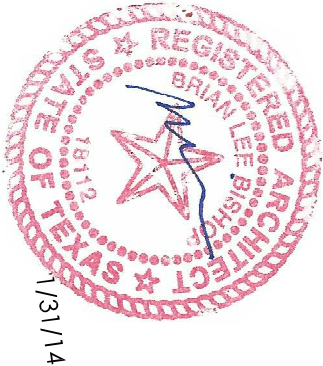


AVENUE H DUPLEX ADDITION

3807 Avenue H
Austin, Texas 78751

Pandya Duplex Addition



COVER SHEET &
SITE PLAN

G1.1

CONSULTANT INFORMATION

OWNER
MAULIK PANDYA
9908 CHARHOUSE COVE
AUSTIN, TEXAS 78730

ARCHITECT
BISHOP ARCHITECTS
5300 MAGDELENA DRIVE
AUSTIN, TEXAS 78735

STRUCTURAL
JAMES V. RYAN STRUCTURAL ENGINEERING
5428 SCHERTZ ROAD
SAN ANTONIO, TEXAS 78233

PHONE: 512-342-2767
CONTACT:
MAULIK PANDYA

PHONE: 512-653-1467
CONTACT:
BRIAN BISHOP

PHONE: 210-599-7484
CONTACT:
JAMES RYAN

- RESIDENTIAL DESIGN STANDARDS AS THEY APPLY TO THIS PROJECT**
- 1.2 NO MODIFICATIONS TO THE EXISTING FACADE ARE PROPOSED. WITH THE EXCEPTION OF REMOVAL OF WINDOW UNITS, AND ALL ELEMENTS SUCH AS SIDING, TRIM, DOOR AND WINDOW STYLE, ROOF-EDGE DETAILS, ETC., WILL MATCH EXISTING.
 - 3.1 THE FRONT OF THE HOUSE WILL REMAIN UNCHANGED.
 - 3.2 PROPOSED EXIT DOORS FOR THE ADDITION WILL MATCH EXISTING BACK DOOR (TO BE REMOVED) EXCEPT IT WILL CONTAIN GLASS.
 - 3.3 NO ORIGINAL WINDOWS FACING THE STREET OR SIDES OF THE HOUSE ARE PROPOSED TO BE REMOVED. NEW WINDOWS SHALL MATCH EXISTING.
 - 3.5 NEW ROOF MATERIAL AND PITCH SHALL MATCH EXISTING.
 - 4.4 ADDITION WILL HAVE SAME FLOOR TO CEILING HEIGHT.

SITE INFORMATION

SOUTH 40' OF LOT 54, SHADOW LAWN
ZONING: SF-54-HD-NCCD-NP
LOT SF: 8,220 SF

MAXIMUM BUILDING COVERAGE

40% OR 3,288 SF
DUPLEX TOTAL: 1,395 SF
GARAGE: 393 SF
ADDITION: 410 SF
IMPERVIOUS BUILDING COVERAGE: 2,198 SF
BUILDING COVERAGE: 2,198 / 8,220 = 26.7%

MAXIMUM IMPERVIOUS COVERAGE

45% OR 3,699 SF
DUPLEX TOTAL: 1,805 SF
GARAGE: 393 SF
ROOF OVERHANG: 46 SF
FRONT SIDEWALK: 68 SF
FRONT PORCH: 76 SF
BACK STEPS (24'-30'-54 SF): 54 SF
AC PADS: 18 SF
TOTAL: 2,414 SF
IMPERVIOUS COVER: 2,414 / 8,220 = 29%

MAXIMUM F.A.R.

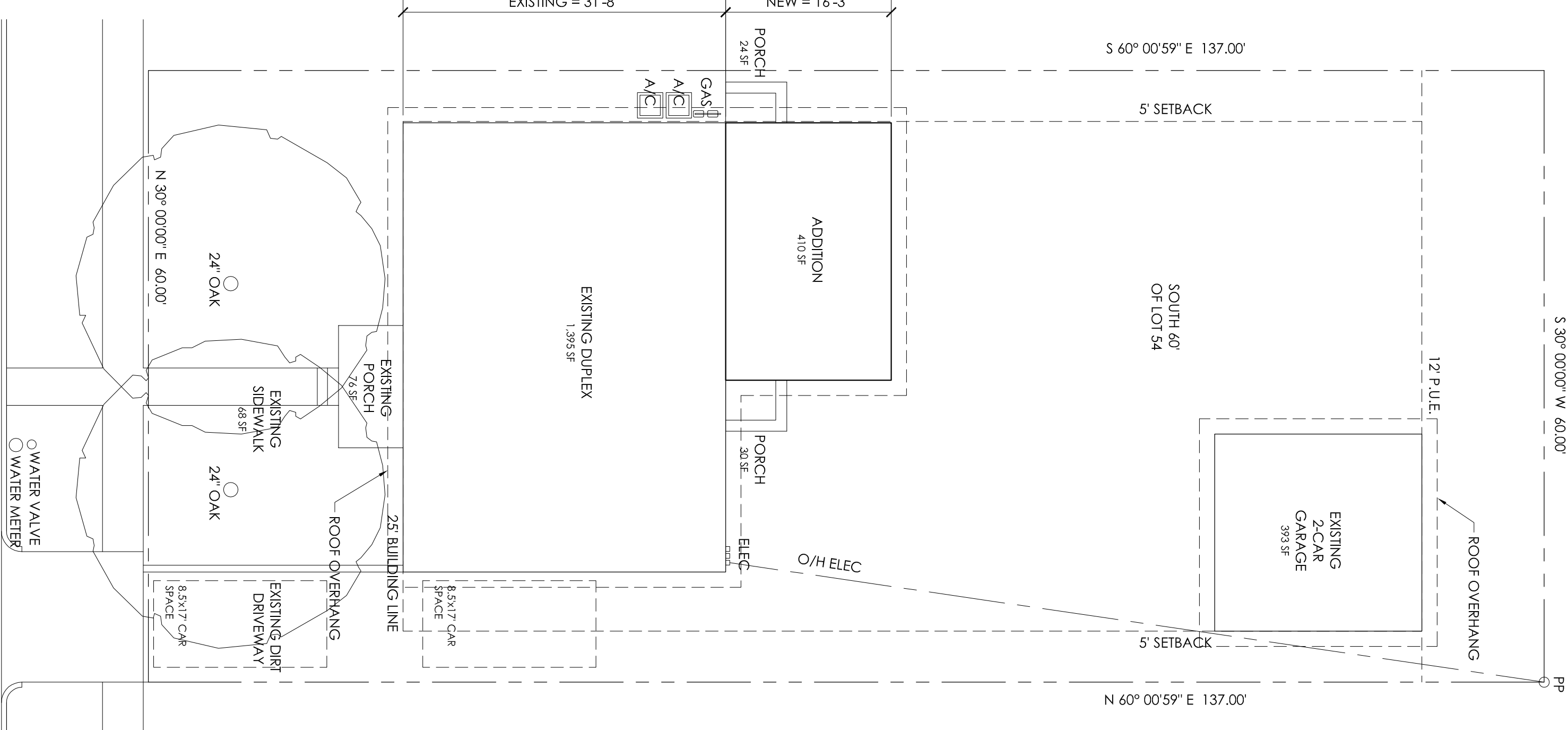
40% OR 3,288 SF
DUPLEX: 1,395 SF
ADDITION: 410 SF
TOTAL: 1,805 SF
GARAGE EXTENSION: 393 SF
TOTAL: 1,748 SF
AREA: 1,748 / 8,220 = 0.21 FAR

LIST OF DRAWINGS

ARCHITECTURAL
G1.1 COVER SHEET & SITE PLAN
AD1.1 DEMOLITION PLAN
A1.1 FLOOR PLAN
A1.2 CEILING PLAN
A1.3 ROOF PLAN
A2.1 EXTERIOR & INTERIOR ELEVATIONS

STRUCTURAL
S-1 FOUNDATION AND ROOF FRAMING PLANS

SITE PLAN
1" = 10'-0" (22x34), 1" = 20'-0" (11x17)

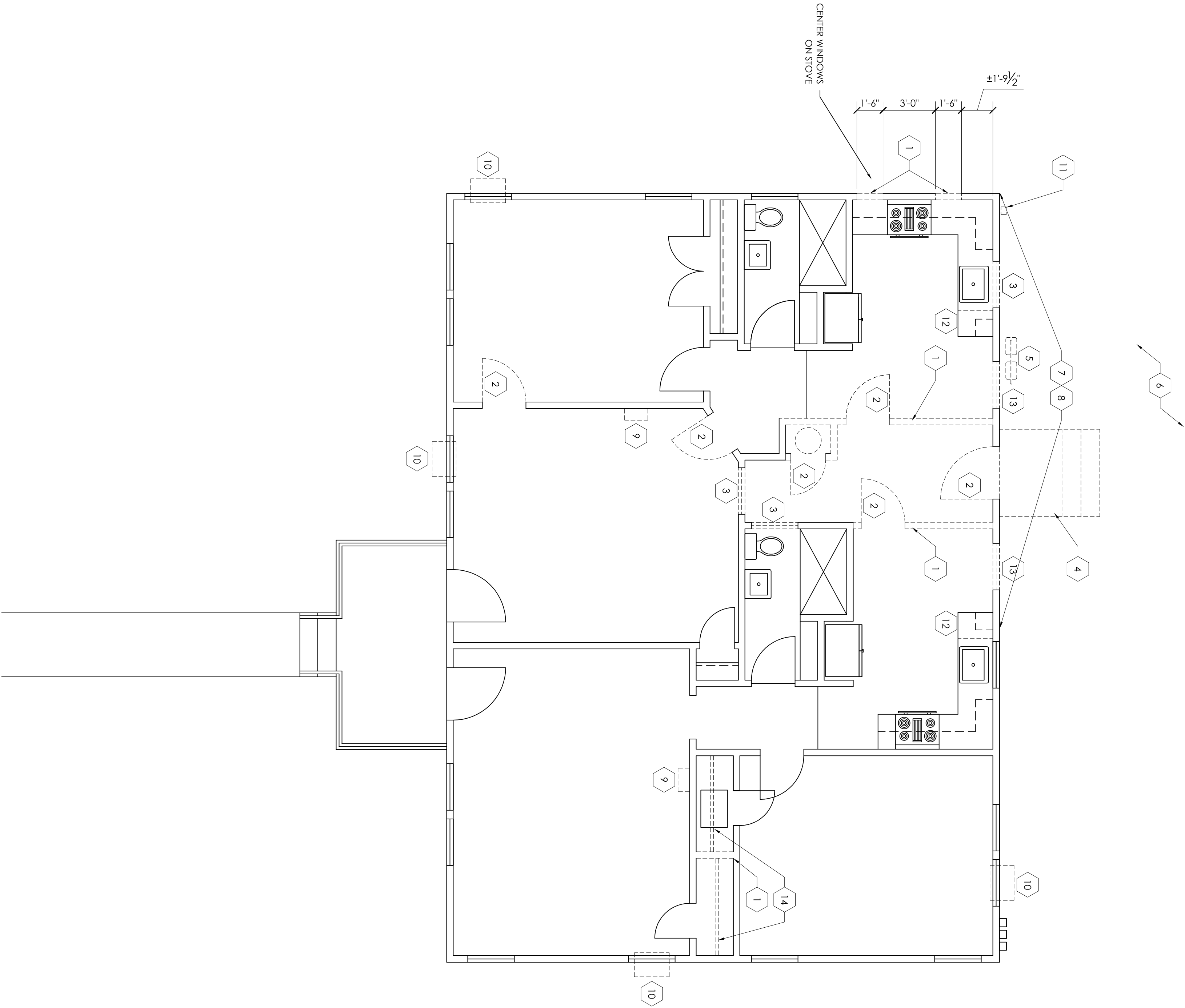


GENERAL DEMOLITION NOTES

1. REMOVE ALL BUILDING PARTS AND/OR OTHER ITEMS AS REQUIRED TO ALLOW FOR THE INSTALLATION AND CONNECTION OF NEW WORK, INCLUDING REMOVAL OF SUCH EXISTING MECHANICAL AND/OR ELECTRICAL EQUIPMENT, PIPING, CONDUIT, WIRE, ETC., WHICH IS NOT TO REMAIN OR IN CONNECTION WITH THE NEW WORK.
2. THE DEMOLITION DRAWINGS INDICATE BUILDING CONDITIONS PER PROJECT INVESTIGATION. THE CONTRACTOR SHALL ANTICIPATE SLIGHT DEVIATION FROM THESE DRAWINGS.
3. REPLACE ITEMS TO BE REUSED IF THEY ARE DAMAGED AND CANNOT BE REPAIRED TO THE SATISFACTION OF THE ARCHITECT AT NO ADDITIONAL COST TO THE CONTRACT.
4. ANY QUESTIONS CONCERNING OWNERSHIP OF SALVAGEABLE MATERIAL SHALL BE DECIDED BY THE OWNER.
5. WHEN EXISTING MECHANICAL, PLUMBING AND/OR ELECTRICAL FIXTURES AND/OR EQUIPMENT ARE TO BE REMOVED FROM THE SPACE, THEY SHALL BE DISCONNECTED AT THE SOURCE AND REMOVED IN ITS ENTIRETY.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR STRUCTURAL INTEGRITY OF BUILDING. PROVIDE BRACING AS REQUIRED.
7. CONTRACTOR IS RESPONSIBLE FOR ANY REQUIRED NOTIFICATION OF AUTHORITIES PRIOR TO DEMOLITION. ANY DEMOLISHED MATERIALS ARE TO BE REMOVED AND LEGALLY DISPOSED OF.

DEMOLITION KEYNOTES

- 1 REMOVE PORTION OF EXISTING WALL
- 2 REMOVE EXISTING DOOR
- 3 REMOVE EXISTING WINDOW
- 4 REMOVE CONCRETE PORCH AND STEPS
- 5 RELOCATE EXISTING GAS METERS
- 6 REMOVE LANDSCAPING TO ACCOMMODATE NEW ADDITION
- 7 REMOVE SIDING, VAPOR BARRIER AND SHEATHING
- 8 REMOVE PORTION OF ROOF OVERHANG AT NEW ADDITION
- 9 REMOVE WALL HEATER
- 10 REMOVE WINDOW UNIT
- 11 REMOVE WALL MOUNTED LIGHT
- 12 REMOVE 18" BASE CABINET AND REPLACE WITH AN 18" WIDE DISHWASHER
- 13 REMOVE EXISTING WINDOW AND FRAMING/WALL BELOW FOR NEW DOOR
- 14 REMOVE SHELVES AND ROD IN CLOSET



DEMOLITION PLAN

2

NOTES

1

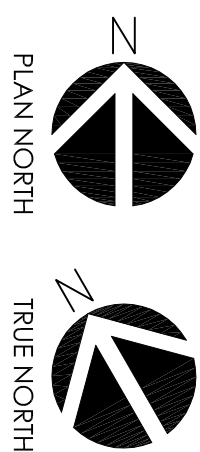
Pandya Duplex Addition

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Austin, Texas 78751

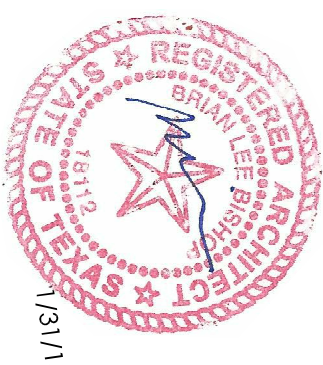
- ALL DIMENSIONS ARE TO FINISHED SURFACE OR CENTERLINE OF SCHEDULED OPENING UNLESS NOTED OTHERWISE.
- COORDINATE ALL ROUGH OPENINGS OF WINDOWS & DOORS WITH MANUFACTURER REQUIREMENTS
- ALL BREAKS IN FLOOR FINISHES WHICH OCCUR AT DOOR OPENINGS SHALL BE CENTERED AT CENTER OF DOOR IN A CLOSED POSITION.
- PROVIDE CHEMICAL TERMITICIDE TREATMENT TO SOIL
- PROVIDE SOUND BATS INSIDE ALL NEW PARTITIONS
- NEW INTERIOR WALLS TO BE FRAMED WITH 2x4s AT 16" O.C., WITH SINGLE 2x4 BASE PLATE AND DOUBLE 2x4 TOP PLATES. PROVIDE 1/2" GYPSUM BOARD EACH SIDE, TAPED, AND TEXTURED TO MATCH EXISTING.
- NEW EXTERIOR WALLS TO BE FRAMED WITH 2x4s AT 16" O.C. WITH SINGLE 2x4 BASE PLATE AND DOUBLE 2x4 TOP PLATES. INSULATE WITH R-15 BATS. PROVIDE 1/2" GYPSUM BOARD AT INSIDE, TAPED, FLOATED, AND TEXTURED TO MATCH EXISTING AND 1/2" OSB SHEATHING TO EXTERIOR. COVER SHEATHING WITH TYVEK OR EQUAL, AND WOOD SIDING TO MATCH EXISTING. PAINTED.
- INSTALL R-30 BATS ABOVE CEILING IN ATTIC OF NEW CONSTRUCTION.
- ALL INTERIOR AND EXTERIOR TRIM TO MATCH EXISTING.

T.M.E. - TO MATCH EXISTING
O.F.C.I. - OWNER FURNISHED, CONTRACTOR INSTALLED
N.I.C. - NOT IN CONTRACT
W.I.C. - WALK IN CLOSET
① - TEMPERED GLAZING

- 1 ELECTRICAL SERVICE PANEL.
- 2 A/C CONDENSER
- 3 RELOCATED GAS METERS
- 4 INT'L WALL WITH CONSTRUCTION TO MATCH EXISTING ADJACENT CONSTRUCTION
- 5 PATCH AND REPAIR WHERE WALL WAS REMOVED TO MATCH ADJACENT SURFACE
- 6 EXISTING BUILDING ADDRESS LOCATION
- 7 FURNITURE, N.I.C.
- 8 COORDINATE CLOSET LAYOUT WITH OWNER PRIOR TO FABRICATION
- 9 EXTEND TILE TO NEW KITCHEN WALL AND INTO WASHER-DRYER CLOSET. TILE TO MATCH EXISTING KITCHEN TILE
- 10 RELOCATE EXISTING WATER HEATER AND PROVIDE NEW WATER HEATER TO MATCH EXISTING. SEPARATE PLUMBING LINES PER UNIT TO EACH WATER HEATER
- 11 REPAIR WINDOW AND TRIM WHERE WINDOW UNIT WAS REMOVED
- 12 PATCH AND REPAIR WALL WHERE HEATER WAS REMOVED
- 13 PROVIDE NEW GYPSUM BOARD OVER EXISTING STUDS, ENTIRE LENGTH OF NEW CONSTRUCTION
- 14 PROVIDE 4" DIAMETER GALV. METAL PIPES FOR DRYER VENTS. INSTALL BY HANGING THE PIPES FROM THE TRAKING IN THE CRAWL SPACE AND INSULATE PIPES. PROVIDE A BACKDRAFT DAMPER ON EACH EXHAUST
- 15 EXISTING CRAWL SPACE ACCESS
- 16 NEW 24"x24" CRAWL SPACE ACCESS
- 17 PATCH AND REPAIR TILE AND GROUT AROUND NEW WINDOWS TO MATCH ADJACENT SURFACES




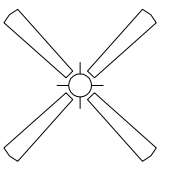















NOTES	FLOOR PLAN
1	2



GENERAL CEILING NOTES

ALL INTERIOR CEILING FINISHES TO BE 5/8" MINIMUM GWB, MOUNTED DIRECTLY TO UNDERSIDE OF FRAMING ABOVE, UNLESS NOTED OTHERWISE. TAPE & FLOAT, TEXTURE & PAINT

ELECTRICAL & RCP LEGEND

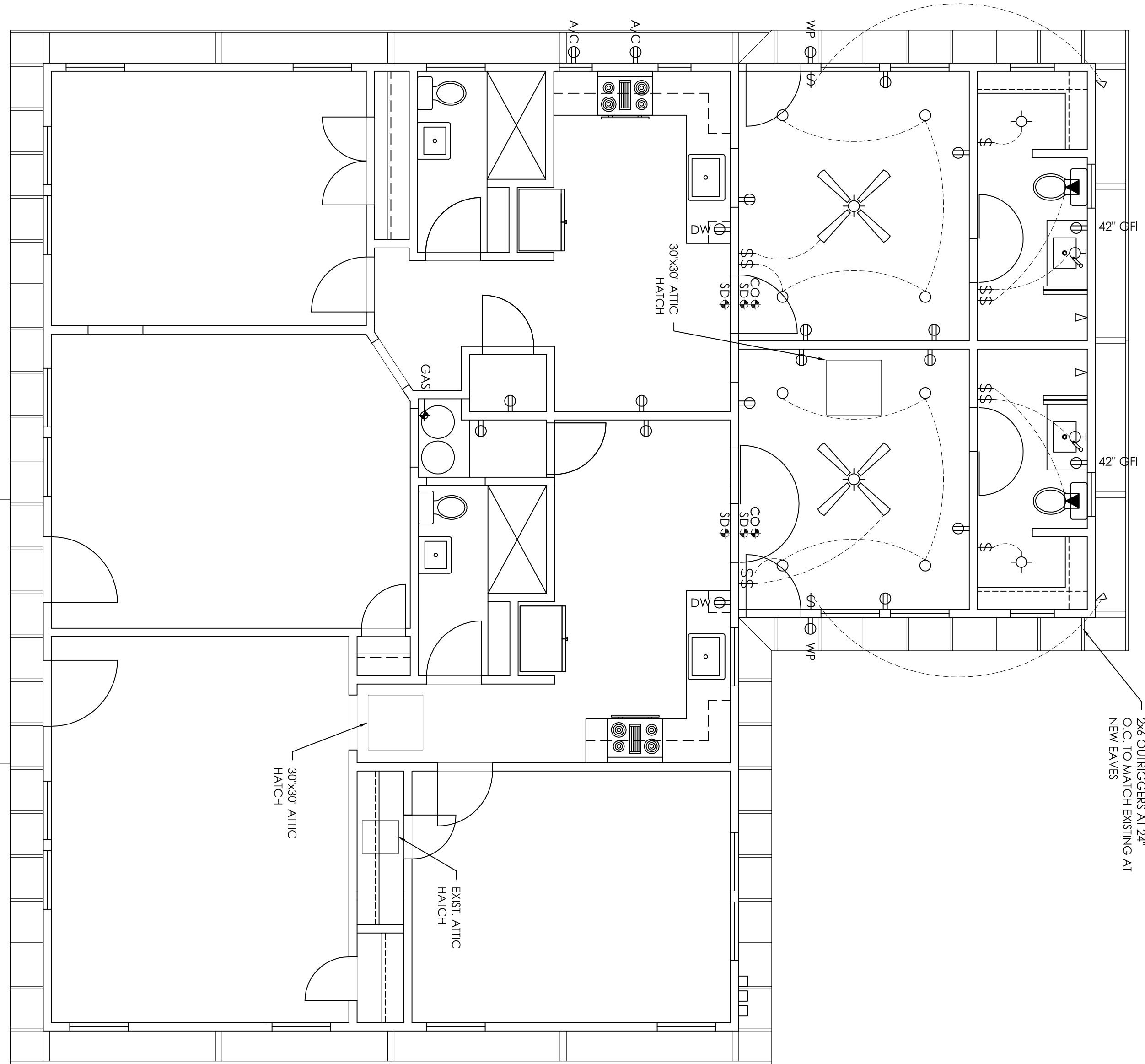
\$	SWITCH		SURFACE MOUNTED LIGHT
\$3	SWITCH - 3 WAY		CEILING FAN: COORDINATE W/ OWNER PROVIDE ADDITIONAL SWITCH FOR OPTIONAL LIGHT KIT
\$0	SWITCH - DIMMER		RECESSED CANLIGHT W/ EXHAUST FAN AND HEAT
⊖	OUTLET - 110V DUPLEX		TELEVISION OUTLET
GH⊖	OUTLET - 110V DUPLEX - G.F.I.		DATA OUTLET
⊖	OUTLET - 220V		TELEPHONE OUTLET
⊖	OUTLET - QUADRUPEX		DOOR BELL CHIME
SD⚡	SMOKE DETECTOR RE: NOTES THIS SHEET		CHIMES
○	RECESSED FLUORESCENT CANLIGHT, UNO.		THERMOSTAT
○	LOW VOLTAGE RECESSED CANLIGHT		ABOVE FINISH FLOOR
○	WALL SCONCE: COORDINATE W/ OWNER		GROUND FAULT INTERRUPT
⊖	RECESSED CANLIGHT, ADJUSTABLE BEAM		SURFACE MOUNTED
⊖	SUSPENDED LIGHT FIXTURE: COORDINATE W/ OWNER		SURFACE MNTD. SPEAKER
⊖	FLOOD LIGHT		SUSPENDED
	FLUORESCENT LIGHT FIXTURE W/ PLASTIC LENS COVER: - 2', 4' OR 8' LENGTH (AS NOTED)		WATER HEATER
			WALL MOUNTED
			WATERPROOF
			CARBON MONOXIDE DETECTOR

ELECTRICAL & RCP NOTES

1. CONFIRM POWER REQUIREMENTS AND POWER LOCATIONS TO ALL EQUIPMENT AND APPLIANCES.
2. CONFIRM TYPE, STYLE AND LOCATION OF ALL ELECTRICAL FIXTURES WITH OWNER. INSTALL PER CODE AND MANUFACTURER'S RECOMMENDATIONS.
3. A DEDICATED 20-AMP CIRCUIT SHALL SERVE THE REQUIRED BATHROOM OUTLETS. BATH LIGHTINGS SHALL NOT BE AN OUTLET CIRCUIT.
4. ALL EXTERIOR RECEPTACLES SHALL HAVE WEATHERPROOF COVERS.
5. ALL SWITCHES TO MATCH EXISTING STYLE AND HEIGHT ABOVE FINISH FLOOR UNLESS NOTED OTHERWISE.
6. ALL OUTLETS TO MATCH EXISTING STYLE AND HEIGHT ABOVE FINISH FLOOR UNLESS NOTED OTHERWISE.
7. ELECTRICAL SERVICE AMPERAGE TO BE COORDINATED WITH RINAL ELECTRICAL LOAD. ELECTRICAL CONTRACTOR TO VISIT SITE & TO VERIFY PANEL CAPACITY PRIOR TO BIDDING.
8. ALL BRANCH CIRCUITS THAT SUPPLY OUTLETS INSTALLED IN BEDROOMS SHALL BE ARC FAULT CIRCUIT INTERRUPTED.
9. AT RECESSED LIGHTS IN INSULATED CEILINGS PROVIDE IC RATED, ELECTRONIC BALLAST AND AIR TIGHT (AT).
10. INSULATE ALL HOT WATER PPES TO R-4 MIN.
11. BATH FAN SHALL EXHAUST 1 CUBIC FOOT PER MINUTE PER SF OF SPACE AND HAVE A SOUND RATING BELOW 1.0 SONES. FAN TO BE BROWN ULTRA SILENT MODEL OR APPROVED EQUAL.
12. PROVIDE NEW CENTRAL AIR AND HEAT TO BOTH UNITS. LOCATE FANS IN ATTIC. INSULATE SUPPLY DUCTS TO R-8 AND RETURN TO R-6.

SMOKE DETECTOR NOTES

1. SMOKE DETECTORS REQUIRED IN EACH SLEEPING ROOM AND OUTSIDE EACH SLEEPING ROOM IN THE IMMEDIATE VICINITY AS SHOWN.
2. SLEEPING ROOM SMOKE DETECTORS SHALL BE WALL MOUNTED, CENTERED ABOVE EACH BEDROOM DOOR. ALL OTHER SMOKE DETECTORS SHALL BE CEILING MOUNTED.
3. SMOKE AND CARBON MONOXIDE DETECTOR SHALL BE INTERCONNECTED, SUCH THAT WHEN ONE DETECTOR IS ACTIVATED, ALL DETECTORS WILL EMIT AN AUDIBLE ALARM.
4. SMOKE AND CARBON MONOXIDE DETECTORS SHALL RECEIVE POWER FROM BUILDING WIRING AND EQUIPPED WITH BATTERY BACKUP.
5. INSTALL ALL DETECTORS PER MANUFACTURER'S RECOMMENDATIONS.
6. CONTRACTOR SHALL PROVIDE WIRING FOR SMOKE AND CARBON MONOXIDE DETECTORS.



CEILING PLAN

1/4" = 1'-0" (22x34), 1/8" = 1'-0" (11x17)

2

NOTES

1

NONE

Pandya Duplex Addition

3807 Avenue H
Austin, Texas 78751



BISHOParchitects
5300 Magdalena Austin, Texas 78735 512.653.1467

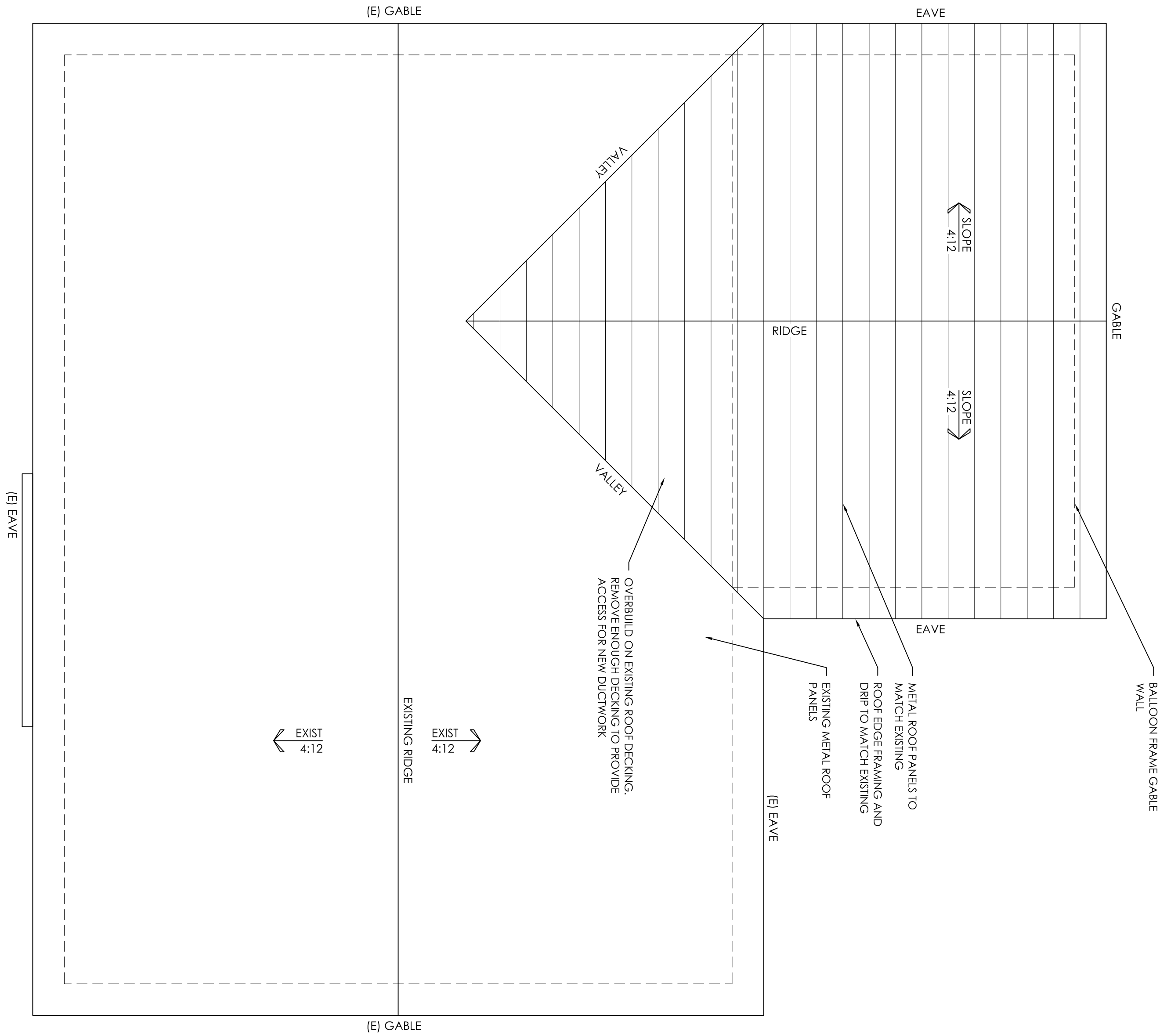


CEILING PLAN

Sheet No.

A1.2

NEW ROOF AREA :	410.5F
REQUIRED VENTILATION (%oa)	1.33F
GABLE VENT	3.65F



ROOF PLAN NOTES

NEW ROOF SLOPES TO MATCH EXISTING SLOPES UNLESS NOTED OTHERWISE.
ALL ROOF OVERHANGS AND ROOF EDGE DETAILS TO MATCH EXISTING.

ATTIC VENTILATION NOTES

THE MINIMUM VENTILATING AREA SHALL NOT BE LESS THAN 1/60 SINCE AT LEAST 50 PERCENT BUT LESS THAN 80 PERCENT OF THE VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED.
REFERENCE ROOF PLAN FOR INDIVIDUAL ROOF AREA CALCULATIONS.

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ROOF PLAN

Sheet No.

A1.3

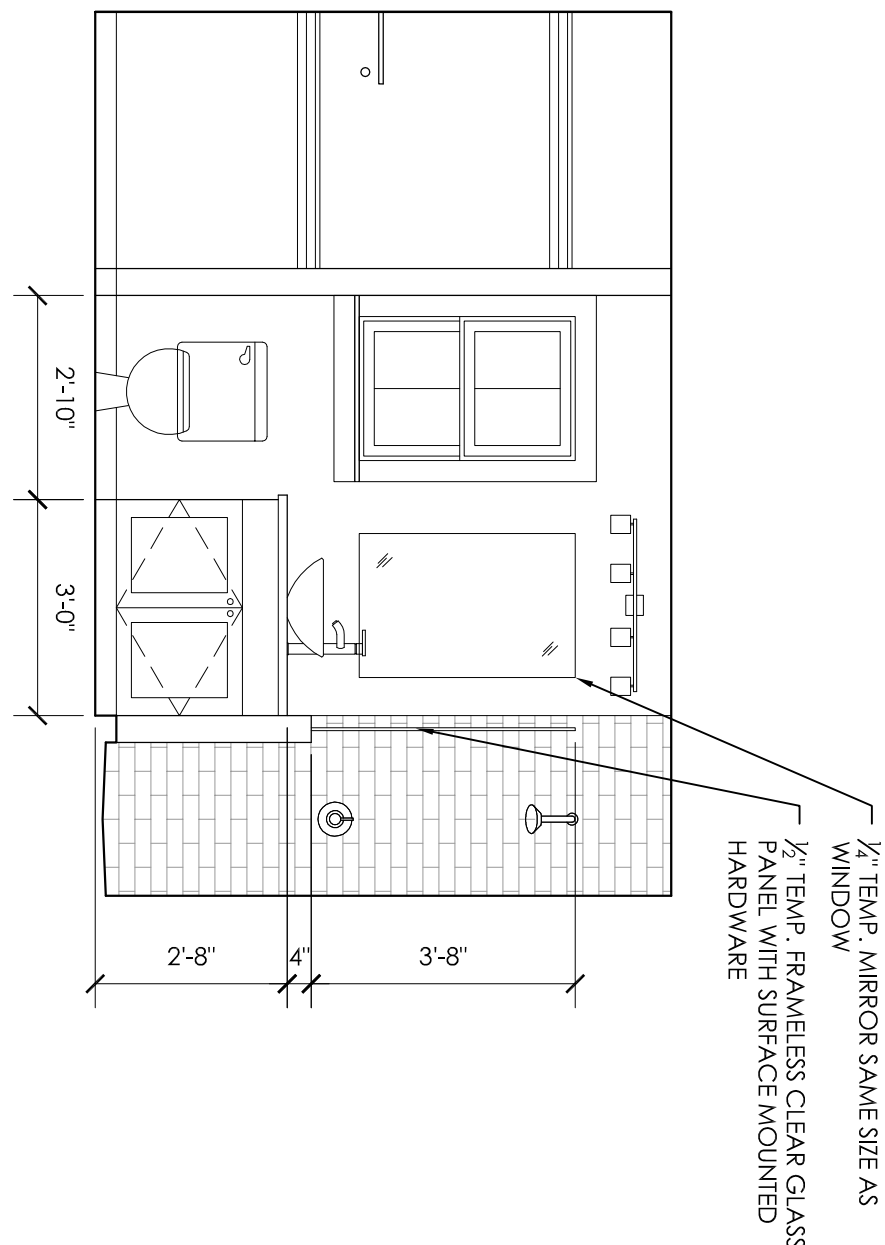
1/4" = 1'-0" (22x34), 1/8" = 1'-0" (11x17)

ROOF PLAN

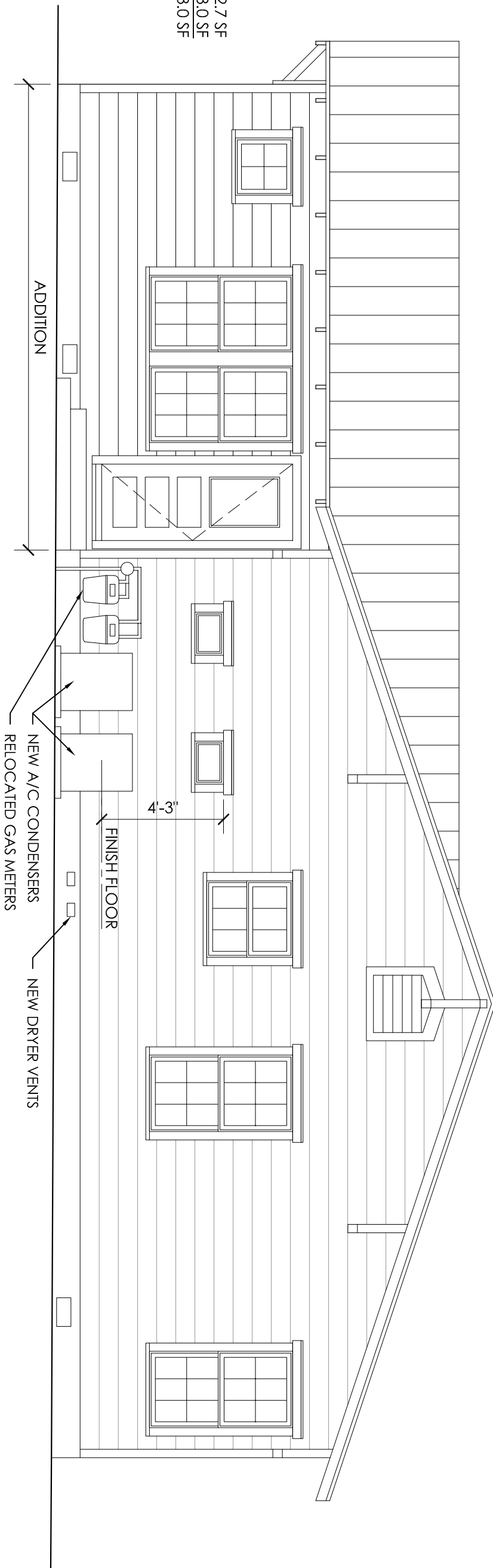
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NOTES

1



NEW CRAWL SPACE AREA:
 410 SF
 REQUIRED VENTILATION (1/2")
 CRAWL SPACE VENTS 16 @ .05 SFI 3.0 SF
 TOTAL VENTILATION PROVIDED 3.0 SF

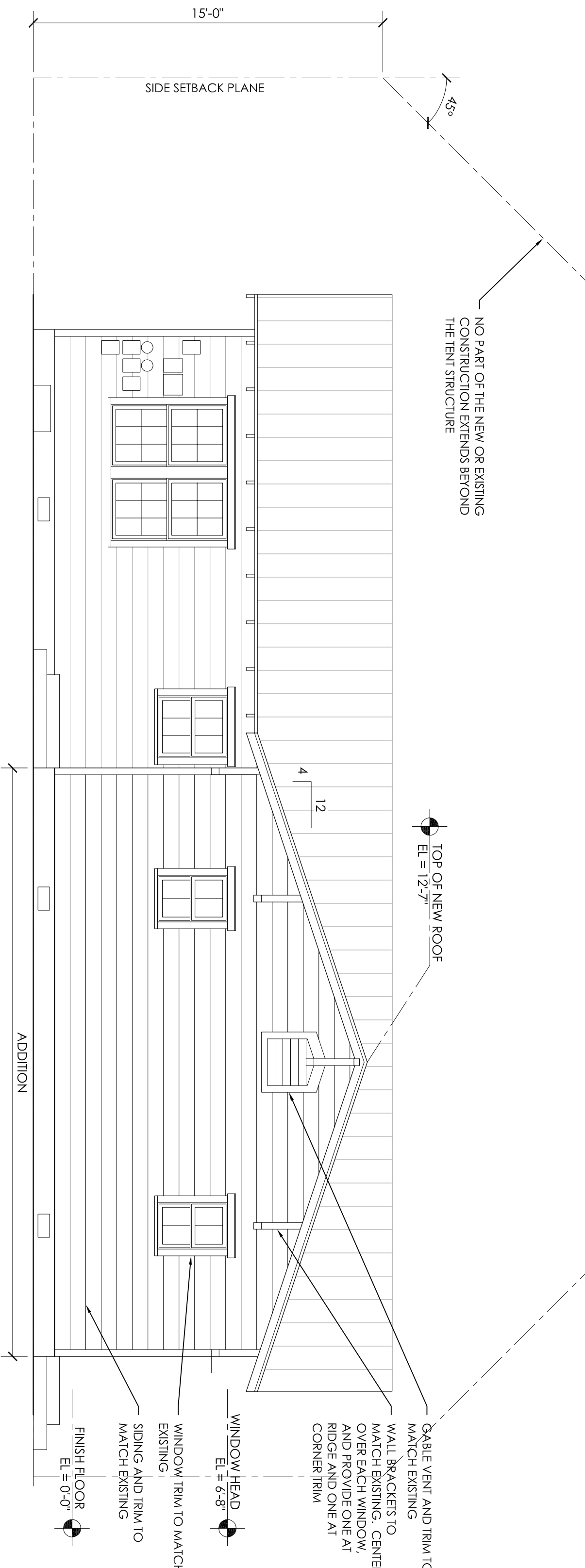


BATH-2 ELEVATION
 3/8" = 1'-0" (22x34), 3/16" = 1'-0" (11x17)

4

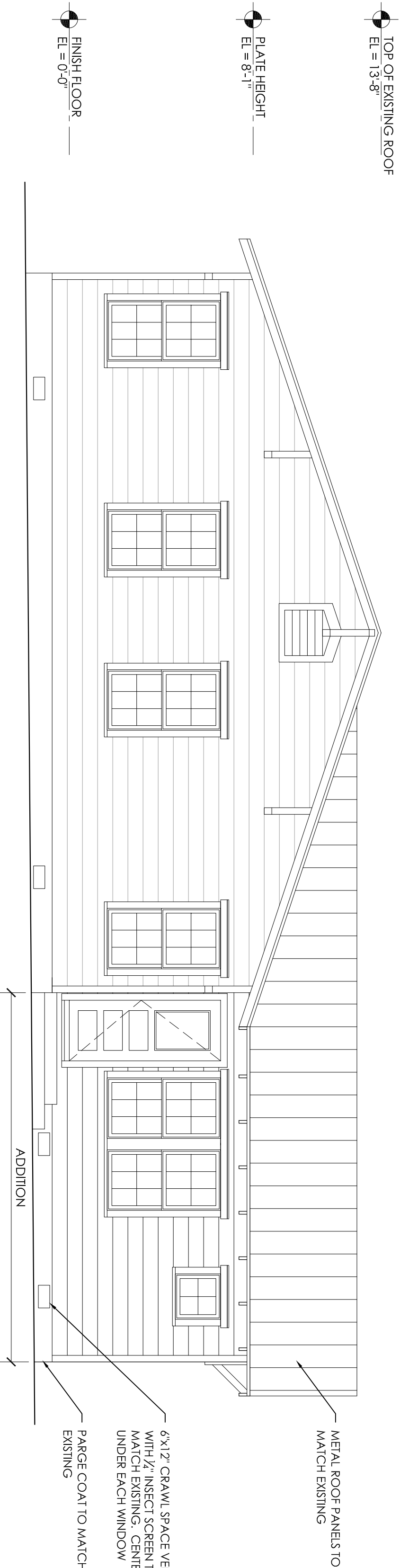
NORTH ELEVATION
 1/4" = 1'-0" (22x34), 1/8" = 1'-0" (11x17)

3



EAST ELEVATION
 1/4" = 1'-0" (22x34), 1/8" = 1'-0" (11x17)

2



SOUTH ELEVATION
 1/4" = 1'-0" (22x34), 1/8" = 1'-0" (11x17)

1

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