

**HISTORIC LANDMARK COMMISSION
NOVEMBER 18, 2013
NATIONAL REGISTER HISTORIC DISTRICT
NRD-2013-0087
Rainey Street
91 Rainey Street**

PROPOSAL

Construct an eight-story, mixed use building in place of six contributing houses.

PROJECT SPECIFICATIONS

On December 17, 2012 the Historic Landmark Commission voted to allow for the relocation of the houses at 89, 89 1/2, 91, 93 and 95 Rainey Street, and on February 25, 2013 they voted to approve the relocation of the house at 97 Rainey Street. A condition of the relocation permits included staff approval of the new locations for the houses. Staff has been working with the applicant and appropriate new locations have been found. Four of the houses are planned to be relocated by the Guadalupe Neighborhood Development Corporation to an affordable housing development off Tillery Street, one will be relocated to E. Cesar Chavez for a commercial use, and a sixth will be relocated within the Rainey Subdistrict for use by the Mexican American Cultural Center.

The applicant proposes to replace those houses with an eight-story, mixed use building that will occupy multiple existing parcels spanning from Rainey Street to East Avenue. The new building will be a contemporary design constructed of various materials, and will be built out to the sidewalk.

STANDARDS FOR REVIEW

The existing properties are contributing to the Rainey Street National Register Historic District. Applicable general design review guidelines state:

- The distinguishing original qualities or character of a property and its environment shall not be destroyed. Removal or alteration of any historic material or distinctive architectural features should be avoided.
- All properties shall be recognized as products of their own time. Alterations which have no historical basis and which seek to create an earlier appearance shall be discouraged.
- Changes which have taken place in the course of time may have acquired significance in their own right, and shall be recognized and respected.
- Distinctive stylistic features or examples of skilled craftsmanship which characterize a property shall be treated with sensitivity.
- Deteriorated architectural features shall be repaired rather than replaced whenever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture, and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historical, physical, or pictorial evidence.

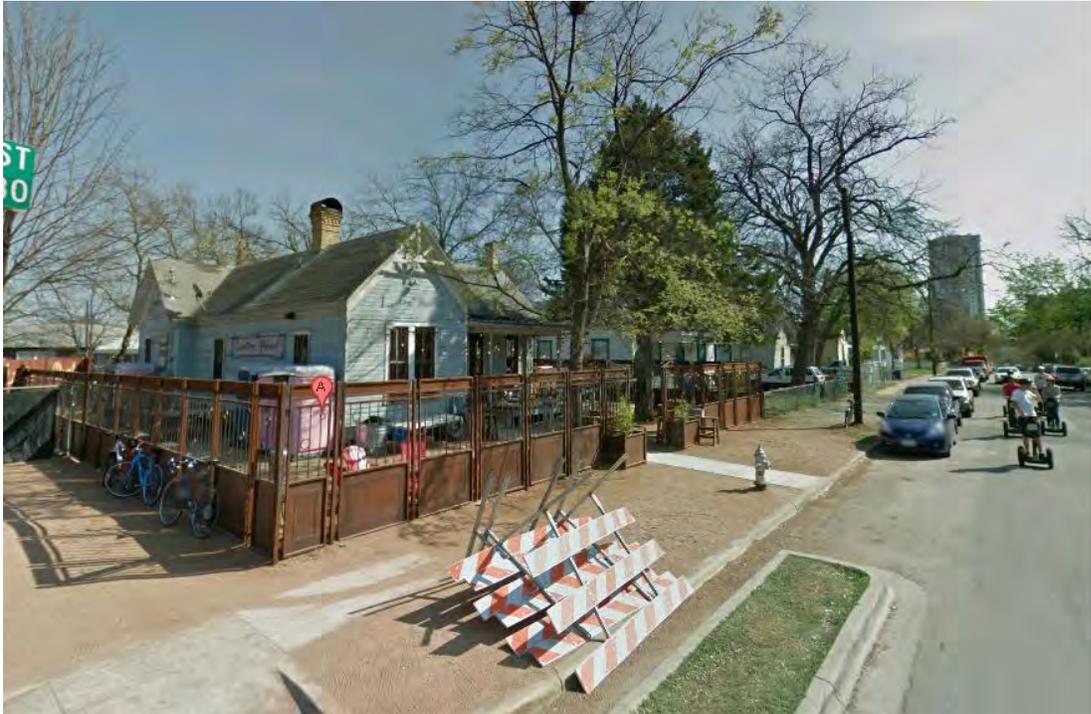
- Contemporary design for alterations and additions to existing properties are appropriate when such alterations and additions do not destroy significant historic, architectural, or cultural material and are compatible with the size, scale, color, material, and character of the property, neighborhood, or environment.
- Whenever, possible, new additions or alterations to structures shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the structure would not be impaired.

The scale, massing, form and materials of the proposed new building are not compatible with the low-scale, residential character of the Rainey Street National Register Historic District so does not meet the general guidelines.

STAFF RECOMMENDATION

Release the permit per the proposed design with the request that the applicant consider a design that is more compatible with the character of the District.

PHOTOS



Street views of Rainey Street



Rendering of new building from Driskill Street and Rainey Street



Rendering of new building from East Avenue looking south.



Rendering of new building from East Avenue looking north.



CASE#: NRD-2013-0087
 LOCATION: 91 Rainey Street



-  SUBJECT TRACT
-  ZONING BOUNDARY



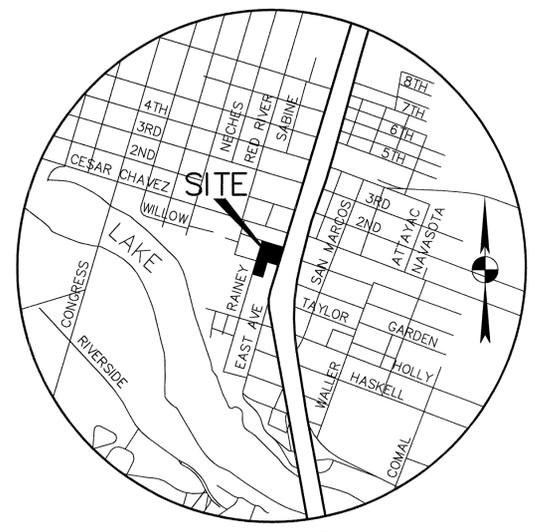
This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

This product has been produced by the Planning and Development Review Department for the sole purpose of geographic reference. No warranty is made by the City of Austin regarding specific accuracy or completeness.

SHEET INDEX

Table with columns: SHEET NO., DESCRIPTION, Sheet Number, Sheet Title. Lists sheets 1 through 29 including COVER, PLAT, EXISTING CONDITIONS, DEMOLITION PLAN, EROSION & SEDIMENTATION CONTROL PLAN, etc.

SITE DEVELOPMENT PERMIT PLANS FOR RAINEY STREET 91 RAINEY STREET



VICINITY MAP

Form titled 'WATER AND WASTEWATER SERVICE EXTENSION REQUEST FOR CONSIDERATION'. Includes fields for Name (Rainey & Driskill), Service Requested (Wastewater), Address (91 RAINEY ST), and various utility specifications.

OWNER/DEVELOPER: AUSTIN RAINEY ST. D/E/P, LLC 3411 RICHMOND AVENUE, SUITE 200 HOUSTON, TEXAS 77046 CONTACT: CURTIS BURNETT (832) 209-1257

ARCHITECT: ZCA RESIDENTIAL, LLC 700 LOUISIANA STREET, SUITE 350 HOUSTON, TEXAS 77002 (713) 374-0000

ENGINEER: BURY+PARTNERS, INC. 221 WEST SIXTH STREET, SUITE 600 AUSTIN, TEXAS 78701 (512) 328-0011

LANDSCAPE ARCHITECT: KUDELA & WEINHEIMER 1000 CENTRAL PKWY N #268, SAN ANTONIO, TEXAS 78232 (210) 349-3500

WATERSHED STATUS: THIS TRACT IS LOCATED WITHIN THE WALLER CREEK AND LADY BIRD LAKE (URBAN) WATERSHEDS AND DOES NOT LIE OVER THE EDWARDS AQUIFER RECHARGE ZONE...

FLOODPLAIN INFORMATION: THIS PROPERTY IS NOT LOCATED IN THE 100 YEAR FLOOD PLAIN OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 6000 48453C0465H...

LEGAL DESCRIPTION: A ONE LOT SUBDIVISION CONSISTING OF 2.213 ACRES OF LAND OUT OF THE THOMAS CHAMBERS SURVEY, ABSTRACT NO. 7, SITUATED IN THE CITY OF AUSTIN, TRAVIS COUNTY, TEXAS...

PARKLAND FEES: PARKLAND FEES HAVE BEEN PAID FOR _____ UNITS AT A RATE OF \$650/UNIT.

LICENSE AGREEMENT: LICENSE AGREEMENT HAS BEEN REVIEWED AND APPROVED. LICENSE AGREEMENT MUST BE RECORDED PRIOR TO ISSUANCE OF THE BUILDING PERMIT BY THE CITY OF AUSTIN.

PROJECT DESCRIPTION: THIS PROJECT CONSISTS OF A 8-STORY MIXED USE BUILDING.

BENCHMARK INFORMATION: TBM 50: PK NAIL SET IN BACK OF CURB AT THE INTERSECTION OF THE NORTHERLY RIGHT-OF-WAY LINE OF DRISKILL STREET AND THE WESTERLY RIGHT-OF-WAY LINE OF INTERSTATE HIGHWAY 35 FRONTAGE ROAD...

Austin Water Utility logo and contact information. Includes address: 625 East 10th Street, Suite 715, Austin, Texas 78701. Also includes a signature block for Jonathan E. McKee, P.E., Director of Austin Water Utility.

PERMIT NO. : SP-2013-0131C
SUBDIVISION : LOTS 1, BLOCK "A" RAINEY AND DRISKILL SUBDIVISION
ADDRESS : 91 RAINEY STREET
SUBMITTAL DATE : APRIL 05, 2013

SUBMITTED BY : JONATHAN E. MCKEE, P.E. BURY+PARTNERS, INC. 221 W. SIXTH STREET, SUITE 600 AUSTIN, TEXAS 78701 (512) 328-0011



REVIEWED BY AND APPROVED FOR ACCEPTANCE: PLANNING AND DEVELOPMENT REVIEW DEPARTMENT DATE, CITY OF AUSTIN FIRE DEPARTMENT DATE, AUSTIN WATER UTILITY DATE, INDUSTRIAL WASTE DEPARTMENT DATE, DEVELOPMENT PERMIT NUMBER

FIRE FLOW REQUIREMENTS table. Columns: (PER 2012 IFC TABLE B105.1), BLDG. TYPE, BLDG. FIRE AREA, BLDG. HEIGHT, CREDITS, REQUIRED FLOW, WATER PRESSURE ZONE, STATIC PRESSURE, DOMESTIC DEMAND, FIXTURE UNITS.



SHEET 1 OF 29

Form titled 'SITE PLAN RELEASE' for City Use Only. Includes fields for File Number, Expiration Date, Case Manager, Application Date, and approval signatures from Planning and Development Review Department, City of Austin Fire Department, Austin Water Utility, and Industrial Waste Department.

I, JONATHAN E. MCKEE, P.E., CERTIFY THAT THESE ENGINEERING DOCUMENTS ARE COMPLETE, ACCURATE AND ADEQUATE FOR THE INTENDED PURPOSES, INCLUDING CONSTRUCTION, BUT ARE NOT AUTHORIZED FOR CONSTRUCTION PRIOR TO FORMAL CITY APPROVAL.

FILE: g:\111120\10001\11112010001CVR01.dwg

Bury+Partners logo and contact information: 221 West Sixth Street, Suite 600, Austin, Texas 78701. Tel: (512)328-0011 Fax (512)328-0325. TBPE Registration Number F-1048. Bury+Partners, Inc. © Copyright 2013.

RAINEY AND DRISKILL

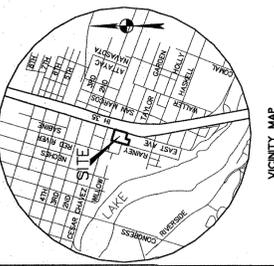
GENERAL NOTES:
 1. NO LOT OR WASTEWATER SYSTEM SHALL BE OCCUPIED UNTIL CONNECTED TO THE CITY OF AUSTIN WATER AND WASTEWATER SYSTEM.
 2. WATER AND WASTEWATER SYSTEMS SERVING THE SUBDIVISION SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH THE CITY OF AUSTIN STANDARDS, PLANS AND SPECIFICATIONS, LATEST EDITION, SUBMITTED TO THE CITY OF AUSTIN WATER AND WASTEWATER DEPARTMENT FOR REVIEW.
 3. ALL STREETS, DRAINAGE, SEWERLINES, WATER AND WASTEWATER LINES, AND BROOKS CONTROL SHALL BE CONSTRUCTED AND INSTALLED TO CITY OF AUSTIN STANDARDS.
 4. PRIOR TO CONSTRUCTION ON LOTS IN THIS SUBDIVISION, DRAINAGE PLANS WILL BE AMOUNT ESTABLISHED BY THE REGIONAL DRAINAGE PLANS APPROVED BY THE CITY OF AUSTIN. DRAINAGE PLANS SHALL BE DETERMINED BY THE USE OF CRUISE FLOWING OR OTHER APPROVED METHODS.
 5. NO BUILDING, FENCES, LANDSCAPING OR OTHER SUCH STRUCTURES ARE PERMITTED IN ANY LOT OR WASTEWATER SYSTEM UNTIL THE CITY OF AUSTIN STANDARDS, PLANS AND SPECIFICATIONS, LATEST EDITION, SUBMITTED TO THE CITY OF AUSTIN WATER AND WASTEWATER DEPARTMENT FOR REVIEW.
 6. ALL STREETS, DRAINAGE, SEWERLINES, WATER AND WASTEWATER LINES, AND BROOKS CONTROL SHALL BE CONSTRUCTED AND INSTALLED TO CITY OF AUSTIN STANDARDS.
 7. BEFORE ANY CONSTRUCTION OF THIS SUBDIVISION, THE CITY OF AUSTIN ASSUMES NO OBLIGATION TO CONSTRUCT ANY INFRASTRUCTURE IN CONNECTION WITH THIS SUBDIVISION AND SUBDIVISION IS THE RESPONSIBILITY OF THE DEVELOPER AND/OR OWNERS OF THE LOTS BEING OCCUPIED. FAILURE TO OBTAIN NECESSARY PERMITS, SITE PLAN APPROVALS, AND/OR CERTIFICATES OF OCCUPANCY FOR THE CITY OF AUSTIN SHALL BE THE RESPONSIBILITY OF THE DEVELOPER AND/OR OWNERS OF THE LOTS BEING OCCUPIED. THE CITY OF AUSTIN ASSUMES NO RESPONSIBILITY FOR CONSTRUCTION OF SUBDIVISION IMPROVEMENTS WHICH CONSTITUTE A PUBLIC UTILITY OR A PUBLIC WORKS PROJECT. THE CITY OF AUSTIN ASSUMES NO RESPONSIBILITY FOR CONSTRUCTION OF SUBDIVISION IMPROVEMENTS WHICH CONSTITUTE A PUBLIC UTILITY OR A PUBLIC WORKS PROJECT. THE CITY OF AUSTIN ASSUMES NO RESPONSIBILITY FOR CONSTRUCTION OF SUBDIVISION IMPROVEMENTS WHICH CONSTITUTE A PUBLIC UTILITY OR A PUBLIC WORKS PROJECT.
 8. ALL RESTRICTIONS AND NOTES FROM THE PREVIOUS EXISTING SUBDIVISION, DRISKILL'S AND RAINEY'S, SHALL APPLY TO THIS RESUBDIVISION. DRISKILL'S AND RAINEY'S, TEXAS, KNOWN AS "SOUTH EAST END", SHALL APPLY TO THIS RESUBDIVISION. DRISKILL'S AND RAINEY'S, TEXAS, KNOWN AS "SOUTH EAST END", SHALL APPLY TO THIS RESUBDIVISION.
 9. SURVEYOR'S CERTIFICATION:
 I, MARK J. ZIEGLER, AM AUTHORIZED UNDER THE LAWS OF THE STATE OF TEXAS TO PRACTICE THE PROFESSION OF LAND SURVEYING, AND HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM AN ACTUAL SURVEY MADE ON THE GROUND SAFETY OF THE PROPERTY MADE UNDER MY SUPERVISION.
 MARK J. ZIEGLER, SURVEYOR
 TEXAS REGISTRATION NO. 5397
 211 WEST SIXTH STREET, SUITE 600
 AUSTIN, TEXAS 78701

NOTARY PUBLIC:
 I, _____, NOTARY PUBLIC FOR THE STATE OF TEXAS, MY COMMISSION EXPIRES _____ 2013 A.D.
FLOOD PLAIN NOTE:
 NO PORTION OF THE SUBJECT PROPERTY IS LOCATED WITHIN THE BOUNDARIES OF A FLOOD PLAIN AS SHOWN ON THE FLOOD HAZARD INVENTORY MAP, SHOWING ON MAP NO. 1302010001, DATED SEPTEMBER 24, 2008 FOR TRAVIS COUNTY, TEXAS AND INCORPORATED AREAS.
ENGINEER'S CERTIFICATION:
 I, JONATHAN E. MASKE, AM AUTHORIZED UNDER THE LAWS OF THE STATE OF TEXAS TO PRACTICE THE PROFESSION OF LAND SURVEYING, AND HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM AN ACTUAL SURVEY MADE ON THE GROUND SAFETY OF THE PROPERTY MADE UNDER MY SUPERVISION.
 JONATHAN E. MASKE, SURVEYOR
 TEXAS REGISTRATION NO. 10180
 211 WEST SIXTH STREET, SUITE 600
 AUSTIN, TEXAS 78701

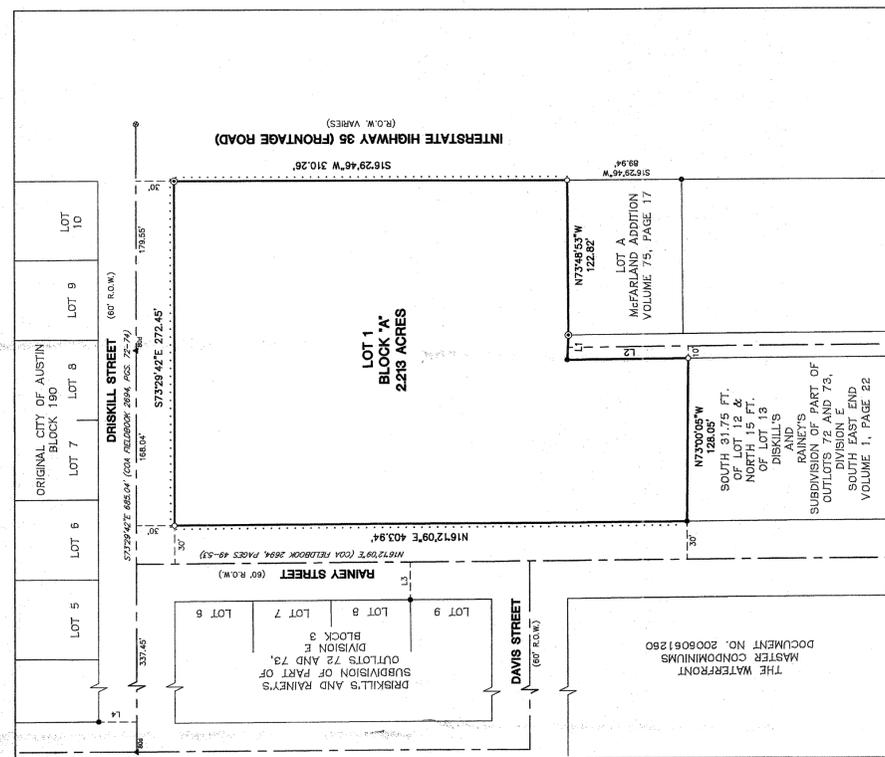


SHEET 2 OF 2

RAINEY AND DRISKILL
 A ONE LOT SUBDIVISION
 CONSISTING OF 2.213 ACRES
 DATE: MARCH 2013
 PREPARED BY:
Bury+Partners
 221 West Sixth Street, Suite 600
 Austin, Texas 78701
 Tel. (512) 359-0011 Fax (512) 359-0025
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RAINEY AND DRISKILL



LINE TABLE

NO.	BEARING	DISTANCE
1.	N02°42'28"W	20.00'
2.	S89°52'12"E	29.95'
3.	S23°42'31"E	29.95'
4.	S89°52'12"E	29.95'

BEARING BASIS NOTE
 THE BASIS OF BEARING OF THE SURVEY IS THE MERIDIAN OF THE SURVEY. THE COORDINATE SYSTEM, CENTRAL ZONE, MAGNETIC DECLINATION, AND ALL REQUIRED BUILDING PERMITS AND/OR A NOTICE OF CONSTRUCTION (IF A BUILDING PERMIT IS NOT REQUIRED), MUST ALSO BE APPROVED PRIOR TO THE PROJECT EXPIRATION DATE.

RAINEY AND DRISKILL
 A ONE LOT SUBDIVISION
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FOR CITY USE ONLY:

SITE PLAN APPROVAL Sheet 2 of 22
 FILE NUMBER: _____ APPLICATION DATE: _____
 APPROVED BY COMMISSION ON: _____ UNDER SECTION _____ OF THE CITY OF AUSTIN CODE
 EXPIRATION DATE (25-5-81.LDC) CASE MANAGER _____
 PROJECT EXPIRATION DATE (ORD.#970905-A) _____ DWPZ _____ DDZ _____

Director, Planning and Development Review Department
 RELEASED FOR GENERAL COMPLIANCE: _____ ZONING: _____

Rev. 1 _____ Correction 1 _____
 Rev. 2 _____ Correction 2 _____
 Rev. 3 _____ Correction 3 _____

FINAL PLAT MUST BE RECORDED BY THE PROJECT EXPIRATION DATE, IF APPLICABLE. SUBSEQUENT SITE PLANS WHICH DO NOT COMPLY WITH THE CODE CURRENTLY AT THE TIME OF FILING, AND ALL REQUIRED BUILDING PERMITS AND/OR A NOTICE OF CONSTRUCTION (IF A BUILDING PERMIT IS NOT REQUIRED), MUST ALSO BE APPROVED PRIOR TO THE PROJECT EXPIRATION DATE.

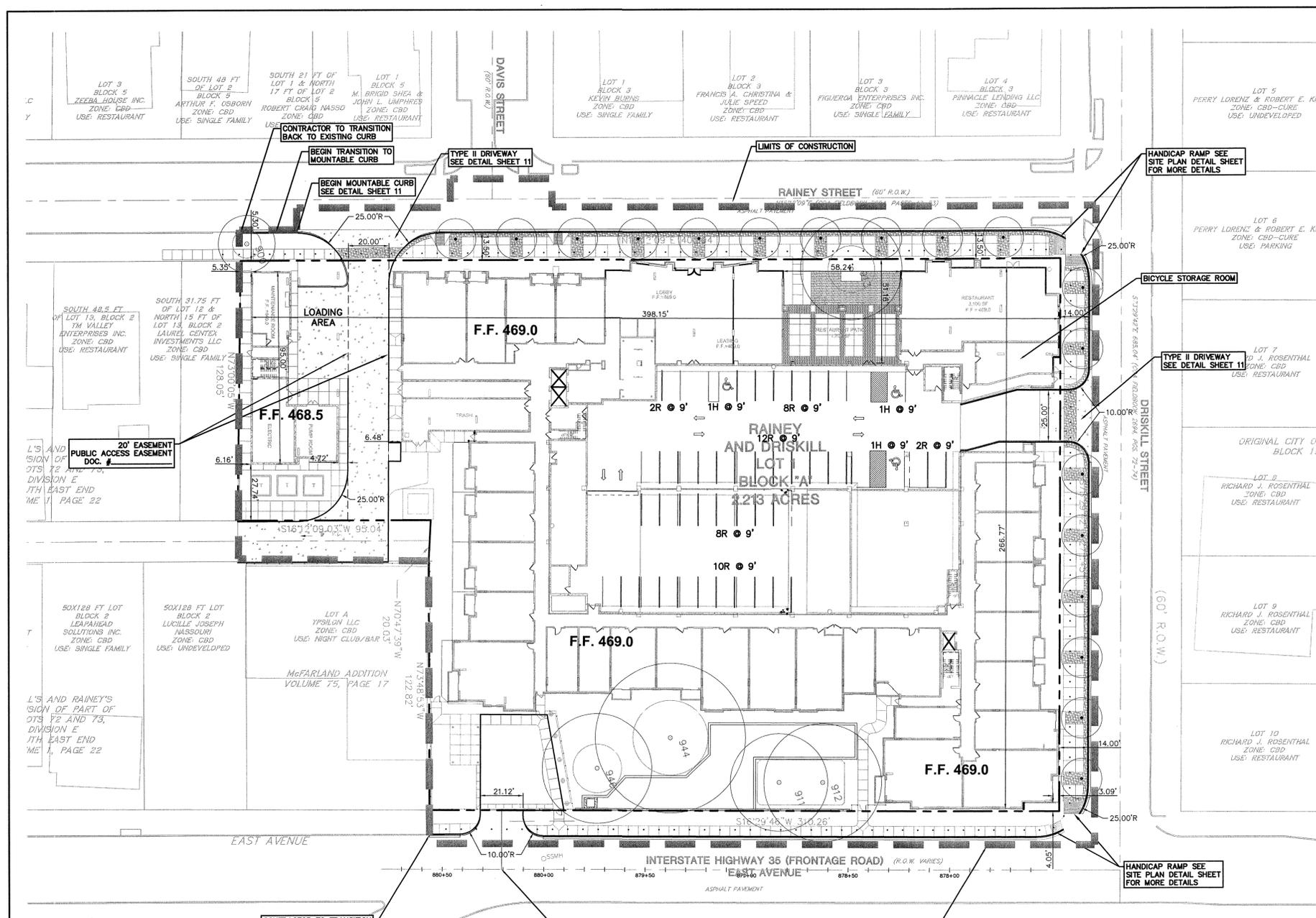
DRAWN BY: DGT
 DESIGNED BY: JEM
 REVIEWED BY: JEM
 PROJECT NO.: 111120-10001

RAINEY STREET
91 RAINEY STREET
AUSTIN RAINEY ST. D/E/P, LLC

PLAT

DATE: _____ NO. _____ REVISION _____ APPROVAL _____

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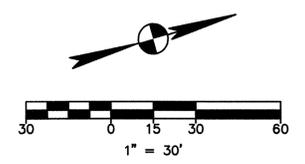


- NOTES:**
- ALL EXTERIOR LIGHTING WILL BE FULL CUT-OFF AND FULLY SHIELDED IN COMPLIANCE WITH SUBCHAPTER E.2.5 AND WILL BE REVIEWED DURING BUILDING PLAN REVIEW. ANY CHANGE OR SUBSTITUTION OF LAMP/LIGHT FIXTURES SHALL BE SUBMITTED TO THE DIRECTOR FOR APPROVAL IN ACCORDANCE WITH SECTION 2.5.2.E.

- SCREENING FOR SOLID WASTE COLLECTION AND LOADING AREAS SHALL BE THE SAME AS, OR OF EQUAL QUALITY TO, PRINCIPAL BUILDING MATERIALS.
- SEE LANDSCAPE AND ARCHITECT PLANS FOR SIDEWALK LAYOUT AND DETAILED GRADING INFORMATION.
- A CONDITIONAL LETTER OF APPROVAL IS REQUIRED BY AUSTIN ENERGY GREEN BUILDING PROGRAM PRIOR TO BUILDING PERMIT.
- COMPLIANCE WITH THE COMMERCIAL AND MULTI-FAMILY RECYCLING ORDINANCE IS MANDATORY FOR MULTI-FAMILY COMPLEXES, AND BUSINESSES AND OFFICE BUILDINGS. FOR INFORMATION CALL 974-8400 OR VISIT [HTTP://WWW.AUSTINTEXAS.GOV/DEPARTMENT/CURRENT-COMMERCIAL-AND-MULTI-FAMILY-RECYCLING-ORDINANCE](http://www.austintexas.gov/department/current-commercial-and-multi-family-recycling-ordinance). SPACE SHOULD BE PROVIDED ON-SITE FOR STORAGE OF RECYCLING CONTAINERS. IN ADDITION, A COPY OF THE ENCLOSED MULTI-FAMILY AND COMMERCIAL RECYCLING PLAN FORM MUST BE COMPLETED BY THE PROPERTY OWNER AND SENT TO THE SOLID WASTE SERVICES DEPARTMENT WITHIN 14 DAYS AFTER THE BUILDINGS ARE OCCUPIED.
- ALL EXISTING STRUCTURES SHOWN TO BE REMOVED WILL REQUIRE A DEMOLITION PERMIT FROM THE CITY OF AUSTIN PLANNING AND DEVELOPMENT REVIEW DEPARTMENT.
- NO CERTIFICATE OF OCCUPANCY MAY BE ISSUED FOR THE PROPOSED RESIDENTIAL CONDOMINIUM PROJECT UNTIL THE OWNER OR OWNERS OF THE PROPERTY HAVE COMPLIED WITH CHAPTER 81 AND 82 OF THE PROPERTY CODE OF THE STATE OF TEXAS OR ANY OTHER STATUTES ENACTED BY THE STATE CONCERNING CONDOMINIUMS.
- STATIONING ALONG I-35 SOUTHBOUND FRONTAGE ROAD AS REFERENCED IN TxDOT "PLANS OF PROPOSED STATE HIGHWAY IMPROVEMENT, FEDERAL AID PROJECT I-35-3(0) 234, TRAVIS COUNTY, FROM EAST 17TH STREET TO NORTH END OF COLORADO RIVER BRIDGE" PLANS (CITY OF AUSTIN AS-BUILT RECORDS PROJECT NO. A-5-17).

LEGEND

EXISTING	PROPOSED	DESCRIPTION
		PROPERTY (R.O.W.) LINE
		RECORD INFORMATION
		LIGHT POLE
		POWER POLE
		DOWN GUY
		TRANSFORMER (SIZE VARIES)
		FIRE HYDRANT
		WATER VALVE
		WATER METER
		WATER METER VAULT
		WATER MANHOLE
		TELEPHONE RISER
		CABLE TV RISER
		ELECTRIC BOX
		ELECTRIC METER
		GAS METER
		GAS VALVE
		TRAFFIC CONTROL BOX
		TRAFFIC SIGNAL POST
		GRATE INLET (SIZE VARIES)
		GREASE TRAP (SIZE VARIES)
		WIRE FENCE
		WOOD FENCE
		CHAIN LINK FENCE
		OVERHEAD ELECTRIC
		ELECTRIC MANHOLE (SIZE VARIES)
		WASTEWATER MANHOLE (SIZE VARIES)
		STORMSEWER MANHOLE (SIZE VARIES)
		TELEPHONE MANHOLE (SIZE VARIES)
		DUMPSTER
		TRASH COMPACTOR
		CURB & GUTTER
		EDGE OF PAVEMENT
		FIRE LANE DESIGNATION
		HANDICAP ACCESS ROUTE
		CONCRETE SIDEWALKS
		CONCRETE PAVER
		WALL
		SIGN
		WHEELSTOP
		BOLLARD
		PARKING COUNT (REGULAR SPACES)
		PARKING COUNT (COMPACT SPACES)
		PARKING COUNT (HANDICAP SPACES)
		HANDICAP SPACE
		HANDICAP ROUTE
		CAPITAL VIEW CORRIDOR POINT
		SAW CUT
		CRUSHED GRANITE
		LIMITS OF CONSTRUCTION



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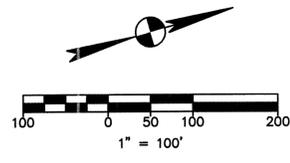


SITE PLAN

RAINEY STREET
91 RAINEY STREET
AUSTIN RAINEY ST. D/E/P, LLC

DRAWN BY: DGT
 DESIGNED BY: JEM
 REVIEWED BY: JEM
 PROJECT NO.: 111120-10001

SHEET **9** OF 29

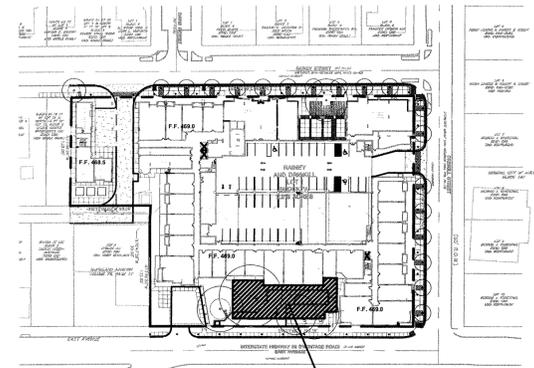


THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

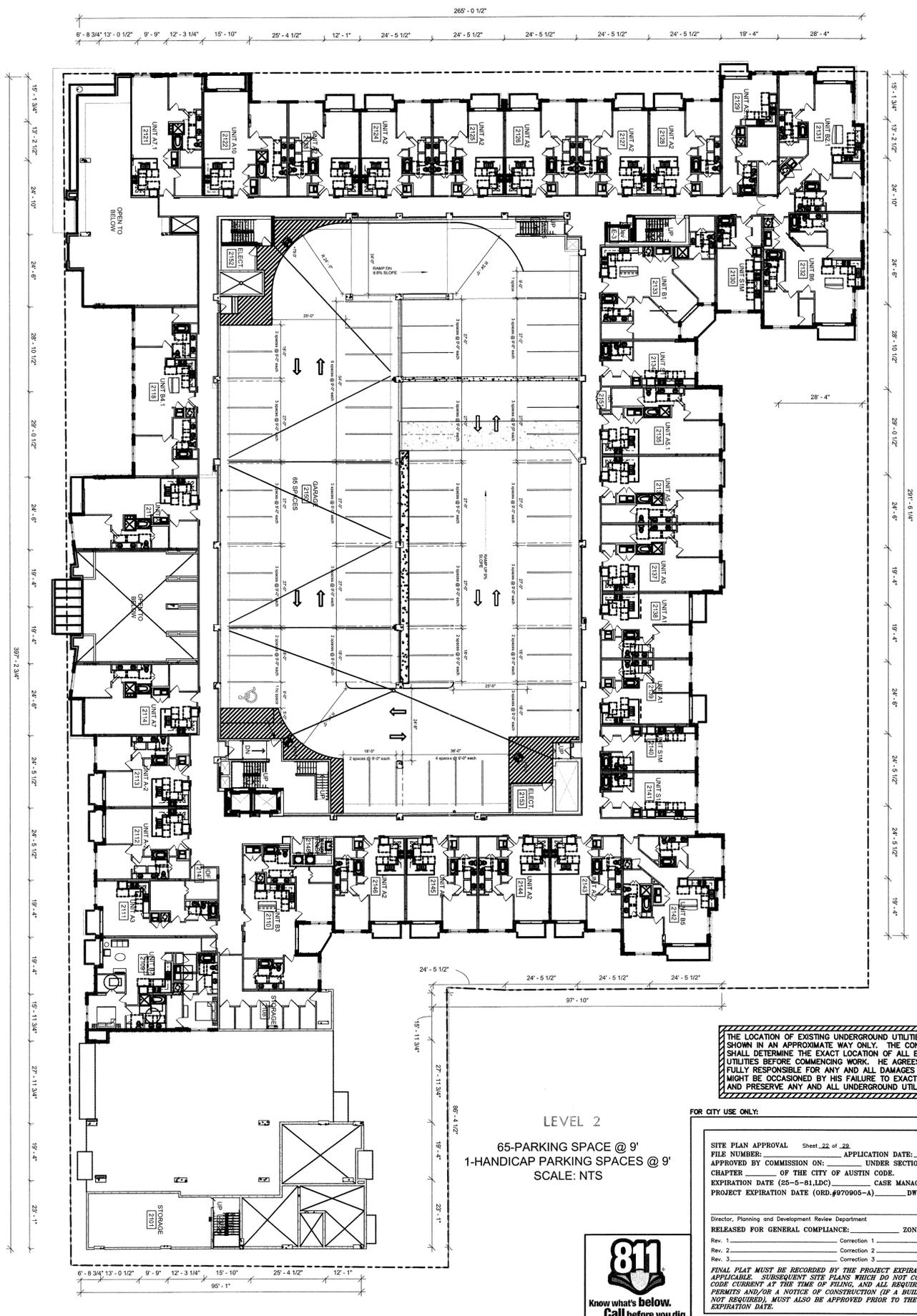
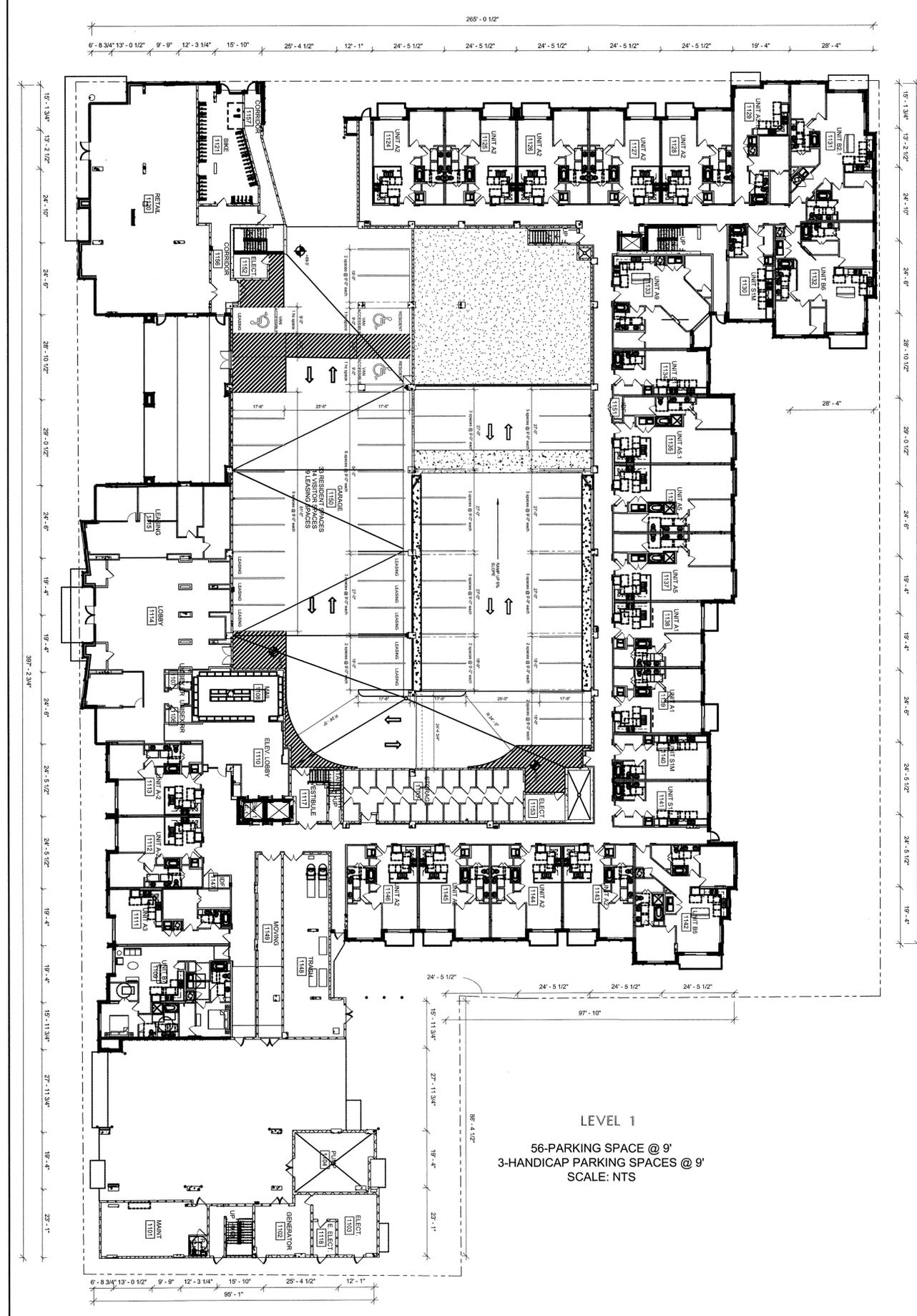
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SITE PLAN APPROVAL Sheet 9 of 29
 FILE NUMBER: _____ APPLICATION DATE: _____
 APPROVED BY COMMISSION ON: _____ UNDER SECTION _____ OF CHAPTER _____ OF THE CITY OF AUSTIN CODE.
 EXPIRATION DATE (25-5-81.LDC) CASE MANAGER _____
 PROJECT EXPIRATION DATE (ORD.#070905-A) DWPZ DDZ _____

Director, Planning and Development Review Department
 RELEASED FOR GENERAL COMPLIANCE: _____ ZONING: _____
 Rev. 1 _____ Correction 1 _____
 Rev. 2 _____ Correction 2 _____
 Rev. 3 _____ Correction 3 _____



APPROX. 0.116 ACRES OPEN SPACE (>5%) PER SUBCHAPTER E. 2.7.



THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

FOR CITY USE ONLY:

SITE PLAN APPROVAL Sheet 22 of 22
 FILE NUMBER: _____ APPLICATION DATE: _____
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APPROVAL	
REVISION	
DATE	NO.

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 221 West Sixth Street, Suite 600
 Austin, Texas 78701
 Tel. (512)329-0011 Fax (512)329-0325
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ARCHITECTURAL FLOOR PLAN & GARAGE LAYOUT LEVEL 1 & 2

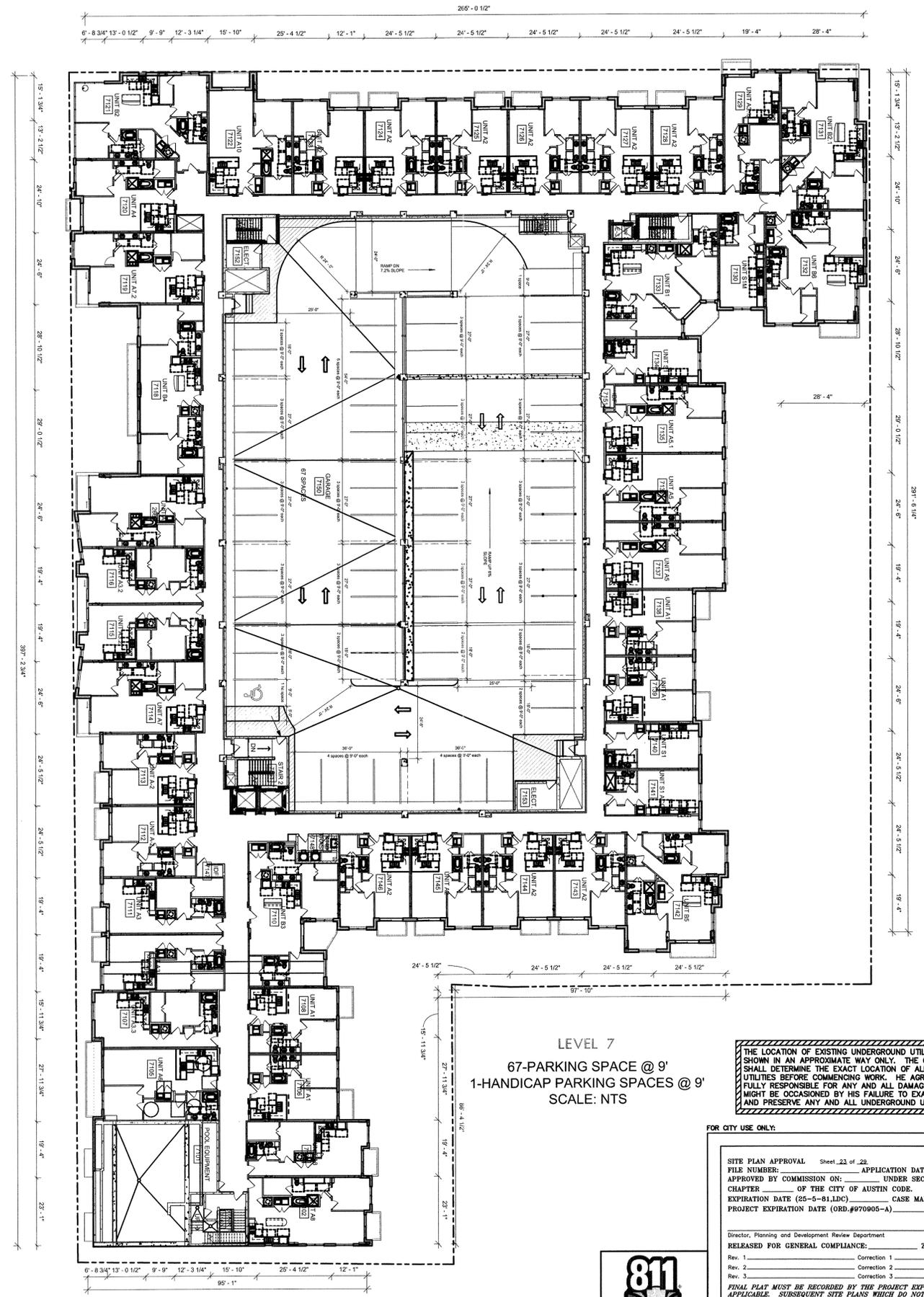
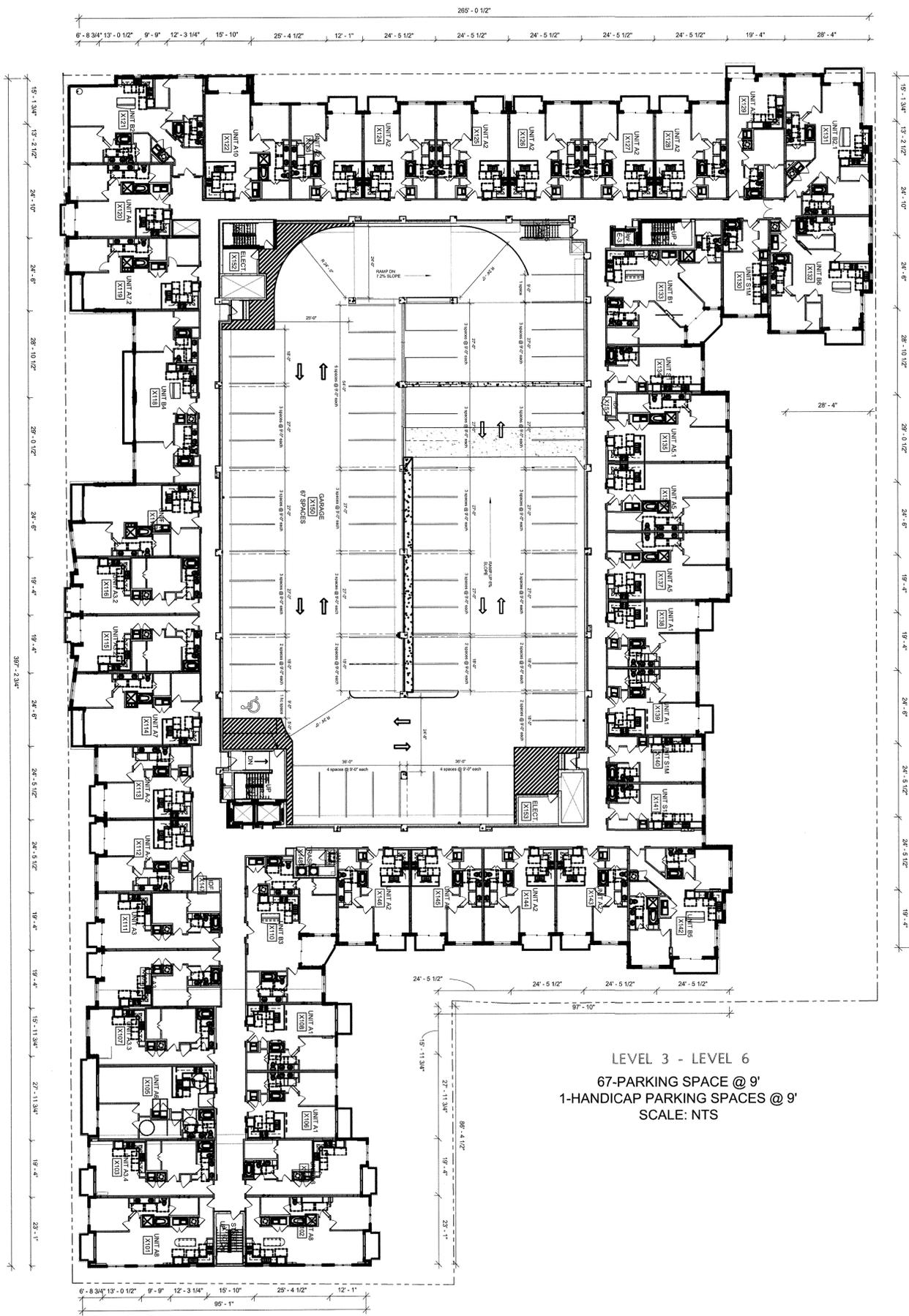
RAINEY STREET 91 RAINEY STREET

AUSTIN RAINEY ST. D/E/P, LLC

DRAWN BY: DST
 DESIGNED BY: JEM
 REVIEWED BY: JEM
 PROJECT NO.: 111120-10001

SHEET **22** OF **29**

SP-2013-0131C



THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

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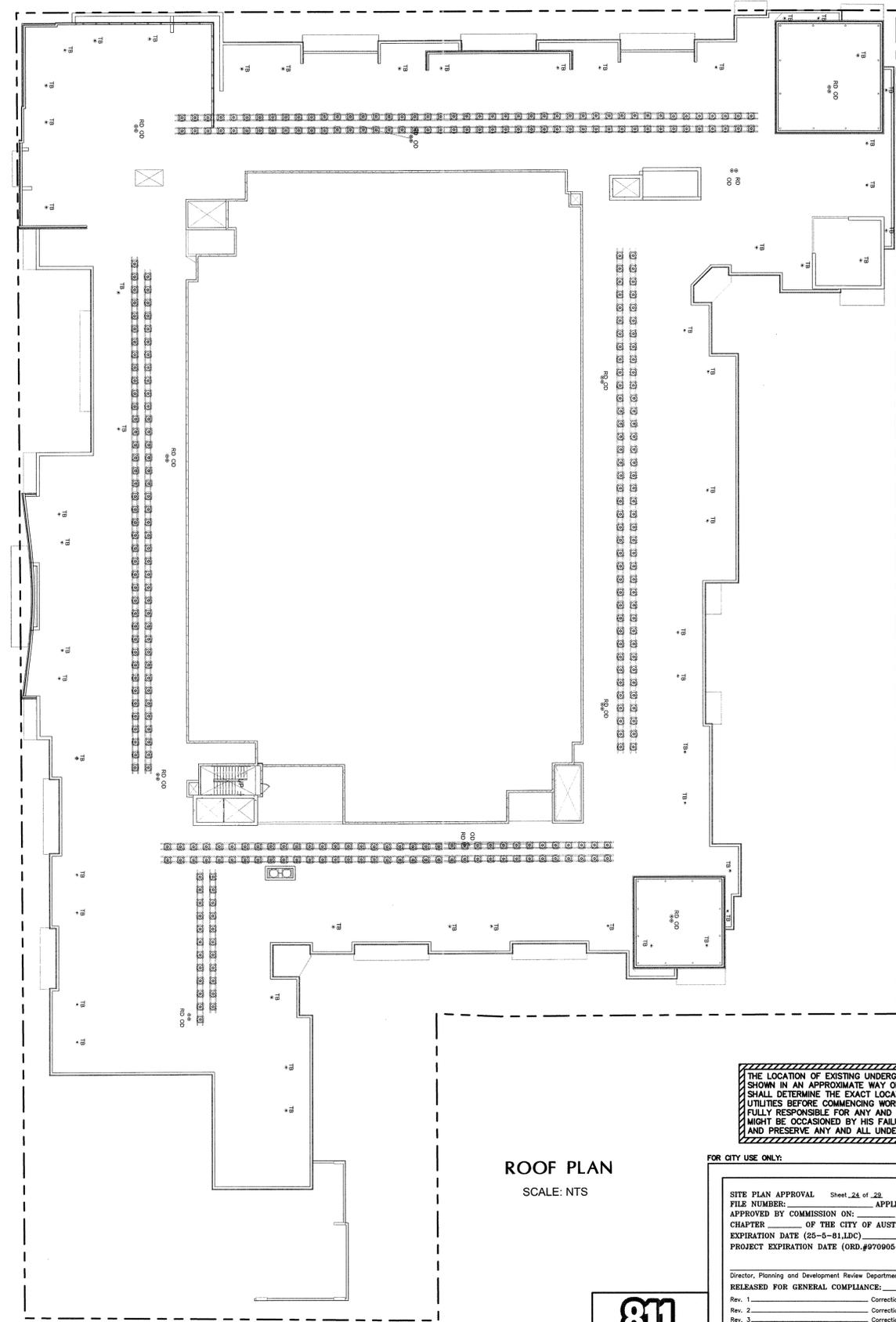
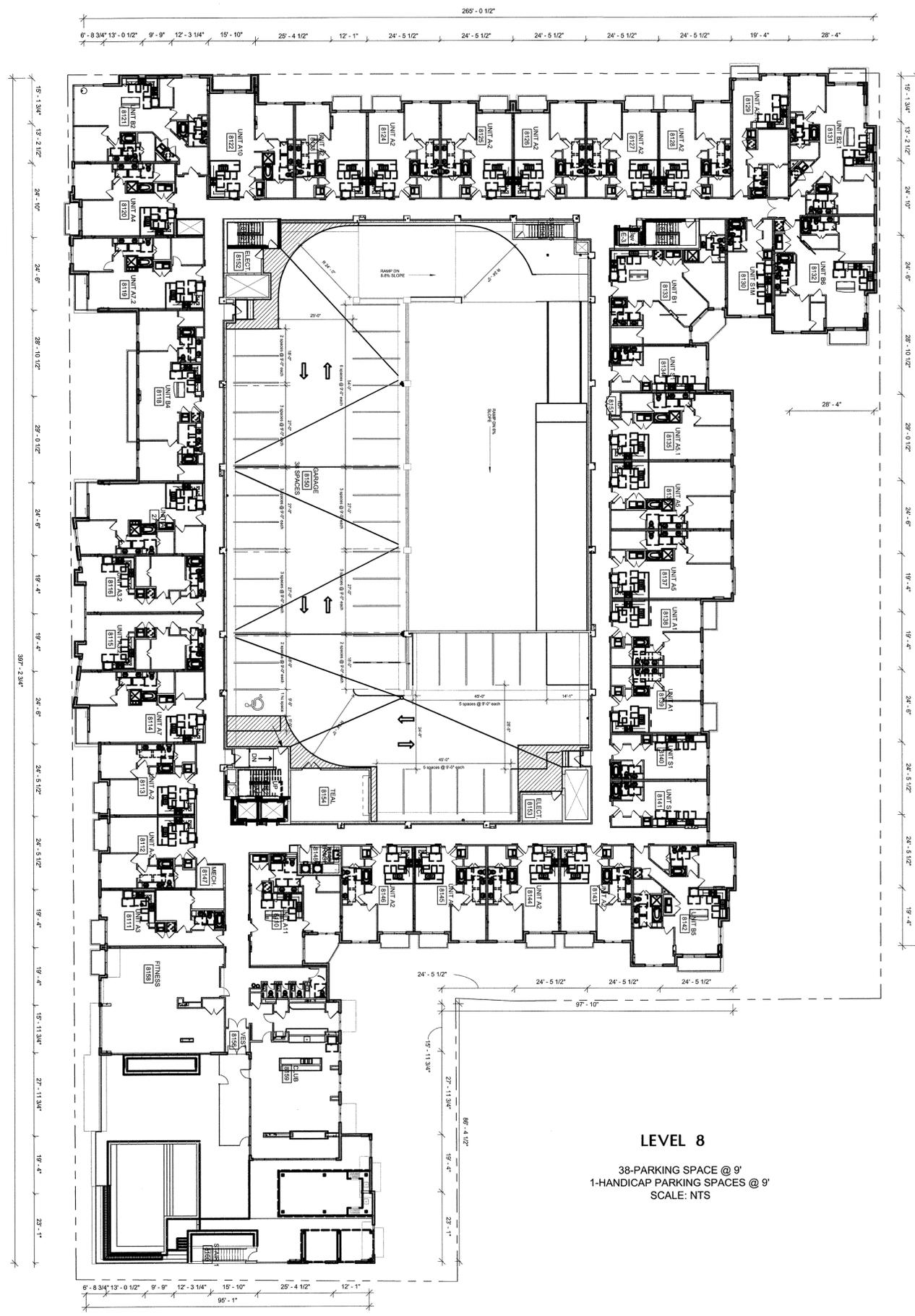
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 Rev. 2 _____ Correction 2 _____
 Rev. 3 _____ Correction 3 _____

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ARCHITECTURAL FLOOR PLAN & GARAGE LAYOUT LEVEL 3-6 & LEVEL 7	
RAINEY STREET 91 RAINEY STREET AUSTIN RAINEY ST. D/E/P, LLC	DATE NO. REVISION APPROVAL
DRAWN BY: DGT DESIGNED BY: JEM REVIEWED BY: JEM PROJECT NO.: 111120-10001	SHEET 23 OF 29



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SITE PLAN APPROVAL Sheet 24 of 28
 FILE NUMBER: _____ APPLICATION DATE: _____
 APPROVED BY COMMISSION ON: _____ UNDER SECTION _____ OF CHAPTER _____ OF THE CITY OF AUSTIN CODE.
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 PROJECT EXPIRATION DATE (ORD.#070905-A) _____ DWPZ _____ DDZ _____

Director, Planning and Development Review Department
 RELEASED FOR GENERAL COMPLIANCE: _____ ZONING: _____

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ARCHITECTURAL FLOOR PLAN & GARAGE LAYOUT LEVEL 8 & ROOF LEVEL

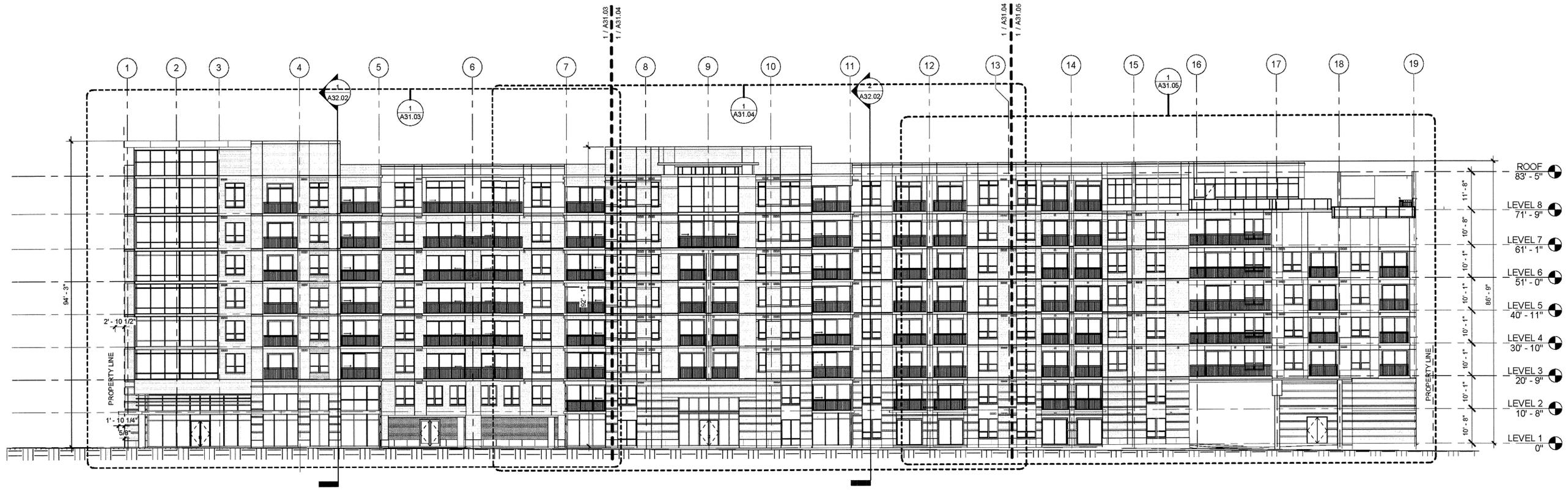
**RAINEY STREET
 91 RAINEY STREET
 AUSTIN RAINEY ST. D/E/P, LLC**

DRAWN BY: DGT
 DESIGNED BY: JEM
 REVIEWED BY: JEM
 PROJECT NO.: 111120-10001

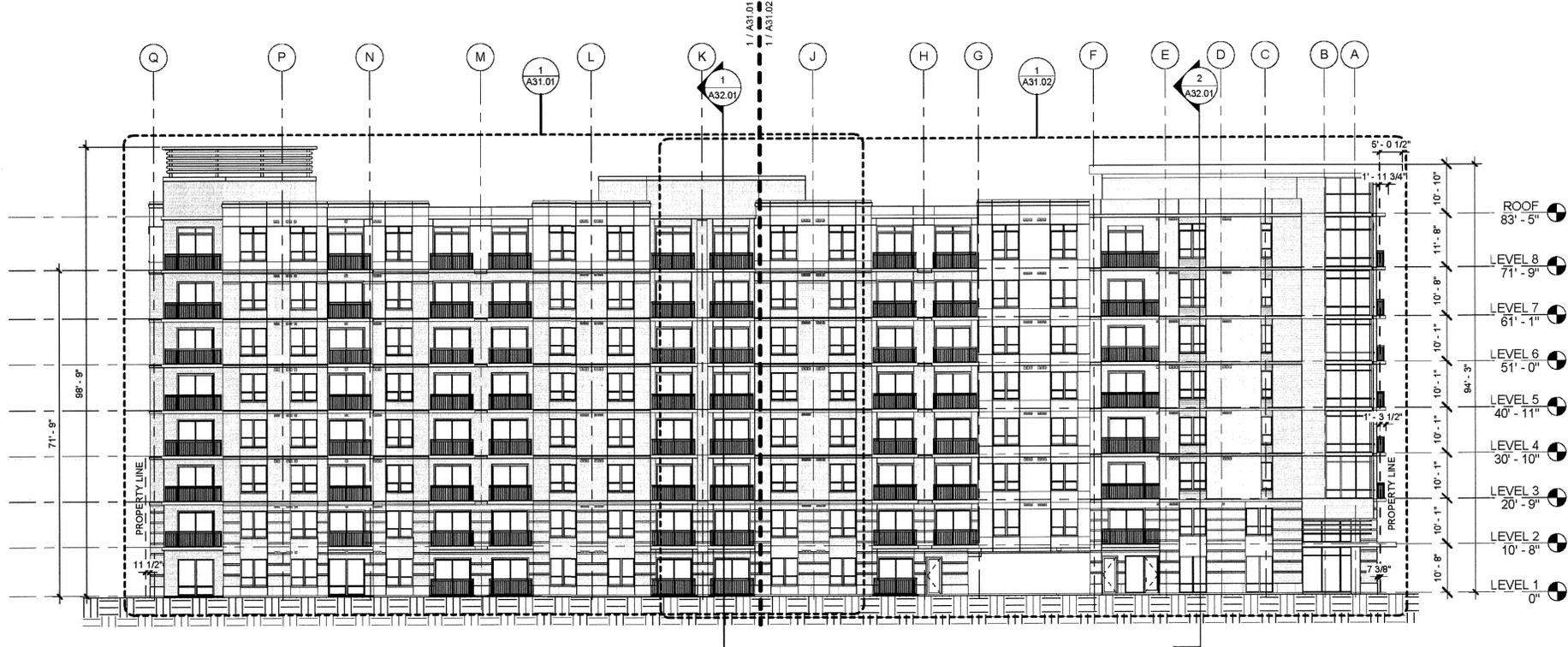
SHEET **24** OF **29**

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DATE	NO.	REVISION	APPROVAL



RAINEY STREET ELEVATION



DRISKILL STREET ELEVATION

NOTES:
 1. COMPLIANCE WITH BUILDING DESIGN STANDARDS, ARTICLE 3 OF SUBCHAPTER E, IS REQUIRED AND IS TO BE REVIEWED FOR COMPLIANCE DURING BUILDING CODE REVIEW.

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ARCHITECTURAL ELEVATIONS

**RAINEY STREET
 91 RAINEY STREET
 AUSTIN RAINEY ST. D/E/P, LLC**

DRAWN BY: DST
 DESIGNED BY: JEM
 REVIEWED BY: JEM
 PROJECT NO.: 111120-10001

SHEET **26** OF 29

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TREE INVENTORY												
Tag #	Species	Size (inches)	Save (Y/N)	Existing Onsite Trees				Heritage				Notes
				Removed	Preserved	Mit. Required	Removed	Preserved	Mit. Required	Removed	Preserved	
900	Elm	14	N				14					100% Mit Required - ROW Tree
901	Hackberry	12	N				12					33% Mit Required
902	Hackberry	23	N	23		4						12.5% Mit Required
903	Pecan	15	N				15		7.5			50% Mit Required
904	Hackberry	16	N				16		4			25% Mit Required
905	Elm	22	N	22		0						No Mit Required
906	Pecan	22	N	23		23						100% Mit Required
907	Hackberry	15	N				15		7.5			50% Mit Required
908	Pecan	16	N				16		0			No Mit Required
909	Hackberry	15	N				15		7.5			50% Mit Required
910	Pecan	24	N							24		0
911	Shin Oak	24	T								24	0
912	Pecan	29	T								29	0
913	Cedar	25	T								25	0
914	Hackberry	14	N				14		7			50% Mit Required
915	Chinese Tallow	16	N				16		0			No Mit Required, Invasive
916	Pecan	17	N				17		8.5			50% Mit Required
917	Pecan	13	N				13		6.5			50% Mit Required
918	Hackberry	18	N				18		9			50% Mit Required
919	Tree of Heaven	16	N				16		0			No Mit Required, Invasive
920	Elm	18	N				18		9			50% Mit Required
921	Pecan	28	N							28		14
922	Pecan	33	N							33		0
923	Live Oak	10	N				10		2.5			No Mit Required - Diseased
924	Hackberry	11	N				11		2.75			25% Mit Required
925	Elm	10	N				10		5			50% Mit Required
926	Elm	23	N	23		11.5						50% Mit Required
927	Box Elder	8	N				8		2			25% Mit Required
928	Hackberry	12	N				12		3			25% Mit Required
929	Hackberry	8	N				8		0			No Mit Required
930	Tree of Heaven	10	N				10					No Mit Required, Invasive
931	Pecan	19	N	19		0						No Mit Required
932	Tree of Heaven	13	N				13		0			No Mit Required, Invasive
933	Hackberry	13	N				13		3.25			25% Mit Required
934	Pecan	13	N				13		3.25			25% Mit Required
935	Pecan	22	N	22		16.6						75% Mit Required
936	Elm	26	N							26		100% Mit Required
937	Pecan	15	N				15		0			No Mit Required
938	Pecan	40	N							40		0
939	Pecan	16	N				16		8			50% Mit Required
940	Live Oak	15	N				15		7.5			50% Mit Required
941	Pecan	17	N				17		8.5			50% Mit Required
942	Catalpa	22	N				22		0			No Mit Required
943	Elm	18	N				18		9			50% Mit Required
944	Pecan	37	Y								37	0
945	Pecan	28	N							28		14
946	Shin Oak	27	T								27	0
Sub. Tot. Inches				132	0	56	426	0	139.25	179	142	54
Total Appendix F Tree Inches Surveyed										879		
Total Appendix F Tree Inches Removed										556		
Total Invasive Tree Inches Removed										55		
Total Mitigation Inches Planted on Site										132		

* CLIENT SELECTED OPTION OF PAYING INTO TREE FUND FOR REMAINING CALIPER INCHES.

AUSTIN LANDSCAPE CALCULATIONS

STREET YARD			
Total Site Area:		= 96,369 S.F.	
Total Street Yard Area:		= 2,459 S.F.	
Rainey Street		= 1,242 S.F.	
Driskill Street		= 1,215 S.F.	
IH-35/East Avenue			
Required Street Yard Landscape (20%)		= 492 S.F.	2,459 S.F. (100%)
Rainey Street (2,459 x .20)		= 492 S.F.	1,242 S.F. (100%)
Driskill Street (1,215 x .20)		= 243 S.F.	1,215 S.F. (100%)
IH-35/East Avenue (12,429 x .20)		= 2,425 S.F.	12,125 S.F. (100%)

TREES (street yard)			
Existing Tree Credit		N/A	
2" dia. - 6" dia.		= 5 Trees	
6" dia. or greater (Counts double)			
Rainey Street:			
913 - 28" Cedar Tree (2 x 15')		= 3' Cal	
IH-35/East Avenue			
911 - 24" Shin Oak Tree (2 x 15')		= 3' Cal	
912 - 29" Pecan Tree (2 x 15')		= 3' Cal	
944 - 37" Pecan Tree (2 x 15')		= 3' Cal	
946 - 27" Shin Oak Tree (2 x 15')		= 3' Cal	
Total:		= 15' Cal	

Proposed Trees (street yard)			
Required caliper: 1 tree per every 1,000 S.F. (min Cal 15')			
Rainey Street (2 x 15')		= 4.5' Cal	54' Cal
Driskill Street (2 x 15')		= 3' Cal	48' Cal
IH-35/East Avenue (13 x 15')		N/A (TXDOT)	12' Cal (Existing and transplant trees)
Total:		= 12.5' Cal	114' Cal

REPLACEMENT TREES			
Required caliper: 1 tree replaced: 24" Cal (includes 14" required for R.O.W. trees)			
Number & size replacement tree total:			
9 Cedar Elms @ 6" Cal.		= 54' Cal	
8 Bald Cypress @ 6" Cal.		= 48' Cal	
10 Texas Redbud @ 3" Cal.		= 30' Cal	
Total:		= 132' Cal	
102' Cal. (100%) Appendix F Significant Shade Trees (includes 14" required for R.O.W. trees)			

ISLANDS, MEDIANS, OR PENNSULAS			
Street yard area		N/A - All Parking within Garage	
Non street yard		N/A - All Parking within Garage	

BUFFERING POINTS N/A

LANDSCAPE MAINTENANCE NOTE
The OWNER will continuously maintain the required landscaping in accordance with LDC 25-2-984.

GENERAL NOTES

- Planting soil mixture shall be composed of the following:
Landscape Mix: 35% Topsoil, 25% Shredded Bark Mulch, 25% Sand, 15% Pine Bark
Palm Mix: Specification to meet Palm Soil Mixture by Horticultural Consultants. Contact @ 713.665.7256
- Bidding contractors be advised that all new tree material is to be container-grown corresponding to stored root ball sizes as recognized by industry standards. This shall exclude all B&B, machine moved, or transplanted trees from the bidding process unless otherwise indicated on the plan. The installation contractor shall be prepared to provide photographs of intended plant material along with signed clarification that plant material meets these requirements and that no variations or substitutions have been made.
- The Landscape Contractor doing the installation of this work shall submit to Kudela & Weinheimer information regarding sourcing of plant material. All plant material must be container grown and approved at the source of growth by Kudela & Weinheimer. Tree material meeting the specifications will be tagged with a serialized looking tag at the nursery by Kudela & Weinheimer. Plants arriving at the job site without these tags will be categorically rejected at contractor's expense.
- If the planting plan does not agree with the plant list the quantities indicated graphically on the planting plan shall govern.
- All disturbed areas are to receive four inches of topsoil, mulch, sod or hydromulch (depending on the area), and watered until a healthy stand of grass is established.
- Between proposed trees and water lines (where noted on plan), place rock barrier per detail on Civil Sheet 24 to prevent spreading.

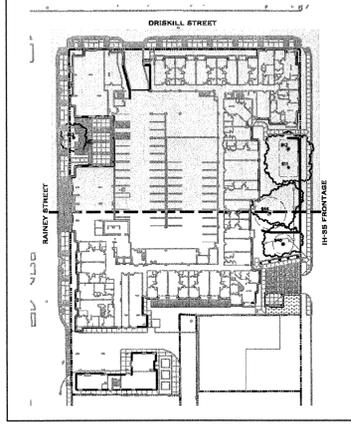
MITIGATION PROVIDED

QUANTITY	SPECIES	CALIPER	TOTAL
8	BALD CYPRESS	6"	48'
9	CEDAR ELMS	6"	54'
10	TEXAS REDBUD	3"	30'
MITIGATION REQUIRED			248'
MITIGATION PROVIDED			132'
* INCLUDES 14" FOR R.O.W. TREES			

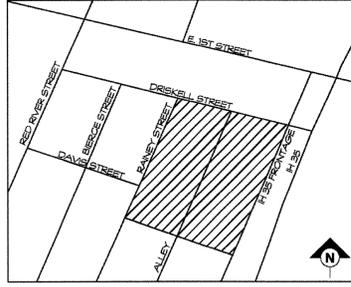
LEGEND

- LARGE TREE
- EXISTING TREE TO BE PRESERVED, SEE CIVIL PLAN
- ORNAMENTAL TREES
- SHRUBS/ GROUND COVER
- SOLID SOD
- DECOMPOSED GRANITE, SEE MATERIALS PLAN FOR TYPE
- CG
- STREET YARD
- 3/8" STEEL EDGE (ONLY WHERE INDICATED WITH 'SE')
- MIT - X'
- ROW MIT - X'
- ST

KEY MAP



LOCATION MAP N.T.S.



PLANT KEY

BC	BALD CYPRESS
CE	CEDAR ELM
RB	TEXAS REDBUD
IH	ITALIAN CYPRESS
WM	WAX MYRTLE
AA	ARTICHOKE AGAVE
AB	GLOSSY ABELIA
CS	CHERRY SAGE
DWM	DWARF WAX MYRTLE
GCM	GULF COAST MUILY GRASS
H	INDIAN HAWTHORN
LC	LOROPETALUM
TCM	TUSCARORA CRAPE MYRTLE
LIB	LITTLE JOHN BOTTLEBRUSH
PL	PLUMBAGO
RM	ROSEMARY
TC	TURKS CAP
TLY	TWISTED LEAF YUCCA
FF	FOXTAIL FERN
DL/GL	50/50 MIX STELLA DE ORO DAYLILY GIANT LIRIOPE
LA	LOUISIANA IRIS
LN	TRAILING LANTANA
RR	ROCK ROSE
TB	TANGERINE BULBINE

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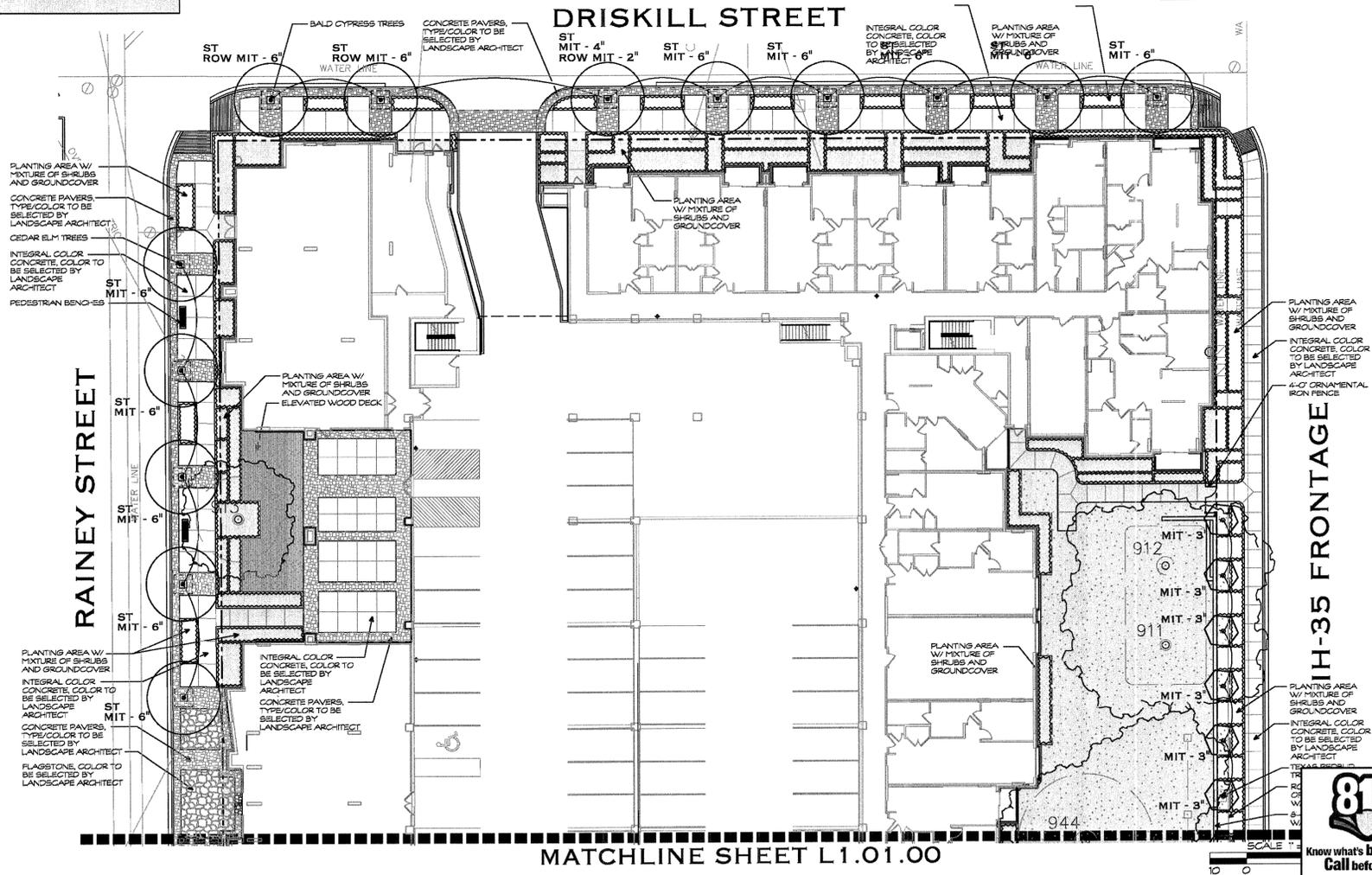
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SITE PLAN APPROVAL Sheet 22 of 23
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LANDSCAPE PLAN 1

RAINEY STREET
91 RAINNEY STREET
AUSTIN RAINNEY ST. D/E/P, LLC

DRAWN BY: DGT
 DESIGNED BY: JEM
 REVIEWED BY: JEM
 PROJECT NO.: 111120-10001

SHEET **27** OF **29**

SP-2013-0131C

LANDSCAPE PLAN 2

RAINEY STREET
91 RAINEY STREET
AUSTIN RAINEY ST. D/E/P, LLC

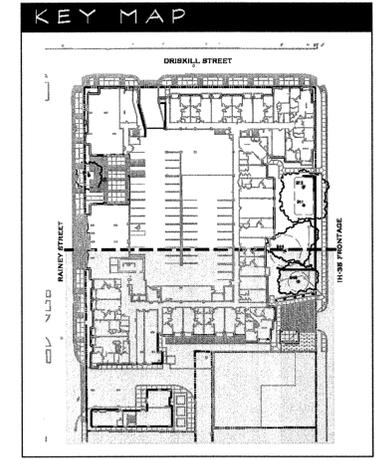
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SHEET
28
 OF 29

DATE	NO.	REVISION	APPROVAL

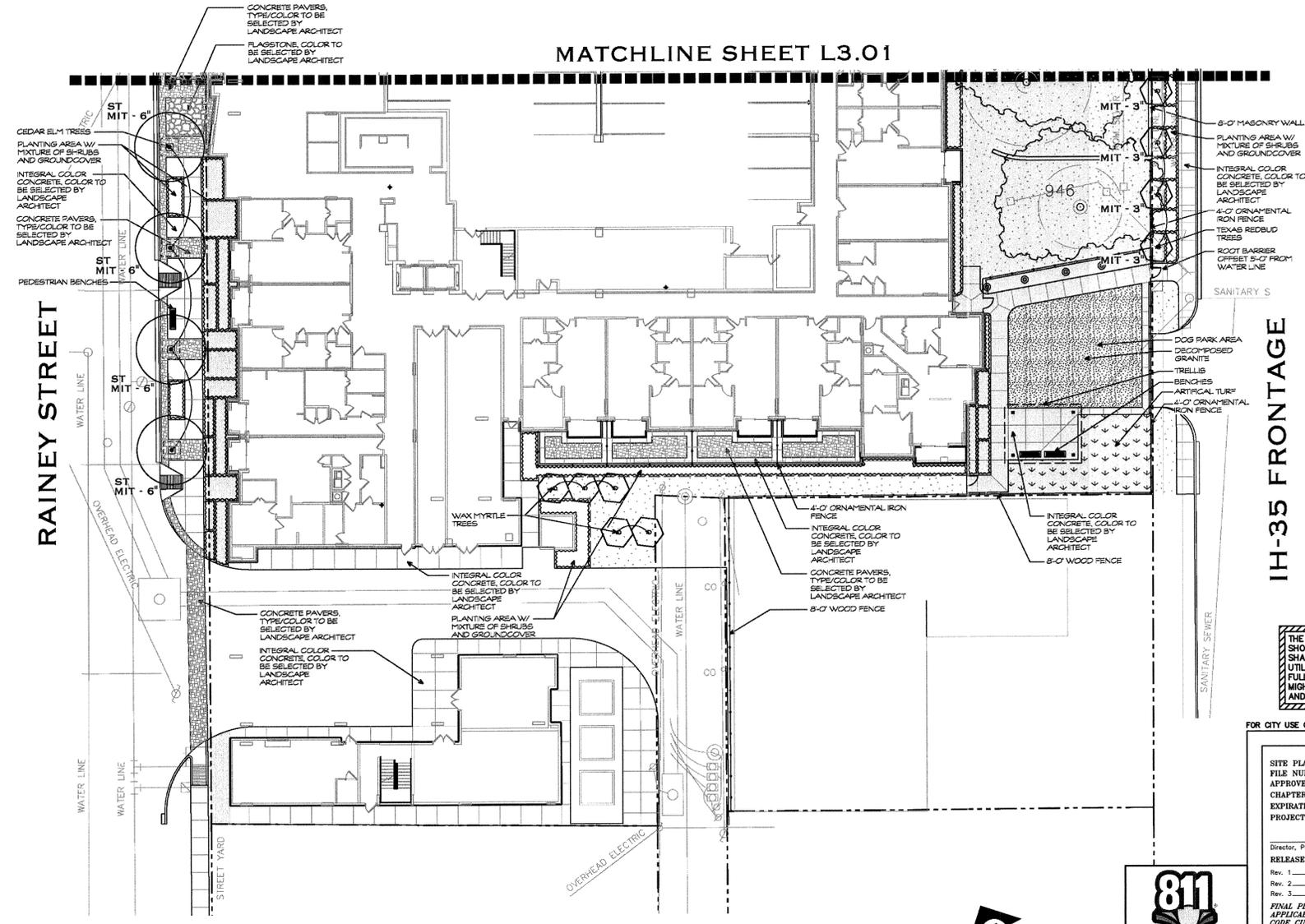
LEGEND

- LARGE TREE
- EXISTING TREE TO BE PRESERVED, SEE CIVIL PLAN
- ORNAMENTAL TREES
- SHRUBS/ GROUNDCOVER
- SOLID SOD
- DECOMPOSED GRANITE, SEE MATERIALS PLAN FOR TYPE
- STREET YARD
- 3/16" STEEL EDGE (ONLY WHERE INDICATED WITH "SE")
- TREES UTILIZED FOR MITIGATION REQUIREMENTS
- TREES UTILIZED FOR ROW MITIGATION REQUIREMENTS
- TREES UTILIZED FOR STREET YARD PLANTING REQUIREMENTS



PLANT LIST

BOTANICAL NAME/ COMMON NAME	GAL.	HEIGHT	SPREAD	MIN. ROOT	REMARKS
TREES					
BC TAXODIUM DISTICHUM BALD CYPRESS	6"	18' - 19'	8' - 9'	200 GAL.	MATCHED, WELL ROOTED
RB CERCIS CANADENSIS VAR TEXENSIS TEXAS REDBUD	3"	6' - 8'	5' - 6'	65 GAL.	MATCHED, WELL ROOTED
CE ULMUS CRASSIFOLIA CEDAR ELM	6"	18' - 19'	8' - 9'	200 GAL.	MATCHED, WELL ROOTED
IC CUPRESSUS SEMPERVIRENS ITALIAN CYPRESS	2" - 2 1/2"	8' - 10'	2'	45 GAL.	MATCHED, WELL ROOTED, 30" BOX
WM MYRTICA CERIFERA WAX MYRTLE	1 EA.	6' - 8'	4' - 5'	45 GAL.	MATCHED, WELL ROOTED, 3-5 CANES
SHRUBS					
AA AGAVE PARRYI VAR. TRUNCATA ARTICHOKE AGAVE		12"	12"	5 GAL.	FULL, WELL ROOTED, 24" O.C.
AB ABELIA X GRANDIFLORA GLOSSY ABELIA		36"	30"	3 GAL.	FULL, WELL ROOTED, 30" O.C.
CS CHERRY SAGE SALVIA GREGGII		22"	22"	3 GAL.	FULL, WELL ROOTED, 30" O.C.
DW MYRTICA FUSILLA DWARF WAX MYRTLE		24"	24"	5 GAL.	FULL, WELL ROOTED, 30" O.C.
GM MUHLBERGIA CAPILLARIS REGAL MIST GULF MUHLY		24"	24"	5 GAL.	FULL, WELL ROOTED, 30" O.C.
IH RAPHOLEPS INDICA CLARA CLARA INDIAN HAWTHORN		18"	18"	5 GAL.	FULL, WELL ROOTED, 30" O.C.
LC LOROPETALUM CHINENSE LOROPETALUM		24"	30"	5 GAL.	FULL, WELL ROOTED, 30" O.C.
LUB CALLISTEMON SP. LITTLE JOHN LITTLE JOHN BOTTLEBRUSH		18"	18"	5 GAL.	FULL, WELL ROOTED, 30" O.C.
PL PLUMBAGO AURICULATA PLUMBAGO		22"	22"	5 GAL.	FULL, WELL ROOTED, 30" O.C.
RM ROSIMARINUS OFFICINALIS ROSEMARY		20"	20"	5 GAL.	FULL, WELL ROOTED, 30" O.C.
TC MALVAVISCUS ARBOREUS VAR DRUMMONDI TURKIS CAP		22"	18"	5 GAL.	FULL, WELL ROOTED, 30" O.C.
TY YUCCA RUPICOLA TWISTED LEAF YUCCA		24"	24"	5 GAL.	FULL, WELL ROOTED, 48" O.C.
GROUNDCOVER					
FF ASPARAGUS MEYERI FOXTAIL FERN		12"	12"	1 GAL.	FULL, WELL ROOTED, 18" O.C.
DL 50/50 MIX HEPERCALSIS X STELLA DE ORO STELLA DE ORO DAYLILY		12"	8"	1 GAL.	FULL, WELL ROOTED, 18" O.C.
LA IRIS GIGANTICAERULEA LOUISIANA IRIS		18"	18"	1 GAL.	FULL, WELL ROOTED, 18" O.C.
LN LANTANA X NEW GOLD TRAILING LANTANA		12"	16"	1 GAL.	FULL, WELL ROOTED, 30" O.C.
RR PAVONIA LASIOPETALA ROCK ROSE		12"	18"	1 GAL.	FULL, WELL ROOTED, 24" O.C.
TB BULBINE FRUTESCENS TANGERINE BULBINE		16"	18"	1 GAL.	FULL, WELL ROOTED, 18" O.C.
SOD					
CYNODON DACTYLON TF 419 TF 419 BERMUDA GRASS					SOLID SOD



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