# JACOBY BUILDING - FACADE RENOVATION

COLINA WEST REAL ESTATE 804 CONGRESS AVE. SUITE 300 AUSTIN, TEXAS 78701

ARCHITECT: CLAYTON & LITTLE ARCHITECTS 1001 EAST 8TH STREET AUSTIN, TEXAS 78702

STRUCTURAL ENGINEER: ENGINEERING 360 2300 GREENHILL DRIVE, SUITE 500 ROUND ROCK, TEXAS 78664 LARRY FISHER

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# **SPECIFICATIONS**

GENERAL & SPECIAL CONDITIONS

General Contractor to provide all necessary 3rd party structural inspections, if required.

### DIVISION ONE - GENERAL REQUIREMENTS

- A. SCOPE OF WORK: The Project consists of new windows and exterior doors at the West facade of an existing historic building at 200 E. 6th Street, Austin, TX, 78701. This building is an Austin Historic Landmark. Appropriate care shall be taken to protect and preserve this structure during all phases of work. If any unforeseen conditions arise, stop work, and contact the Architect immediately. It is the intent of the Architect and Owner that all work shall conform with the Secretary of the Interiors Standards for the Treatment of Historic Properties with guidelines for preserving, rehabilitating, restoring and reconstructing historic buildings. Contractor should be familiar with these guidelines. These can be found at: www.nps.gov/hps/tps/standguide.
- B. The Work shall include all labor, materials, equipment, and services required to complete construction of the project in accordance with the Drawings and Specifications, and as required for a complete and operable installation.
- 1. The Drawings consist of Architectural and Structural Drawings. They show the kind of materials to be used and their form, fabrication and assembly. All dimensions must be verified on site prior to construction. The General Contractor shall call the Architect for a visual inspection if discrepancies
- 2. Special care must be taken to insure and protect the good condition of the existing building and grounds throughout construction.
- 3. The Project consists of exterior work only; a certificate of occupancy will not be requested as part of this
- C. CONSTRUCTION DOCUMENTS: Small-scale and large-scale drawings are intended to be mutually explanatory, and not to be scaled. In case of variance, the following order of preference is established to define the intent of the Work:
  - Explanatory notes on Drawing
  - Figured dimensions
  - Large Scale Details
  - Small Scale Details
- D. LAYING OUT WORK, MEASUREMENTS AND LEVELS:
  - 1. The General Contractor shall establish and maintain all levels and lines and shall be responsible for the accuracy thereof.
- 2. Before installation of any materials or doing of Work, each Subcontractor shall verify all measurements at the building site and shall be responsible for correctness of same. No extra charge or compensation will be allowed because of difference between actual dimensions and the measurements indicated on the drawings. Any differences that may be found shall be submitted to the Architect for consideration before proceeding with the Work.
- E. PERMITS: The General Contractor shall be responsible for application and payment of all costs required for all necessary permits for construction.
- F. UTILITIES:
  - 1. Contractor shall confirm location of all utilities prior to excavation and construction. Contractor shall provide all required utilities to the Project. Any upgrade or relocation shall be the responsibility of the Contractor and brought to the attention of the Architect before any work proceeds.
  - 2. Owner shall provide all utilities during construction.
- G. COMPLIANCE WITH ALL GOVERNING CODES AND ORDINANCES:
  - Building Code: IBC (International Building Code) 2012 Version.
  - 2. It is the Contractor's responsibility to ensure that all Work is performed according to governing codes
- 3. Should any discrepancy exist between Plans and Specifications and the governing codes, the governing codes shall govern. It is the responsibility of the Contractor to determine any such discrepancies and to call them to the Architect's immediate attention for resolution.
- H. USE OF PREMISES: The General Contractor shall observe the Limits of Construction and review with the Owner on site prior to construction. The General Contractor shall stay entirely within the Limits of the Construction Area and shall also be responsible for all persons approaching the site to stay within the designated Construction Area. It is the responsibility of the Contractor to see that great care is taken to protect areas of the site that are not affected by the Work of this Contract. It is also the responsibility of the Contractor to secure and protect the premises at all times during construction. Sidewalk closure (or protection) to be coordinated with and permitted by the City of Austin.
- I. DUTIES, INSPECTIONS AND REPORTS:
- 1. Architect: The Architect will make on-site observations at appropriate intervals as designated by the Architect and will be available for consultation throughout construction.
- 2. General Contractor: The General Contractor will assume responsibility for materials and methods of Construction. The General Contractor will make him/herself available for the Architect for on-site inspections at the Architect's request and at mutually agreed upon times.
- 3. Structural Observations: Structural Engineer to perform site inspections during construction; site inspections to be coordinated with Owner and Structural Engineer.
- 4. After each on-site inspection, the Architect and/or Engineer will submit to the General Contractor and Owner electronic copies of a Field Report summarizing all decisions made and items discussed during the site inspection. If the Architect is not notified of any error or discrepancy within two (2) days after issue of Field Report, it shall then become part of the Construction Documents.
- J. SHOP/SUBMITALS DRAWINGS: General Contractor shall submit shop drawings on all necessary items including but not limited to the following:
  - 1. Doors and Windows
- 2. Steel members and connections. 3. Awings
- 4. Paint
- Shop drawings shall clearly indicate intended materials and methods of installation plus indicate any areas where more information is necessary and any areas of deviation from original specifications or drawings. Architect shall have a minimum of fifteen (15) days to review shop drawings and return to Contractor with comments.

# DIVISION FOUR - MASONRY

- A. GENERAL: Refer to Structural Drawings.
- B. SAMPLE: Contractor to provide proposed mortar sample mock-up(s) for architects approval. Mortar to match existing (most recent) color, texture and tooling.
- C. New openings to be cut with a track mounted wall saw.
- D. All new lintel and sill stones to be smooth sawn limestone. Stone to match existing sills. Provide sample for Architect's approval

### DIVISION FIVE - METALS

- A. GENERAL: Refer to Plans, Details and Notes. All dimensions to be verified at the job site. Any discrepancies shallbe brought to the attention of the Architect and Structural Engineer for resolution.
- B. STANDARDS: IBC (International Building Code, 2012 Current Edition), Manual of Steel Construction, American Institute of Steel Construction, eighth Edition & Texas Windstorm Act. Reference Structural Drawings for additional
- C. All steel that is to be painted shall be 100% primed with red metal primer prior to installation (SSPC-Paint 25, Type II, iron oxide, zinc oxide, raw linseed oil, and alkyd). High-Strength Bolts: Shop install high-strength bolts according to RCSC's "Specification for Structural Joints Using ASTM A 325 or A 490 Bolts" for type of bolt and type of joint specified. Shop prime all steel surfaces except for the following:
- 1. Surfaces to be embedded in concrete; extend priming of partially embedded members to a depth of 2 inches.
- 2. Surfaces to be field welded.

## DIVISION SIX - WOOD & PLASTICS

- A. ROUGH CARPENTRY 1. STANDARDS
  - a. American Plywood Association, APA
  - b. American Wood Preserves Institute, AWPI
  - c. Southern Pine Inspection Bureau, SPIB
- 2. Refer to Notes on Architectural & Structural Drawings for additional information.
- B. EXTERIOR WOOD:
- 1. Framing and blocking wood (U.N.O.)shall be pressure-treated wood in accordance with AWPI standard.
- 2. Mechanically fasten: all fasteners shall be stainless steel or hot-dipped galvanized. Re: Structural Documents for additional information.
  - a. Plywood: AC-EXT-APA exterior grade, thickness as indicated on the drawings.
  - b. Exterior Trim-Clear Sinker Cypress or Spanish Cedar. All exterior trim to be back primed or sealed prior to installation.

# DIVISION EIGHT - DOORS & WINDOWS

# A. DOORS:

- 1. Exterior Doors: Per Schedule and notes on Drawings.
- 2. New exterior doors & transom to be custom wood doors, with profiles and proportions to match existing exterior wood doors on South facade. Wood species to be Clear Long Leaf Pine or Sinker Cypress B. WINDOWS:

- 1. New windows to be Kolbe & Kolbe Heritage Traditional Series Wood Double Hung, or approved equal.
- 2. Muntin profiles to match existing.
- 3. Windows to be factory glazed with simulated divided lites with bars in glass. Spacer bars to be dark bronze.
- 4. Jamb liners to be Dark Brown.
- C. HARDWARE:
- 1. Door Hardware:
- a. New accessible door hardware to match existing. coordinate with Owner.
- 2. Window Hardware: Factory hardware, coordinate selection with Owner. Dark bronze finish.

# D. GLASS:

- 1. Glass to be 9/16" insulated with clear glass.
- 2. Tempered safety glass to be provided at locations required by Code.

Sealants and Caulking: Provide color match or paintable sealants, suitable and warranted for exterior use.

# DIVISION NINE - FINISHES

- A. GENERAL NOTE: Architect/Owner shall select all finishes and colors. Contractor to confirm all materials with Architect/Owner prior to order. Installation of all materials by Contractor, unless otherwise noted.
- B. PAINTING:
- 1. Exterior of new windows and frim to be painted. Provide an alternate price (Paint Alternate #1) to paint the inside of new windows and trim. Reference Sheet A2.0 for Paint Alternate #2...
- 2. Premium exterior grade primer and paint shall be used; 2 colors, to be determined, see sheet A2.0 for additional information.
- 3. No dumping paint or chemicals on site.
- 4. Where wood is to be painted, all exposed exterior wood to receive one prime coat and two finish coats, premium acrylic enamel, semi gloss sheen. All trim to be back primed or sealed.
- 5. Samples Contractor shall provide color samples for each area to be painted as directed by Architect / Owner; up to six samples may be requested.
- B. STAINING AND SEALING:
- 1. Where wood is to be sealed, provide 2 coats of exterior grade spar urethane, satin finish.
- 2. Existing doors to be sanded and resealed
- 3. New doors to be stained and sealed, interior and exterior, to match existing refinished doors.

### Architects Clayton&Little

1001 East 8th Street Austin, Texas 78702 512 477 1727

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FIELD INSPECTION REQUIRED

Prior to performing any bidding, new construction, and/or repairs, general contractor shall visit the site, inspect all existing conditions, and report any discrepancies to the architect.

# CODE ANALYSIS

INDEX OF DRAWINGS

COVER SHEET

**EXTERIOR ELEVATIONS** 

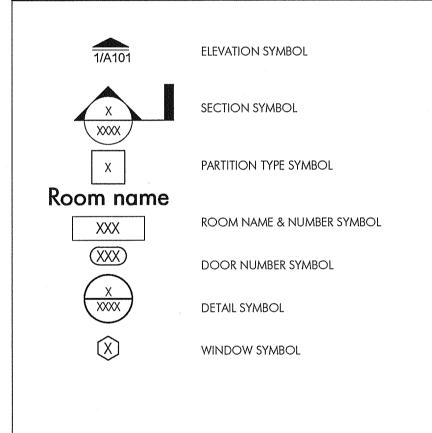
EXTERIOR DETAILS

STRUCTURAL NOTES

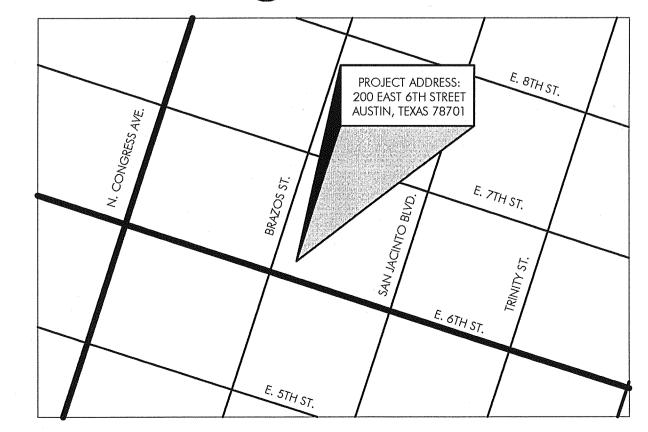
STRUCTURAL DETAILS

**BUILDING CODE:** 2012 INTERNATIONAL BUILDING CODE WITH CITY OF AUSTIN AMMENDMENTS 2012 INTERNATIONAL EXISTING BUILDING CODE BUILDING DESCRIPTION: EXISTING TYPE 5B MASONRY AND FRAME STRUCTURE SQUARE FOOTAGE: 5,632 SF GROUND FLOOR 5,632 SF SECOND FLOOR TOTAL 11,264 SF LEGAL JURISDICTION: CITY OF AUSTIN; 6TH STREET HISTORIC DISTRICT

# SYMBOL LEGEND



# VICINITY MAP

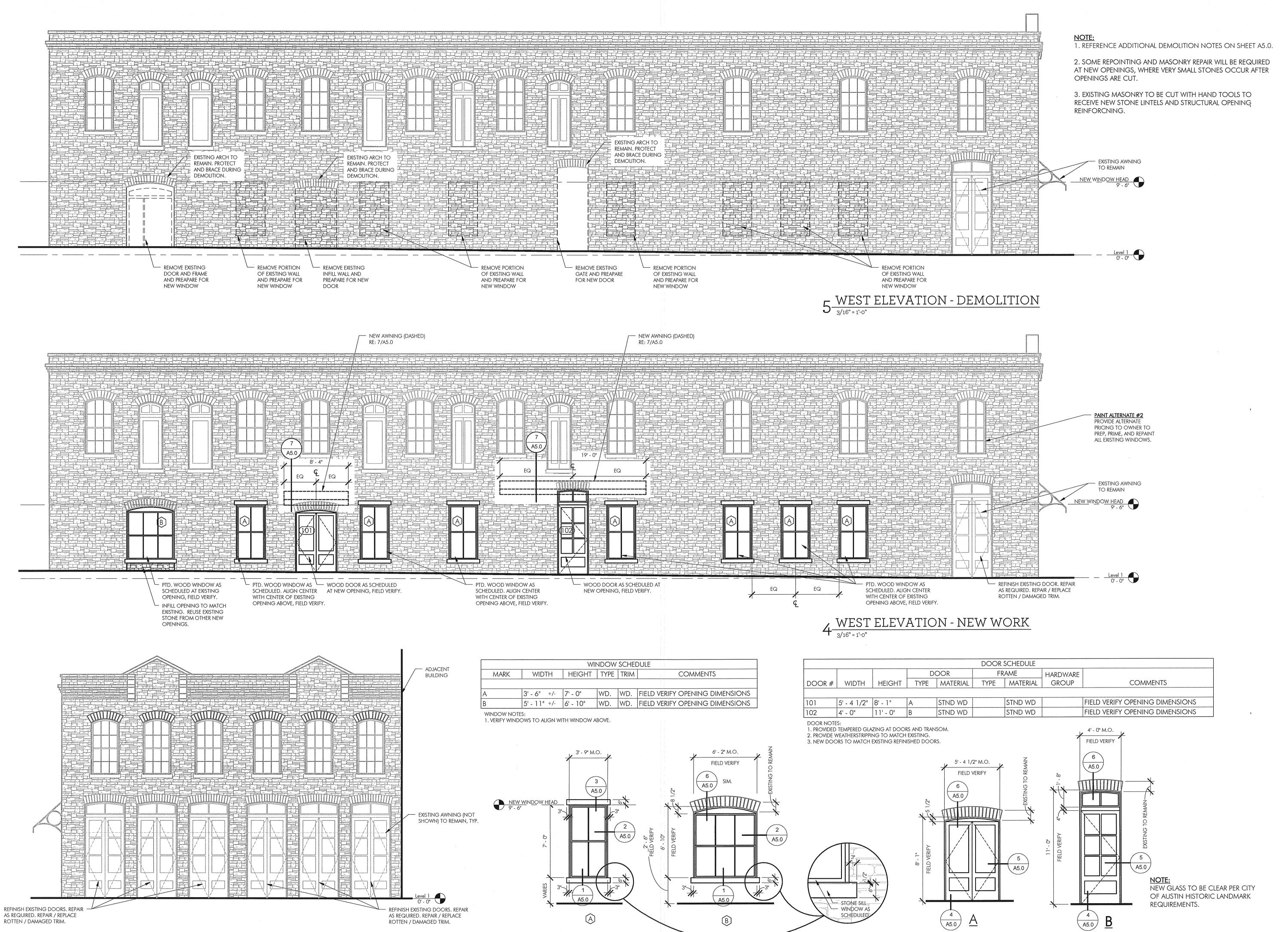


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**COVER SHEET** 



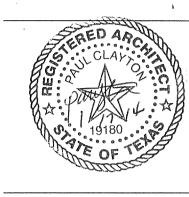
2 WINDOW TYPES

3 SOUTH ELEVATION - NEW WORK

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# Jacoby Building

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EXTERIOR ELEVATIONS

A2.0

DOOR TYPES

1/4" = 1'-0"

# DEMOLITION NOTES

1. EXISTING WALLS AND STRUCTURE ARE NOT NECESSARILY SHOWN IN THEIR ENTIRETY OR ABSOLUTELY CORRECT LOCATION. CONTRACTOR TO VERIFY EXISTING CONDITIONS PRIOR TO BIDDING. ANY DISCREPANCIES TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR DIRECTION AND OR CLARIFICATION.

2. ALL EXISTING COMPONENTS TO REMAIN ARE TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION BY THE GENERAL CONTRACTOR (G.C.). ANY DAMAGED MATERIAL IS TO BE REPAIRED, REPLACED OR REBUILT IN A MANNER ACCEPTABLE TO THE OWNER AND ARCHITECT.

3. THE INTENT OF THE DEMOLITION PLAN IS TO REMOVE ALL ITEMS NOT REQUIRED FOR THE FINISHED PROJECT; OR THAT IS IN CONFLICT WITH NEW CONSTRUCTION. THE CONTRACTOR SHALL REMOVE/ RELOCATE ALL SUCH ITEMS AS REQUIRED FOR CONSTRUCTION.

4. COORDINATE SUPPORT FOR NEW OPENINGS WITH STRUCTURAL DRAWINGS. WHERE APPLICABLE, INSTALL NEW STRUCTURAL MEMBERS (OR ADEQUATE SHORING/BRACING) BEFORE CUTTING OPENINGS.

5. DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT BEFORE CONTINUING WITH CONSTRUCTION.

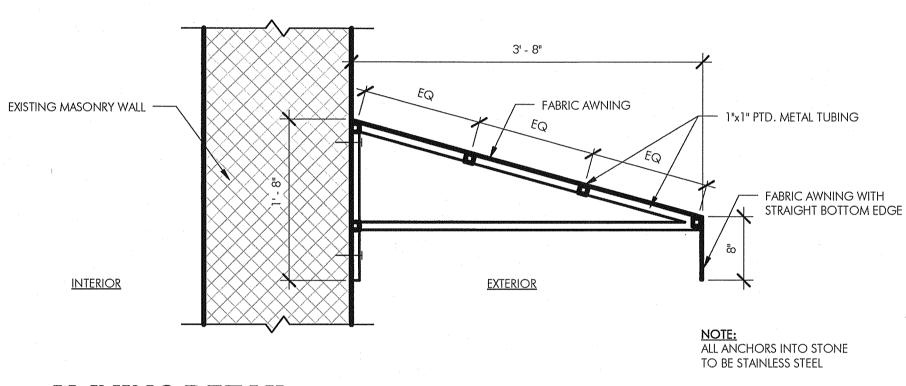
6. THE CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY DEMOLITION OF THE BUILDING SYSTEMS, AND PATCHING OR REPAIR OF EXISTING BUILDING FINISHES/SITE FEATURES AFFECTED BY NEW CONSTRUCTION.

7. CONTRACTOR IS RESPONSIBLE FOR DISPOSAL OF ALL DEMOLISHED MATERIALS. THE CONTRACTOR SHALL VERIFY ANY REGULATIONS, LAWS AND/OR ORDINANCES AFFECTING THE METHODS OF DEMOLITION AND THE DISPOSAL OF WASTE MATERIALS. THE OWNER ASSUMES NO LIABILITY FOR EXTRA WORK OR ADDITIONAL COMPENSATION DUE TO FAILURE OF THE CONTRACTOR OR SUBCONTRACTORS TO COMPLY WITH APPLICABLE REGULATIONS. CONTRACTOR IS TO RECYCLE DEMOLISHED MATERIALS, AS MUCH AS POSSIBLE.

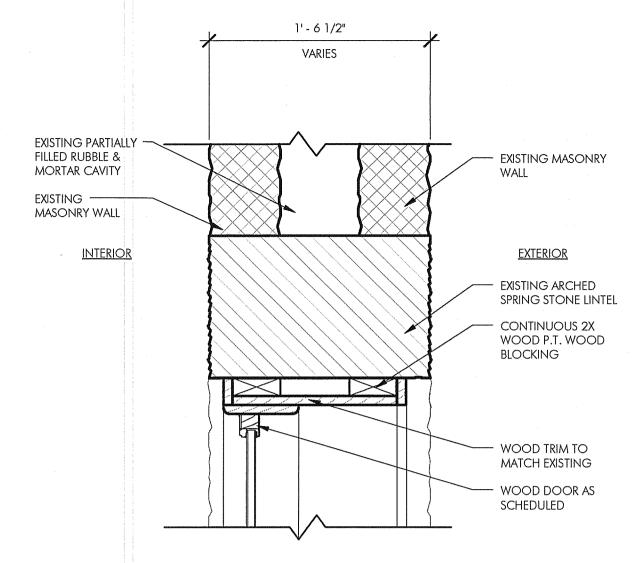
8. DAMAGES TO PROPERTY OF THE OWNER SHALL BE REPAIRED OR PAID FOR BY THE GENERAL CONTRACTOR. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO, DAMAGE TO THE BUILDING GROUNDS, PLANTINGS, WALLS, PAVEMENT, VEHICLES, UTILITIES, FINISHES, FURNISHINGS, ETC.

9. SPECIAL NOTE CONCERNING HAZARDOUS MATERIALS: THE WORK INDICATED HEREIN AND IN RELATED SPECIFICATIONS (INCLUDING REQUIRED DEMOLITION WORK) DOES NOT ADDRESS THE PRESENCE OF HAZARDOUS MATERIALS. THE ARCHITECT IS NOT INVOLVED IN THE REMOVAL, TREATMENT, OR IDENTIFICATION OF ASBESTOS OR ANY OTHER HAZARDOUS MATERIAL IN ANY WAY. IF HAZARDOUS MATERIALS ARE SUSPECTED OR ENCOUNTERED, NOTIFY THE OWNER SO THAT THE OWNER'S HAZARDOUS MATERIAL CONSULTANT CAN TEST AND RECOMMEND ABATEMENT PROCEDURES.

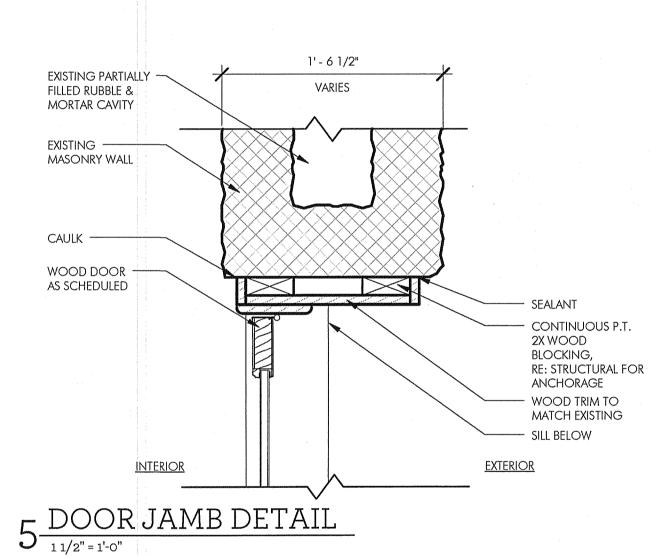
10. PATCH, REPAIR, AND PREPARE ALL SURFACES AS REQUIRED TO ACCOMMODATE FINISHES INDICATED.

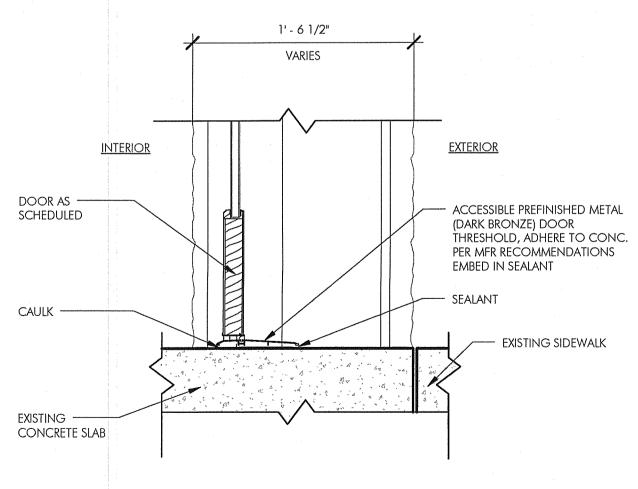


7 AWNING DETAIL

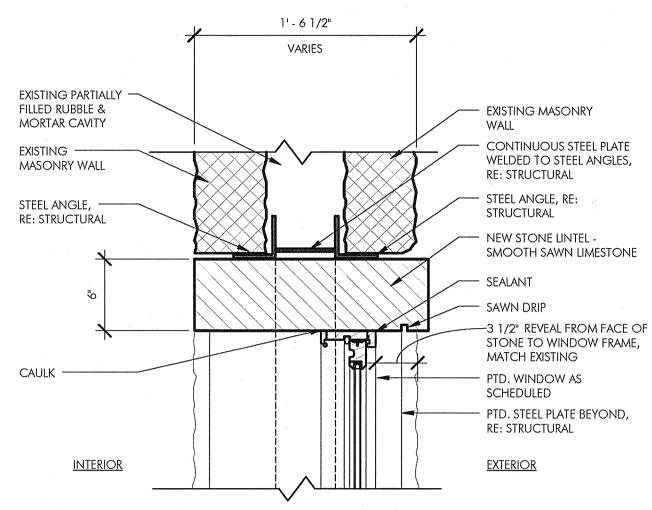


6 DOOR HEAD DETAIL

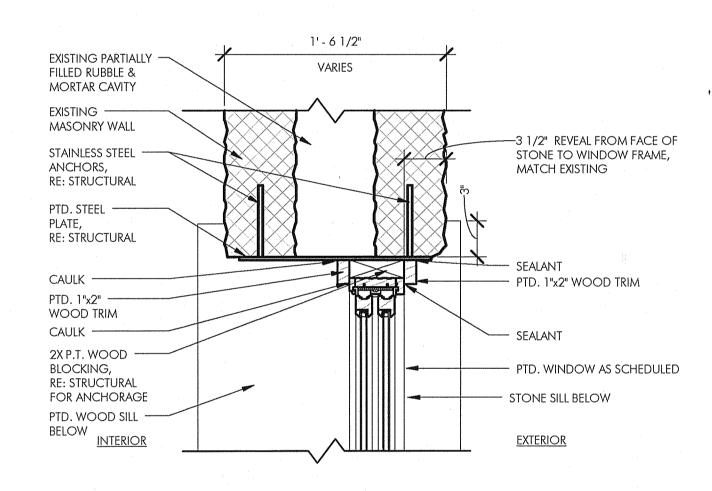




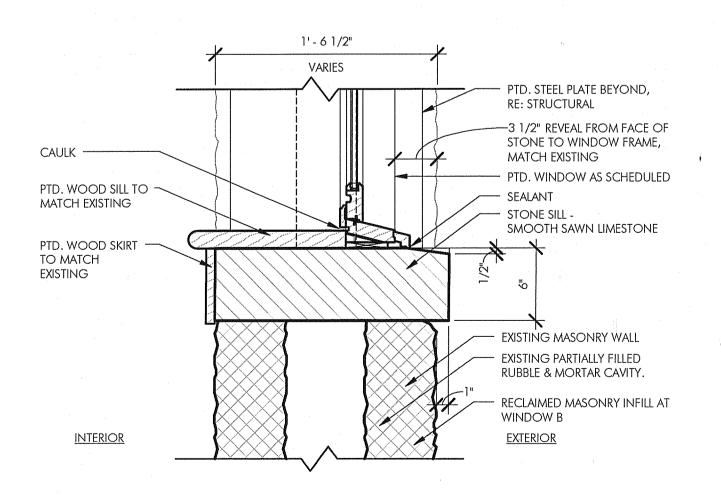
4 DOOR SILL DETAIL



3 WINDOW HEAD DETAIL



2 WINDOW JAMB DETAIL



1 WINDOW SILL DETAIL

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FIELD INSPECTION REQUIRED

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ACOBY Building

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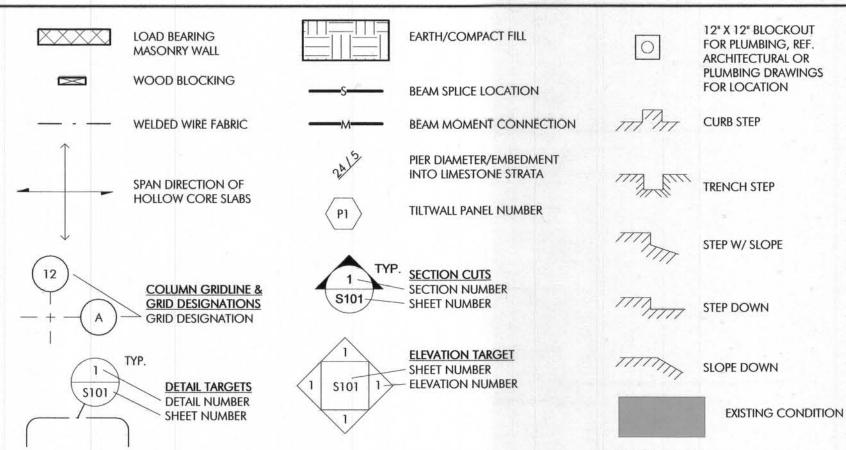
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PROJECT NUMBER: Project Number

EXTERIOR DETAILS

A5.0

# DRAWING SYMBOLS



# ABBREVIATIONS

REVISION CLOUDS

REVISED AREA CLOUDED

	A.B.	ANCHOR BOLT	$\circ$	E	EAST		шн	LONG LEG HORIZONTAL		R	RADIUS
5	ALT.	ALTERNATE		EA.	EACH		LLV	LONG LEG VERTICAL		R.D.	ROOF DRAIN
. 9	ARCH.	ARCHITECT(URAL)		E.S.	EACH SIDE		L.L.	LIVE LOAD		REV.	REVISION, REVISE(D)
1		esvirinsensa Minariats		ELEV.	ELEVATION	(M)				REINF.	REINFORCE(D), (ING)
	B.S.	BOTH SIDES		EQ.	EQUAL	(1)	MIN.	MINIMUM		REF.	REFERENCE
	BBE.	BOTTOM BEAM ELEVATION		EXIST.	EXISTING		MAS.	MASONRY		REQ'D.	REQUIRED
	BLKG.	BLOCKING		EXP.	EXPANSION		MAX.	MAXIMUM	(5)		
	BLDG.	BUILDING	F	EXT.	EXTERIOR			MANUFACTURER		S	SOUTH
	BM.	BEAM					MEZZ.	MEZZANINE		SCHED.	SCHEDULE
	вот.	воттом		FD.	FLOOR DRAIN		MISC.	MISCELLANEOUS		SIM.	SIMILAR
	BRG.	BEARING		FDN.	FOUNDATION		M.O.	MASONRY OPENING		SQ.	SQUARE
	BSMT.	BASEMENT		FTG.	FOOTING		MATL.	MATERIAL		STD.	STANDARD
	BTWN.	BETWEEN		FUT.	FUTURE		MTL.	METAL		STL.	STEEL
	BLK.	BLOCK		F.S.	FAR SIDE	(N)				STRUCT.	STRUCTURAL
	200.00			FAB.	FABRICATE (OR)		N	NORTH		SPA.	SPACE(S)
)	C.J.	CONTROL JOINT		FLG.	FLANGE		NTS	NOT TO SCALE		S.L.	SNOW LOAD
	CL.	CENTER LINE		F.O.B.	FACE OF BRICK		N.S.	NEAR SIDE	T		
	CLR.	CLEAR(ANCE)	(G)		17104 01 011011		N.I.C.	NOT IN CONTRACT	0	TEMP.	TEMPORARY
C.B. COI	C.M.U.	CONCRETE MASONRY UNIT	(H)	GA.	GAGE, GAUGE	(0)				TYP.	TYPICAL
	C.B.	CONCRETE BLOCK		GALV.	GALVANIZED	0	O.C.	ON CENTER(S)		T.O.	TOP OF
	COL.	COLUMN		G.C.	GENERAL CONTRACT(OR)		O.C.E.W	ON CENTER EACH WAY		TBE.	TOP OF BEAM ELEVATION
	CONC.	CONCRETE		G.B.	GRADE BEAM		O.S.	OUTSIDE		TDE.	TOP OF DECK ELEVATION
	CONN.	CONNECTION					OPNG.	OPENING		TFE.	TOP OF FOOTING ELEVATION
	CONST.	CONSTRUCTION		H.C.A.	HEADED CONCRETE ANCHOR		OPP.	OPPOSITE		TSE.	TOP OF SLAB ELEVATION
	CONT.	CONTINOUS		HORIZ.	HORIZONTAL		O.F.	OUTSIDE FACE		T&B	TOP AND BOTTOM
	C.I.P.	CAST IN PLACE		HT.	HEIGHT	(P)				T&G	TONGUE AND GROOVE
	COMP.	COMPOSITE		H.S.	HEADED STUDS	0	P.C.	PRECAST CONCRETE	(U) (V)		
				HSS	TUBE STEEL		PERIM.	PERIMETER		UNEXC.	UNEXCAVATED
	DET.	DETAIL					P.J.	PANEL JOINT		U.N.O.	UNLESS NOTED OTHERWISE
	DIA.	DIAMETER		INFO.	INFORMATION		PL	PLATE		0	OTTES OTTES OTTES
	DIAG.	DIAGONAL		I.F.	INSIDE FACE		PLF	POUNDS PER LINEAR FOOT		VERT.	VERTICAL
1	DN.	DOWN					PMB	PRE-ENGINEERED METAL BUILDING	(W)		
	DWG.	DRAWING	0	JST.	TZIOL		PROJ.	PROJECTION	W	W	WEST
	DBL.	DOUBLE		JT.	TMIOL		PSF.	POUNDS PER SQ. FOOT		w/	WITH
	D.L.	DEAD LOAD		J/BRG	JOIST BEARING		PSI.	POUNDS PER SQ. INCH		W.P.	WORK POINT
- 8	DO.	рітто	(K)			7122	P.T.	PRESSURE TREATED		W.W.F.	WELDED WIRE FABRIC
				K	KIP	(Q)					
				K.O.	KNOCK-OUT	(	QTY.	QUANTITY			
				VSI	VIDS DER SO INCH						

# DRAWING INDEX

S000 STRUCTURAL NOTES S100 ELEVATION & DETAILS 7 • [

ISSUED FOR

Architects Clayton&Little

1001 East 8th Street

Austin, Texas 78702

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FIELD INSPECTION REQUIRED

Prior to performing any bidding,

new construction, and/or repairs,

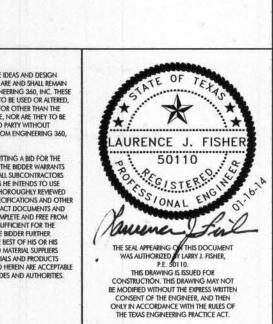
general contractor shall visit the site, inspect all existing

conditions, and report any

discrepancies to the architect.

MECHANICAL UNIT(S)

512 477 1727



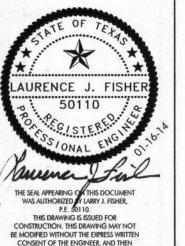
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# 2300 Greenhill Drive, Suite 500 Round Rock, TX 78664 Phone (512) 244-1966 Fax (512) 388-3698 TBPE Registration No. F-12702 JOB NO. 14001

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safety of all on-site personnel.

C. <u>ALTERNATE DESIGNS</u>

Alternate structural systems & details will only be considered, provided they are submitted with calculations certified by a Professional Engineer Registered in the State of the project. The calculations must show the equivalency of the alternate & acceptance of the alternate by the engineer must be in writing.

- **FUTURE EXPANSION** 
  - This project is not designed for future expansion.
- Contractor to verify all conditions at the jobsite and report any discrepancies to the engineer prior to start of any construction.

### II. SPECIAL INSPECTIONS

- Special inspections are required in accordance w/ Latest Edition IBC, Section 1701 for the following portions of construction:
  - Bolts installed in mortar

### III. MASONRY

- Repoint mortar around openings prior to cutting opening. Then repoint mortar within opening to insure solid base to anchor steel plates.
- Mortar shall be Type S, with a minimum compressive strength of 1800 psi at 28 days. Reference architectural drawings for additional mortar requirements.

# IV. STRUCTURAL STEEL

- Structural Steel design and construction shall conform to IBC Chapter 22, General design requirements. All steel shall be designed, fabricated and erected in accordance with the latest AISC Specifications for Design, Fabrication and Erection of
- Structural Steel for Buildings. All welding shall be in accordance with the latest American Welding Society
- Specifications. All structural shapes to be 50KSI material.
- All steel plates to be A36 material.

structural steel.

- All anchors to be 316 stainless steel. All welding electrodes for carbon steel to stainless steel to be 312 rods.
- All other welding electrodes to be E70XX A233 rods.
- All steel to be given one shop coat of rust inhibitive primer, after fabrication. Structural Steel Supplier is responsible for & shall submit shop drawings for all
- V. USE AND/OR RELEASE OF STRUCTURAL ENGINEERING ELECTRONIC FILE

The electronic files for the structural engineering documents will not be released for use during construction or for the preparation of shop drawings or submittals. Each supplier or fabricator is responsible for reproducing the information required for their submittal. The duplicating of any part of these documents for inclusion in shop drawings or submittals is also prohibited.

# VI. DETAIL NOTES

Details noted as typical shall apply in all cases unless specifically shown or noted otherwise.

VII. STRUCTURAL REQUIREMENTS FOR SUBMITTALS

The following are submittals required by Engineer. Use plans and spec. book for product list.

1. Mortar mix design, grout mix design and test results

# VIII. STRUCTURAL REQUIREMENTS FOR SITE VISITS

Site visits for construction observation will not be made by Engineer until all submittals and/or testing results have been reviewed and accepted by the Engineer. Contractor is responsible for scheduling submittals to allow the Engineer adequate time to review and comment before proceeding with construction.

Representative of Engineering 360 will visit the site at the following stages of construction:

A. After steel set, before installation of windows or doors in openings.

Please refer to specifications or General Notes for project specific instructions. Contractor shall issue to the engineer a complete project schedule with the above site visits noted and notify the Engineer a minimum of 48 hours prior to the scheduled visit to confirm time and date required visit. Failure of the Contractor to accomplish this notification will not require the engineer to respond on shorter notice, nor will the Contractor proceed without the Engineer performing appropriate site visit. Additionally if the Contractor requests or schedules a site visit and construction is not at the appropriate stage for the Engineer to perform the proper observations, another site visit will be required and scheduled at the Contractor expense for all time and travel expenses of the engineer or his representative. Engineer will not issue any type or form of compliance or concurrence statement for construction without performing the above noted site observations.

