

**HISTORIC LANDMARK COMMISSION
NOVEMBER 18, 2013
NATIONAL REGISTER HISTORIC DISTRICT
NRD-2013-0086
West Line
1510 W. 9th Street**

PROPOSAL

Remove two non-historic dormers, and repair and replace porch features and roof.

PROJECT SPECIFICATIONS

The existing c. 1915 house is an approximately 3,000 sq. ft., one-story Neoclassical house. It has a modified hipped roof with a front facing gable to one side of the recessed front porch. It is clad in narrow horizontal siding and has an asphalt shingle roof. There is a centered dormer on the front and non-historic shed roofed dormers on the sides. The porch has three fluted, round columns with Corinthian capitals, and a railing with turned balusters. The windows are wood with double hung sashes. There is a modern two-story, rear addition that is not visible from the street.

The applicant proposes to remove two of the non-historic dormers, and repair and repaint the existing columns. The existing porch railing is significantly rotted, so the applicant proposes to replace it entirely with a new wood railing that will match in profile and dimensions. The front steps will be replaced with new wood steps that will be slightly wider than those existing, and the asphalt shingles will be replaced with standing seam metal roofing. The existing, historic wood windows will remain and trim and siding will be repainted. Non-historic windows on the rear elevation will be replaced.

STANDARDS FOR REVIEW

The existing property is contributing to the West Line National Register Historic District. Applicable general design review guidelines state:

- The distinguishing original qualities or character of a property and its environment shall not be destroyed. Removal or alteration of any historic material or distinctive architectural features should be avoided.
- All properties shall be recognized as products of their own time. Alterations which have no historical basis and which seek to create an earlier appearance shall be discouraged.
- Changes which have taken place in the course of time may have acquired significance in their own right, and shall be recognized and respected.
- Distinctive stylistic features or examples of skilled craftsmanship which characterize a property shall be treated with sensitivity.
- Deteriorated architectural features shall be repaired rather than replaced whenever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture, and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historical, physical, or pictorial

evidence.

- Surface cleaning of structures shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the historic building materials shall not be undertaken.
- Contemporary design for alterations and additions to existing properties are appropriate when such alterations and additions do not destroy significant historic, architectural, or cultural material and are compatible with the size, scale, color, material, and character of the property, neighborhood, or environment.
- Whenever, possible, new additions or alterations to structures shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the structure would not be impaired.
- The installation of protective or code-required mechanical systems shall be concealed whenever possible so as not to intrude upon or detract from the property's aesthetic and historical qualities except where concealment would result in the alteration or destruction of historically significant materials or spaces.
- Reconstruction of a part or all of a property shall be undertaken only when such work is essential to reproduce a significant missing feature in a historic district, and documentation exists to ensure an accurate reproduction of the original.

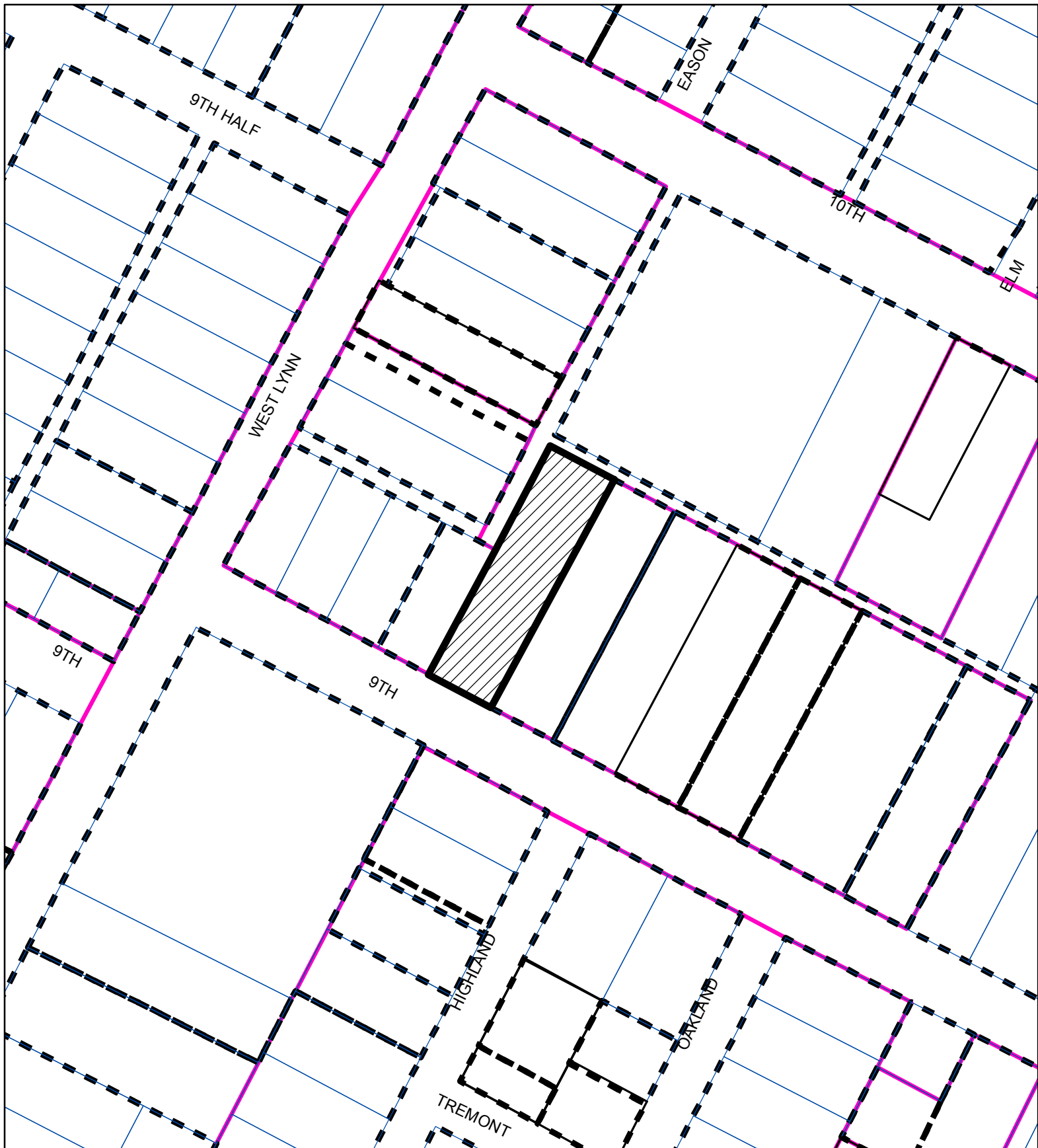
The project as proposed meets the general guidelines and by removing non-historic features, and repairing and replacing in-kind deteriorated historic features, maintains the property's contributing status.

STAFF RECOMMENDATION

Release the permit per the proposed design.

PHOTOS





SUBJECT TRACT



ZONING BOUNDARY

CASE#: NRD-2013-0086
LOCATION: 1510 W 9th Street



This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

This product has been produced by the Planning and Development Review Department for the sole purpose of geographic reference. No warranty is made by the City of Austin regarding specific accuracy or completeness.

KITCHEN RESIDENCE

1510 W. 9th ST.

AUSTIN, TEXAS 78703

Architects
Clayton&Little

1001 East 8th Street
Austin, Texas 78702
512 477 1727

www.claytonandlittle.com

ARCHITECT: CLAYTON & LITTLE ARCHITECTS
1001 EAST 8TH STREET
AUSTIN, TEXAS 78702
CONTACT: SKY CURRIE, ASSOC. AIA
PHONE: (512) 477.1727 X.210
FAX: (512) 477.9376
EMAIL: SKY@CLAYTONANDLITTLE.COM

CONTRACTOR: BURNISH & FLUMS
719 SAN MARCOS STREET
AUSTIN, TEXAS 78702
CONTACT: JEB MAY
PHONE: (512) 574.4210
FAX: (512) 477.9376
EMAIL: JEB@BURNISHANDFLUMS.COM

OWNER INFORMATION

SARAH & BEN KITCHEN
1510 W. 9TH ST.
AUSTIN, TEXAS 78703

LEGAL DESCRIPTION

LOT 6 OLT 4 DIV Z WENDLANDTIS

SITE INFORMATION

SITE INFORMATION TAKEN FROM SURVEY PERFORMED
BY ALL-STAR LAND SURVEYORS ON 6/24/13

ZONING INFORMATION

SF-3

SYMBOL LEGEND

1/A101 ELEVATION SYMBOL

X XXXX SECTION SYMBOL

X PARTITION TYPE SYMBOL

Room name

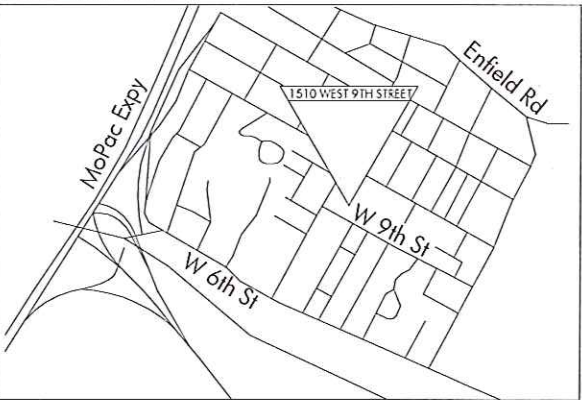
XXX ROOM NAME & NUMBER SYMBOL

XXX DOOR NUMBER SYMBOL

X XXXX DETAIL SYMBOL

X WINDOW SYMBOL

VICINITY MAP



INDEX OF DRAWINGS

- G1.0 COVER SHEET
- D1.0 FIRST FLOOR DEMOLITION PLAN
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D1.2 ROOF DEMOLITION PLAN
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A1.1 GROUND FLOOR PLAN
A1.2 SECOND FLOOR PLAN
A2.0 EXTERIOR ELEVATIONS
A2.1 EXTERIOR ELEVATIONS
- A3.0 SCHEDULES

FIELD INSPECTION REQUIRED

Prior to performing any bidding,
new construction, and/or repairs,
general contractor shall visit the
site, inspect all existing
conditions, and report any
discrepancies to the architect.



CODE ANALYSIS

BUILDING CODE:
INTERNATIONAL RESIDENTIAL CODE - 2012 W/ AUSTIN AMENDMENTS

BUILDING DESCRIPTION:
2-STORY WOOD FRAME HOUSE

INTERIOR REMODEL OF EXISTING HOME; REMOVE EXTERIOR STAIR AND SECOND STORY DECK,
REMOVE WOOD FENCE, REMOVE BACK GROUND FLOOR WOOD DECK, REPAIR PORCHES, ENLARGE
FRONT STAIR, REMOVE SELECTIVE DORMERS, REPLACE ROOF, REPLACE FRONT GUARDRAIL.

LEGAL JURISDICTION: AUSTIN, TEXAS, TRAVIS COUNTY

AREA CALCULATIONS:

LOT SIZE - 13,050 S.F.	EXISTING	NEW/ADDED	TOTAL
1ST FLOOR CONDITIONED	1900 S.F.	0 S.F.	1900 S.F.
2ND FLOOR CONDITIONED	1175 S.F.	0 S.F.	1175 S.F.
BASEMENT	0 S.F.	0 S.F.	0 S.F.
COVERED PARKING	0 S.F.	0 S.F.	0 S.F.
COVERED PATIO	220 S.F.	0 S.F.	220 S.F.
BALCONY	0 S.F.	0 S.F.	0 S.F.
OTHER (STORAGE BUILDING, COOP, SHED)	765 S.F.	0 S.F.	765 S.F.
TOTAL BUILDING COVERAGE	2,835 S.F.	0 S.F.	2,835 S.F.
% BUILDING COVERAGE (2,835 / 13,050) = 22.1%			
DRIVEWAY	1060 S.F.	0 S.F.	1060 S.F.
SIDEWALKS	160 S.F.	0 S.F.	160 S.F.
UNCOVERED PATIO	0 S.F.	50 S.F.	50 S.F.
UNCOVERED WOOD DECK	520 S.F.	-520 S.F.	0 S.F.
AC PADS	15 S.F.	0 S.F.	15 S.F.
OTHER (STAIRS, STONE PLANTER)	153 S.F.	15 S.F.	168 S.F.
TOTAL NON-BUILDING COVERAGE	1,908 S.F.	-455 S.F.	1,453 S.F.
TOTAL SITE COVERAGE (IMPERVIOUS)	4,793 S.F.	-455 S.F.	4,338 S.F.
% IMPERVIOUS COVER (4,338 / 13,050) = 33.2%			

Kitchen Residence

1510 W. 9th St.
Austin, Texas 78703

DATE ISSUED FOR
10/25/13 FOR PERMIT

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COVER SHEET

G1.0



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Kitchen Residence

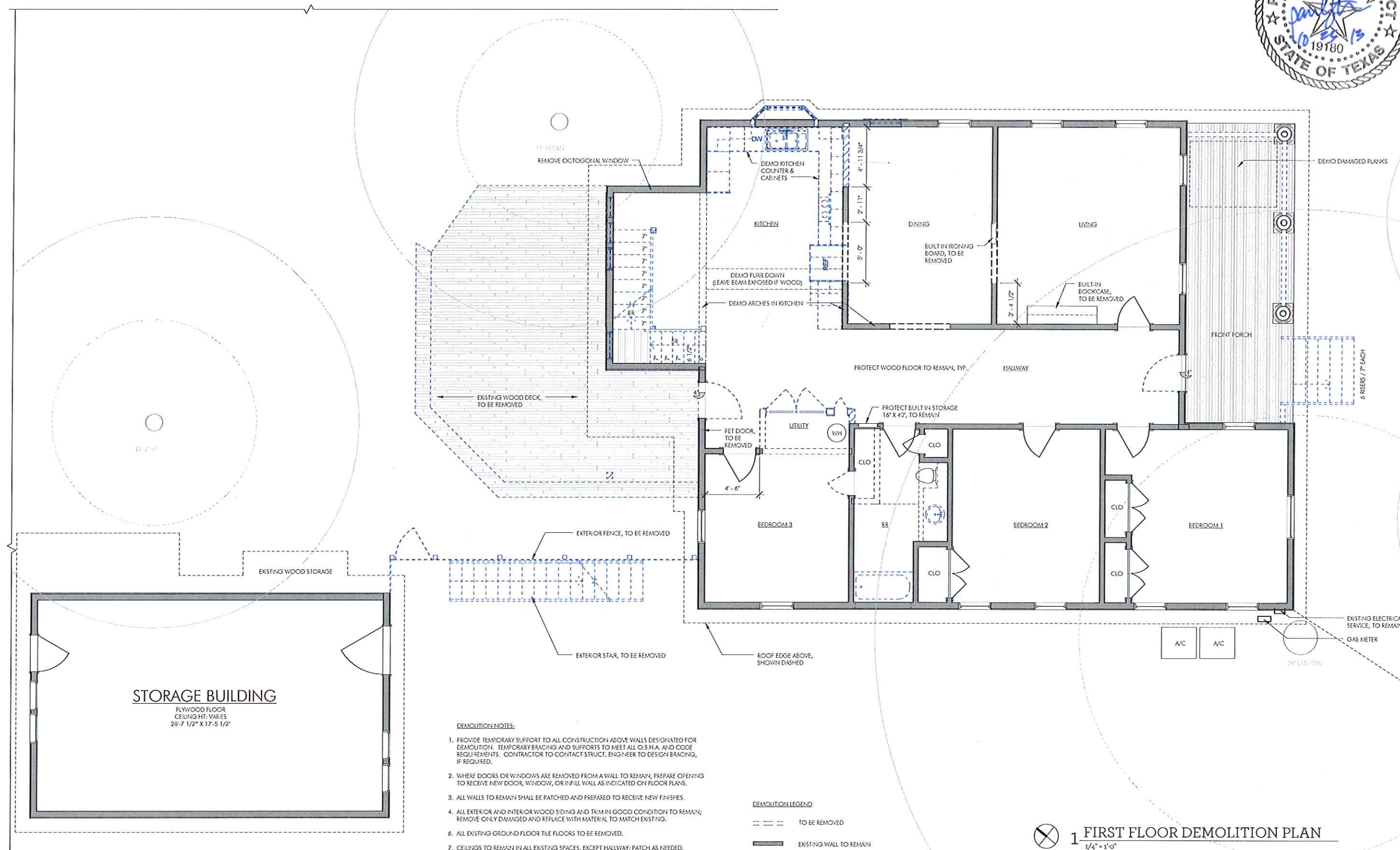
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FIRST FLOOR DEMOLITION
PLAN

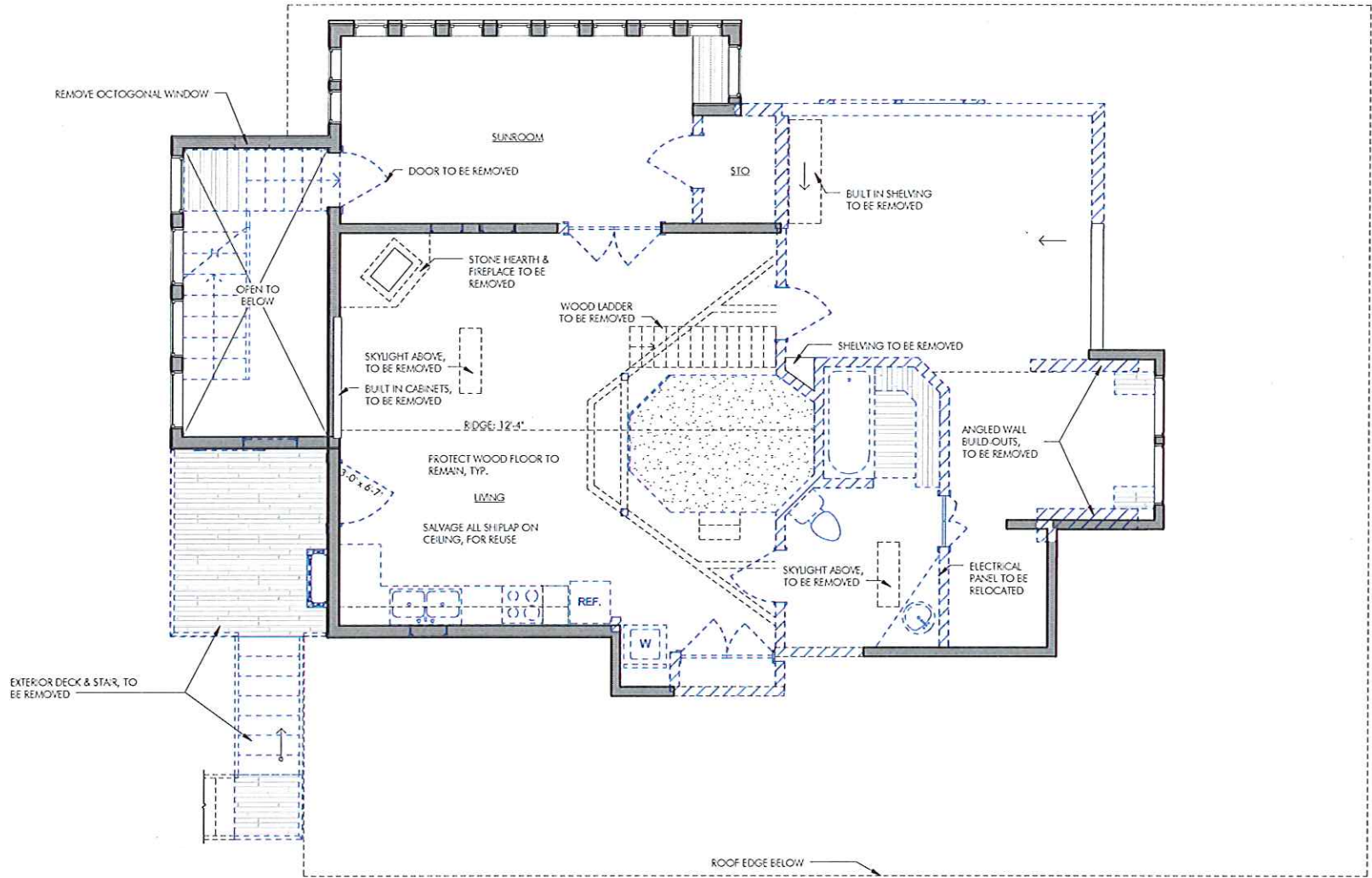
D1.0





FIELD INSPECTION REQUIRED

Prior to performing any bidding, new construction, and/or repairs, general contractor shall visit the site, inspect all existing conditions, and report any discrepancies to the architect.



DEMOLITION NOTES:

1. PROVIDE TEMPORARY SUPPORT TO ALL CONSTRUCTION ABOVE WALLS DESIGNATED FOR DEMOLITION. TEMPORARY BRACING AND SUPPORTS TO MEET ALL O.S.H.A. AND CODE REQUIREMENTS. CONTRACTOR TO CONTACT STRUCT. ENGINEER TO DESIGN BRACING, IF REQUIRED.
2. WHERE DOORS OR WINDOWS ARE REMOVED FROM A WALL TO REMAIN, PREPARE OPENING TO RECEIVE NEW DOOR, WINDOW, OR INFILL WALL AS INDICATED ON FLOOR PLANS.
3. ALL WALLS TO REMAIN SHALL BE PATCHED AND PREPARED TO RECEIVE NEW FINISHES.
4. ALL EXTERIOR AND INTERIOR WOOD SIDING AND TRIM IN GOOD CONDITION TO REMAIN; REMOVE ONLY DAMAGED AND REPLACE WITH MATERIAL TO MATCH EXISTING.
5. SALVAGE ALL SHIPLAP ON CEILING FOR SPRAY FOAM OF ROOF. SHIPLAP CONDITION TO BE MAINTAINED FOR REUSE.

DEMOLITION LEGEND

- TO BE REMOVED
- EXISTING WALL TO REMAIN

1 SECOND FLOOR - DEMO PLAN
1/4" = 1'-0"

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SECOND FLOOR DEMOLITION
OF 2ND

D1.1



FIELD INSPECTION REQUIRED

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Kitchen Residence

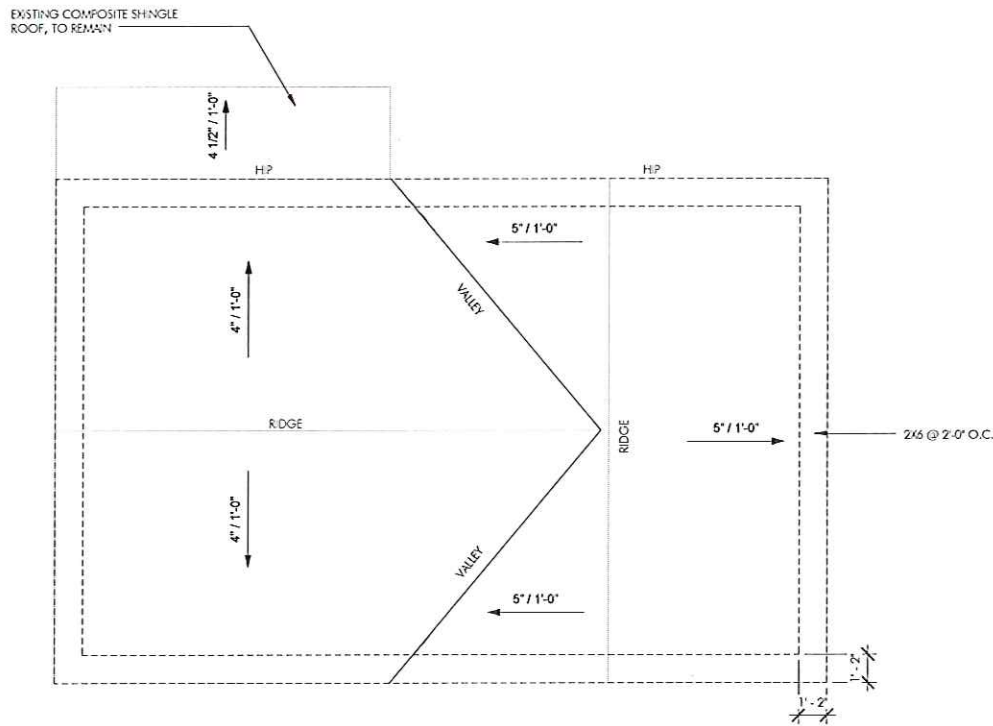
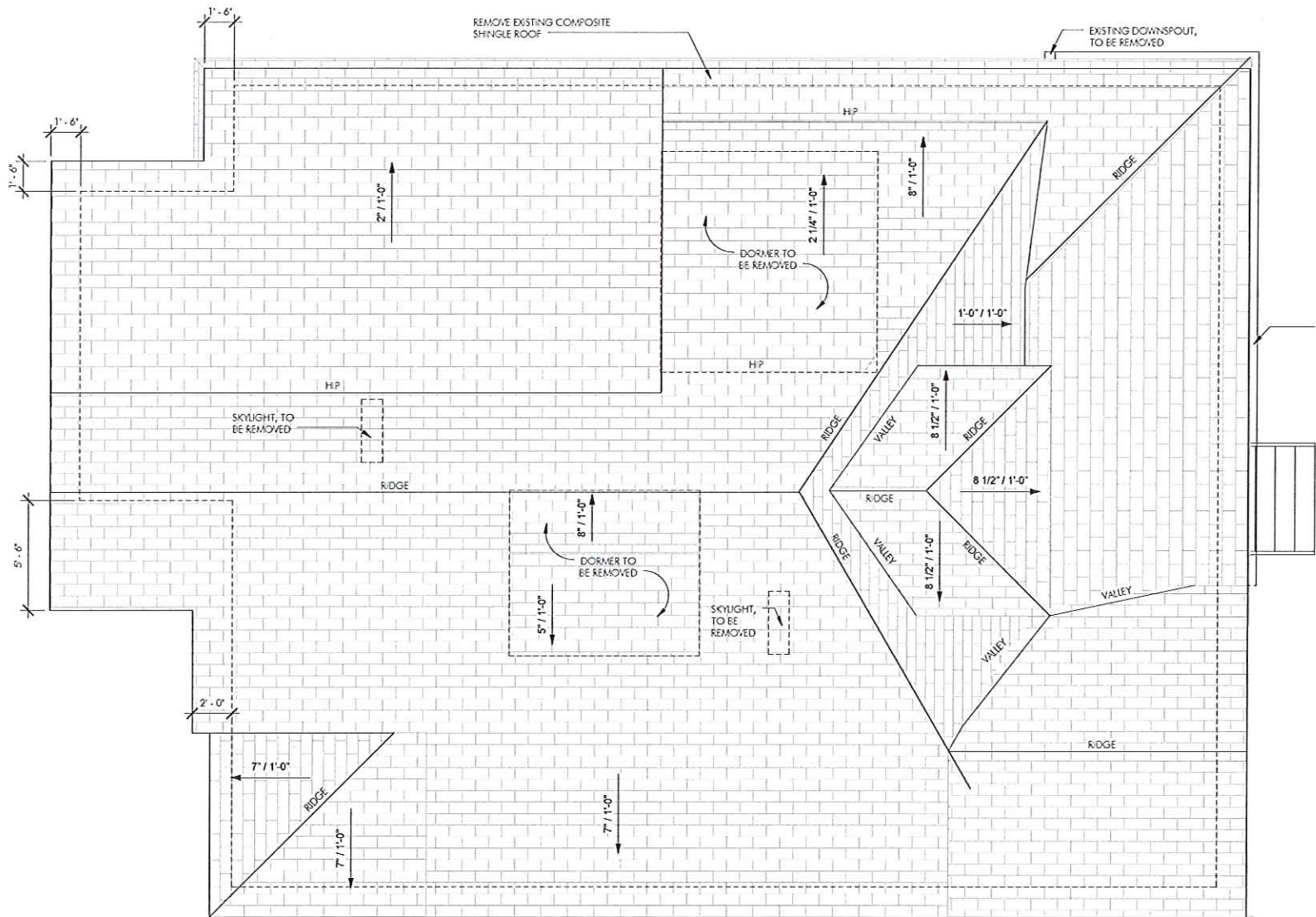
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ROOF DEMOLITION PLAN

D1.2

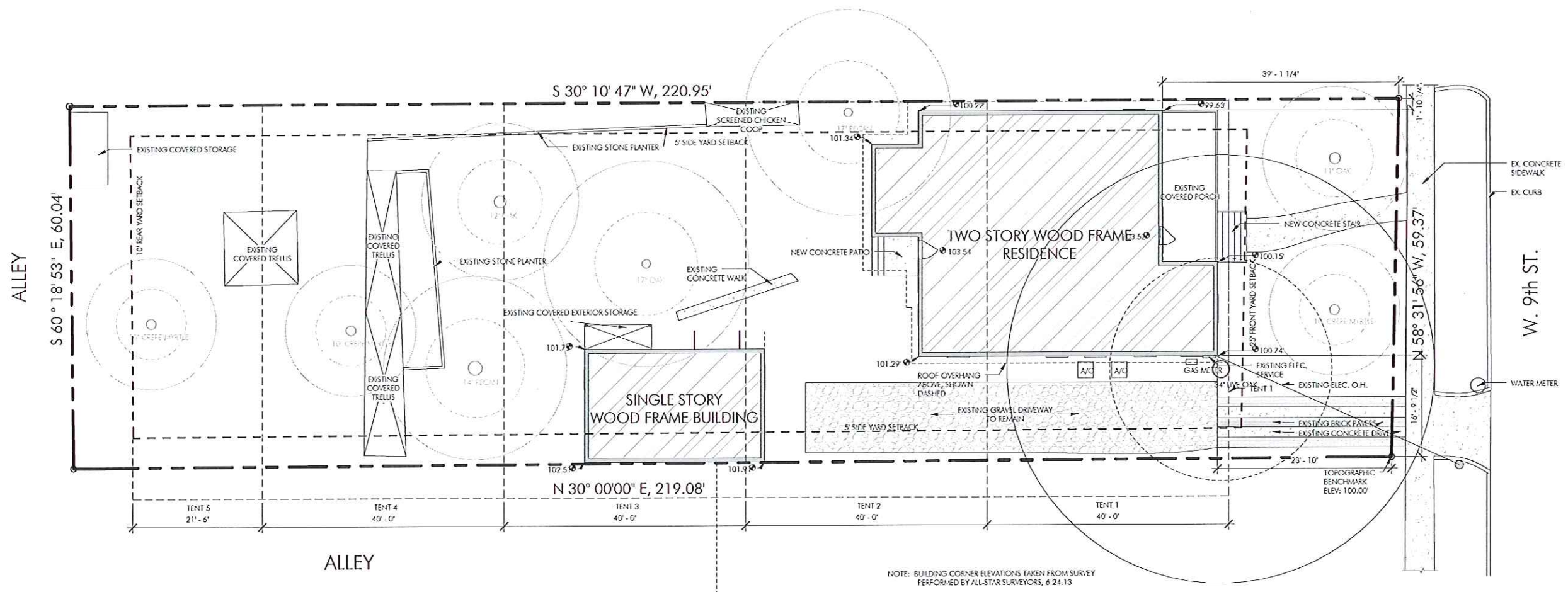


1 ROOF DEMOLITION PLAN
1/4" = 1'-0"



FIELD INSPECTION REQUIREMENTS

Prior to performing any field inspection, the architect shall visit the site, inspect all existing conditions, and report any discrepancies to the architect.



1 SITE PLAN
1" = 10'-0"

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SITE PLAN

A1.0



FIELD INSPECTION REQUIRED

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Kitchen Residence

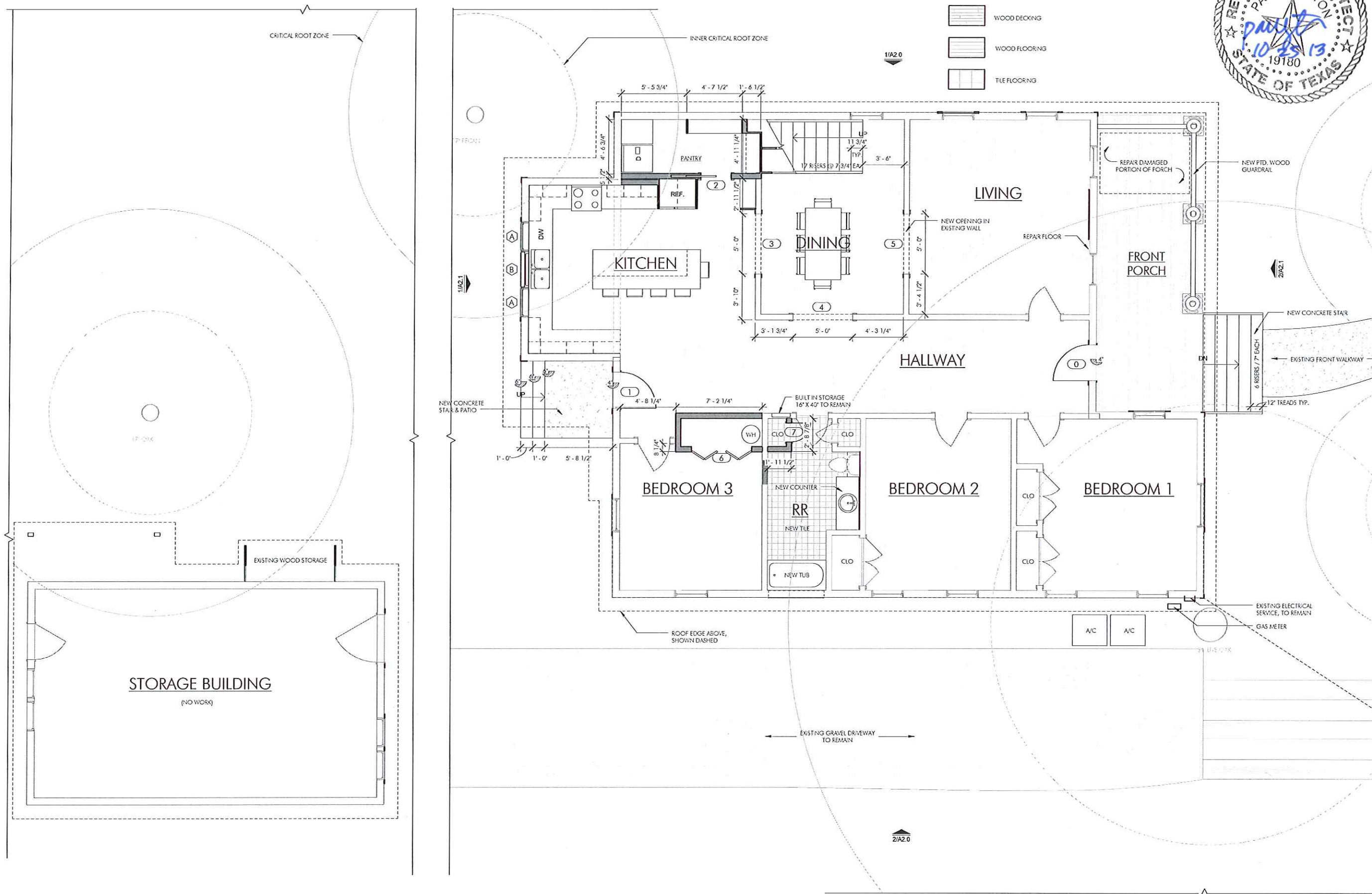
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GROUND FLOOR PLAN

A1.1



1 FIRST FLOOR PLAN
1/4" = 1'-0"

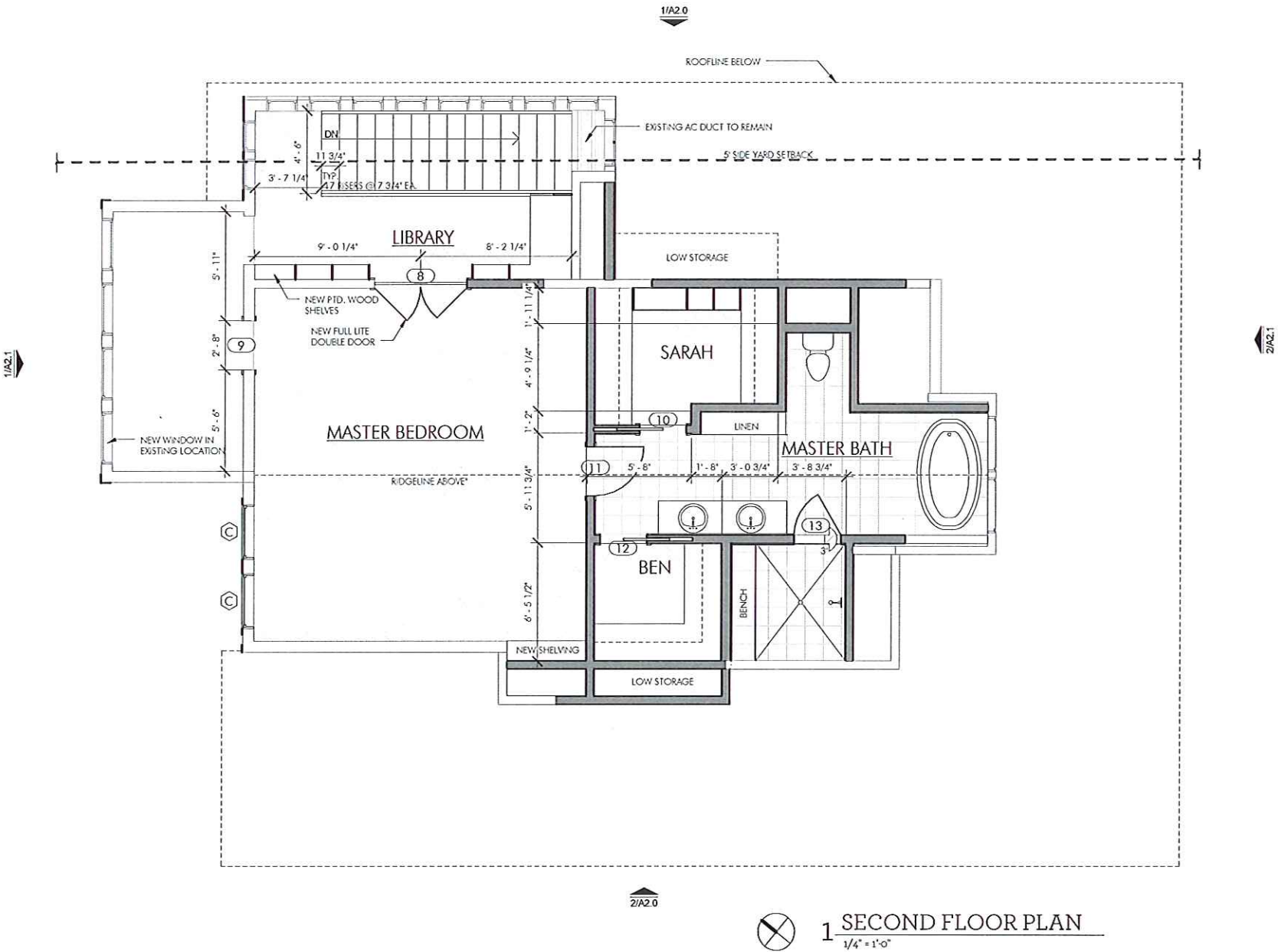


FIELD INSPECTION REQUIRED

Prior to performing any bidding, new construction, and/or repairs, general contractor shall visit the site, inspect all existing conditions, and report any discrepancies to the architect.

DRAWING LEGEND

- EXISTING WOOD STUD WALL
- NEW WOOD STUD WALL
- WOOD DECKING
- WOOD FLOORING
- TILE



1 SECOND FLOOR PLAN
1/4" = 1'-0"

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SECOND FLOOR PLAN

A1.2



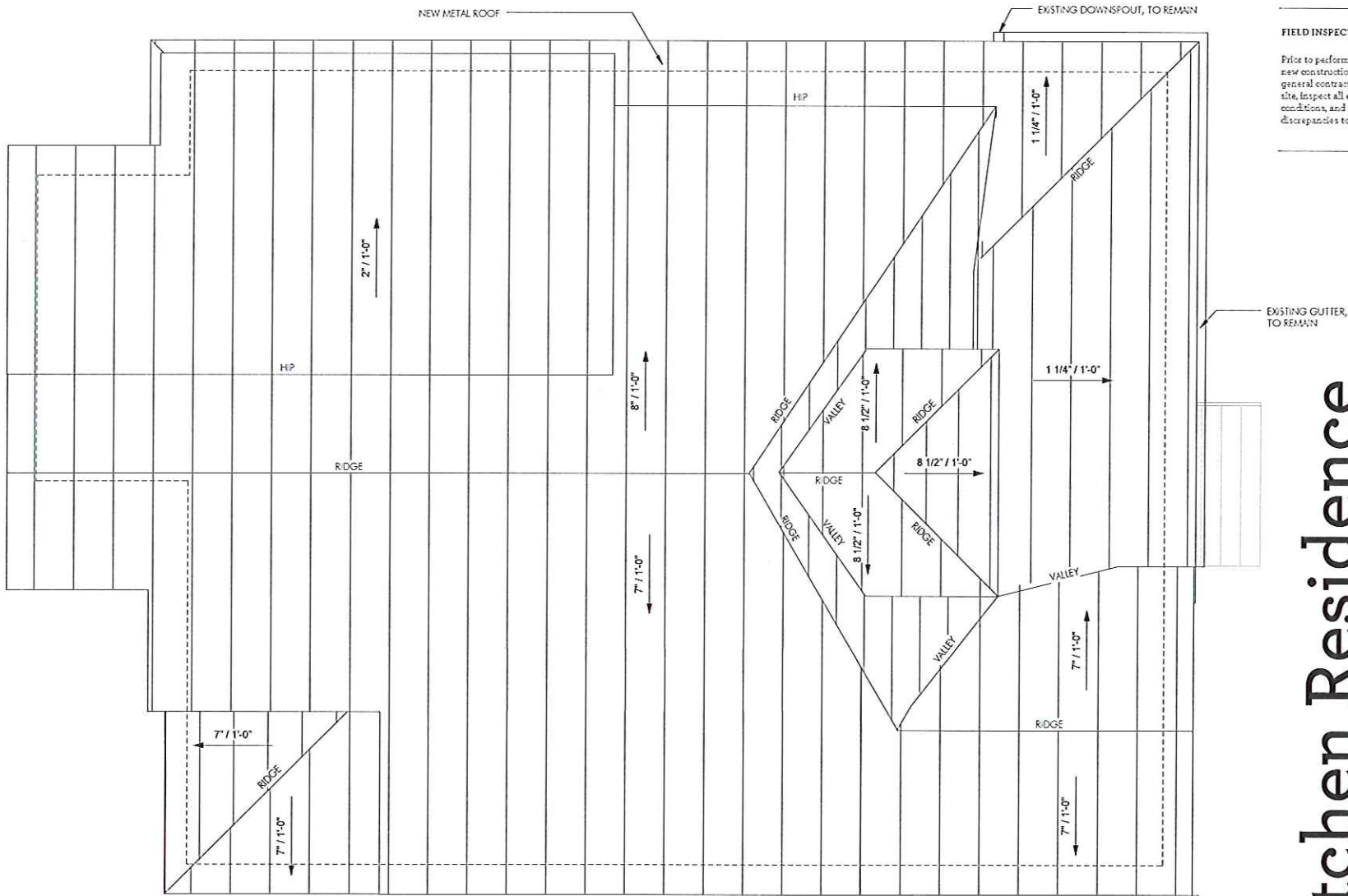
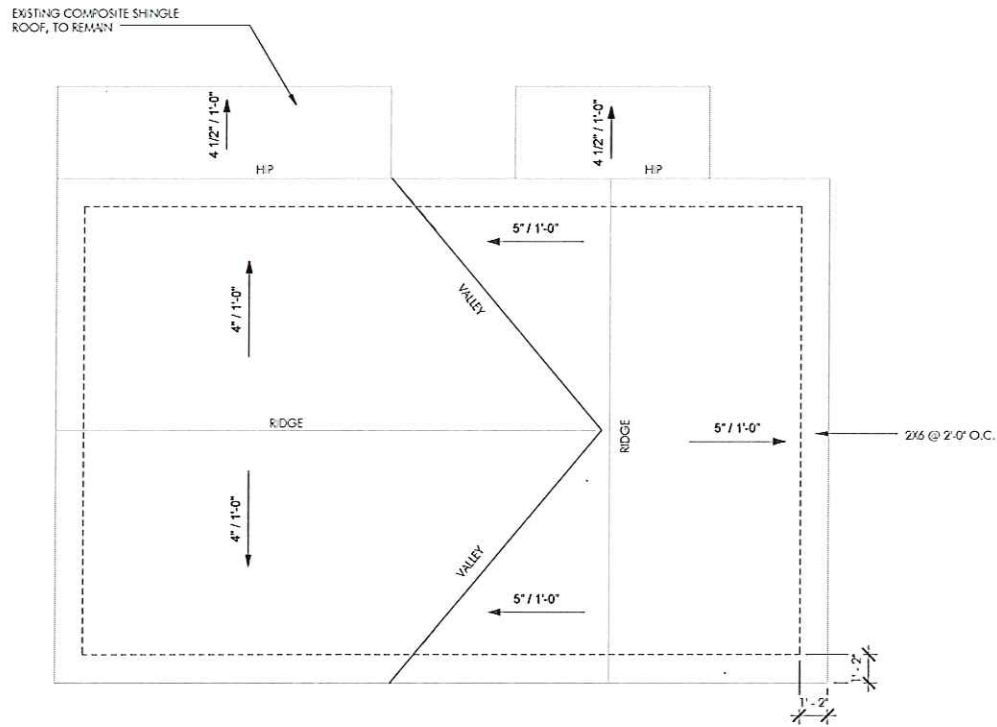
Architects
Clayton&Little

1001 East 8th Street
Austin, Texas 78702
512.477.1727

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FIELD INSPECTION REQUIRED

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1 ROOF PLAN
1/4" = 1'-0"

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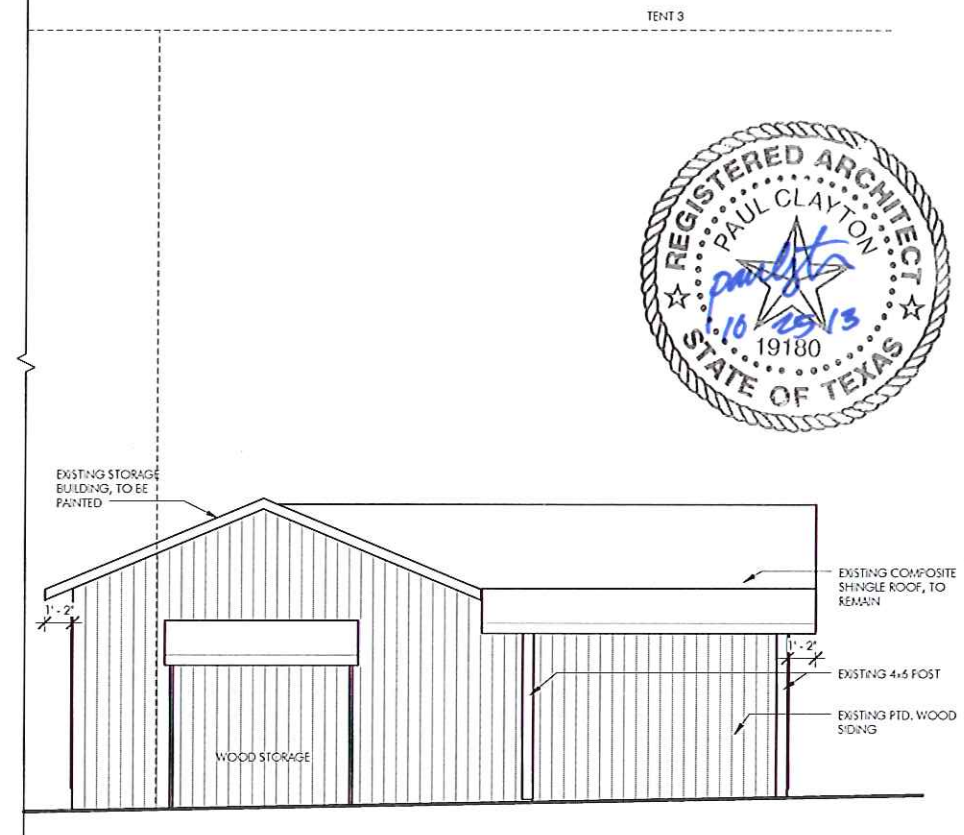
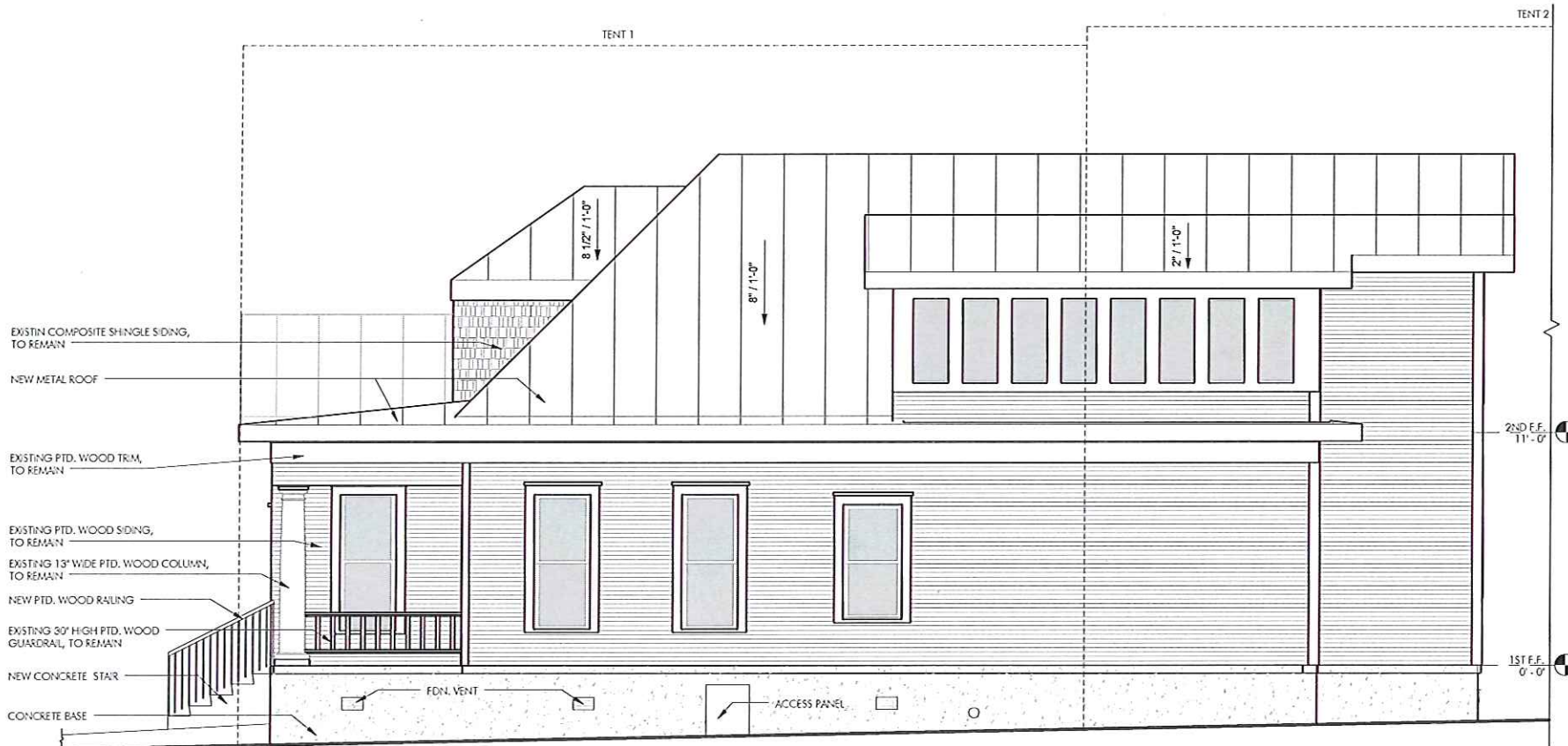
ROOF PLAN

A1.3

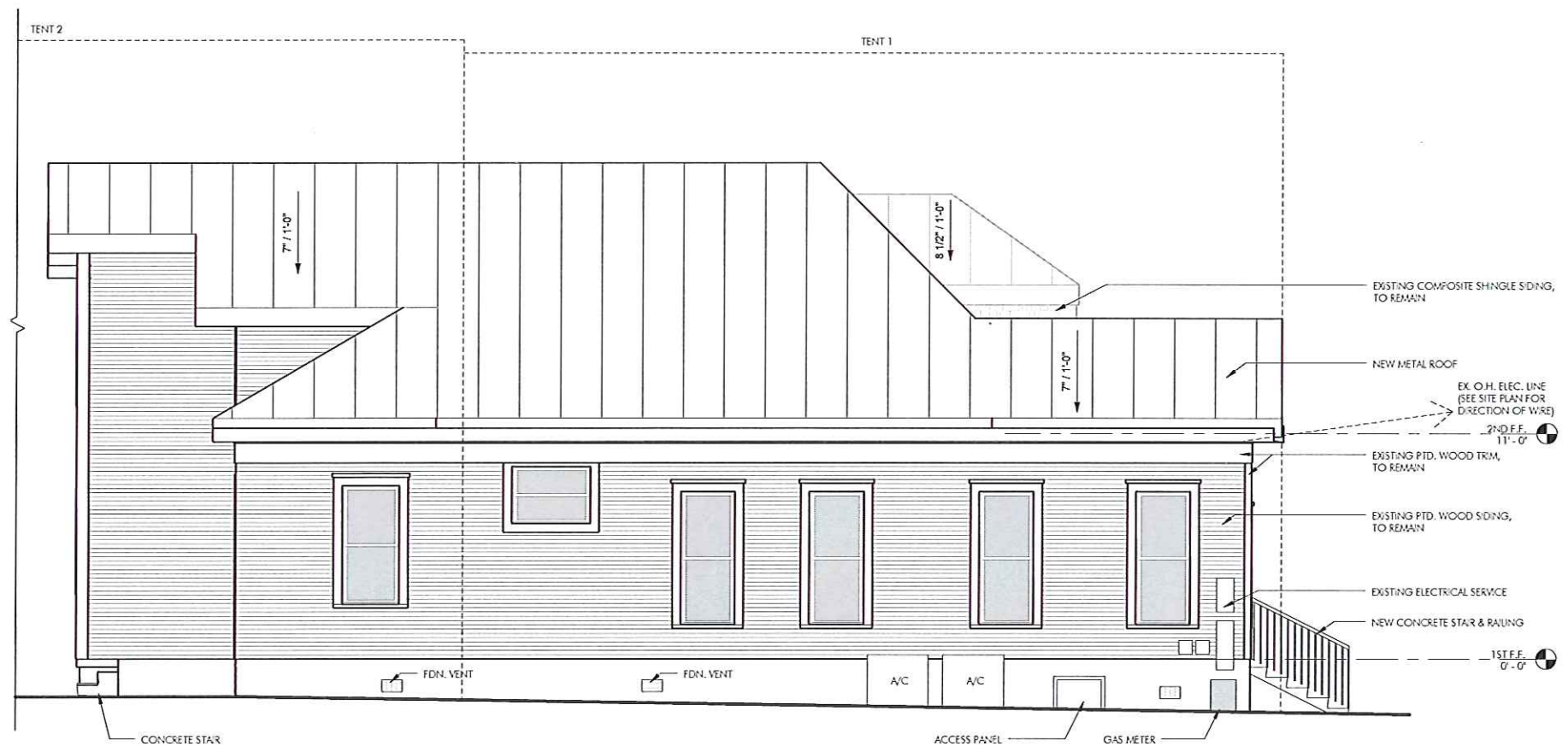
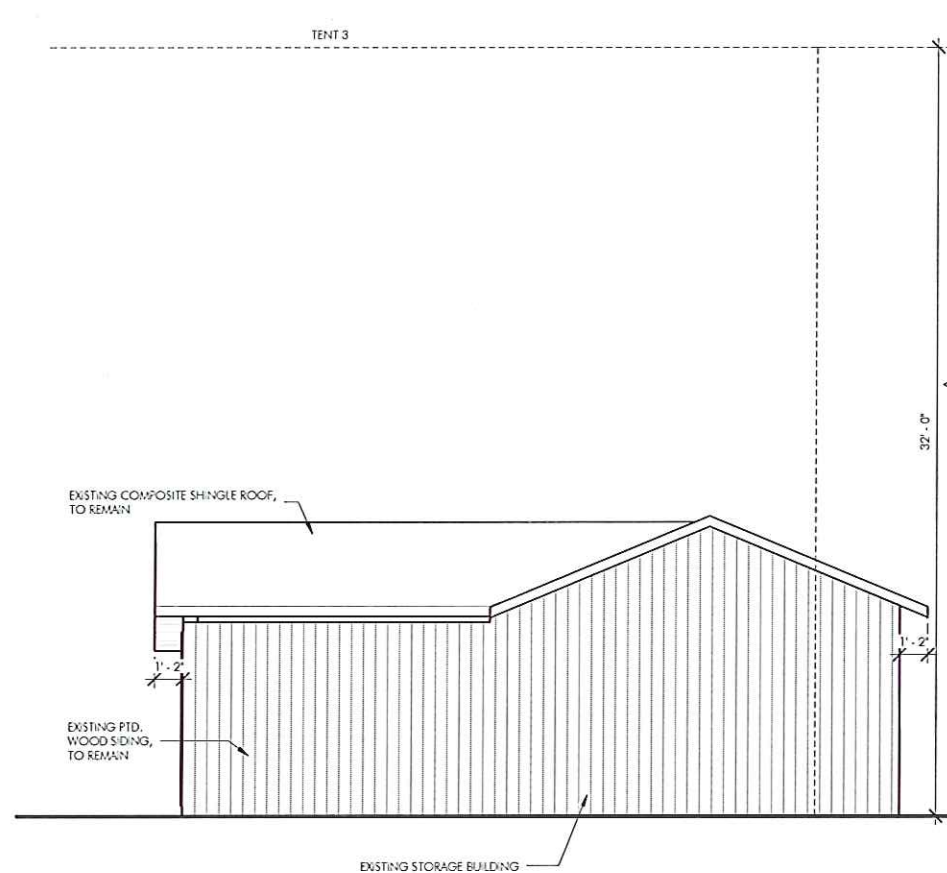


FIELD INSPECTION REQUIRED

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1 ELEVATION - EAST
1/4" = 1'-0"



2 ELEVATION - WEST
1/4" = 1'-0"

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EXTERIOR ELEVATIONS

A2.0

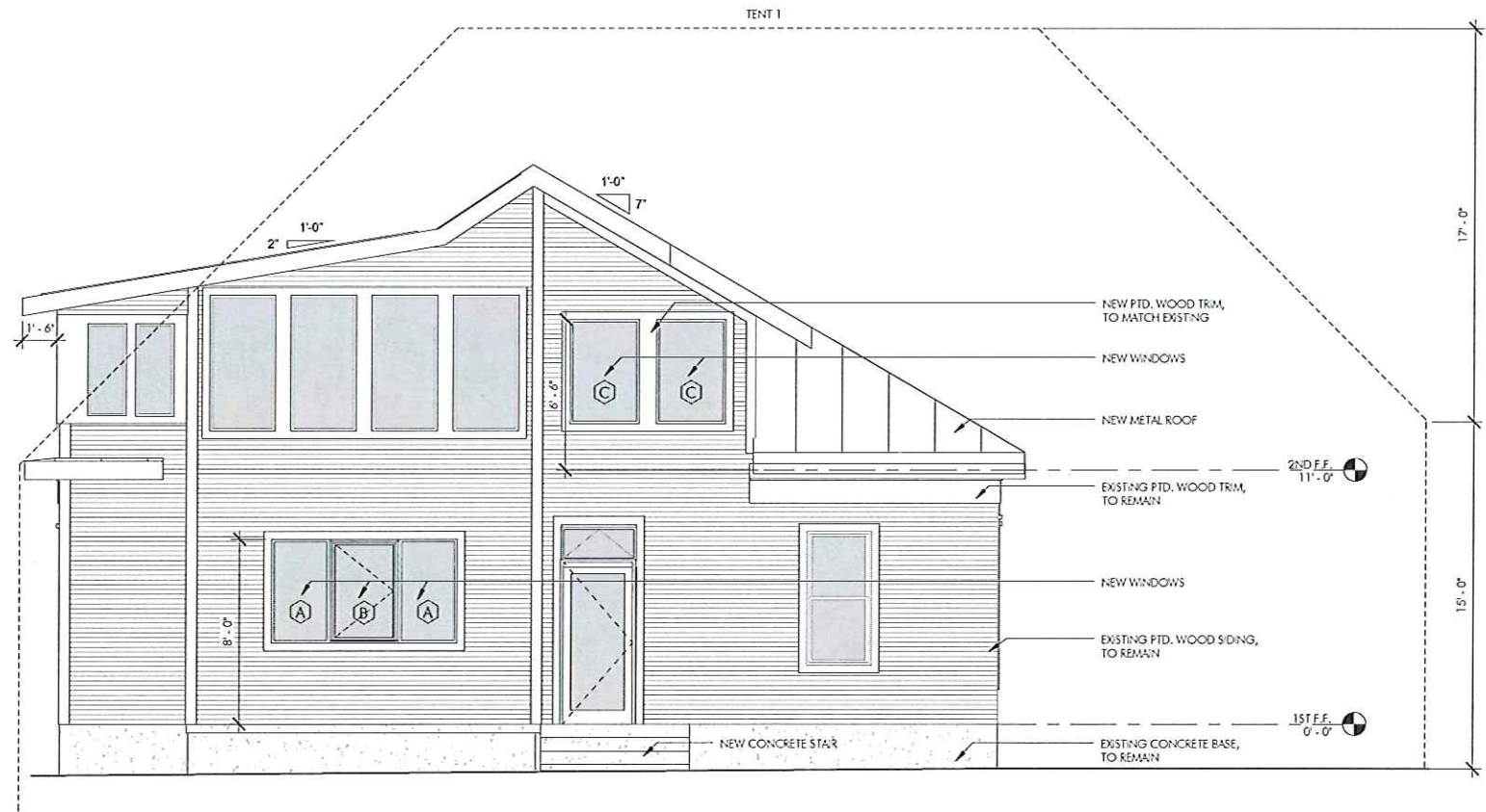


FIELD INSPECTION REQUIRED

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2 ELEVATION - NORTH
1/4" = 1'-0"



1 ELEVATION - SOUTH
1/4" = 1'-0"

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EXTERIOR ELEVATIONS

A2.1

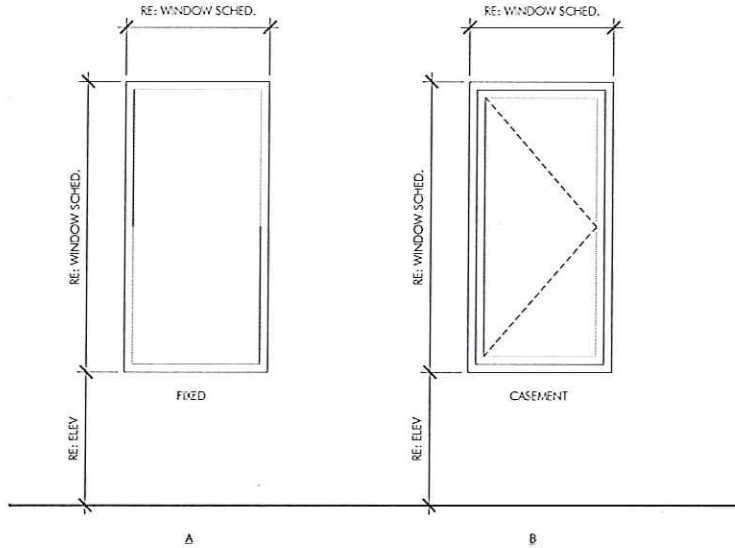
FIELD INSPECTION REQUIRED

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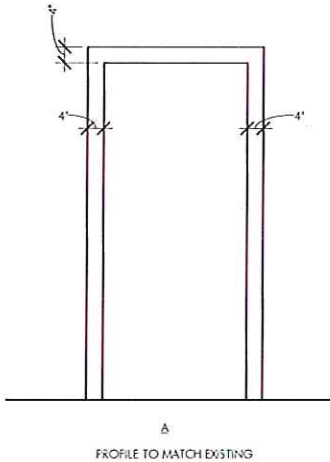
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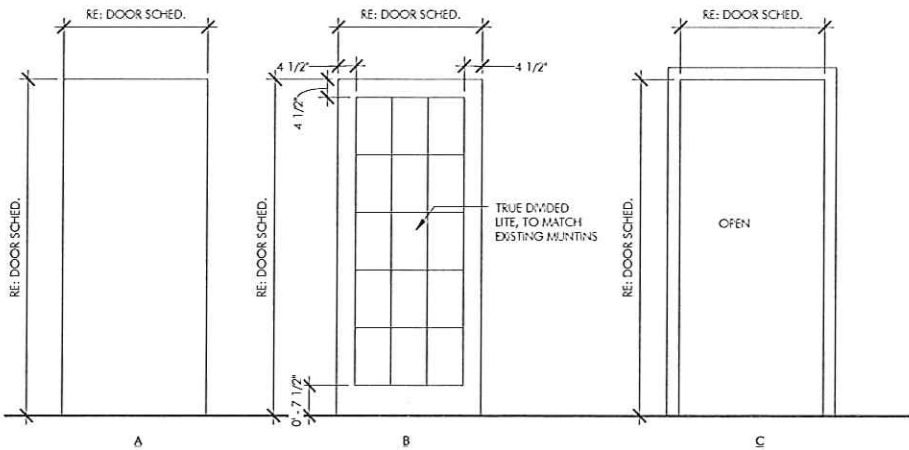
WINDOW TYPES

SCALE: 1/2" = 1'-0"



TRIM TYPES

SCALE: 1/2" = 1'-0"



DOOR TYPES

SCALE: 1/2" = 1'-0"

WINDOW SCHEDULE							
MARK	DESCRIPTION	HEAD HEIGHT	WIDTH	HEIGHT	Count	TYPE	COMMENTS
A	WOOD CLAD FIXED	8' - 0"	2' - 6"	4' - 6"	2	A	TO MATCH EX.
B	WOOD CLAD CASEMENT	8' - 0"	3' - 0"	4' - 6"	1	B	TO MATCH EX.
C	WOOD CLAD FIXED	6' - 6"	3' - 0"	4' - 6"	2	A	TO MATCH EX.

WINDOW NOTES:

- ALL SIZES TO BE VERIFIED ON SITE BY WINDOW FABRICATOR. SIZES NOTED IN THIS SCHEDULE ARE GENERAL.
- EXISTING DISCOVERED HEADER & SILL HEIGHTS TO BE MAINTAINED. ADJUST WINDOW SIZES TO FIT.
- ALL WINDOWS TO BE CUSTOM, FACTORY PRIMED WOOD INTERIOR, UNLESS NOTED OTHERWISE. EXTERIOR TO BE CLAD PREFINISHED ALUMINUM, COLOR TO BE SELECTED.
- GLAZING TO BE INSULATED, LOW 'E', UNLESS NOTED OTHERWISE. ALL WINDOWS TO MEET CITY OF AUSTIN ENERGY CODE W/ OVERALL U-FACTOR OF 0.51 (OR BETTER) AND A SHGC OF 0.30 (OR BETTER).
- PROVIDE TEMPERED GLAZING AS NOTED AND AS REQUIRED BY CODE - TO BE VERIFIED BY CONTRACTOR.

DOOR SCHEDULE							
DOOR #	WIDTH	HEIGHT	Count	DOOR	FRAME	HARDWARE GROUP	COMMENTS
				TYPE	TYPE		
0	3' - 0"	7' - 0"	1	B	A		
1	3' - 0"	7' - 0"	1	B	A		
2	2' - 6"	6' - 8"	1	A	A		POCKET
3	5' - 0"	6' - 8"	1	C	A		CASED OPENING
4	5' - 0"	6' - 8"	1	C	A		CASED OPENING
5	5' - 0"	6' - 8"	1	C	A		CASED OPENING
6	5' - 0"	7' - 0"	1	A	A		PAIR BIFOLD
7	1' - 7"	6' - 11"	1	A	A		
8	5' - 0"	6' - 8"	1	B	A		PAIR
9	2' - 8"	6' - 8"	1	C	A		
10	2' - 6"	6' - 8"	1	A	A		POCKET
11	2' - 8"	6' - 8"	1	C	A		
12	2' - 6"	6' - 8"	1	A	A		POCKET
13	2' - 6 1/2"	6' - 7"	1	A	A		SHOWER GLASS

DOOR NOTES:

- DOOR SIZES IN EXISTING OPENINGS ARE TO BE FIELD VERIFIED. SIZES NOTED IN THIS SCHEDULE FOR EXISTING OPENINGS ARE GENERAL.
- EXISTING HEADERS TO BE USED/RECONSTRUCTED, UNLESS NOTED OTHERWISE.
- PROVIDE TEMPERED GLAZING AS NOTED AND AS REQUIRED BY CODE, TO BE VERIFIED BY CONTRACTOR.
- DO NOT REUSE ORIGINAL MASONRY OPENINGS OR TRIMMED OPENINGS WITHOUT ARCHITECT'S APPROVAL.
- GLAZING TO BE INSULATED, LOW 'E', UNLESS NOTED OTHERWISE. ALL OPENINGS TO MEET CITY OF AUSTIN ENERGY CODE W/ OVERALL U-FACTOR OF 0.51 (OR BETTER) AND A SHGC OF 0.30 (OR BETTER).
- PROVIDE WEATHERSTRIPPING AT ALL EXTERIOR DOORS.
- HARDWARE TO BE SELECTED.

SCHEDULE - ROOM FINISH							
NAME	FLOOR	BASE	WALL				CEILING
			NORTH	EAST	SOUTH	WEST	
POWDER	TILE	TILE	PTD. GYP.	PTD. GYP/TILE	TILE	PTD. GYP	PTD. GYP.
KITCHEN	EX. REFIN. WOOD	WOOD	PTD. GYP/TILE	PTD. GYP.	PTD. GYP./TILE	PTD. GYP./TILE	PTD. GYP.
HALLWAY	EX. REFIN. WOOD	WOOD	PTD. GYP.	PTD. GYP.	PTD. GYP.	-	PTD. GYP.
DINING	EX. REFIN. WOOD	WOOD	PTD. GYP.	PTD. GYP.	PTD. GYP.	PTD. GYP.	PTD. GYP.
PANTRY	EX. REFIN. WOOD	WOOD	PTD. GYP.	PTD. GYP.	PTD. GYP.	PTD. GYP.	PTD. GYP.
LIBRARY	NEW WOOD	WOOD	EXIST	PTD. GYP.	PTD. GYP.	PTD. GYP.	PTD. GYP.
SUNROOM	EX. REFIN. WOOD	WOOD	PTD. GYP.	PTD. GYP.	PTD. GYP.	PTD. GYP.	PTD. EX. SHIPLAP
MASTER BEDROOM	EX. REFIN. WOOD	WOOD	PTD. GYP.	PTD. GYP.	PTD. GYP.	PTD. GYP.	PTD. EX. SHIPLAP
SARAH CLOSET	EX. REFIN. WOOD	NA	PTD. GYP.	PTD. GYP.	PTD. GYP.	PTD. GYP.	PTD. EX. SHIPLAP
MASTER BATH	TILE	TILE	PTD. GYP./TILE	PTD. GYP/TILE	PTD. GYP./TILE	PTD. GYP./TILE	PTD. EX. SHIPLAP
BEN CLOSET	EX. REFIN. WOOD	NA	PTD. GYP.	PTD. GYP.	PTD. GYP.	PTD. GYP.	PTD. GYP.
SHOWER	TILE	TILE	TILE	TILE	TILE	TILE	PTD. EX. SHIPLAP

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SCHEDULES

A6.0