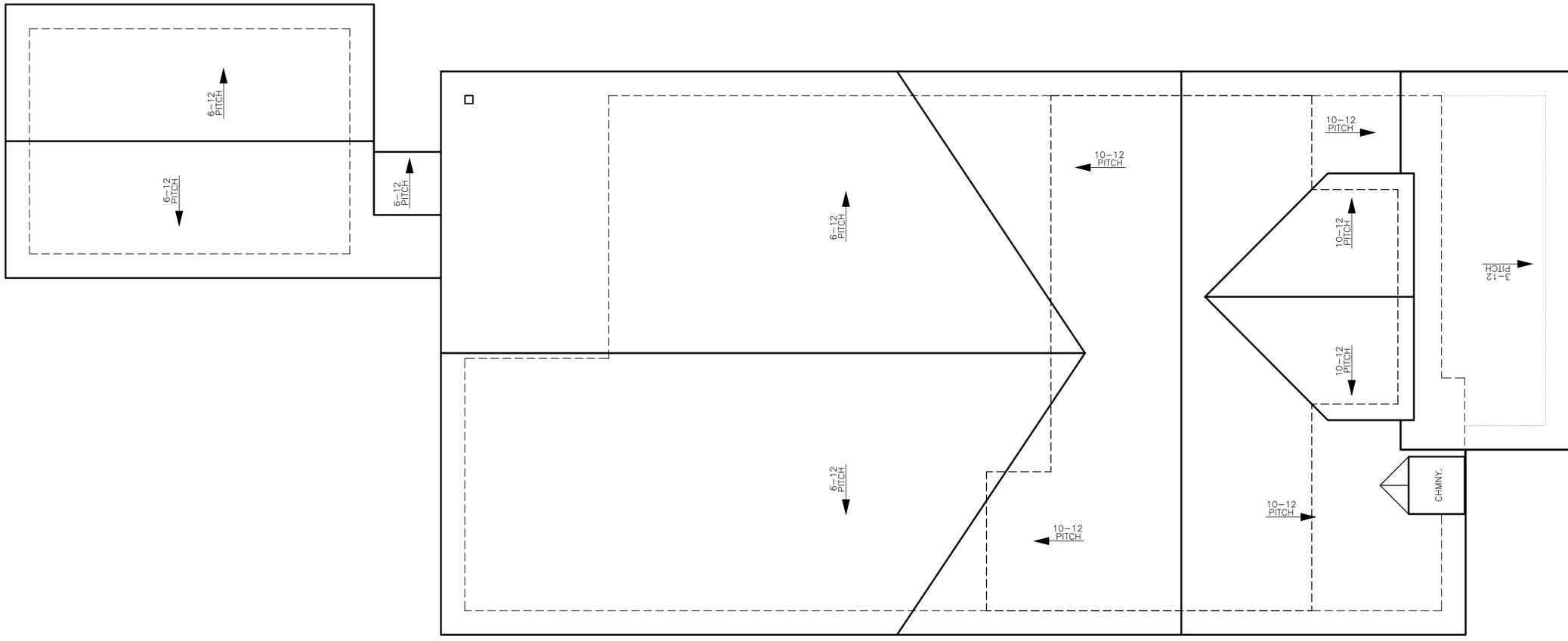
SQUARE FOOTAGE LEGEND

MAIN LEVEL HVAC	1803 SQ.FT.
BONUS ROOM ABOVE (counting stairs twice)	625 SQ.FT.
FRONT PORCH	132 SQ.FT.
REAR PORCH	147 SQ.FT.
CARPORT	280 SQ.FT.



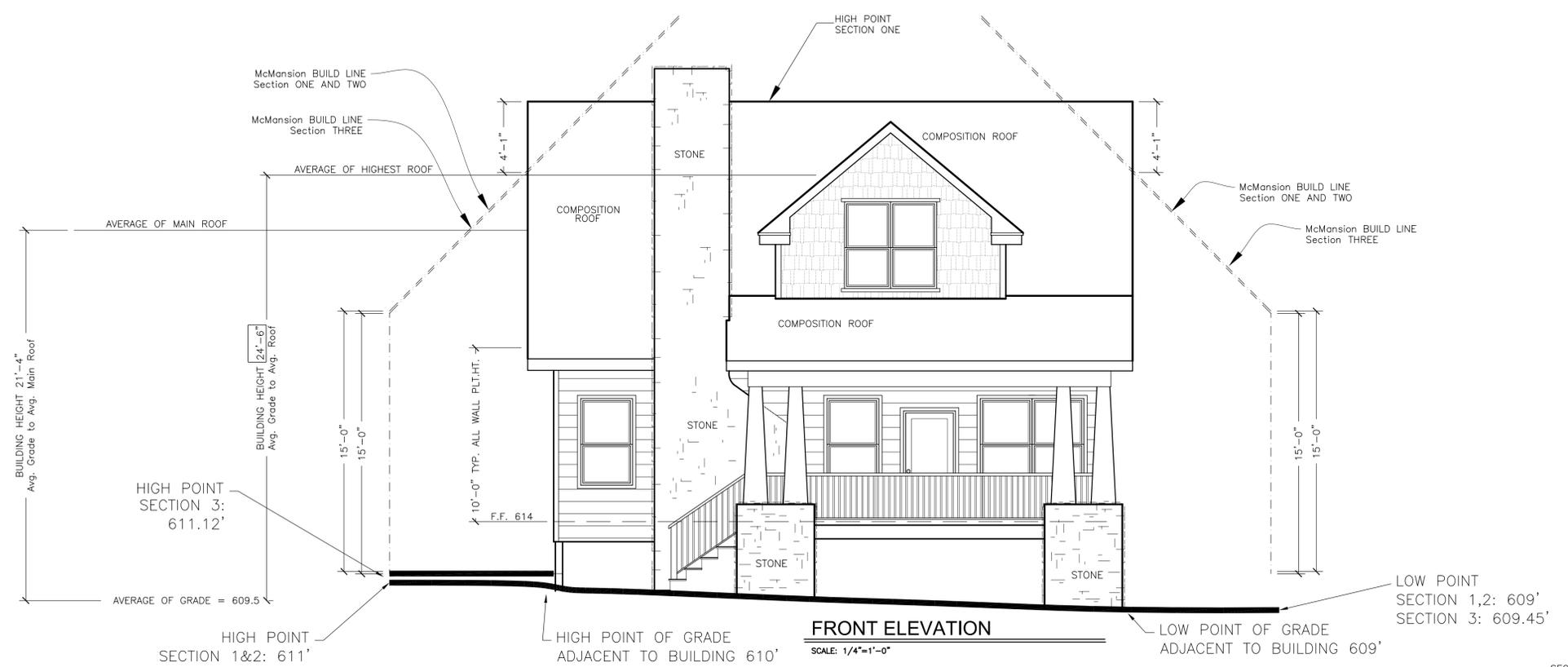
Floor Plan

SCALE: 1/4"=1'-0"

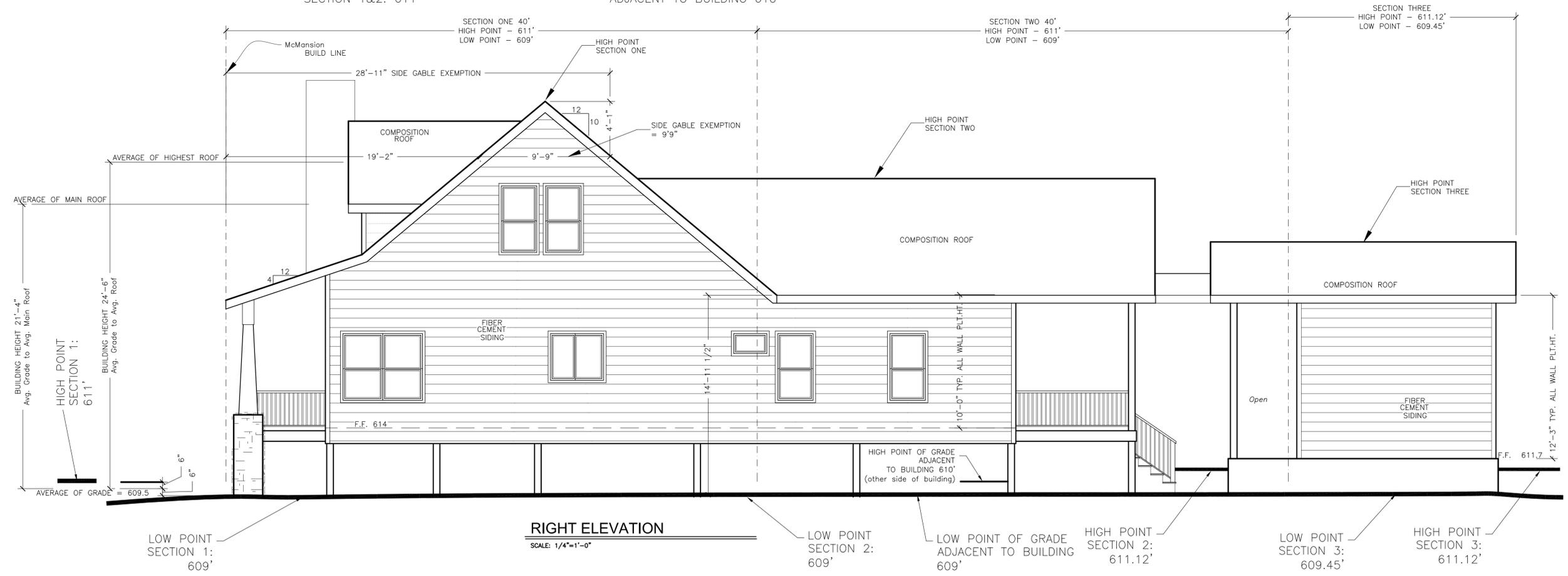


Roof Plan

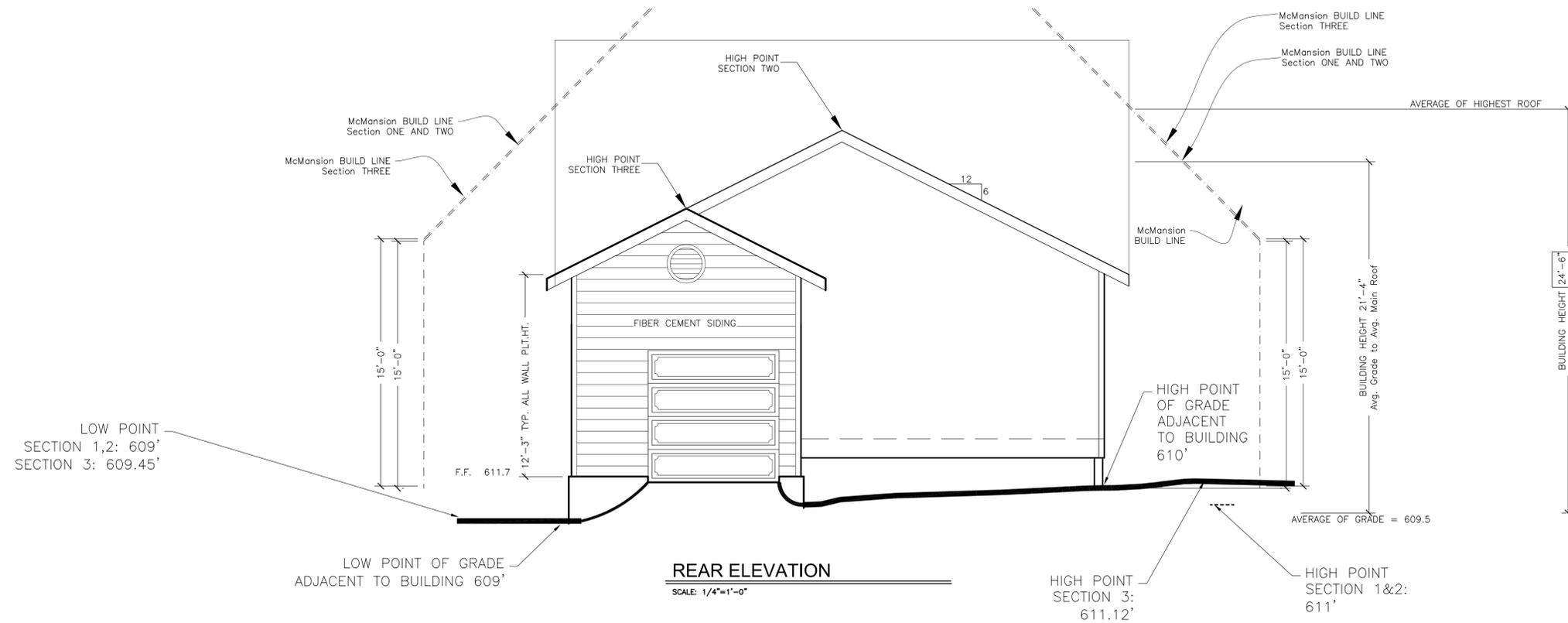
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FRONT ELEVATION
SCALE: 1/4"=1'-0"

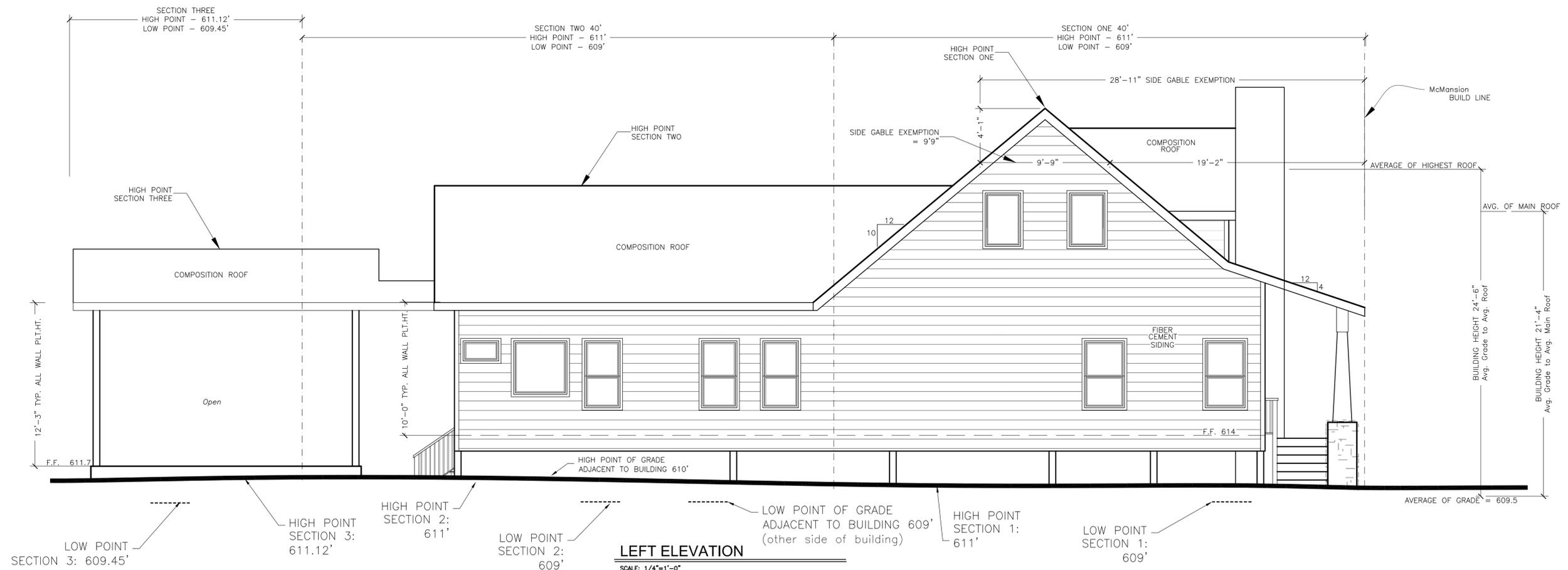


RIGHT ELEVATION
SCALE: 1/4"=1'-0"



REAR ELEVATION

SCALE: 1/4"=1'-0"



LEFT ELEVATION

SCALE: 1/4"=1'-0"