

JACOBY BUILDING - FACADE RENOVATION

OWNER: COLINA WEST REAL ESTATE
804 CONGRESS AVE. SUITE 300
AUSTIN, TEXAS 78701
CONTACT: SEAN O'BRIEN
PHONE: (512) 565.4477

ARCHITECT: CLAYTON & LITTLE ARCHITECTS
1001 EAST 8TH STREET
AUSTIN, TEXAS 78702
CONTACT: GEORGE WILCOX, AIA
PHONE: (512) 477.1727
FAX: (512) 477.9876

STRUCTURAL ENGINEER: ENGINEERING 360
2300 GREENHILL DRIVE, SUITE 500
ROUND ROCK, TEXAS 78664
CONTACT: LARRY FISHER
PHONE: (512)244.1966
FAX: (512)388.3698

SPECIFICATIONS

GENERAL & SPECIAL CONDITIONS

INSPECTIONS:

- A. General Contractor to provide all necessary 3rd party structural inspections, if required.

DIVISION ONE - GENERAL REQUIREMENTS

- A. SCOPE OF WORK: The Project consists of new windows and exterior doors at the West facade of an existing historic building at 200 E. 6th Street, Austin, TX, 78701. This building is an Austin Historic Landmark. Appropriate care shall be taken to protect and preserve this structure during all phases of work. If any unforeseen conditions arise, stop work, and contact the Architect immediately. It is the intent of the Architect and Owner that all work shall conform with the Secretary of the Interiors Standards for the Treatment of Historic Properties with guidelines for preserving, rehabilitating, restoring and reconstructing historic buildings. Contractor should be familiar with these guidelines. These can be found at: www.nps.gov/hps/tps/standguide.
- B. The Work shall include all labor, materials, equipment, and services required to complete construction of the project in accordance with the Drawings and Specifications, and as required for a complete and operable installation.
- The Drawings consist of Architectural and Structural Drawings. They show the kind of materials to be used and their form, fabrication and assembly. All dimensions must be verified on site prior to construction. The General Contractor shall call the Architect for a visual inspection if discrepancies arise.
 - Special care must be taken to insure and protect the good condition of the existing building and grounds throughout construction.
 - The Project consists of exterior work only; a certificate of occupancy will not be requested as part of this phase of work.
- C. CONSTRUCTION DOCUMENTS: Small-scale and large-scale drawings are intended to be mutually explanatory, and not to be scaled. In case of variance, the following order of preference is established to define the intent of the Work:
- Explanatory notes on Drawing
 - Figured dimensions
 - Large Scale Details
 - Small Scale Details
- D. LAYING OUT WORK, MEASUREMENTS AND LEVELS:
- The General Contractor shall establish and maintain all levels and lines and shall be responsible for the accuracy thereof.
 - Before installation of any materials or doing of Work, each Subcontractor shall verify all measurements at the building site and shall be responsible for correctness of same. No extra charge or compensation will be allowed because of difference between actual dimensions and the measurements indicated on the drawings. Any differences that may be found shall be submitted to the Architect for consideration before proceeding with the Work.
- E. PERMITS: The General Contractor shall be responsible for application and payment of all costs required for all necessary permits for construction.
- F. UTILITIES:
- Contractor shall confirm location of all utilities prior to excavation and construction. Contractor shall provide all required utilities to the Project. Any upgrade or relocation shall be the responsibility of the Contractor and brought to the attention of the Architect before any work proceeds.
 - Owner shall provide all utilities during construction.
- G. COMPLIANCE WITH ALL GOVERNING CODES AND ORDINANCES:
- Building Code: IBC (International Building Code) 2012 Version.
 - It is the Contractor's responsibility to ensure that all Work is performed according to governing codes and ordinances.
 - Should any discrepancy exist between Plans and Specifications and the governing codes, the governing codes shall govern. It is the responsibility of the Contractor to determine any such discrepancies and to call them to the Architect's immediate attention for resolution.
- H. USE OF PREMISES: The General Contractor shall observe the Limits of Construction and review with the Owner on site prior to construction. The General Contractor shall stay entirely within the Limits of the Construction Area and shall also be responsible for all persons approaching the site to stay within the designated Construction Area. It is the responsibility of the Contractor to see that great care is taken to protect areas of the site that are not affected by the Work of this Contract. It is also the responsibility of the Contractor to secure and protect the premises at all times during construction. Sidewalk closure (or protection) to be coordinated with and permitted by the City of Austin.
- I. DUTIES, INSPECTIONS AND REPORTS:
- Architect: The Architect will make on-site observations at appropriate intervals as designated by the Architect and will be available for consultation throughout construction.
 - General Contractor: The General Contractor will assume responsibility for materials and methods of Construction. The General Contractor will make him/herself available for the Architect for on-site inspections at the Architect's request and at mutually agreed upon times.
 - Structural Observations: Structural Engineer to perform site inspections during construction; site inspections to be coordinated with Owner and Structural Engineer.
 - After each on-site inspection, the Architect and/or Engineer will submit to the General Contractor and Owner electronic copies of a Field Report summarizing all decisions made and items discussed during the site inspection. If the Architect is not notified of any error or discrepancy within two (2) days after issue of Field Report, it shall then become part of the Construction Documents.
- J. SHOP/SUBMITALS DRAWINGS: General Contractor shall submit shop drawings on all necessary items including but not limited to the following:
- Doors and Windows
 - Steel members and connections.
 - Awings
 - Paint
- Shop drawings shall clearly indicate intended materials and methods of installation plus indicate any areas where more information is necessary and any areas of deviation from original specifications or drawings. Architect shall have a minimum of fifteen (15) days to review shop drawings and return to Contractor with comments.

DIVISION FOUR - MASONRY

- A. GENERAL: Refer to Structural Drawings.
- B. SAMPLE: Contractor to provide proposed mortar sample mock-up(s) for architects approval. Mortar to match existing (most recent) color, texture and tooling.
- C. New openings to be cut with a track mounted wall saw.
- D. All new lintel and sill stones to be smooth sawn limestone. Stone to match existing sills. Provide sample for Architect's approval

DIVISION FIVE - METALS

- A. GENERAL: Refer to Plans, Details and Notes. All dimensions to be verified at the job site. Any discrepancies shall be brought to the attention of the Architect and Structural Engineer for resolution.
- B. STANDARDS: IBC (International Building Code, 2012 Current Edition), Manual of Steel Construction, American Institute of Steel Construction, eighth Edition & Texas Windstorm Act. Reference Structural Drawings for additional requirements.
- C. All steel that is to be painted shall be 100% primed with red metal primer prior to installation (SSPC-Paint 25, Type II, iron oxide, zinc oxide, raw linseed oil, and alkyl). High-Strength Bolts: Shop install high-strength bolts according to RCSC's "Specification for Structural Joints Using ASTM A 325 or A 490 Bolts" for type of bolt and type of joint specified. Shop prime all steel surfaces except for the following:
- Surfaces to be embedded in concrete; extend priming of partially embedded members to a depth of 2 inches.
 - Surfaces to be field welded.

DIVISION SIX - WOOD & PLASTICS

- A. ROUGH CARPENTRY
- STANDARDS
 - American Plywood Association, APA
 - American Wood Preserves Institute, AWPI
 - Southern Pine Inspection Bureau, SPIB
 - Refer to Notes on Architectural & Structural Drawings for additional information.
- B. EXTERIOR WOOD:
- Framing and blocking wood (U.N.O.) shall be pressure-treated wood in accordance with AWPI standard.
 - Mechanically fasten: all fasteners shall be stainless steel or hot-dipped galvanized. Re: Structural Documents for additional information.
 - Plywood: AC-EXT-APA exterior grade, thickness as indicated on the drawings.
 - Exterior Trim- Clear Sinker Cypress or Spanish Cedar. All exterior trim to be back primed or sealed prior to installation.

DIVISION EIGHT - DOORS & WINDOWS

- A. DOORS:
- Exterior Doors: Per Schedule and notes on Drawings.
 - New exterior doors & transom to be custom wood doors, with profiles and proportions to match existing exterior wood doors on South facade. Wood species to be Clear Long Leaf Pine or Sinker Cypress
- B. WINDOWS:
- New windows to be Kolbe & Kolbe Heritage Traditional Series Wood Double Hung, or approved equal.
 - Muntin profiles to match existing.
 - Windows to be factory glazed with simulated divided lites with bars in glass. Spacer bars to be dark bronze.
 - Jamb liners to be Dark Brown.
- C. HARDWARE:
- Door Hardware:
 - New accessible door hardware to match existing. coordinate with Owner.
 - Window Hardware: Factory hardware, coordinate selection with Owner. Dark bronze finish.
- D. GLASS:
- Glass to be 9/16" insulated with clear glass.
 - Tempered safety glass to be provided at locations required by Code.

Sealants and Caulking: Provide color match or paintable sealants, suitable and warranted for exterior use.

DIVISION NINE - FINISHES

- A. GENERAL NOTE: Architect/Owner shall select all finishes and colors. Contractor to confirm all materials with Architect/Owner prior to order. Installation of all materials by Contractor, unless otherwise noted.
- B. PAINTING:
- Exterior of new windows and trim to be painted. Provide an alternate price (Paint Alternate #1) to paint the inside of new windows and trim. Reference Sheet A2.0 for Paint Alternate #2..
 - Premium exterior grade primer and paint shall be used; 2 colors, to be determined, see sheet A2.0 for additional information.
 - No dumping paint or chemicals on site.
 - Where wood is to be painted, all exposed exterior wood to receive one prime coat and two finish coats, premium acrylic enamel, semi gloss sheen. All trim to be back primed or sealed.
 - Samples - Contractor shall provide color samples for each area to be painted as directed by Architect / Owner; up to six samples may be requested.
- B. STAINING AND SEALING:
- Where wood is to be sealed, provide 2 coats of exterior grade spar urethane, satin finish.
 - Existing doors to be sanded and resealed
 - New doors to be stained and sealed, interior and exterior, to match existing refinished doors.

INDEX OF DRAWINGS

G1.0 COVER SHEET
A2.0 EXTERIOR ELEVATIONS
A5.0 EXTERIOR DETAILS

S1.0 STRUCTURAL NOTES
S1.1 STRUCTURAL DETAILS

CODE ANALYSIS

BUILDING CODE:
2012 INTERNATIONAL BUILDING CODE WITH CITY OF AUSTIN AMMENDMENTS
2012 INTERNATIONAL EXISTING BUILDING CODE

BUILDING DESCRIPTION:
EXISTING TYPE SB MASONRY AND FRAME STRUCTURE.

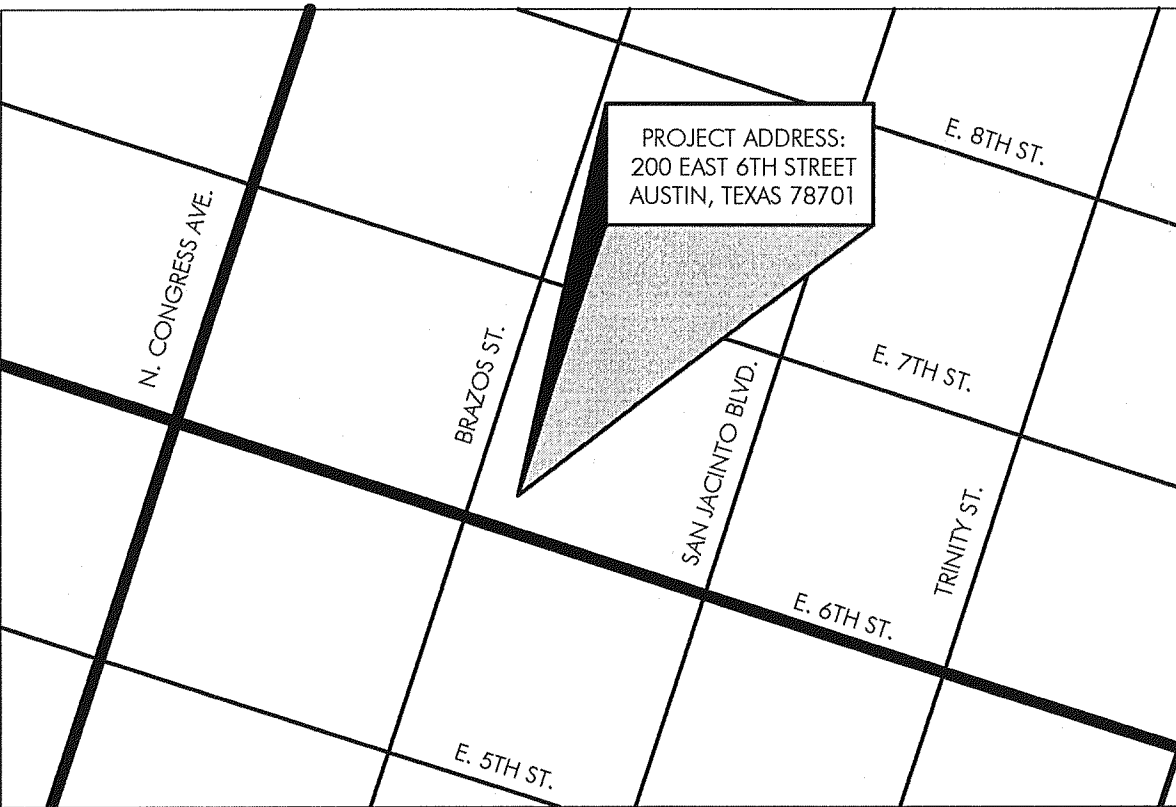
SQUARE FOOTAGE:
GROUND FLOOR 5,632 SF
SECOND FLOOR 5,632 SF
TOTAL 11,264 SF

LEGAL JURISDICTION: CITY OF AUSTIN; 6TH STREET HISTORIC DISTRICT

SYMBOL LEGEND

	ELEVATION SYMBOL
	SECTION SYMBOL
	PARTITION TYPE SYMBOL
	ROOM NAME & NUMBER SYMBOL
	DOOR NUMBER SYMBOL
	DETAIL SYMBOL
	WINDOW SYMBOL

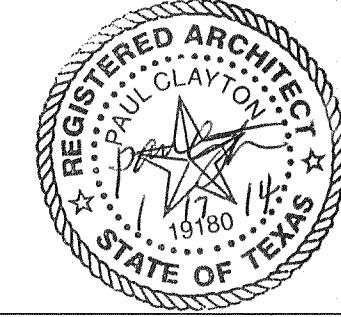
VICINITY MAP



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1001 East 8th Street
Austin, Texas 78702
512 477 1727

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FIELD INSPECTION REQUIRED

Prior to performing any bidding, new construction, and/or repairs, general contractor shall visit the site, inspect all existing conditions, and report any discrepancies to the architect.

Jacoby Building

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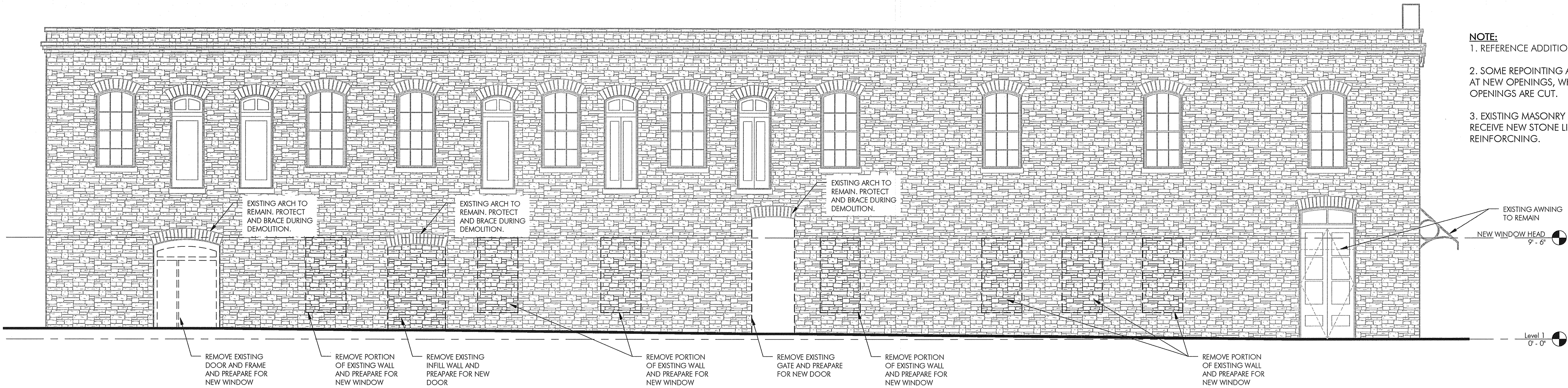
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COVER SHEET

G1.0

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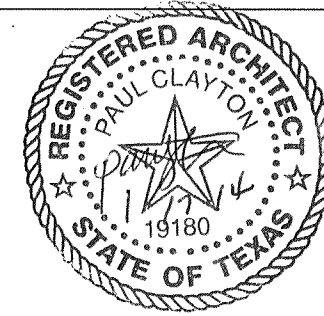


- NOTE:**
1. REFERENCE ADDITIONAL DEMOLITION NOTES ON SHEET A5.0.
 2. SOME REPOINTING AND MASONRY REPAIR WILL BE REQUIRED AT NEW OPENINGS, WHERE VERY SMALL STONES OCCUR AFTER OPENINGS ARE CUT.
 3. EXISTING MASONRY TO BE CUT WITH HAND TOOLS TO RECEIVE NEW STONE LINTELS AND STRUCTURAL OPENING REINFORCING.

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Austin, Texas 78702
512.477.1727

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5 WEST ELEVATION - DEMOLITION
3/16" = 1'-0"



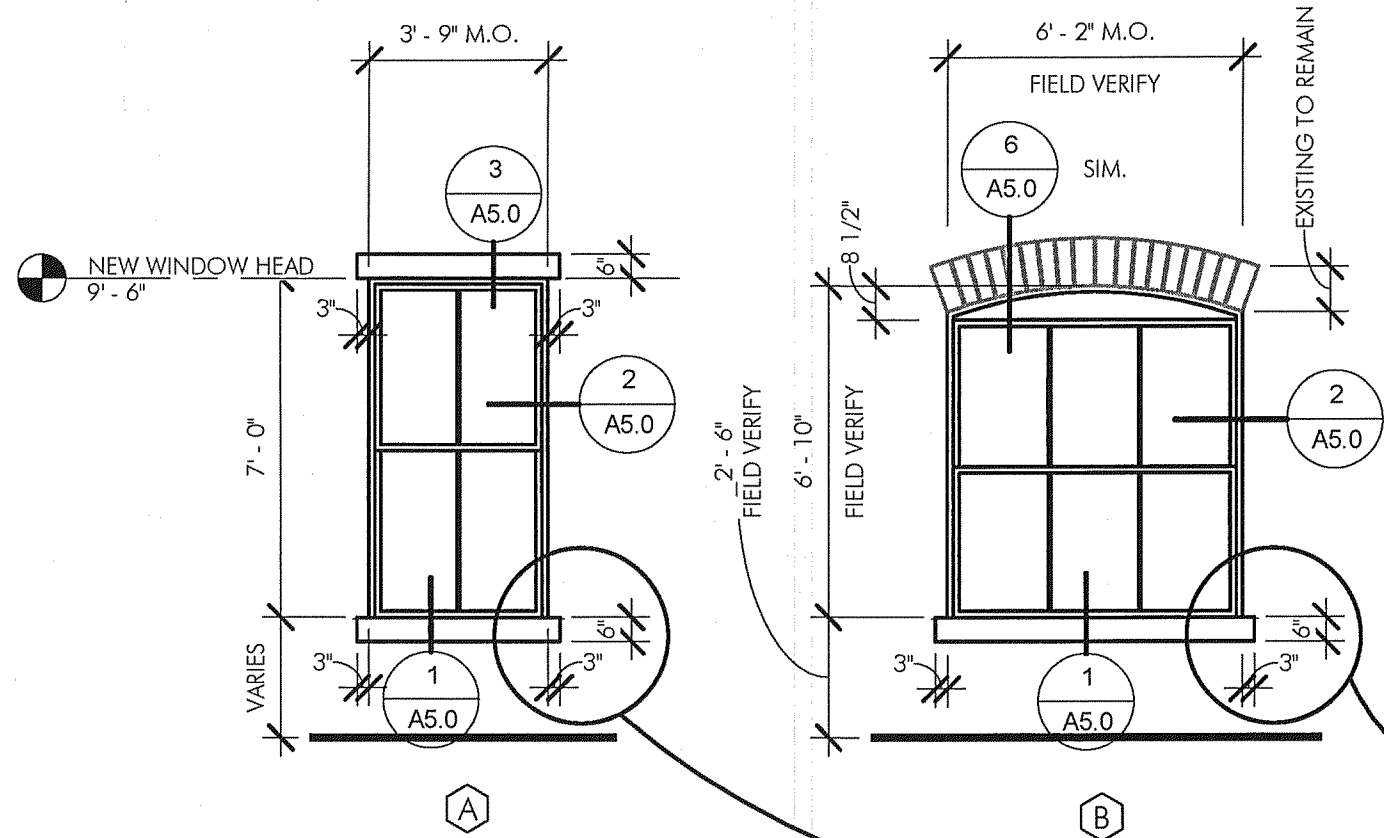
4 WEST ELEVATION - NEW WORK
3/16" = 1'-0"



3 SOUTH ELEVATION - NEW WORK
3/16" = 1'-0"

WINDOW SCHEDULE					
MARK	WIDTH	HEIGHT	TYPE	TRIM	COMMENTS
A	3' - 6" +/-	7' - 0"	WD.	WD.	FIELD VERIFY OPENING DIMENSIONS
B	5' - 11" +/-	6' - 10"	WD.	WD.	FIELD VERIFY OPENING DIMENSIONS

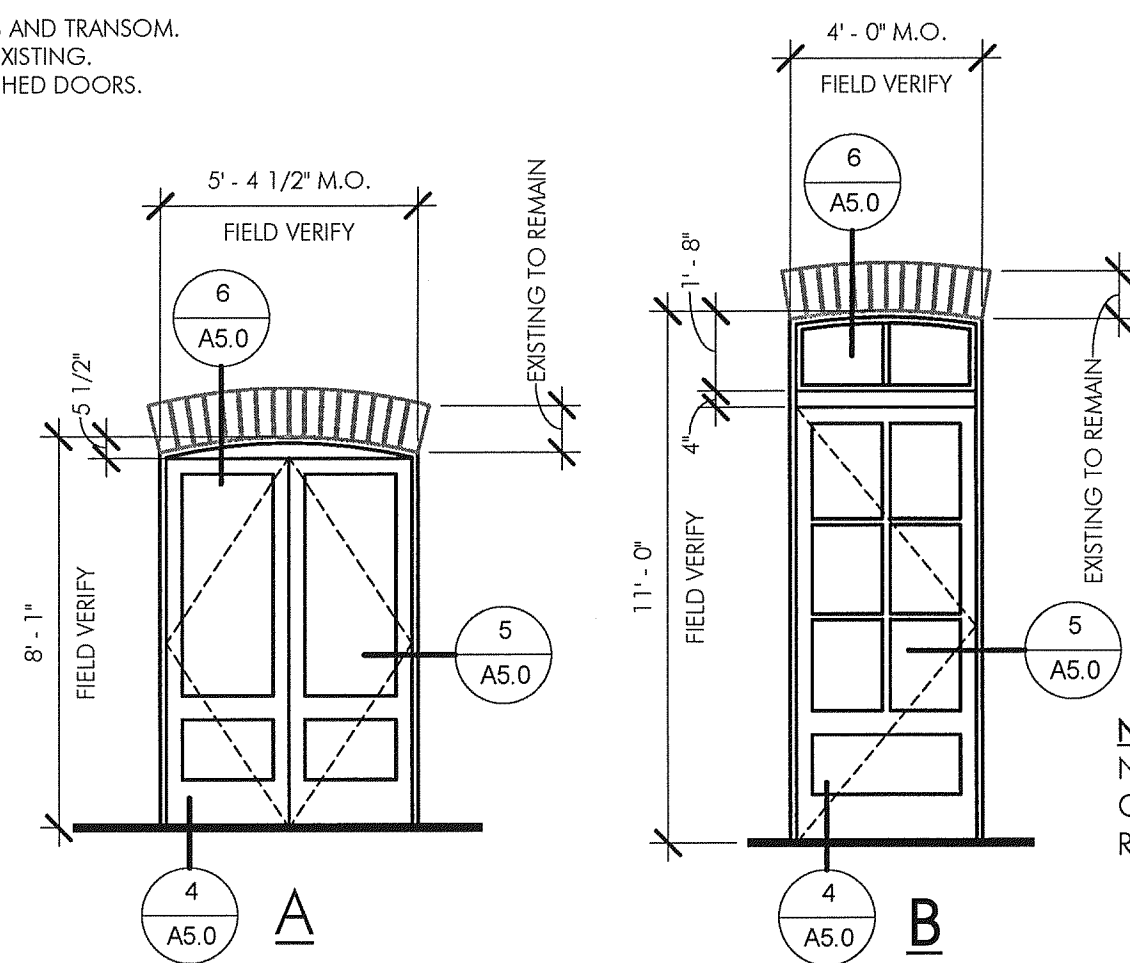
WINDOW NOTES:
1. VERIFY WINDOWS TO ALIGN WITH WINDOW ABOVE.



2 WINDOW TYPES
1/4" = 1'-0"

DOOR SCHEDULE								
DOOR #	WIDTH	HEIGHT	DOOR		FRAME		HARDWARE GROUP	COMMENTS
			TYPE	MATERIAL	TYPE	MATERIAL		
101	5' - 4 1/2"	8' - 1"	A	STND WD		STND WD		FIELD VERIFY OPENING DIMENSIONS
102	4' - 0"	11' - 0"	B	STND WD		STND WD		FIELD VERIFY OPENING DIMENSIONS

DOOR NOTES:
1. PROVIDED TEMPERED GLAZING AT DOORS AND TRANSOM.
2. PROVIDE WEATHERSTRIPPING TO MATCH EXISTING.
3. NEW DOORS TO MATCH EXISTING REFINISHED DOORS.



1 DOOR TYPES
1/4" = 1'-0"

NOTE:
NEW GLASS TO BE CLEAR PER CITY OF AUSTIN HISTORIC LANDMARK REQUIREMENTS.

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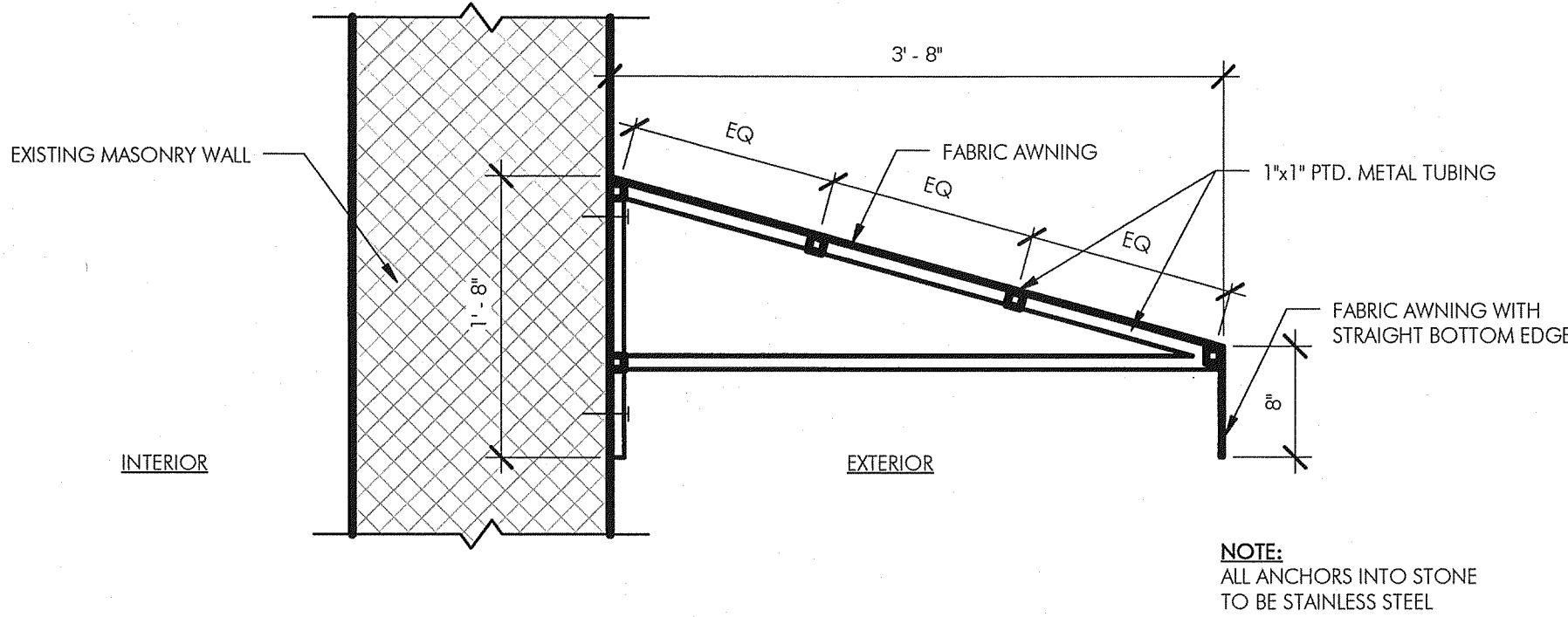
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EXTERIOR ELEVATIONS

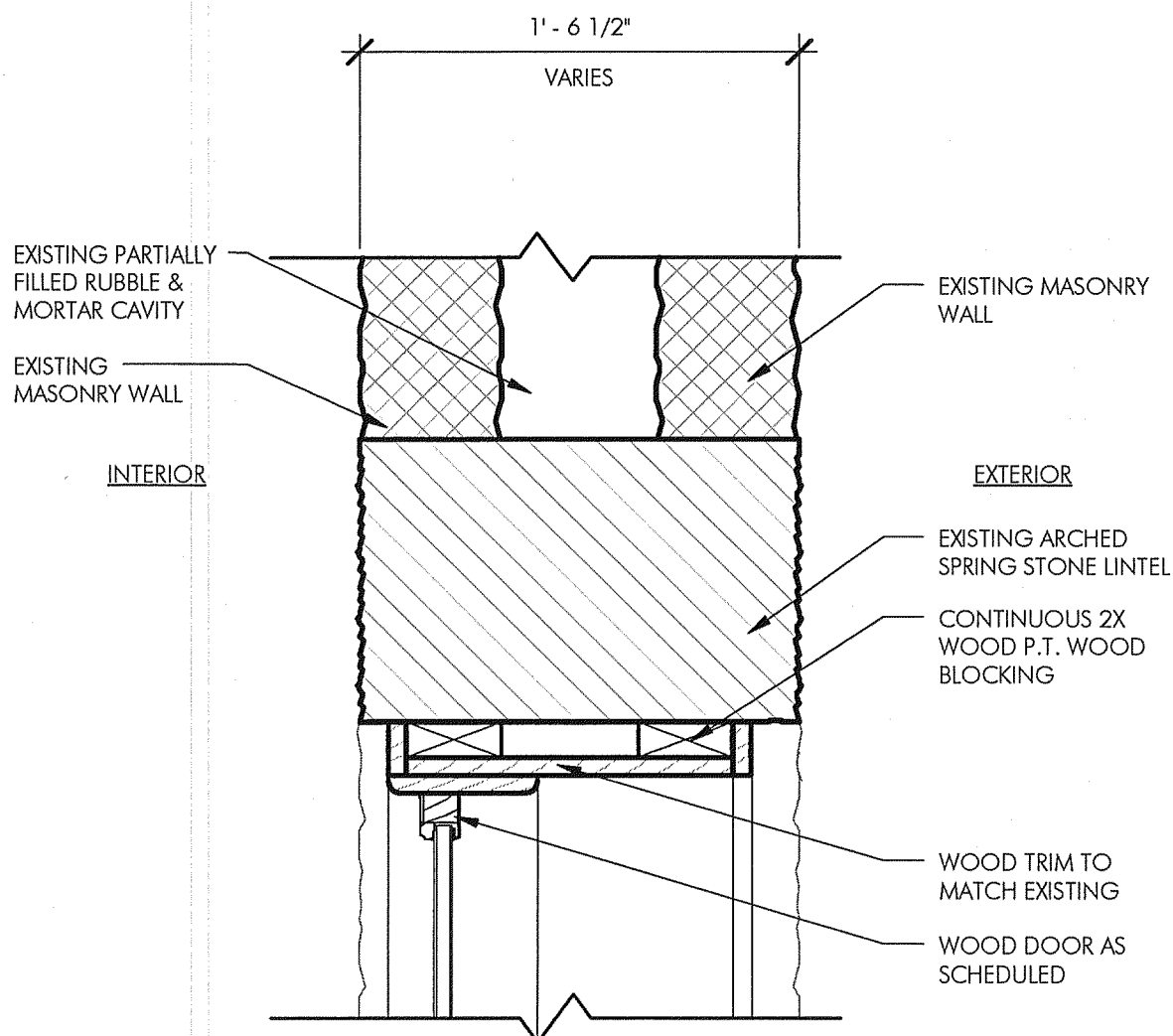
A2.0

DEMOLITION NOTES

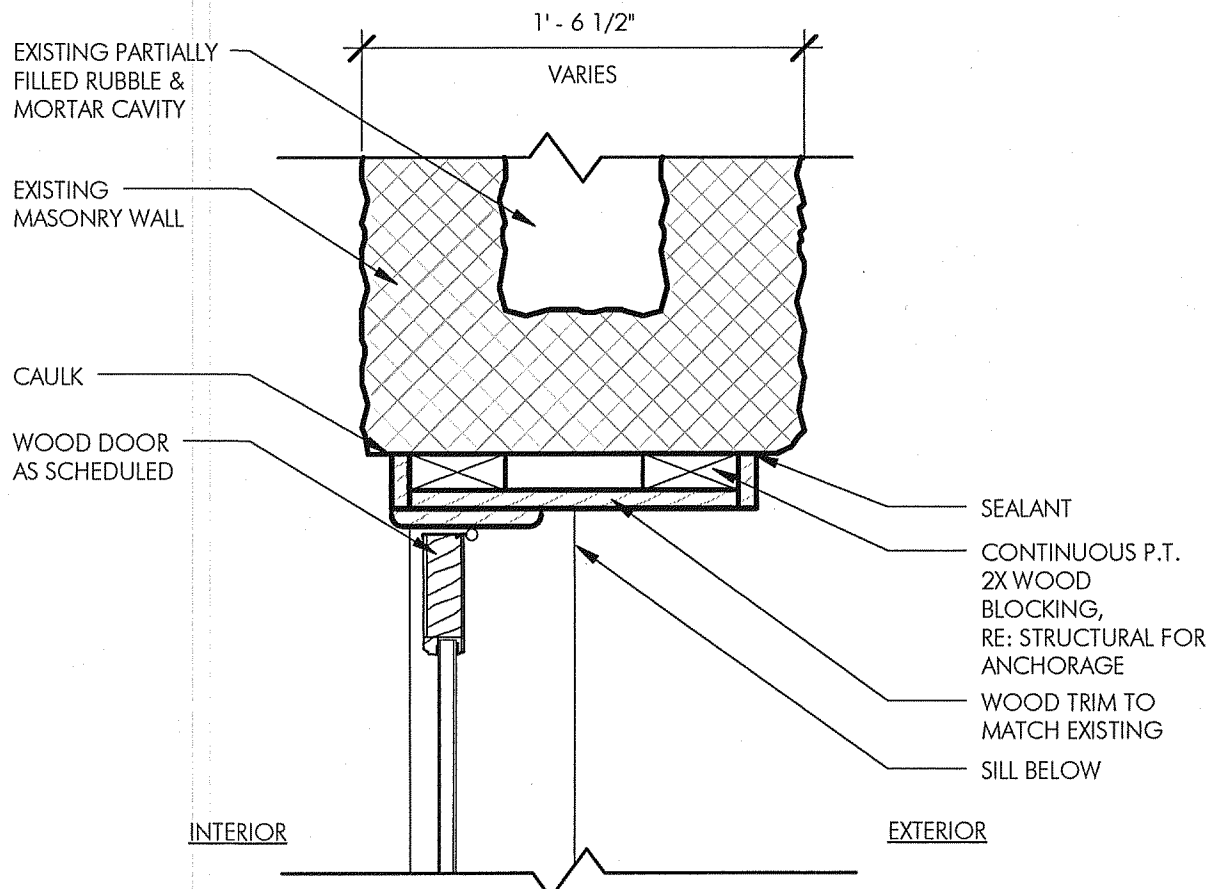
1. EXISTING WALLS AND STRUCTURE ARE NOT NECESSARILY SHOWN IN THEIR ENTIRETY OR ABSOLUTELY CORRECT LOCATION. CONTRACTOR TO VERIFY EXISTING CONDITIONS PRIOR TO BIDDING. ANY DISCREPANCIES TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR DIRECTION AND OR CLARIFICATION.
2. ALL EXISTING COMPONENTS TO REMAIN ARE TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION BY THE GENERAL CONTRACTOR (G.C.). ANY DAMAGED MATERIAL IS TO BE REPAIRED, REPLACED OR REBUILT IN A MANNER ACCEPTABLE TO THE OWNER AND ARCHITECT.
3. THE INTENT OF THE DEMOLITION PLAN IS TO REMOVE ALL ITEMS NOT REQUIRED FOR THE FINISHED PROJECT; OR THAT IS IN CONFLICT WITH NEW CONSTRUCTION. THE CONTRACTOR SHALL REMOVE/RELOCATE ALL SUCH ITEMS AS REQUIRED FOR CONSTRUCTION.
4. COORDINATE SUPPORT FOR NEW OPENINGS WITH STRUCTURAL DRAWINGS. WHERE APPLICABLE, INSTALL NEW STRUCTURAL MEMBERS (OR ADEQUATE SHORING/BRACING) BEFORE CUTTING OPENINGS.
5. DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT BEFORE CONTINUING WITH CONSTRUCTION.
6. THE CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY DEMOLITION OF THE BUILDING SYSTEMS, AND PATCHING OR REPAIR OF EXISTING BUILDING FINISHES/SITE FEATURES AFFECTED BY NEW CONSTRUCTION.
7. CONTRACTOR IS RESPONSIBLE FOR DISPOSAL OF ALL DEMOLISHED MATERIALS. THE CONTRACTOR SHALL VERIFY ANY REGULATIONS, LAWS AND/OR ORDINANCES AFFECTING THE METHODS OF DEMOLITION AND THE DISPOSAL OF WASTE MATERIALS. THE OWNER ASSUMES NO LIABILITY FOR EXTRA WORK OR ADDITIONAL COMPENSATION DUE TO FAILURE OF THE CONTRACTOR OR SUBCONTRACTORS TO COMPLY WITH APPLICABLE REGULATIONS. CONTRACTOR IS TO RECYCLE DEMOLISHED MATERIALS, AS MUCH AS POSSIBLE.
8. DAMAGES TO PROPERTY OF THE OWNER SHALL BE REPAIRED OR PAID FOR BY THE GENERAL CONTRACTOR. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO, DAMAGE TO THE BUILDING GROUNDS, PLANTINGS, WALLS, PAVEMENT, VEHICLES, UTILITIES, FINISHES, FURNISHINGS, ETC.
9. SPECIAL NOTE CONCERNING HAZARDOUS MATERIALS: THE WORK INDICATED HEREIN AND IN RELATED SPECIFICATIONS (INCLUDING REQUIRED DEMOLITION WORK) DOES NOT ADDRESS THE PRESENCE OF HAZARDOUS MATERIALS. THE ARCHITECT IS NOT INVOLVED IN THE REMOVAL, TREATMENT, OR IDENTIFICATION OF ASBESTOS OR ANY OTHER HAZARDOUS MATERIAL IN ANY WAY. IF HAZARDOUS MATERIALS ARE SUSPECTED OR ENCOUNTERED, NOTIFY THE OWNER SO THAT THE OWNER'S HAZARDOUS MATERIAL CONSULTANT CAN TEST AND RECOMMEND ABATEMENT PROCEDURES.
10. PATCH , REPAIR, AND PREPARE ALL SURFACES AS REQUIRED TO ACCOMMODATE FINISHES INDICATED.



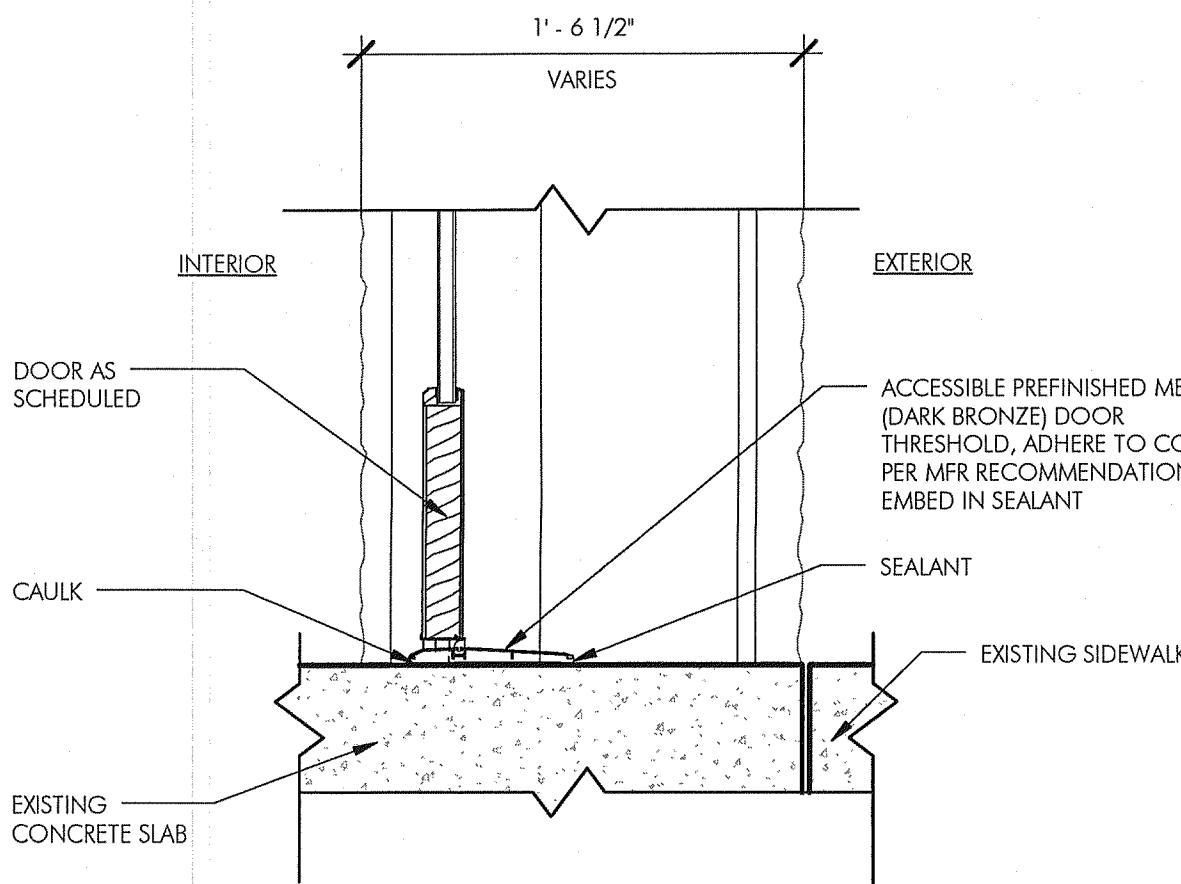
7 AWNING DETAIL
1" = 1'-0"



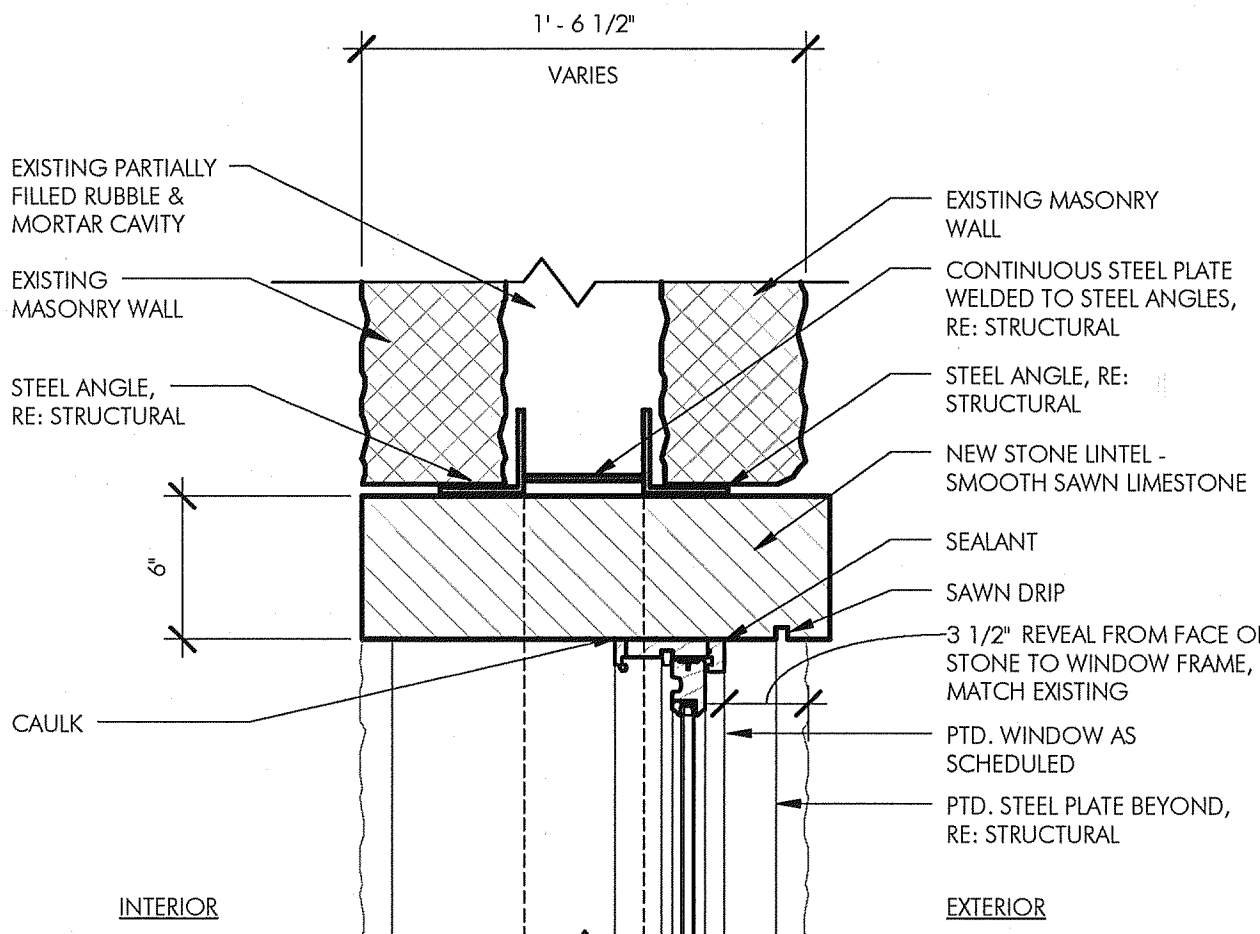
6 DOOR HEAD DETAIL
1 1/2" = 1'-0"



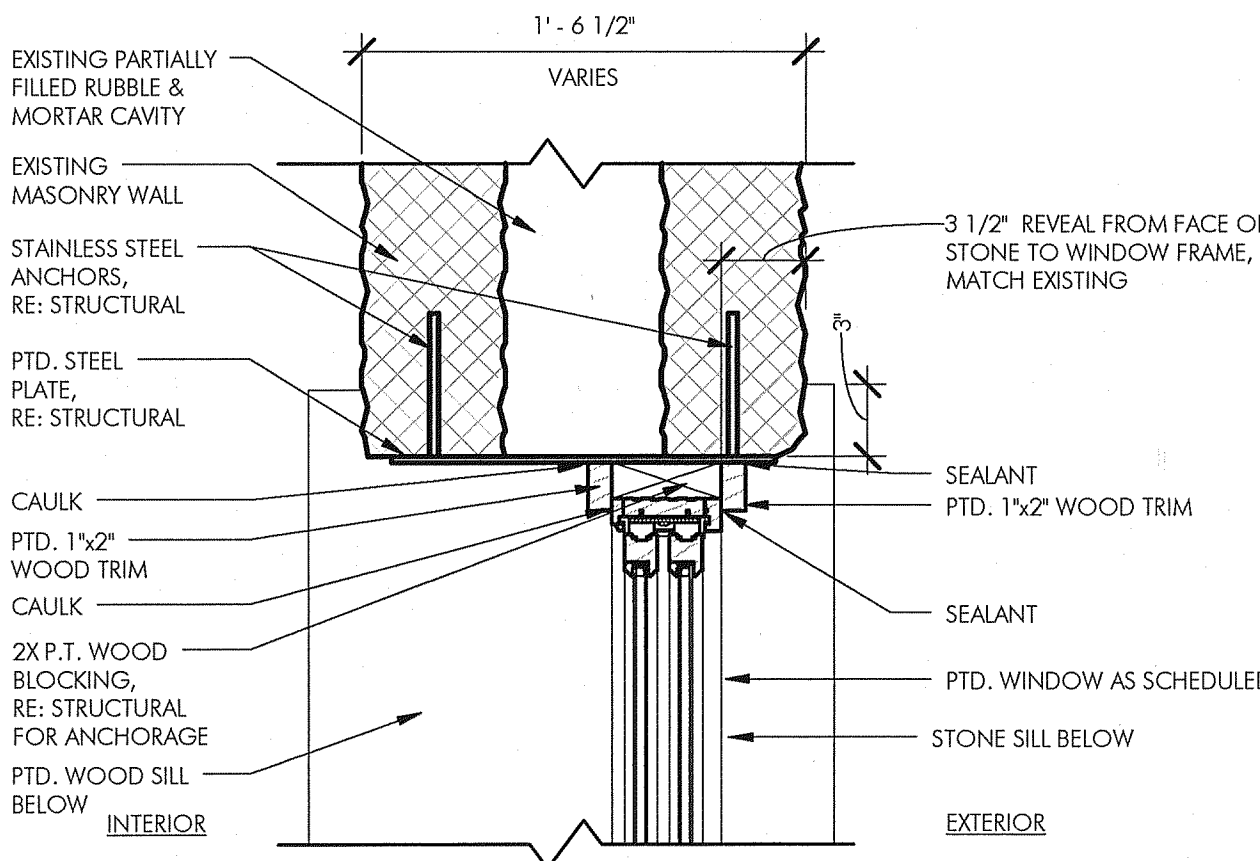
5 DOOR JAMB DETAIL
1 1/2" = 1'-0"



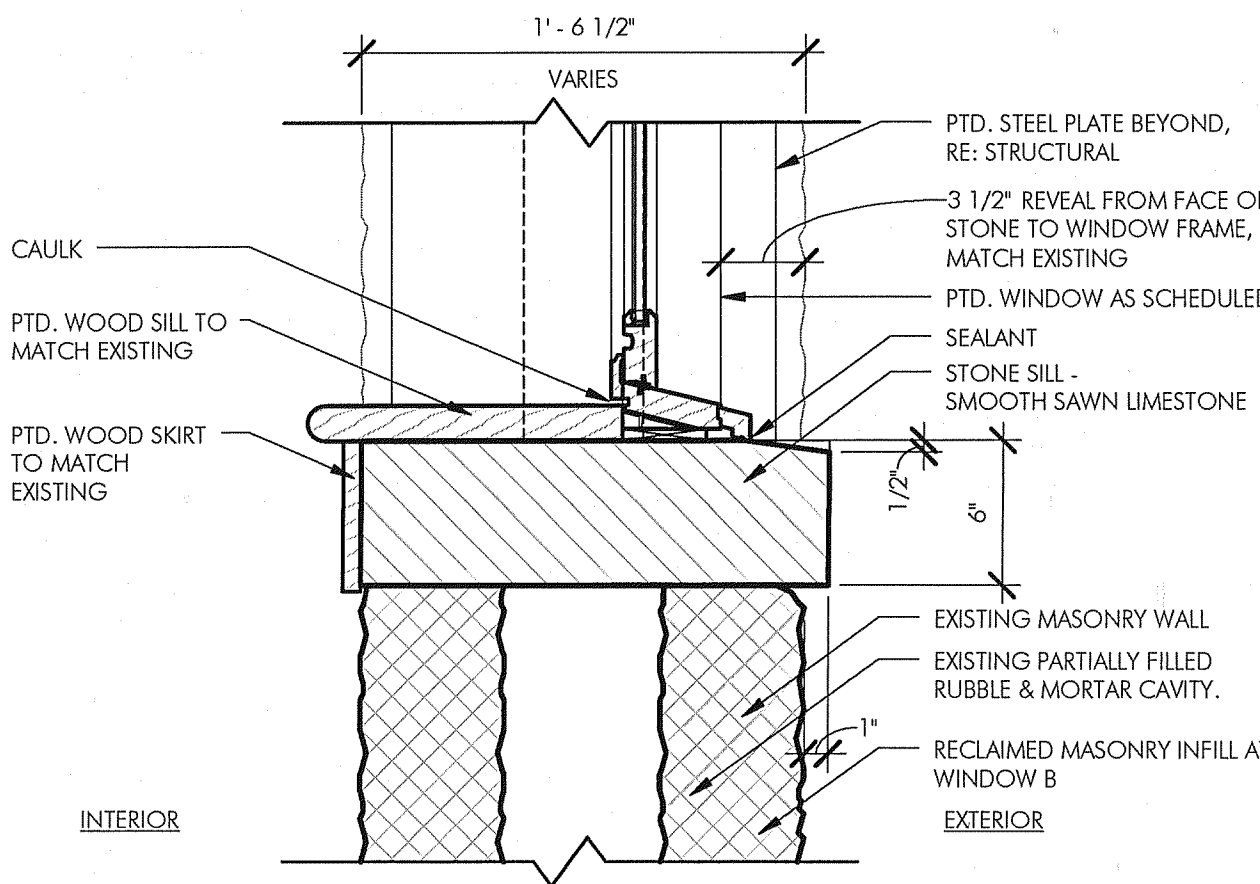
4 DOOR SILL DETAIL
1 1/2" = 1'-0"



3 WINDOW HEAD DETAIL
1 1/2" = 1'-0"



2 WINDOW JAMB DETAIL
1 1/2" = 1'-0"

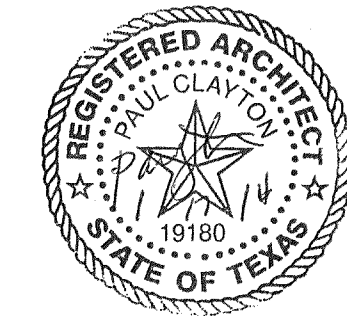


1 WINDOW SILL DETAIL
1 1/2" = 1'-0"

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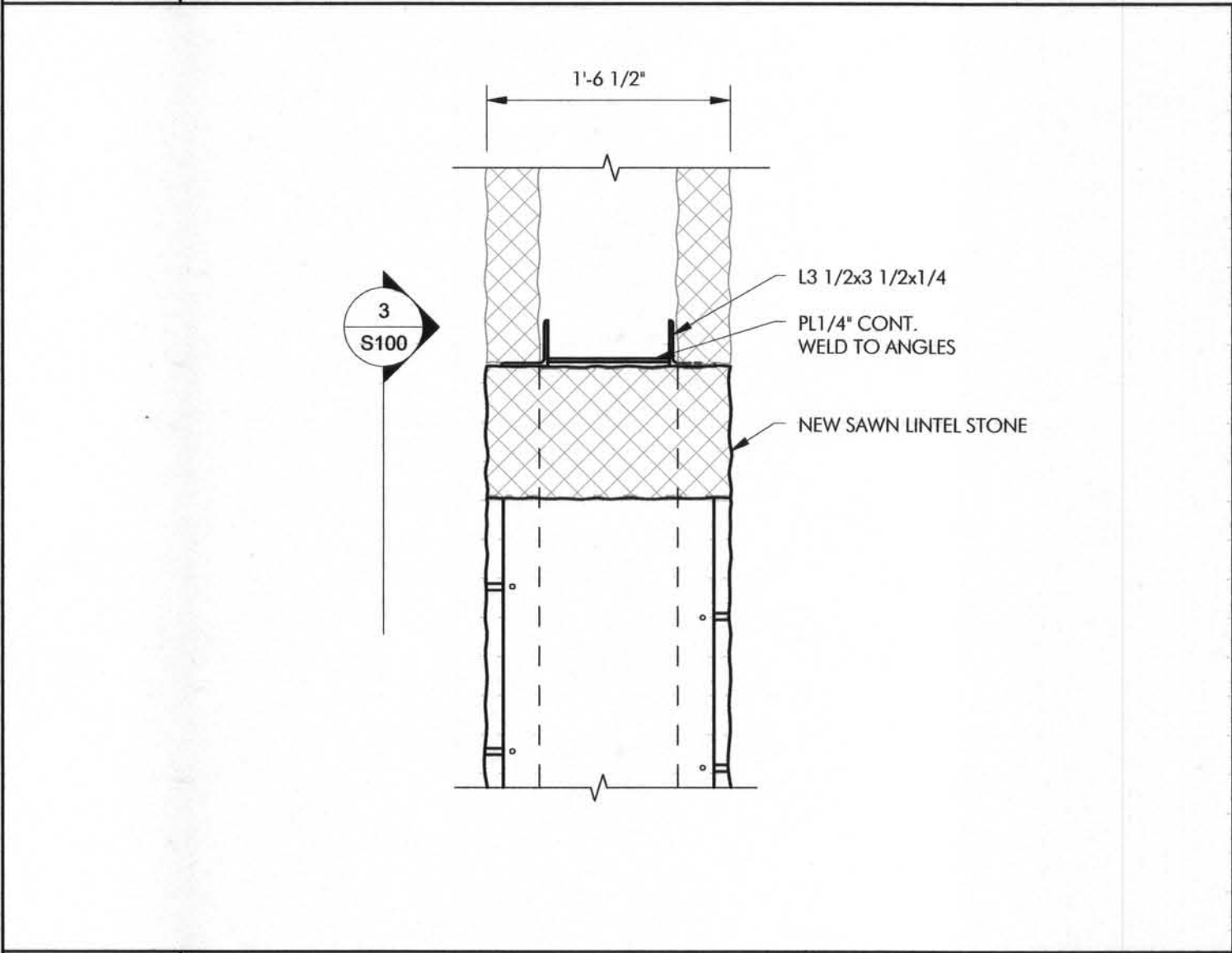
EXTERIOR DETAILS

A5.0



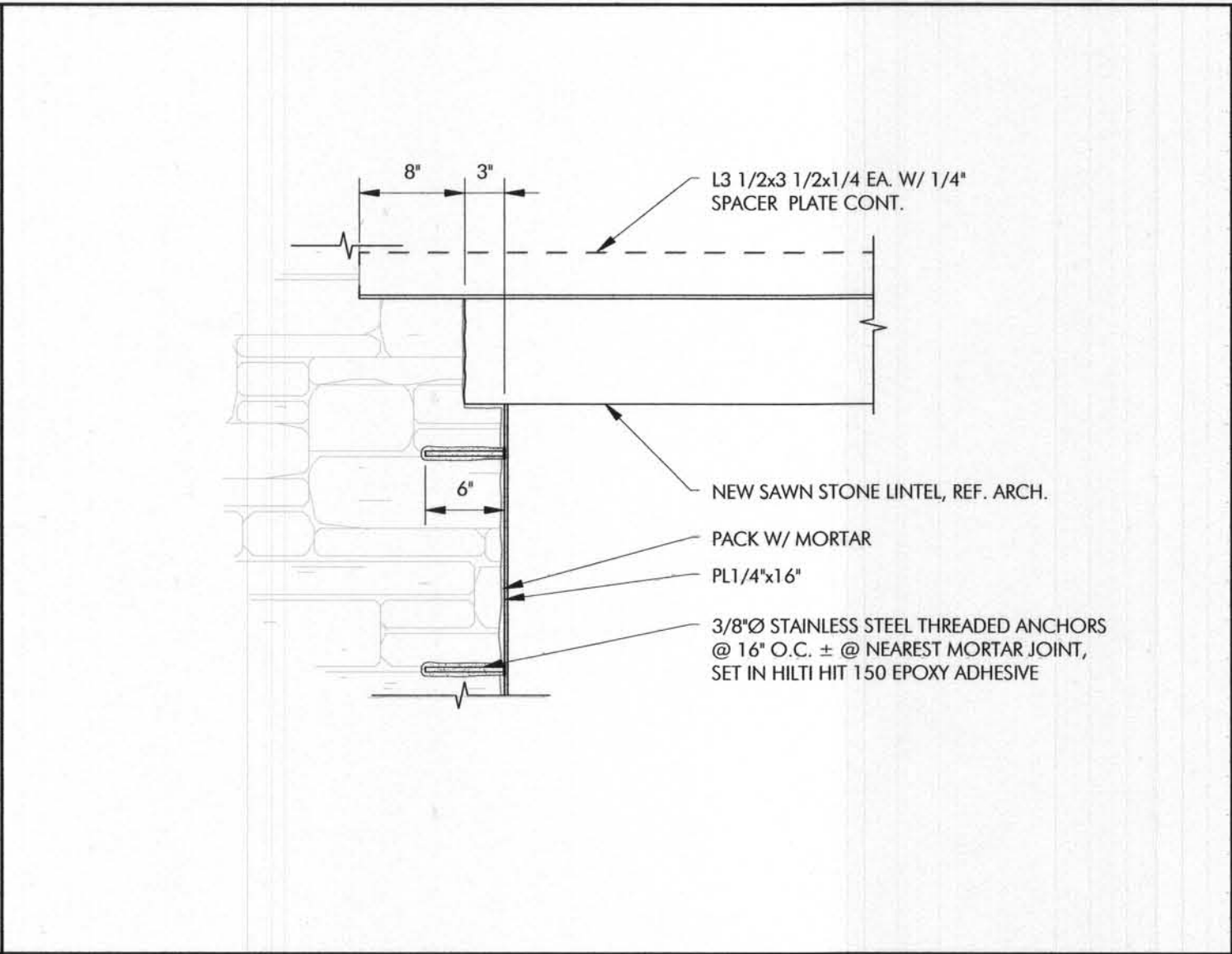
1	ELEVATION
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3/16" = 1'-0"	
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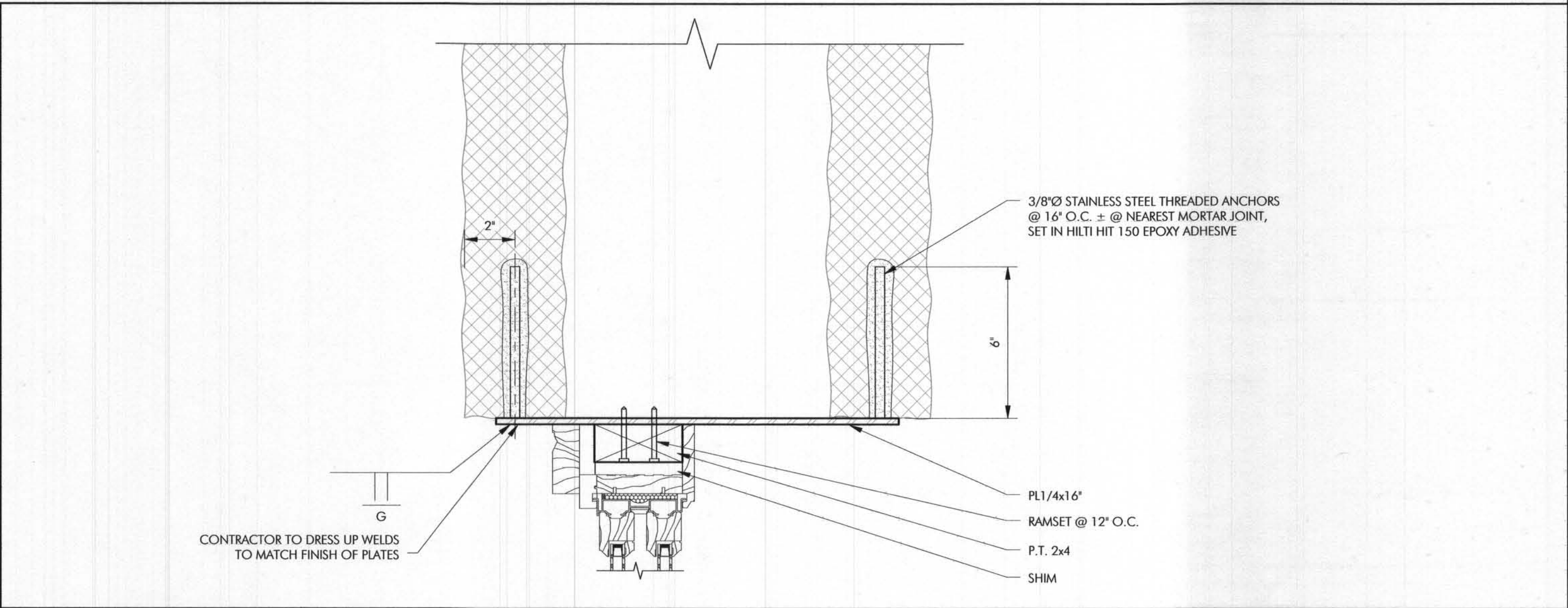
2	SECTION
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1" = 1'-0"	
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3	SECTION
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1" = 1'-0"	
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4	SECTION
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3" = 1'-0"	
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2300 Greenhill Drive, Suite 500
Round Rock, TX 78664
Phone: (512) 244-1564
Fax: (512) 388-3698
TBE Registration No. F-12702
JOB NO.
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STATE OF TEXAS

LAURENCE J. FISHER
50110
REGISTERED PROFESSIONAL ENGINEER

01/16/14

Architects
Clayton&Little

1001 East 8th Street
Austin, Texas 78702
512 477 1727

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PROJECT NUMBER: 14001

S100