

HISTORIC LANDMARK COMMISSION
APRIL 22, 2013
CERTIFICATE OF APPROPRIATENESS
HDP-2013-0696
907 W. 18th Street
Proposed Old Judges Hill Local Historic District

PROPOSAL

Remove façade features and change the shape of the roof on a contributing building.

PROJECT SPECIFICATIONS

The existing house is a 1939, two-story, with gable end roof and projecting gabled one-story wing, which was originally a garage. The house reflects the Monterey style of architecture with stucco cladding, shutters, and ornamental iron railing and columns on the second floor balcony.

The applicant proposes to remove all windows, doors, ornamental columns and railings on the second floor balcony, and the window shutters, and change the gable end roof to a half hip roof with gabled dormers on the side and front. The windows will be replaced with multi-paned, white, metal clad windows. New painted cedar railing and posts will be installed in place of the original ornamental ones, and the shutters will be replaced with new wood shutters to match the existing. Additionally the wall infill on the projecting one-story wing will be removed to reopen the original garage opening, and the existing stucco will be repaired.

STANDARDS FOR REVIEW

The existing house is located within the boundaries of the proposed Old Judges Hill Local Historic District (rezoning initiated August 6, 2013). The application for the District proposes the house as a contributing property. City Code Section 25-11-212 requires a certificate of appropriateness to, “change, alter, remove or demolish an exterior architectural or site feature of a structure for which designation is pending...” The proposed Old Judges Hill LHD Design Standards have not yet been adopted, however, they are based upon the Secretary of the Interior’s Standards so the following standards should be applied for review of the proposed work:

- The distinguishing original qualities or character of a property and its environment shall not be destroyed. Removal or alteration of any historic material or distinctive architectural features should be avoided.
- All properties shall be recognized as products of their own time. Alterations which have no historical basis and which seek to create an earlier appearance shall be discouraged.
- Changes which have taken place in the course of time may have acquired significance in their own right, and shall be recognized and respected.
- Distinctive stylistic features or examples of skilled craftsmanship which characterize a property shall be treated with sensitivity.
- Deteriorated architectural features shall be repaired rather than replaced whenever possible. In the event replacement is necessary, the new material should match the

material being replaced in composition, design, color, texture, and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historical, physical, or pictorial evidence.

- Surface cleaning of structures shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the historic building materials shall not be undertaken.
- Contemporary design for alterations and additions to existing properties are appropriate when such alterations and additions do not destroy significant historic, architectural, or cultural material and are compatible with the size, scale, color, material, and character of the property, neighborhood, or environment.
- Whenever, possible, new additions or alterations to structures shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the structure would not be impaired.
- The installation of protective or code-required mechanical systems shall be concealed whenever possible so as not to intrude upon or detract from the property's aesthetic and historical qualities except where concealment would result in the alteration or destruction of historically significant materials or spaces.

The removal of windows, doors and the decorative railing and columns, as well as changing the roof form, are significant changes to the original appearance of the façade and do not meet the standards for review. These changes would render the property no longer contributing to the proposed local historic district. However, repairing the existing stucco, replacing the shutters with new ones to match, and removing the wall infill to reopen the garage opening does meet the standards for review.

STAFF RECOMMENDATION

Deny removal of the ornamental railing and columns, replacement of the windows on the front façade, changing the roof form, and adding dormers to the front elevation. Approve stucco repairs, reopening the garage door opening, replacing the shutters, and allow for replacement of windows on the side and rear elevations only.

PHOTOS



907 W. 18th Street



SUBJECT TRACT



ZONING BOUNDARY

CASE#: HDP-2013-0696
 LOCATION: 907 W 18th Street



This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

This product has been produced by the Planning and Development Review Department for the sole purpose of geographic reference. No warranty is made by the City of Austin regarding specific accuracy or completeness.

ZOOK RESIDENCE

PROJECT ADDRESS

907 West 18th Street
AUSTIN, TEXAS. 78701

PROJECT TEAM

OWNER

JOHN + HELEN ZOOK
3821 Rue De St. Rafael
Austin, Texas 78746
512-306-1148

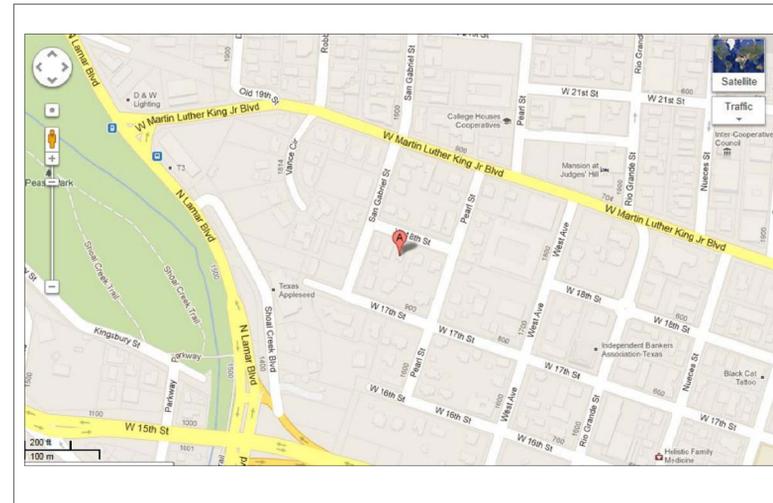
STRUCTURAL ENGINEER

Javier E. Martin, P.E.
905 N. Lamar Blvd, Suite 101
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512-505-8533

DESIGNER

JEFF OVERMAN, AIBD, TIBD, NCBDC
11512 Trinity Hill Drive
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VICINITY MAP



LEGAL DESCRIPTION

EAST FIFTY FEET (50) OF THE WEST ONE-HUNDRED AND SIXTY FEET (160) OF THE NORTH ONE HUNDRED THIRTY-SIX (136) FEET OUT OF OUTLOT 16, DIVISION E, IN THE CITY OF AUSTIN, TRAVIS COUNTY, TEXAS, AND THE SAME LAND CONVEYED BY WARRANTY DEED RECORDED IN VOLUME 2165, PAGE 8, DEED RECORDS, TRAVIS COUNTY, TEXAS; AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS IN EXHIBIT "A" ATTACHED HERETO AND MADE A PART HEREOF.

GENERAL NOTES

- THE GENERAL CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO THE COMMENCEMENT OF THE WORK, NOTIFY THE OWNER OF ANY DISCREPANCIES OR DISCOVERED LATENT CONDITIONS. IF THERE ARE ANY DISCREPANCIES BETWEEN THE PLANS THEMSELVES, DETAILS OR SPECIFICATIONS, THE CONTRACTOR SHALL SUPPLY THE MORE EXPENSIVE OR GREATER METHOD AND MATERIAL.
- EACH CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING AND REPLACING HIS OWN DEFECTIVE WORK AS WELL AS PAYING ALL INCIDENTAL COSTS INCLUDING DAMAGE TO OTHER WORK, FURNISHINGS, AND EQUIPMENT.
- DRAWINGS ARE NOT TO BE SCALED. ALL WORK, LINES, AND LEVELS SHALL BE LAID OUT BY DIMENSIONS. ANY DEVIATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER IMMEDIATELY. ALL DEVIATIONS SHALL BE CORRECTED BY THE CONTRACTOR BEFORE BEGINNING HIS PORTION OF THE WORK.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ERECTION AND PLACEMENT OF ALL BARRIERS, PROTECTION WALKWAYS, AND LIGHTING DURING CONSTRUCTION IN ORDER TO MAINTAIN PUBLIC SAFETY. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION METHODS AND MEANS, SITE SAFETY, DAILY CLEANUP, AND LEGAL DISPOSAL OF DEBRIS.
- IF THERE ARE ANY DISCREPANCIES BETWEEN DIMENSIONS ON STRUCTURAL FOUNDATION PLANS/STRUCTURAL FRAMING PLANS AND DIMENSIONS ON ARCHITECTURAL PLAN, BRING TO OWNER'S ATTENTION PROMPTLY.

ABBREVIATIONS

AFF.	ABOVE FINISH FLOOR	MAX.	MAXIMUM
APPROX.	APPROXIMATE	MIN.	MINIMUM
B.O.	BOTTOM OF	MTL.	METAL
C.H.	CEILING HEIGHT	NEC.	NECESSARY
C.L.	CENTER LINE	NO.	NUMBER
CLG.	CEILING	O.C.	ON CENTER
CLR.	CLEAR	O.H.	OVERHANG
CONT.	CONTINUOUS	OPNG.	OPENING
DEMO	DEMOLITION	P.L.	PROPERTY LINE
DIA.	DIAMETER	PTD.	PAINTED
DIM.	DIMENSION	QTY.	QUANTITY
DWG.	DRAWINGS	RM.	ROOM
EXT'G	EXISTING	SHT.	SHEET
EA.	EACH	S.F.	SQUARE FEET
EQ.	EQUAL	SIM.	SIMILAR
EXT.	EXTERIOR	STRUCT.	STRUCTURAL
F.F.	FINISH FLOOR	T.B.D.	TO BE DETERMINED
FL.	FLUORESCENT	TEMP.	TEMPORARY
GWB	GYPSUM WALL BOARD	T.O.	TOP OF
HT.	HEIGHT	TYP.	TYPICAL
INT.	INTERIOR	V.I.F.	VERIFY IN FIELD
		W/C	WATER CLOSET
		W/W.	WINDOW

LEGEND

	ELEVATION DESIGNATION
	DETAIL DESIGNATION
	ELEVATION DESIGNATION
	DOOR NUMBER
	WINDOW DESIGNATION
	REVISION NUMBER

DRAWING INDEX

CS	COVER SHEET
SITE UTILITIES AND GRADING	
SI	SITE PLAN
ARCHITECTURAL	
D 1.1	FIRST FLOOR DEMOLITION PLAN
D 1.2	SECOND FLOOR DEMOLITION PLAN
D 2.1	NORTH AND SOUTH ELEVATION DEMOLITION PLANS
D 2.2	EAST AND WEST ELEVATION DEMOLITION PLANS
ARCHITECTURAL	
A 1.1	NEW FIRST FLOOR PLAN
A 1.2	NEW SECOND FLOOR PLAN
A 1.3	NEW ATTIC BUILD-OUT PLANS
A 1.4	NEW ROOF PLAN
A 2.1	NEW NORTH AND SOUTH ELEVATIONS
A 2.2	NEW EAST AND WEST ELEVATIONS
A 3.1	WINDOW SCHEDULE, DOOR SCHEDULE, WINDOW DETAILS PHOTOGRAPHS, DOOR DETAILS PHOTOGRAPHS
A 4.1	NEW INTERIOR DETAILS

SCOPE OF WORK

RENOVATE EXISTING TWO STORY STRUCTURE INCLUDING DEMOLITION OF DEN ROOF AND CONSTRUCTION OF SECOND FLOOR OVER DEN FOR NEW BEDROOM, BATH AND UTILITY ROOM. CHANGE USE OF DEN TO GARAGE. REMOVE EXISTING ROOF AND BUILD NEW ROOF AND DORMERS, BUILD-OUT ATTIC (HABITABLE ATTIC). WORK WILL INCLUDE ALL NEW PLUMBING, ELECTRIC, HVAC, WINDOWS, DOORS, WALL CLADDING, ROOFING, INTERIOR WALL SURFACES, AND RESTORATION OF WOOD FLOORS.

RECOGNIZED CODES

2009 IBC (International Building Code)
2009 IRC (International Residential Code)
2009 UMC (Uniform Mechanical Code)
2009 UPC (Uniform Plumbing Code)
2011 NEC (National Electrical Code)
2006 IFC
2008 National Electrical Safety Code
2009 IECC

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Project No.
Drawn NW
Checked
Phase
Date 08.06.2013
Permit
Revisions

Cover Sheet
CS
SHEET OF

Review Date: 03.12.2013

NOTES:
FENCE OWNERSHIP NOT DETERMINED

TREE TABLE:
T1 - 20" PECAN
T2 - 20" PECAN
T3 - 30" PECAN

ANDREAS GRUBERT
(CALLED 8160 SQ. FT.)
DOC. #2005197107

GENERAL SHEET NOTES
A. DO NOT SCALE DRAWINGS.
B. CONTRACTOR TO COORDINATE ALL DRAWINGS PRIOR TO CONSTRUCTION.
C. VERIFY EXISTING CONDITIONS IN FIELD. BRING DISCREPANCIES TO ATTENTION OF OWNER.
D. PROVIDE PROTECTIVE FENCING TO SCREEN LANDSCAPING FROM CONSTRUCTION ACTIVITY. COORDINATE WITH OWNER.
E. PROVIDE PORT A CAN AND REGULAR MAINTENANCE.
F. COORDINATE STAGING AREAS WITH OWNER.
G. COORDINATE CONSTRUCTION VEHICLE PARKING WITH OWNER.
I. ALL DELIVERIES TO BE WITHIN NORMAL WORKING HOURS.

SHEET KEYNOTES

- EXISTING TWO STORY RESIDENCE WITH ONE STORY DEN
- EXISTING MECHANICAL ROOM AND DECK
- NEW GARAGE AND SECOND FLOOR ADDITION
- NEW WOOD DECK AND STEPS.
- NEW CONCRETE.

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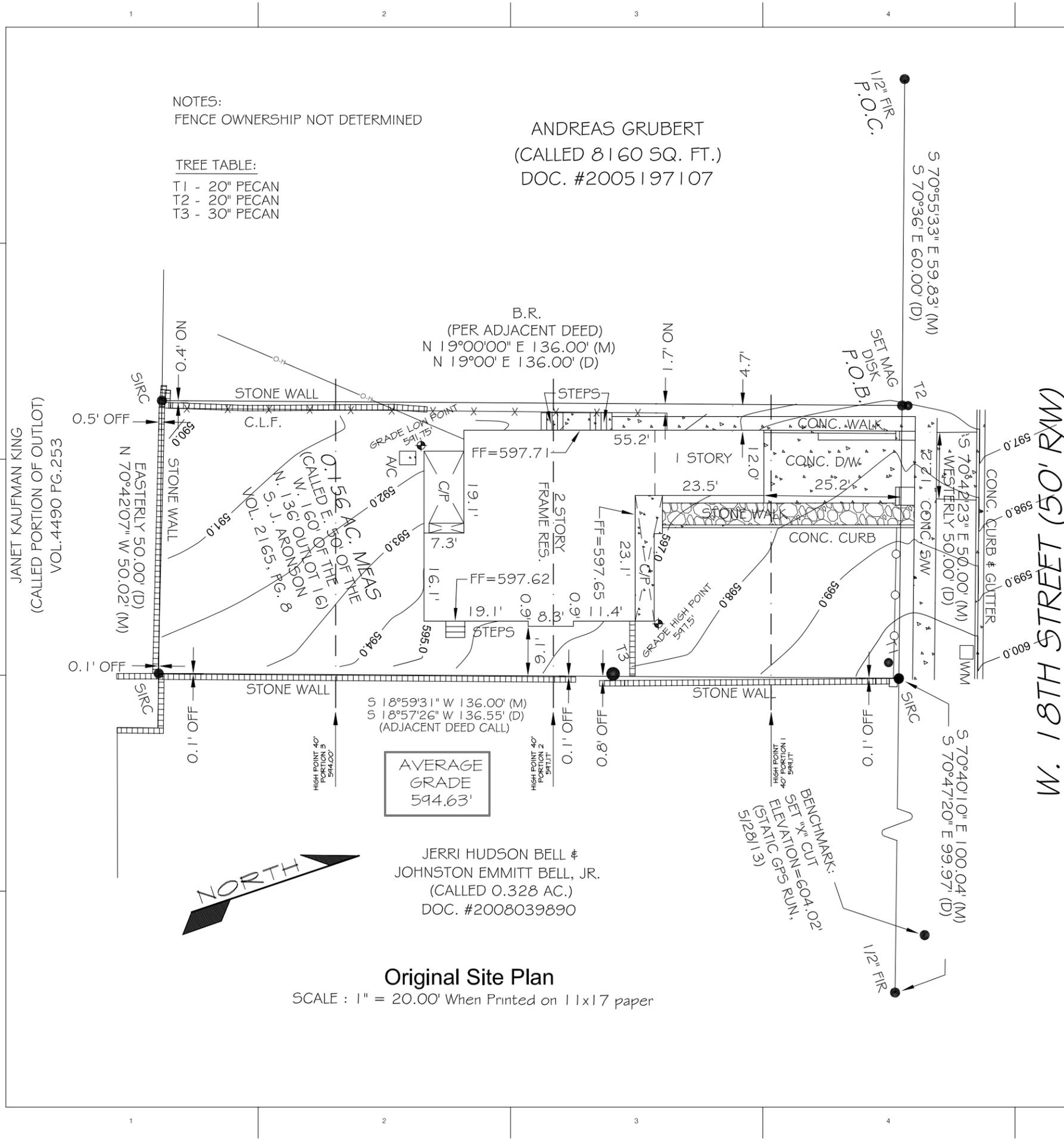
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Project No.
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Updated JDO
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S1.1
SHEET OF



Original Site Plan
SCALE : 1" = 20.00' When Printed on 11x17 paper

JERRI HUDSON BELL &
JOHNSTON EMMITT BELL, JR.
(CALLED 0.328 AC.)
DOC. #2008039890

AVERAGE
GRADE
594.63'

JANET KAUFMAN KING
(CALLED PORTION OF OUTLOT)
VOL.4490 PG.253

0.156 AC. MEAS
OF THE
CALLED 1.60 OF THE
N. 136' OUTLOT (G)
N. 136' ARONSON
S. J. ARONSON
VOL. 2165, PG. 8

S 18°59'31" W 136.00' (M)
S 18°57'26" W 136.55' (D)
(ADJACENT DEED CALL)

BENCHMARK:
SET "X" CUT
ELEVATION = 604.02'
(STATIC GPS RUN,
5/28/13)



E
D
C
B
A

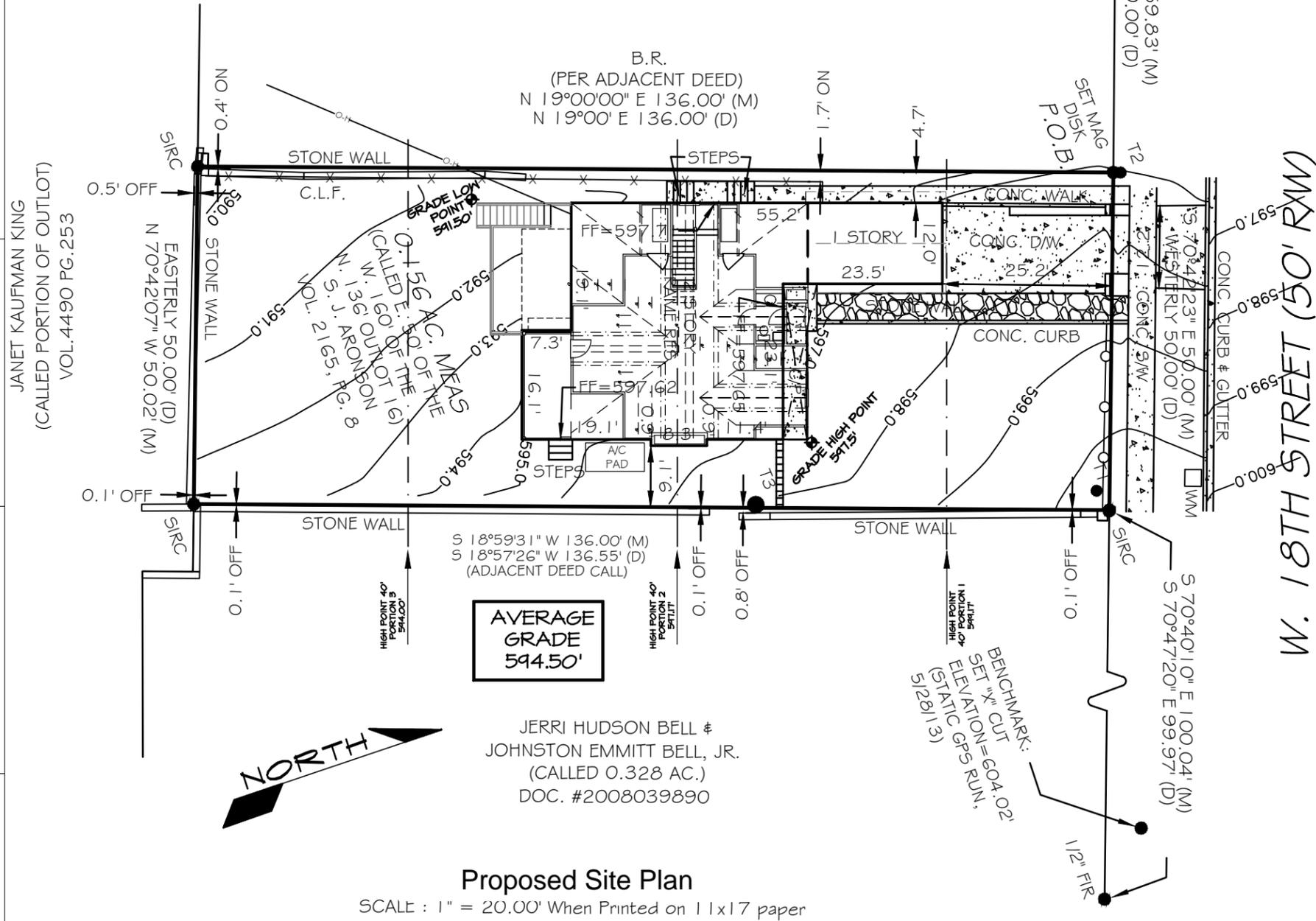
1 2 3 4 5 6

1 2 3 4 5 6

NOTES:
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TREE TABLE:
T1 - 20" PECAN
T2 - 20" PECAN
T3 - 30" PECAN

ANDREAS GRUBERT
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AVERAGE
GRADE
594.50'

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Proposed Site Plan
SCALE : 1" = 20.00' When Printed on 11x17 paper

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- E. PROVIDE PORT A CAN AND REGULAR MAINTENANCE.
- F. COORDINATE STAGING AREAS WITH OWNER.
- G. COORDINATE CONSTRUCTION VEHICLE PARKING WITH OWNER.
- I. ALL DELIVERIES TO BE WITHIN NORMAL WORKING HOURS.

SHEET KEYNOTES

- 1. EXISTING TWO STORY RESIDENCE WITH ONE STORY DEN
- 2. EXISTING MECHANICAL ROOM AND DECK
- 3. NEW GARAGE AND SECOND FLOOR ADDITION
- 4. NEW WOOD DECK AND STEPS.
- 5. NEW CONCRETE.

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LOT INFORMATION

PARCEL ID #0211010403
ZONING - SF3
LOT
ALLOWABLE F.A.R. 40%

6800 SQ.FT. (TCAD)
2720 SQ.FT.

Review Date: 07.16.2013
03.12.2013

Project No.
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Updated JDO
Phase ..
Date 08.06.2013
Permit ..
Revisions ..

S1.2
SHEET OF

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1 2 3 4 5 6

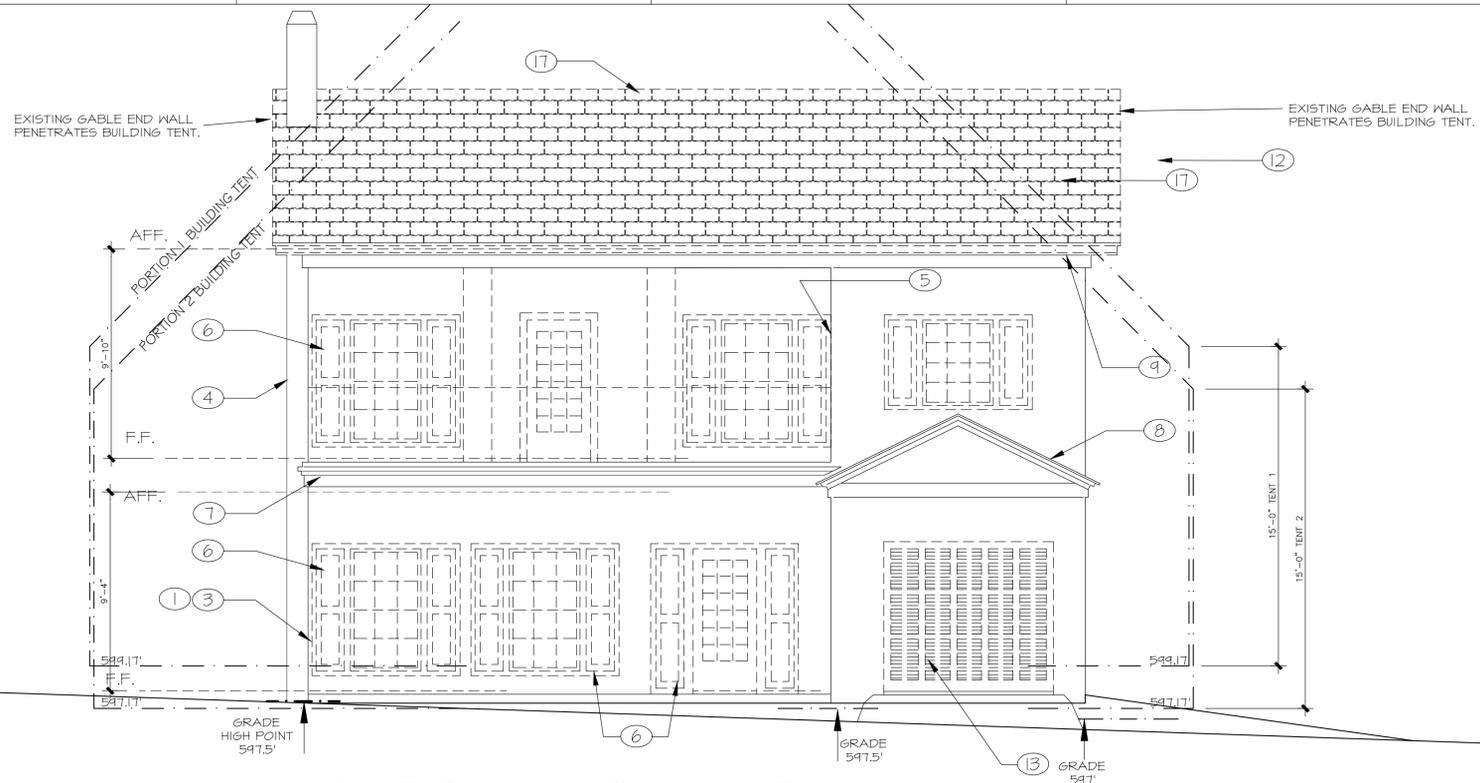
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D

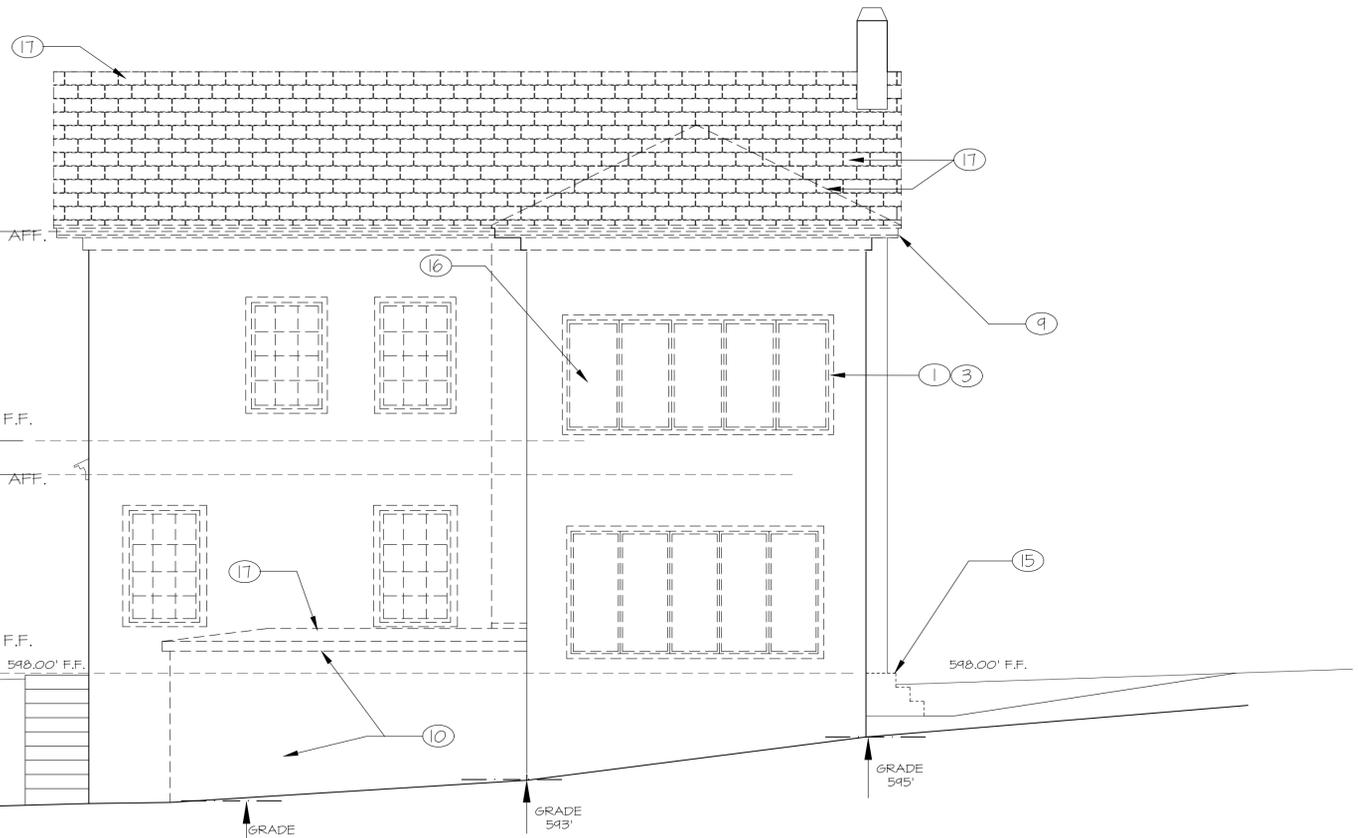
C

B

A



NORTH ELEVATION DEMOLITION PLAN
FRONT
SCALE : 1/4" = 1'-0" When Printed on 24X36 Paper
SCALE : 1/8" = 1'-0" When Printed on 11X17 Paper



SOUTH ELEVATION DEMOLITION PLAN
REAR
SCALE : 1/4" = 1'-0" When Printed on 24X36 Paper
SCALE : 1/8" = 1'-0" When Printed on 11X17 Paper

1 2 3 4 5 6

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SHEET KEYNOTES

- I. REMOVE ALL WINDOWS, DOORS AND TRIM. SALVAGE ALL TRIM.
- 2. LEFT BLANK.
- 3. INSPECT SHIPLAP SIDING. PROVIDE ALTERNATE FOR REMOVING SHIPLAP.
- 4. REMOVE ORNAMENTAL LATTICE POSTS AND RAILING
- 5. PROTECT VIRGIN OF GAUELOUPE TILES. COVER WITH OSB BOARD PRIOR TO COMMENCEMENT OF DEMOLITION
- 6. REMOVE AND SALVAGE ALL SHUTTERS.
- 7. REMOVE TONGUE AND GROOVE DECKING UNDERSIDE OF FRONT PORCH.
- 8. REMOVE ASPHALT SHINGLE ROOF TO DECKING.
- 9. REMOVE AND SALVAGE ALL GUTTERS AND DOWNSPOUTS
- 10. REMOVE MECHANICAL ROOM STRUCTURE TO SOUTH AND EAST EXTERIOR WALLS.
- 11. REMOVE CHASE SPACE SOUTH EDGE OF CHIMNEY.
- 12. REMOVE AND SALVAGE EXTERIOR VENTS.
- 13. REMOVE SHUTTERS AND WALL INFILL TO REOPEN GARAGE DOOR OPENING.
- 14. NOT USED
- 15. REMOVE CONCRETE STOOP AND STEPS
- 16. REMOVE WINDOW INFILL FOR NEW WINDOW AT WEST WALL OF EXISTING SUNROOM. SEE WINDOW SCHEDULE FOR SIZE AND PLACEMENT.
- 17. REMOVE ROOF AND ROOF STRUCTURE AT DEN/GARAGE.

LEGEND

--- REMOVE

North and South Elevation Demolition Plans

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Rafael Austin, Texas
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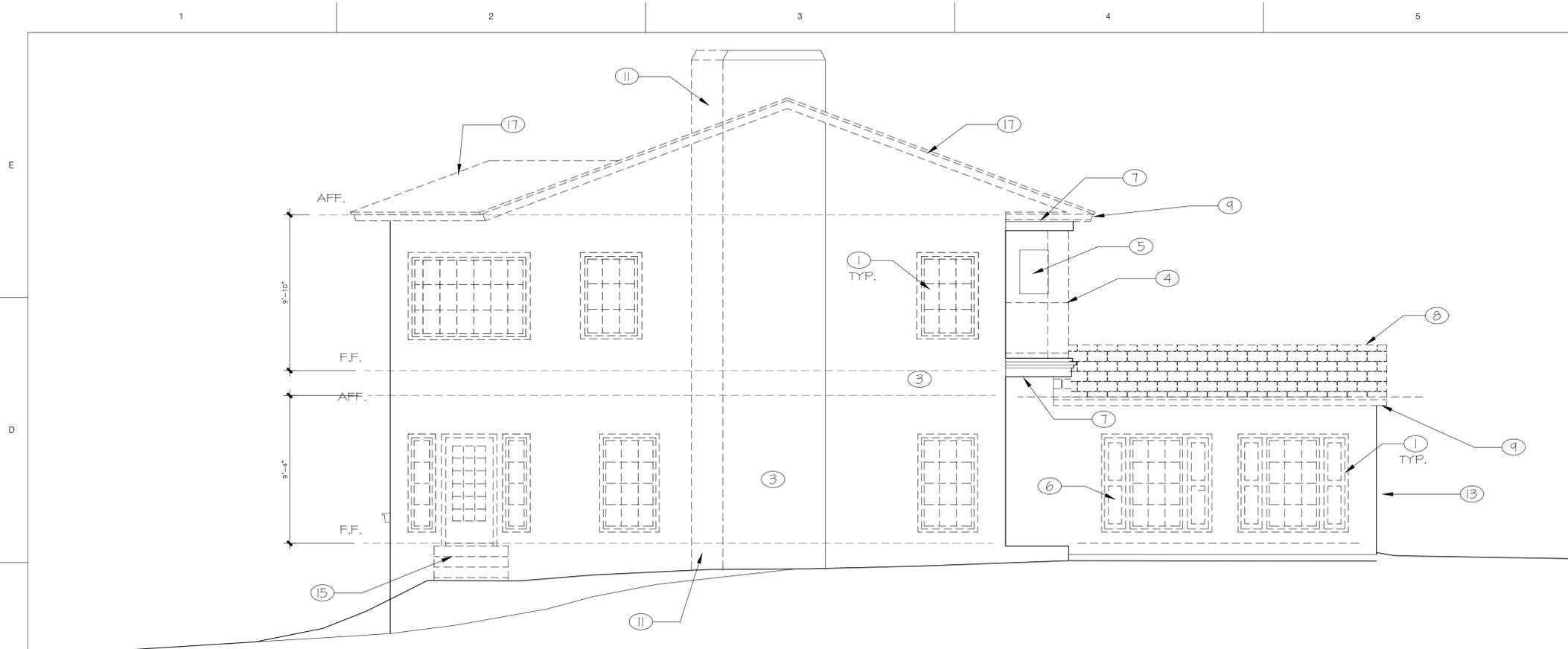
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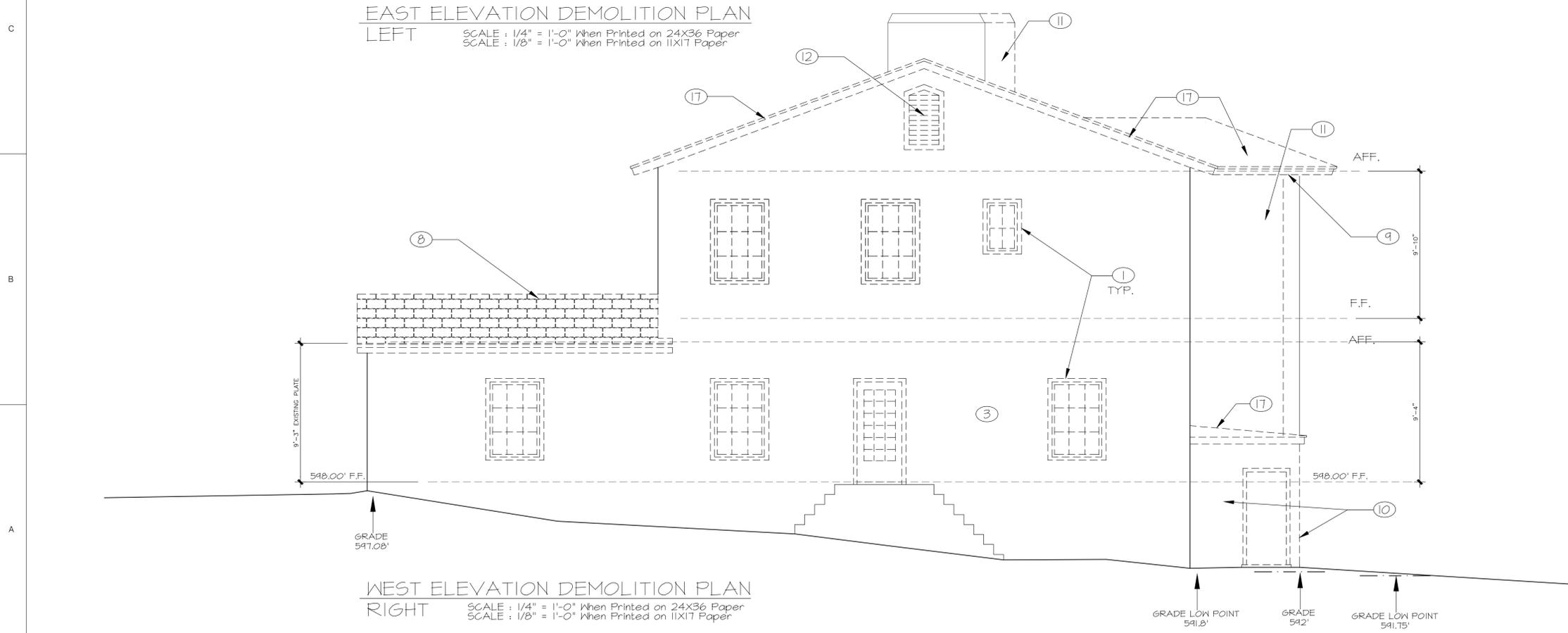
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Original Designed by: Barbara Zook

Project No.	08.06.2013	08.26.2013
Drawn NW	07.16.2013	
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Date 08.26.2013		
Permit		
Revisions		

North and South Elevation Demolition Plans
D2.1
SHEET OF



EAST ELEVATION DEMOLITION PLAN
LEFT
SCALE : 1/4" = 1'-0" When Printed on 24X36 Paper
SCALE : 1/8" = 1'-0" When Printed on IIXIT Paper



WEST ELEVATION DEMOLITION PLAN
RIGHT
SCALE : 1/4" = 1'-0" When Printed on 24X36 Paper
SCALE : 1/8" = 1'-0" When Printed on IIXIT Paper

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- LEFT BLANK
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- NOT USED
- REMOVE CONCRETE STOOP AND STEPS
- REMOVE WINDOW INFILL FOR NEW WINDOW AT WEST WALL OF EXISTING SUNROOM. SEE WINDOW SCHEDULE FOR SIZE AND PLACEMENT.
- REMOVE ROOF AND ROOF STRUCTURE..

LEGEND

--- REMOVE

East and West Elevation Demolition Plans

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OvermanCustomDesign.Com
Original Designed by: Barbara Zook

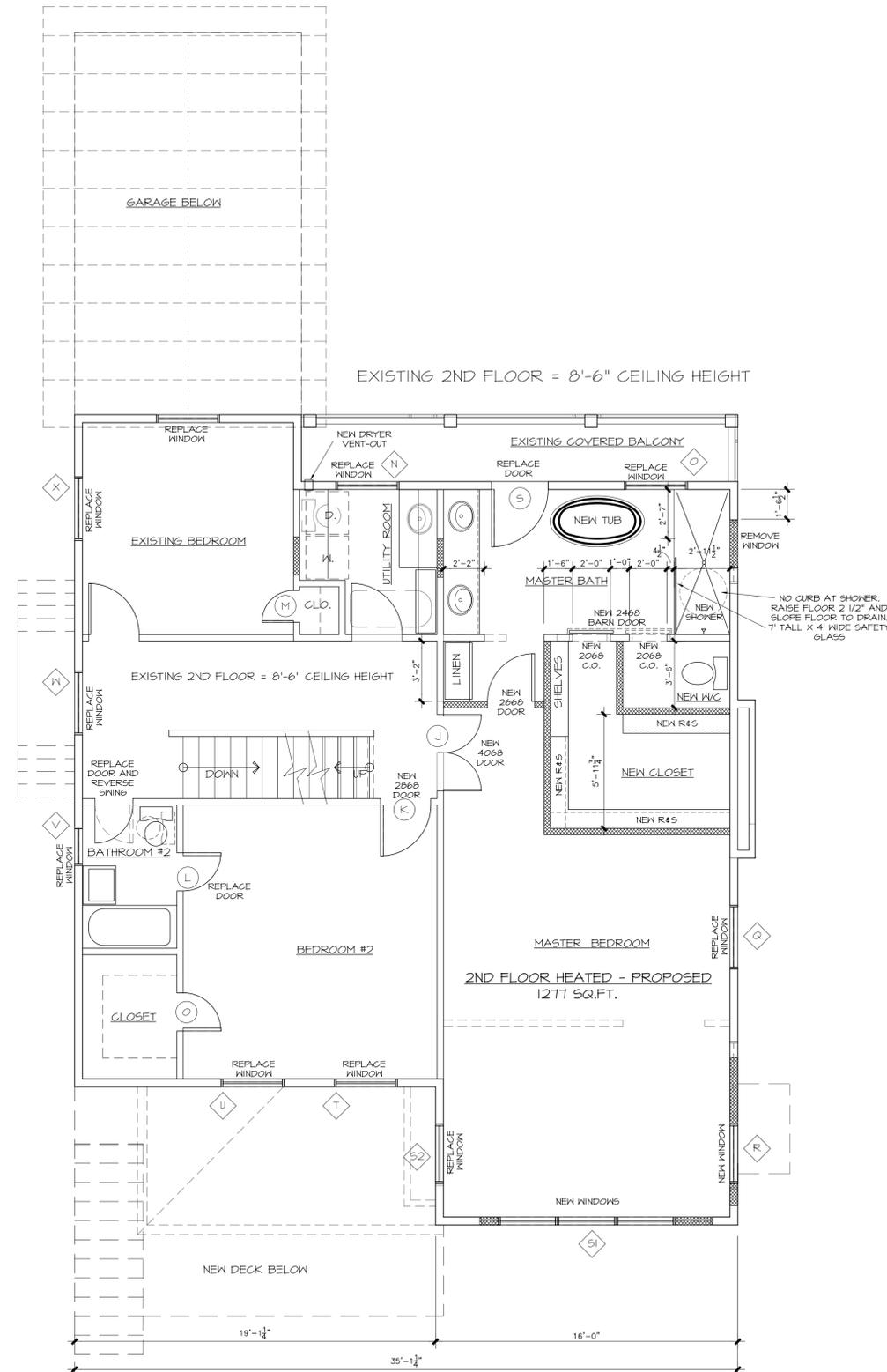
Project No. ...	08-26-2013
Drawn NW	08-26-2013
UPDATED JDO	08-26-2013
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Revisions ...	

East and West Elevation Demolition Plans
D2.2
SHEET ___ OF ___

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ZOOK RESIDENCE
907 W. 18TH STREET, AUSTIN, TEXAS

SECOND FLOOR FINISH SCHEDULE				
ROOM	CEILING	WALL	FLOOR	REMARKS
New Master Bedroom	New GNB Orange Peel Texture Flat Wall Paint	New GNB Orange Peel Texture Flat Wall Paint	wood	Install new wall for new master closet. Baseboard trim to match existing. Paint with semigloss paint. Install new windows, and trim. Paint with semigloss paint.
New Master Bath	New GNB Orange Peel Texture Eggshell Wall Paint	New GNB Orange Peel Texture Eggshell Wall Paint	New tile over existing wood	Refinish tub. Install new wall for towel shelving. Provide an allowance for shelving. Provide allowance for new sinks, cabinet, toilet and hardware. Infill west door with wood frame matching the wall in width. Install new wall with door at entrance to Master Bath. Install new doors for new toilet room and new closet. Trim to be 1 x 6. Paint with semigloss paint. Install new tiled curb and drain for new shower. See new floor plan for dimensions. Install new tempered glass shower enclosure floor to ceiling with frameless door. Install new shower head at "T". Include faucets and shower head in allowance.
New Master Closet	New GNB Orange Peel Texture Flat Wall Paint	New GNB Orange Peel Texture Eggshell Wall Paint	Refinish, stain and seal wood	Install new shelf, pole and shelves. Paint with semigloss paint. Provide allowance.
Existing Bedroom #2	New GNB Orange Peel Texture Flat Wall Paint	New GNB Orange Peel Texture Flat Wall Paint	Refinish, stain and seal wood	Install new windows and trim, reuse existing trim, paint with semi-gloss paint.
Stairs	New GNB Orange Peel Texture Flat Wall Paint	New GNB Orange Peel Texture Eggshell Wall Paint	Refinish, stain and seal wood	Sand and repaint railing with semigloss paint.
Existing Bath #2	New GNB Orange Peel Texture Flat Wall Paint	New GNB Orange Peel Texture Eggshell Wall Paint	New tile over existing wood	Refinish tub, install new w.c. and sink with cabinet. Install new accessories, provide allowance. Install new tile around tub to ceiling. Install new hardware, provide allowance. Install new door, hardware and trim, paint with semigloss paint.
Bed #2 Closet	New GNB Orange Peel Texture Flat Wall Paint	New GNB Orange Peel Texture Flat Wall Paint	Refinish, stain and seal wood	Install new door, hardware and trim, paint with semigloss paint. Install new shelf and pole, provide allowance.
New Bath #3	New GNB Orange Peel Texture Flat Wall Paint	New GNB Orange Peel Texture Eggshell Wall Paint	New tile over existing wood	Refinish tub, install new w.c. and sink with cabinet. Install new accessories, provide allowance. Install new tile around tub to ceiling. Install new hardware, provide allowance. Install new door, hardware and trim, paint with semigloss paint.
New Bonus Room Closet	New GNB Orange Peel Texture Flat Wall Paint	New GNB Orange Peel Texture Flat Wall Paint	Refinish, stain and seal wood	Install new door, hardware and trim. Paint with semigloss paint. Install new shelf and pole, provide allowance.
New Bonus Room	New GNB Orange Peel Texture Flat Wall Paint	New GNB Orange Peel Texture Flat Wall Paint	Refinish, stain and seal wood	Install new 2x4 north wall between Bonus Room and Utility Room.
New Bedroom #3	New GNB Orange Peel Texture Flat Wall Paint	New GNB Orange Peel Texture Flat Wall Paint	New wood to match existing, stain and seal wood	Install new door, hardware and trim, paint with semigloss paint. Install new closet with new shelf and pole, provide allowance. Install new windows and trim. Paint with semigloss paint.
New Utility Room	New GNB Orange Peel Texture Flat Wall Paint	New GNB Orange Peel Texture Flat Wall Paint	New wood to match existing, stain and seal wood	Install new door, hardware and trim, paint with semigloss paint. Install new upper cabinets, counter and lower cabinet, provide allowance. Install new window and trim. Paint with semigloss paint.
Porch	Wood and Screen	Plaster	Wood	Install new 6x4 T&G smooth sawn cedar over existing vents. Install new soffit vent entire length. Provide sample of vent for Owner's approval. Install new wood deck to match existing with smooth sawn cedar. Install new posts and rails per structural. Paint with exterior paint. Verify paint type with Owner. Clean tile of Virgin with vinegar and water.



NEW SECOND FLOOR PLAN
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 SCALE : 1/8" = 1'-0" When Printed on 11X17 Paper

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- B. CONTRACTOR TO COORDINATE ALL DRAWINGS PRIOR TO CONSTRUCTION.
- C. VERIFY EXISTING CONDITIONS IN FIELD. BRING DISCREPANCIES TO ATTENTION OF OWNER.
- D. NEW FINISH

SHEET KEYNOTES

1. INSTALL ALL NEW WINDOWS PER MFGR SPECIFICATIONS. TRIM TO MATCH EXISTING. PAINT ALL TRIM WITH PREMIUM GRADE PAINT.
2. INSTALL NEW DOORS PER MFGR SPECIFICATIONS. TRIM TO BE TO MATCH EXISTING. PAINT ALL TRIM WITH PREMIUM GRADE PAINT.
3. REFINISH TUB. PROVIDE SAMPLE FOR OWNER'S APPROVAL.
4. PATCH OR REPLACE GNB AS REQUIRED FOR NEW ELECTRICAL. IF PATCHING MATCH EXISTING THICKNESS. NEW GNB WILL BE 1/2". NEW FINISH WILL BE ORANGE PEEL TEXTURE THROUGHOUT. PAINT WALLS WITH PREMIUM GRADE PAINT.
5. REINSTALL WOOD BASEBOARD AND CORNICE TRIM TO MATCH EXISTING. PAINT WITH PREMIUM GRADE PAINT.
6. INSULATE ALL PARTITION AND NEW EXTERIOR WALLS WITH 6" FIBERGLASS BATT INSULATION.
7. INSTALL NEW CEDAR DECKING TO MATCH EXISTING. STAIN WITH PREMIUM GRADE EXTERIOR OPAQUE STAIN. SEE STRUCTURAL.
8. INSTALL NEW CEDAR RAILING AND 6 X 6 CEDAR POSTS PER CODE. STAIN WITH PREMIUM GRADE EXTERIOR OPAQUE STAIN. SEE STRUCTURAL FOR FRAMING SIZES.
9. NEW APPLIANCES BY OWNER.
10. PROVIDE PLUMBING FIXTURE ALLOWANCE.
11. PROVIDE CLOSET SHELF/POLE ALLOWANCE.
12. PROVIDE ACCESSORY ALLOWANCE.

LEGEND

- NEW 2X6 FRAME WALL OR MATCH EXISTING WALL WIDTH FOR INFILL OR WIDTH AS NOTE
- WALLS TO BE REMOVED

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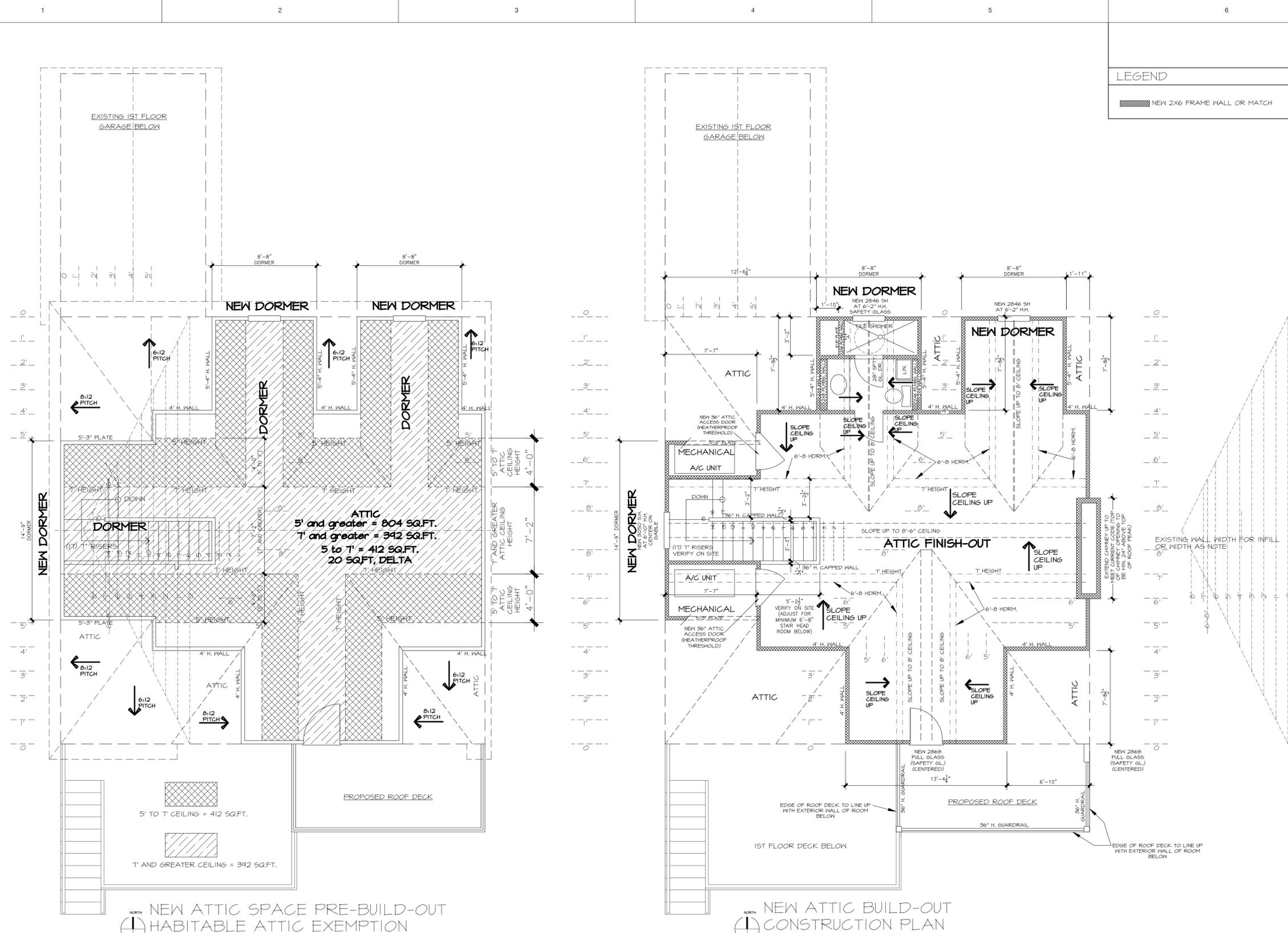
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 Original Designed by: Barbara Zook

Project No.
 Drawn NW
 UPDATED JDO
 Phase
 Date 08.06.2013
 Permit
 Revisions

New Second Floor Plan
A 1.2
 SHEET OF

07.16.2013
 Review Date: 03.12.2013



LEGEND

NEW 2X6 FRAME WALL OR MATCH

NEW ATTIC SPACE PRE-BUILD-OUT HABITABLE ATTIC EXEMPTION

SCALE : 1/4" = 1'-0" When Printed on 24X36 Paper
 SCALE : 1/8" = 1'-0" When Printed on 11X17 Paper

NEW ATTIC BUILD-OUT CONSTRUCTION PLAN

SCALE : 1/4" = 1'-0" When Printed on 24X36 Paper
 SCALE : 1/8" = 1'-0" When Printed on 11X17 Paper

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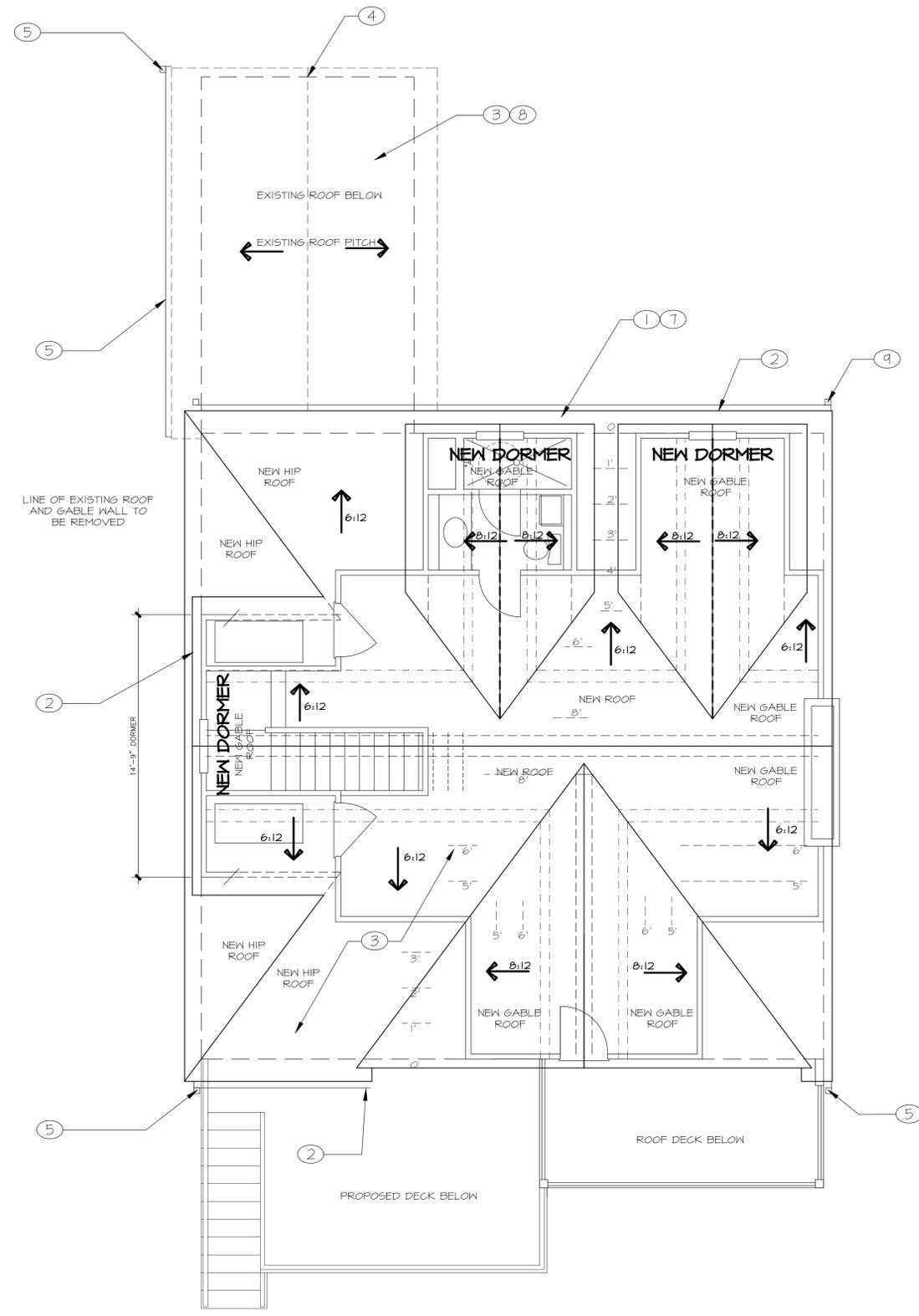
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NEW ROOF PLAN
 SCALE : 1/4" = 1'-0" When Printed on 24X36 Paper
 SCALE : 1/8" = 1'-0" When Printed on 11X17 Paper

GENERAL SHEET NOTES

- A. DO NOT SCALE DRAWINGS.
- B. CONTRACTOR TO COORDINATE ALL DRAWINGS PRIOR TO CONSTRUCTION.
- C. VERIFY EXISTING CONDITIONS IN FIELD. BRING DISCREPANCIES TO ATTENTION OF OWNER.

SHEET KEYNOTES

- 1. THE EXISTING DECKING WILL BE REPLACED TO MATCH EXISTING WHERE DETERIORATED
- 2. REMOVE 2ND FLOOR ROOF. INSTALL NEW FLOOR TRUSSED ABOVE 2ND FLOOR AND ADD NEW ROOF AND DORMERS TO ALLOW FOR HABITABLE ATTIC. INSTALL NEW MOOD FASCIA TO MATCH EXISTING. PAINT WITH PREMIUM GRADE EXTERIOR SEMI-GLOSS PAINT.
- 3. NEW INSULATION WILL BE ADDED TO EXISTING AND NEW ROOF TO ACHIEVE MAXIMUM RESULT (UP TO R-38).
- 4. INSTALL NEW GABLE END VENT. PROVIDE EXAMPLE FOR OWNER'S APPROVAL.
- 5. INSTALL NEW PRE-FINISHED SEAMLESS GUTTERS AND DOWNSPOUTS.
- 6. PROVIDE GALVANIZED METAL FLASHING AT ALL PENETRATIONS. (AT FIREPLAGE)
- 7. INSTALL NEW DECKING TO MATCH FIRST FLOOR PORCH ROOF. INSTALL EAVE VENTS PER CODE. PROVIDE SAMPLE FOR OWNER'S APPROVAL.
- 8. ENSURE THAT ALL EXISTING DECKING IS SOUND AND REPAIR DETERIORATED DECKING TO MATCH EXISTING. INSTALL AN OWENS CORNING TRU DEFINITION DURATION DESIGNER SERIES ROOF OR EQUAL. INSTALL PER MFGR SPECIFICATIONS. PROVIDE SAMPLE FOR OWNER'S APPROVAL.

LEGEND



↑
RISING UP

—
DPE
LING UP

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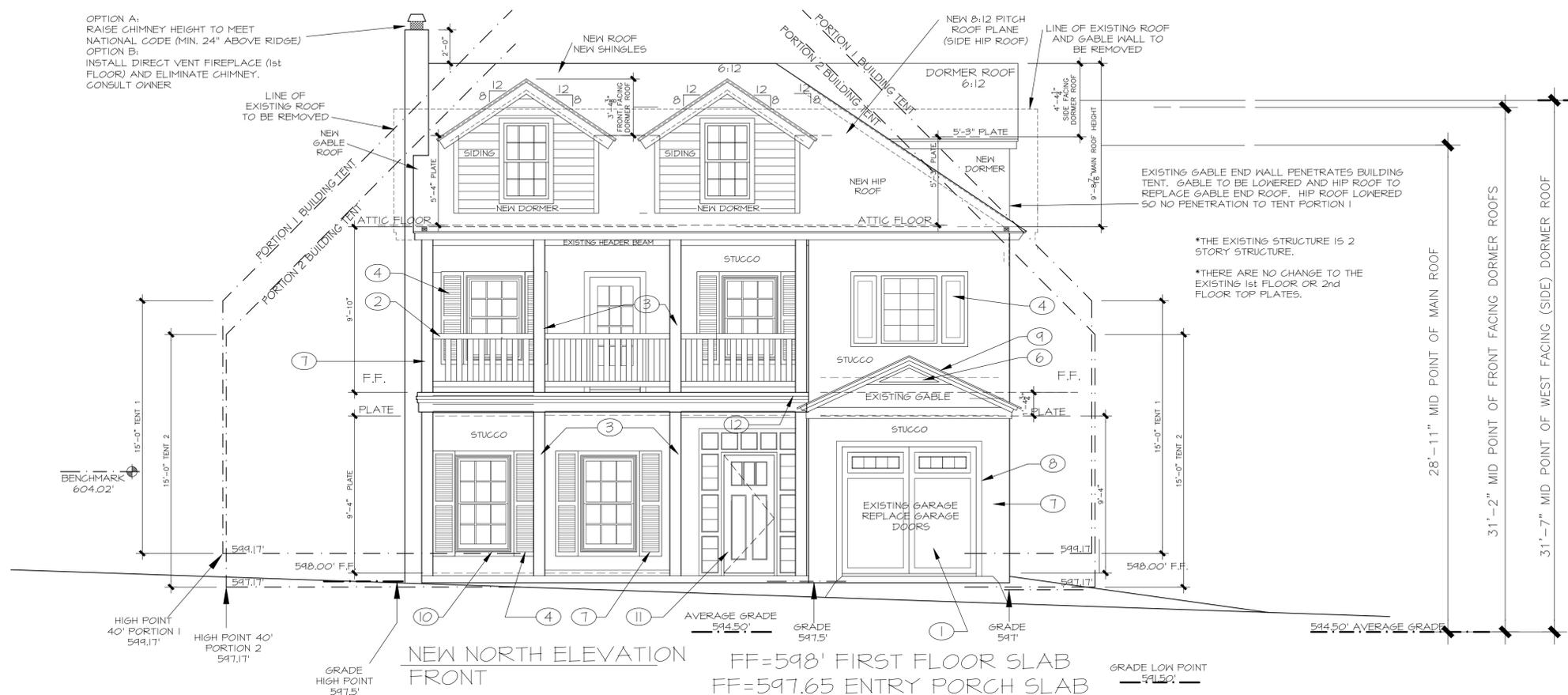
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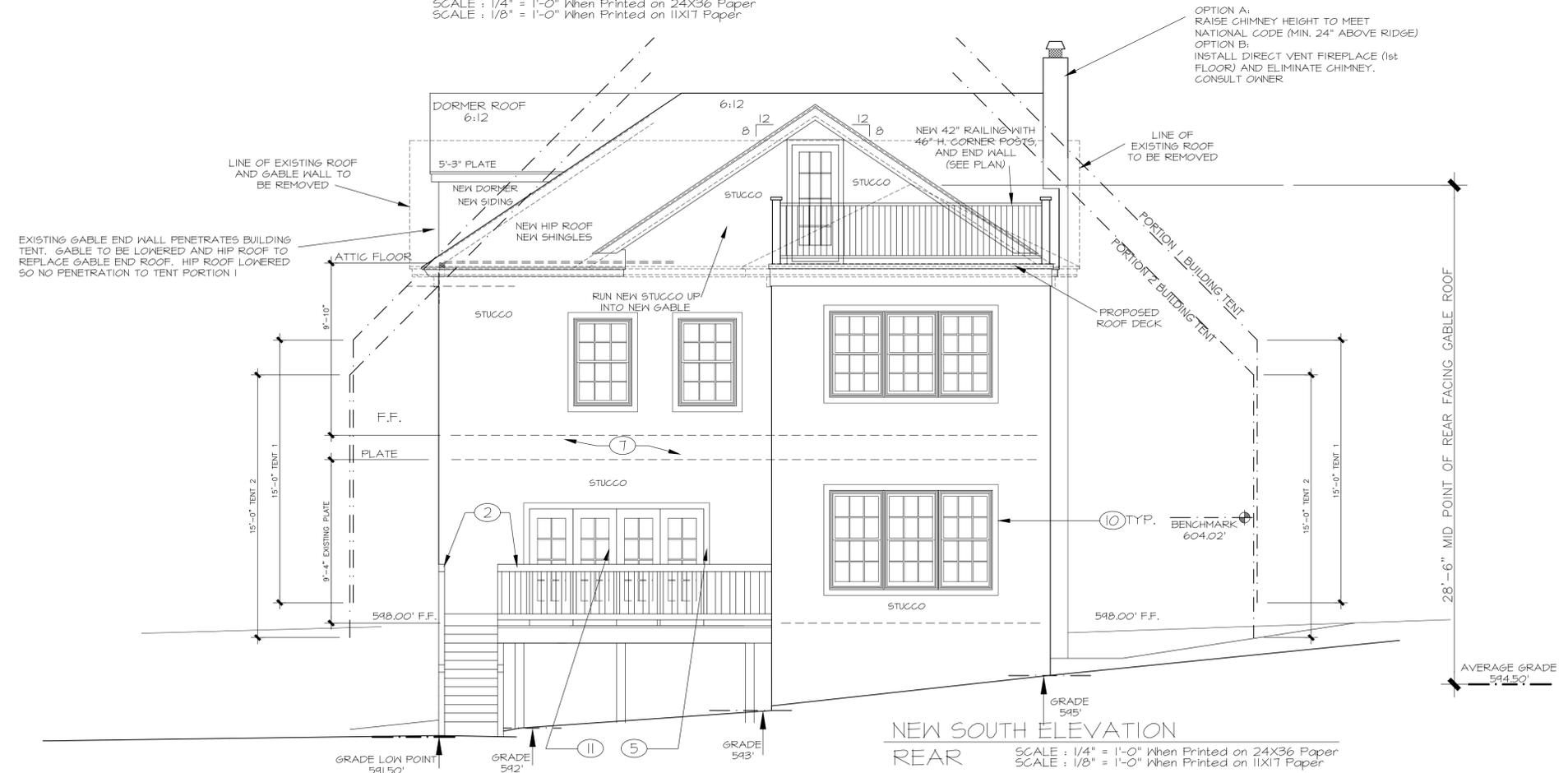
New Roof Plan
A 1.4
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Review Date: 08.06.2013
 07.16.2013
 03.12.2013
 06.21.2013



NEW NORTH ELEVATION FRONT
 FF=598' FIRST FLOOR SLAB
 FF=597.65 ENTRY PORCH SLAB

SCALE : 1/4" = 1'-0" When Printed on 24X36 Paper
 SCALE : 1/8" = 1'-0" When Printed on 11X17 Paper



NEW SOUTH ELEVATION REAR

SCALE : 1/4" = 1'-0" When Printed on 24X36 Paper
 SCALE : 1/8" = 1'-0" When Printed on 11X17 Paper

GENERAL SHEET NOTES

- A. DO NOT SCALE DRAWINGS.
- B. CONTRACTOR TO COORDINATE ALL DRAWINGS PRIOR TO CONSTRUCTION.
- C. VERIFY ALL EXISTING CONDITIONS IN FIELD. BRING DISCREPANCIES TO ATTENTION OF OWNER.

SHEET KEYNOTES

1. NEW MODEL 371 T GARAGE DOOR
2. NEW CEDAR RAILING PER CODE. SEE STRUCTURAL. PAINT WITH PREMIUM EXTERIOR GRADE PAINT.
3. NEW 6 X 6 CEDAR POSTS. PAINT WITH PREMIUM EXTERIOR GRADE PAINT.
4. INSTALL NEW WOOD SHUTTERS TO MATCH EXISTING. PAINT WITH PREMIUM SEMI-GLOSS EXTERIOR PAINT. PROVIDE SAMPLE FOR OWNER'S APPROVAL.
5. INSTALL NEW CEDAR TRIM TO MATCH EXISTING. PAINT WITH PREMIUM EXTERIOR PAINT. VERIFY FINISH WITH OWNER.
6. INSTALL NEW GABLE END VENT. PROVIDE EXAMPLE FOR OWNER'S APPROVAL.
7. CLEAN, REPAIR AND REPAINT STUCCO. NEW STUCCO TEXTURE AND FINISH TO MATCH EXISTING STUCCO TEXTURE AND FINISH. PAINT WITH PREMIUM EXTERIOR PAINT.
8. INSTALL NEW TRIM AT GARAGE DOORS TO MATCH EXISTING DOOR.
9. ENSURE THAT ALL EXISTING DECKING IS SOUND AND REPAIR DETERIORATED DECKING TO MATCH EXISTING. INSTALL AN OPENING CORNING TRU DEFINITION DURATION DESIGNER SERIES ROOF OR EQUAL. INSTALL PER MFGR SPECIFICATIONS. PROVIDE SAMPLE FOR OWNER'S APPROVAL.
10. INSTALL ALL NEW WINDOWS PER MFGR SPECIFICATIONS. TRIM TO MATCH EXISTING. PAINT ALL TRIM WITH PREMIUM GRADE PAINT.
11. INSTALL NEW DOORS PER MFGR SPECIFICATIONS. TRIM TO MATCH EXISTING. PAINT ALL TRIM WITH PREMIUM GRADE PAINT.
12. INSTALL NEW FASCIA TO MATCH EXISTING. PAINT WITH PREMIUM EXTERIOR GRADE PAINT.

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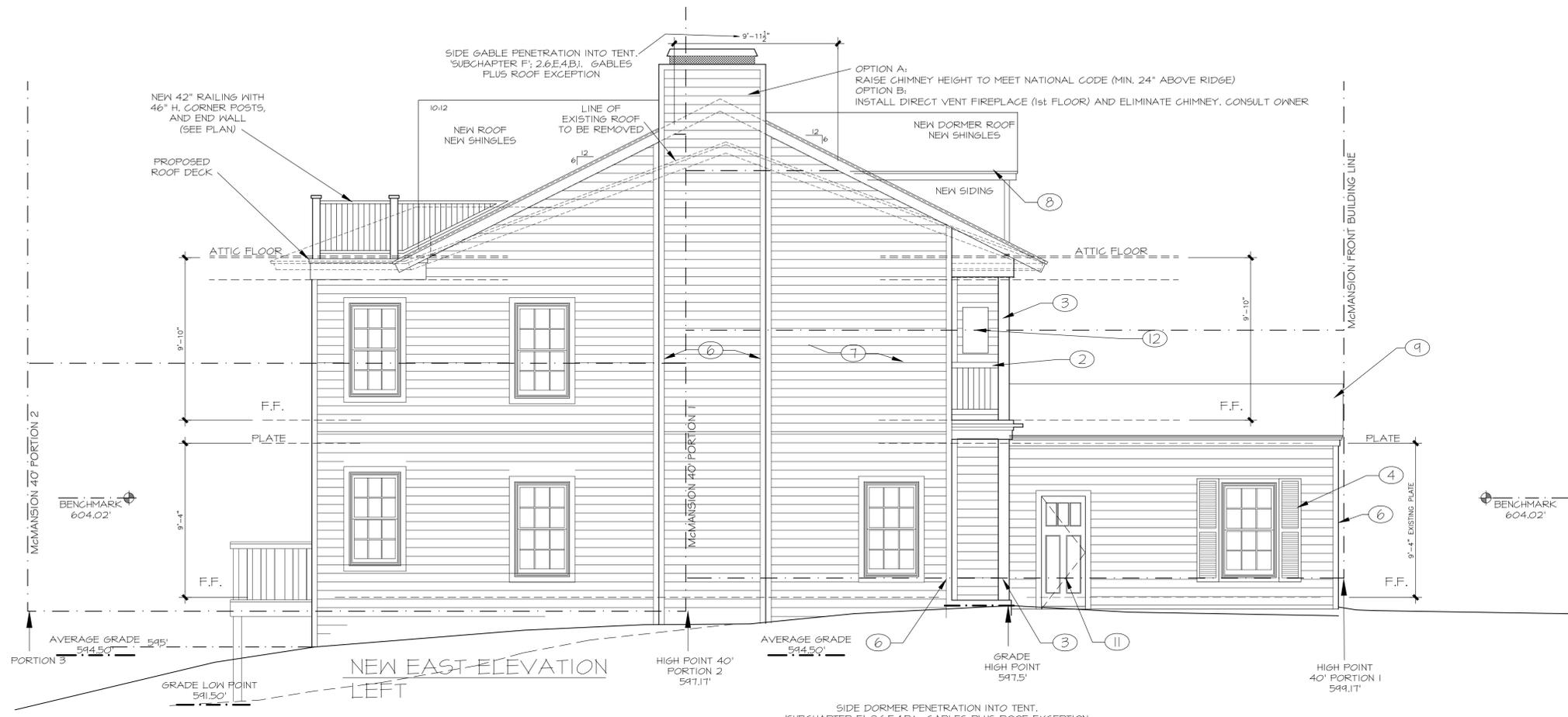
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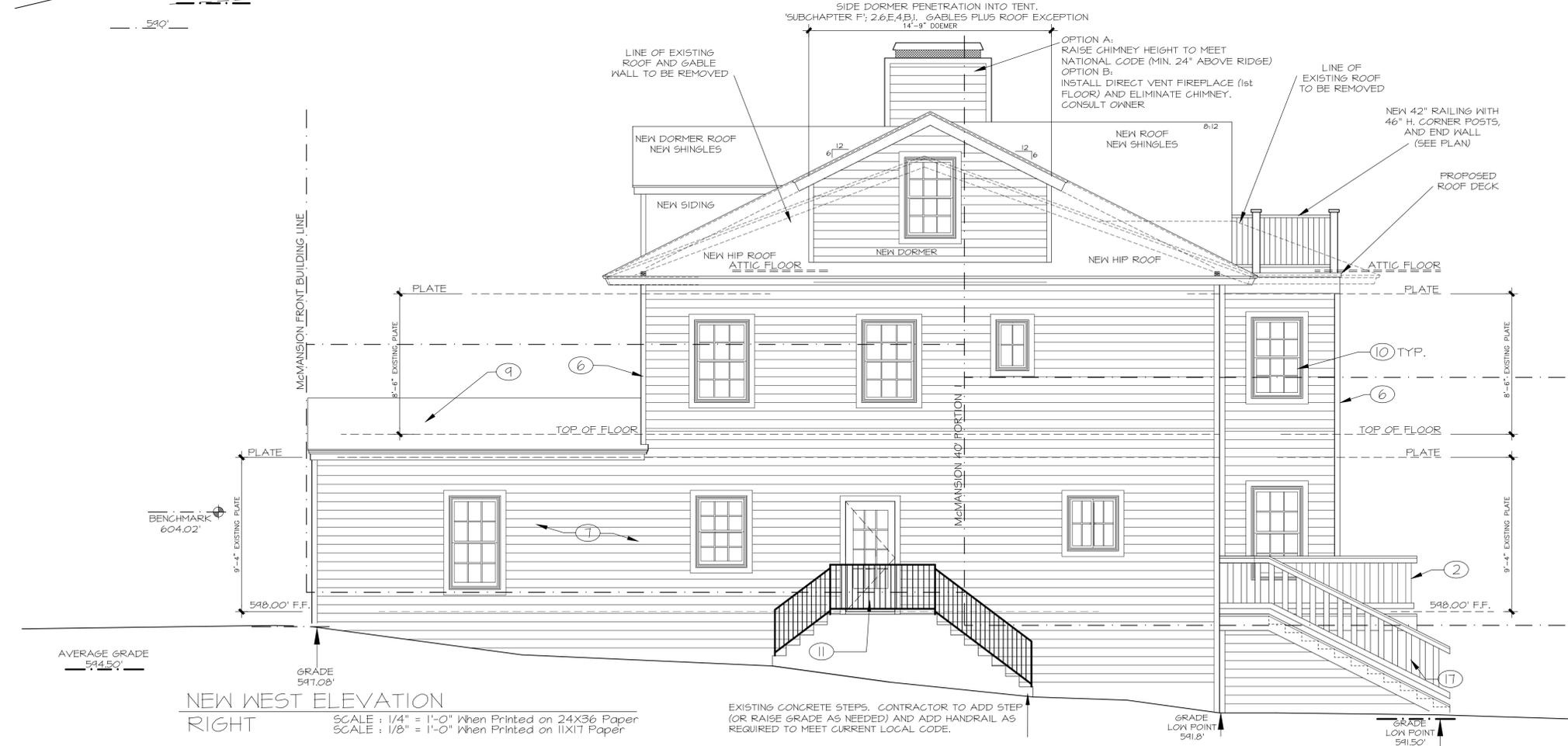
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 07.16.2013
 03.12.2013
 08.26.2013

New North & South Elevations
A 2.1
 SHEET OF



NEW EAST ELEVATION LEFT



NEW WEST ELEVATION RIGHT

SCALE: 1/4" = 1'-0" When Printed on 24X36 Paper
 SCALE: 1/8" = 1'-0" When Printed on 11X17 Paper

EXISTING CONCRETE STEPS. CONTRACTOR TO ADD STEP (OR RAISE GRADE AS NEEDED) AND ADD HANDRAIL AS REQUIRED TO MEET CURRENT LOCAL CODE.

- SHEET KEYNOTES**
- NOT USED
 - NEW CEDAR RAILINGS PER CODE. SEE STRUCTURAL. PAINT WITH PREMIUM EXTERIOR GRADE PAINT.
 - NEW 6 X 6 CEDAR POSTS. PAINT WITH PREMIUM EXTERIOR GRADE PAINT.
 - INSTALL NEW WOOD SHUTTERS TO MATCH EXISTING. PAINT WITH PREMIUM SEMI-GLOSS EXTERIOR PAINT. PROVIDE SAMPLE FOR OWNER'S APPROVAL.
 - INSTALL NEW CEDAR TRIM TO MATCH EXISTING. PAINT WITH PREMIUM EXTERIOR PAINT. VERIFY FINISH WITH OWNER.
 - INSTALL NEW 1 X 4 CEDAR TRIM AT ALL CORNERS. PAINT WITH PREMIUM EXTERIOR GRADE PAINT.
 - INSTALL NEW HARDIEPLANK SMOOTH LAP SIDING WITH 6" EXPOSURE. PROVIDE SAMPLE FOR OWNER'S APPROVAL AND COLOR AVAILABILITY FOR APPROVAL. INSTALL PER MFGR SPECIFICATIONS ENSURE THAT THE BASE SURFACE IS SMOOTH AND EVEN PRIOR TO INSTALLATION OF SIDING.
 - NOT USED
 - ENSURE THAT ALL EXISTING DECKING IS SOUND AND REPAIR DETERIORATED DECKING TO MATCH EXISTING. INSTALL AN OWENS CORNING TRI DEFINITION DURATION DESIGNER SERIES ROOF OR EQUAL. INSTALL PER MFGR SPECIFICATIONS. PROVIDE SAMPLE FOR OWNER'S APPROVAL.
 - INSTALL ALL NEW WINDOWS PER MFGR SPECIFICATIONS. TRIM TO MATCH EXISTING. PAINT ALL TRIM WITH PREMIUM GRADE PAINT.
 - INSTALL NEW DOORS PER MFGR SPECIFICATIONS. TRIM TO MATCH EXISTING. PAINT ALL TRIM WITH PREMIUM GRADE PAINT.
 - CLEAN VIRGIN OF GUADELOUPE TILES WITH VINEGAR AND WATER.
 - PRESSURE WASH EXISTING CEMENT.
 - INSTALL SPARK ARRESTOR
 - INSTALL NEW GABLE END VENT. PROVIDE SAMPLE FOR OWNER'S APPROVAL.
 - NOT USED.
 - INSTALL NEW CEDAR DECK FRAMING. APPLY PRESERVATIVE. SEE STRUCTURAL.
 - INSTALL NEW FASCIA TO MATCH EXISTING. PAINT WITH PREMIUM EXTERIOR GRADE PAINT.

New East and West Elevations

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New East and West Elevations
A 2.2
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WINDOW SCHEDULE

WIN NO.	WIN TYPE	EXT'S SIZE	NEW SIZE	HEAD HEIGHT	LOCATION	MATERIAL / COLOR	HRDWR.
A	1	40 x 64	40 x 64	7'-0"	Living North	Custom Dbl Hung 6/6 White metal clad ext, Primed interior 7/8A profile dble insul low e glass temp glass bottom	ORB
B	1	40 x 64	40 x 64	7'-0"	Living North	Custom Dbl Hung 6/6 White metal clad ext, Primed interior 7/8A profile dble insul low e glass temp glass bottom	ORB
C	1	40 x 64	40 x 64	7'-0"	Living East	Custom Dbl Hung 6/6 White metal clad ext, Primed interior 7/8A profile dble insul low e glass temp glass bottom	ORB
D	1	40 x 64	40 x 64	7'-0"	Living East	Dbl Hung 6/6 White metal clad ext, Primed interior 7/8A profile dble insul low e glass temp glass bottom	ORB
E (1,2,3)	2	144 x 68	3 - 31 3/8" x 68	7'-1"	Dining South	Dbl Hung 6/6 White metal clad ext, Primed interior 7/8A profile dble insul low e glass	ORB
E 4	2	New Opening	31 3/8" x 68	7'-1"	Dining West	Dbl Hung 6/6 White metal clad ext, Primed interior 7/8A profile dble insul low e glass	ORB
E 5	2	Existing Door Opening	31 3/8" x 68	7'-1"	Dining East	Dbl Hung 6/6 White metal clad ext, Primed interior 7/8A profile	ORB
F	Omit	40 x 64		7'-0"	Kitchen South		
G	Omit	40 x 64		7'-0"	Kitchen South		
H	2	40 x 64	31 3/8" x 40	7'-0"	Kitchen West	Pair 4 lite casement White metal clad ext, Primed interior 7/8A profile dble insul low e glass	ORB
I	4	40 x 32	31 3/8" x 52	7'-0"	Office West	Dbl Hung 6/6 White metal clad ext, Primed interior 7/8A profile dble insul low e glass	ORB
J 1	1	40 x 60	40 x 64	6'-11"	Garage East	Custom Dbl Hung 6/6 White metal clad ext, Primed interior 7/8A profile dble insul low e glass temp glass bottom	ORB
K 1	New Door	40 x 60		6'-11"	Garage East	See Door Schedule	ORB
K 2	Omit	40 x 60		6'-11"	Garage West	See E 1	
L, M	Omit	28 x 68		7'-1"	Dining East		
N	3	40 x 60	40 x 60	6' - 11"	Upstairs Bath North	Dbl Hung 6/6 White metal clad ext, Primed interior 7/8A profile dble insul low e glass bottom panel tempered	ORB
O	3	40 x 60	40 x 60	6' - 11"	Master Bath North	Dbl Hung 6/6 White metal clad ext, Primed interior 7/8A profile dble insul low e glass	ORB
P	Omit	40 x 64		6'-11"	Master Bath East		
Q	Omit	40 x 64		6'-11"	Master Bed		
R	3	43 x 62	31 3/8" x 60	7' - 1"	Master Bed East	Dbl Hung 6/6 White metal clad ext, Primed interior 7/8A profile dble insul low e glass	ORB
S 1	3	148 x 68	3 - 31 3/8" x 60	7' - 1"	Master Bed South	Dbl Hung 6/6 White metal clad ext, Primed interior 7/8A profile dble insul low e glass	ORB
S 2	3	New Opening	31 3/8" x 60	7' - 1"	Master Bed West	Dbl Hung 6/6 White metal clad ext, Primed interior 7/8A profile dble insul low e glass	ORB
T	5	40 x 60	40 x 60	6'-11"	Bed 2 South	Custom Dbl Hung 6/6 White metal clad ext, Primed interior 7/8A profile dble insul low e glass	ORB
U	5	40 x 60	40 x 60	6'-11"	Bed 2 South	Custom Dbl Hung 6/6 White metal clad ext, Primed interior 7/8A profile dble insul low e glass	ORB
V	6	24 x 37	24 x 37	6'-11"	Bath 2 West	Custom four lite casement White metal clad ext, Primed interior 7/8A profile dble insul low e glass	ORB
W	5	40 x 60	40 x 60	6'-11"	Bonus West	Custom Dbl Hung 6/6 White metal clad ext, Primed interior 7/8A profile dble insul low e glass	ORB
X	5	40 x 60	40 x 60	6'-11"	Bonus West	Custom Dbl Hung 6/6 White metal clad ext, Primed interior 7/8A profile dble insul low e glass	ORB
Y	Omit	40 x 53		6'-11"	Ext'g North Facade		
Z 1	5	New Opening	40 x 60	6'-11"	Hall East	Custom Dbl Hung 6/6 White metal clad ext, Primed interior 7/8A profile dble insul low e glass	ORB
Z 2	5	New Opening	40 x 60	6'-11"	Bed 3 West	Custom Dbl Hung 6/6 White metal clad ext, Primed interior 7/8A profile dble insul low e glass	ORB
Z 3	5	New Opening	40 x 60	6'-11"	Bed 3 North	Custom Dbl Hung 6/6 White metal clad ext, Primed interior 7/8A profile dble insul low e glass	ORB
Z 4	7	New Opening	24 3/8" x 36	6'-11"	Utility West	Custom 4 lite casement White metal clad ext, Primed interior 7/8A profile dble insul low e glass	ORB

DOOR SCHEDULE

DOOR NO.	DOOR TYPE	DESCRIPTION	NEW SIZE	NEW R.O.	H.H.	LOCATION	MATERIAL / COLOR	HRDWR.
A1	1	Existing Opening 36 x 84	36 x 84	N/A	7'-0"	Main Entry Living North	Exterior Jeldwen Mission Wood with Window Stain	ORB
A2	2	Door in Existing Window Opening	32 x 83	Verify	6'-11"	Garage East	Exterior Jeldwen Mission Wood with Window Stain	ORB
B	3	Existing Opening 36 x 84 verify	36 x 84	N/A	7'-0"	New Office East	Simpson Weatherstripped Solid Core, Sound Three Panel Paint w/Semi-gloss	ORB
C	4	New Opening	32 x 84	Verify	7'-0"	First Floor Bath	Simpson Three panel Hood Paint w/ Semi-gloss	ORB
D	5	New Opening	30 x 84	Verify	7'-0"	First Floor Bath Shower Enclosure	Tempered Shower Door and Tempered Glass Each Side to Ceiling	Silver
E	6	New Opening	24 x 84	Verify	7'-0"	New Office Closet	Simpson Three Panel Hood Pocket Paint w/ Semi-gloss	ORB
F	7	New Opening	4 - 30 x 84	Verify	7'-0"	New Kitchen South	White Metal Clad Ext, Primed Interior 7/8A profile Eight (8) Lite each French Sliding dble insul low e glass	ORB
G	8	New Opening	24 x 84	Verify	7'-0"	New Pantry	Simpson Three Panel Hood Pocket Paint w/ Semi-gloss	ORB
H	2	Existing Opening 32 x 74	32 x 74	Verify	6'-11"	New Office Exterior	White Metal Clad Ext, Primed Int 7/8A Profile Multi-lite French Sliding dble insul low e glass	ORB
I	8	New Opening	24 x 84	Verify	7'-0"	Master Closet and WC	Sliding three panel wood with barn hinges track entire wall	ORB
J	9	Enlarge Existing Opening Verify	2 - 30 x 84	Verify	7'-0"	Master Bed West	Pair Simpson Three panel Hood Paint w/ Semi-gloss	ORB
K	10	Existing Opening 32 x 74	32 x 74	N/A	6'-11"	Existing Bedrm #2	Simpson Three panel wood Paint w/ Semi-gloss	ORB
L	1	New Opening	30 x 74	Verify	6'-11"	New Bath #3	Simpson Three panel wood Paint w/ Semi-gloss	ORB
M	11	Existing Opening 18 x 74 1/2	18 x 74 1/2	N/A	6'-1 1/2"	Existing Closet	Simpson Three panel wood Paint w/ Semi-gloss	ORB
N	12	Existing Opening 24 x 74	24 x 74	N/A	6'-11"	Existing Bath #3	Simpson Three panel wood Paint w/ Semi-gloss	ORB
O	12	Existing Opening 24 x 74	24 x 74	N/A	6'-11"	Existing Closet #2	Simpson Three panel wood Paint w/ Semi-gloss	ORB
P	4	New Opening	30 x 84	Verify	7'-0"	New Bedroom #3 South	Simpson Three panel wood Paint w/ Semi-gloss	ORB
Q	13	New Opening	32 x 84	Verify	7'-0"	New Utility Room	Simpson Three panel wood Paint w/ Semi-gloss	ORB
R	14	New Opening	2 - 30 x 84	Verify	7'-0"	New Bedroom #3 Closet	Pair Simpson Three Panel Hood Paint w/ Semi-gloss	ORB
S	1	Existing 36 x 84	36 x 84	N/A	7'-0"	Master Bath North	White Metal Clad Ext, Primed Int 7/8A Profile Multi-lite French Sliding dble insul low e glass	ORB
T	14	New Opening	30 x 84	Verify	7'-0"	New Master Shower	Tempered Shower Door and Tempered Glass Enclosure 3 sides to Ceiling	Silver



NOTE: ALL EXISTING TRIM TO BE SALVAGED AND REUSED, NEW TRIM TO MATCH EXISTING



NOTE: NEW TRIM TO MATCH EXISTING, REUSE EXISTING TRIM WHEREVER POSSIBLE



ALL TRIM AT DOORS INCLUDING ARCHED OPENINGS TO MATCH EXISTING. ALL BASEBOARD TRIM TO MATCH EXISTING

SHEET OF
A 3.1
Schedules and Details

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