

# COLONY PARK SUSTAINABLE COMMUNITY INITIATIVE



Land, Facilities and Programs Committee

March 10, 2014

# COLONY PARK SUSTAINABLE COMMUNITY INITIATIVE

## **Colony Park History**

- 1973: Area annexed by the City of Austin
- 2001: Austin City Council purchases 258 acres of land near Loyola Land and Colony Loop Rd; 50 acres for dedicated parkland (Overton Elem., Turner-Roberts Recreation Center); 208 acres transferred to AHFC for the “development of low-income or moderate-income housing.”

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## **Colony Park History (cont.)**

- 2004 - 2011: City conducts improvements on Loyola Lane; constructs Turner-Roberts Recreation Center. AISD constructs Overton Elementary.
- 2007-2011: Austin Housing Finance Corporation conducts feasibility analysis and preliminary scenarios on development at Colony Park
- 2012: COA awarded \$3 million Community Challenge Grant from HUD



# COLONY PARK SUSTAINABLE COMMUNITY INITIATIVE

- Funded through a 3-year, \$3 million **HUD Sustainable Community Challenge Grant**

## Goals:

- Create a master plan for 208 acres of City-owned land in Northeast Austin.
- Improve coordination between departments/agencies to support sustainable and equitable development within the City of Austin.
- Support capacity building and community transformation goals of Colony Park area residents and stakeholders.



# COLONY PARK SUSTAINABLE COMMUNITY INITIATIVE

## **HUD Livability Principles**

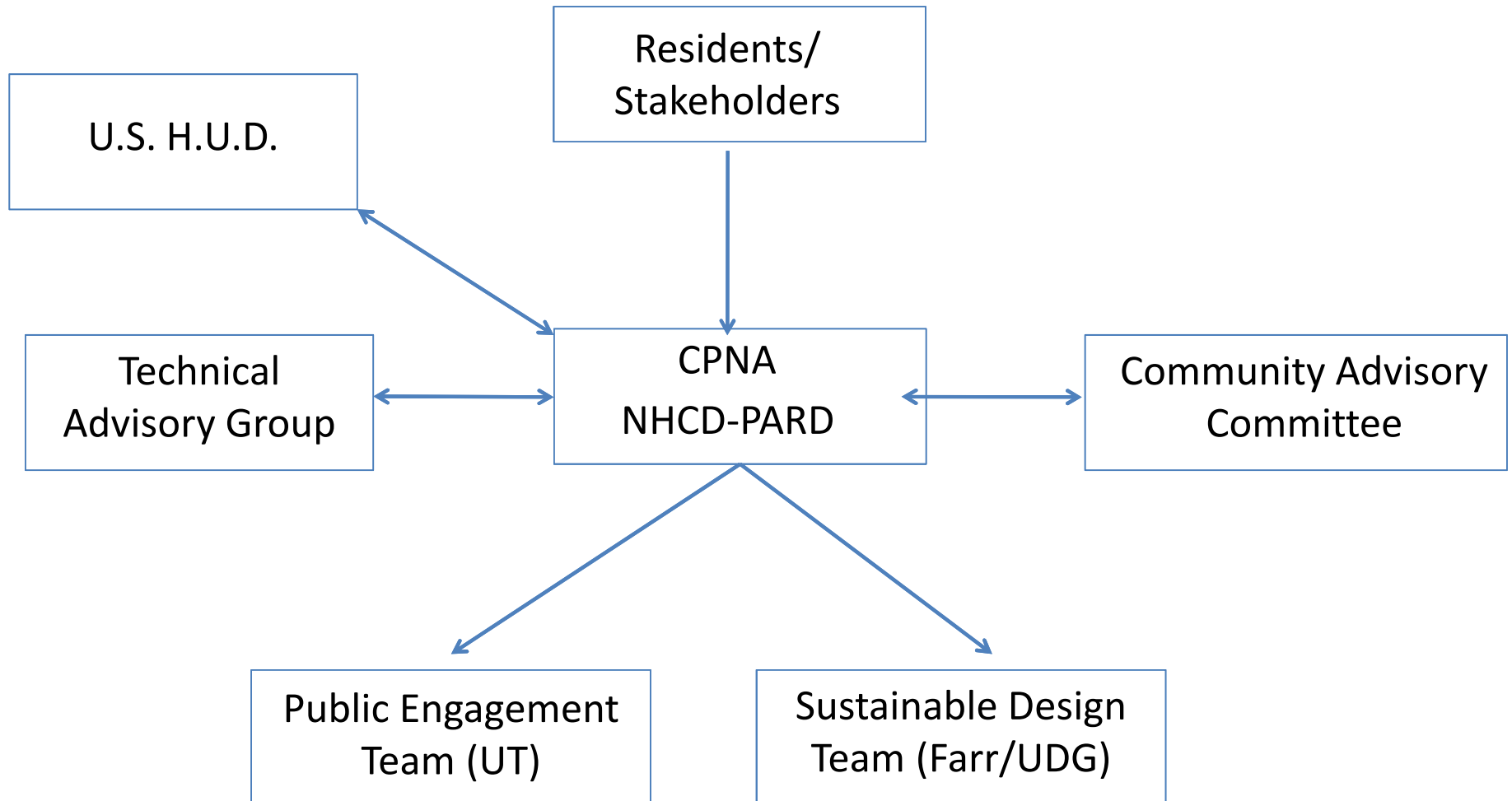
1. Provide more transportation choices.
2. Promote equitable, affordable housing.
3. Enhance economic competitiveness.
4. Support existing communities.
5. Coordinate policies and leverage investment.
6. Value communities and neighborhoods.

# COLONY PARK SUSTAINABLE COMMUNITY INITIATIVE

## **Project Purpose**

- Based on public input, incorporate best practice strategies for:
  - Energy-efficient building design, water conservation and zero waste technology standards to create a model sustainable and livable mixed-use, mixed-income community.
- Completion of a Master Plan, resulting in:
  - Rezoning; engineering for subdivision and site planning to for review and approval by the City of Austin;
  - infrastructure construction plans, architectural design templates and plans for new sustainable design that creates communities and buildings which advance enduring public and environmental well-being

# PROJECT PARTNERS





# COLONY PARK SUSTAINABLE COMMUNITY INITIATIVE

## Public Input

### **Completed Workshops:**

10.19.13 - Workshop #1 – Assets and Vision

12.09.13 - Workshop #2 – Building Blocks

02.24.14 – Workshop #3 – Concept Alternatives

### **Upcoming Workshops:**

04.14.14 – Workshop #4 – Final Plan Review

06.23.14 – Workshop #5 – Master Plan Open House

**One-on-One Interviews** – Individual interviews with Health, Fire, Police, Business Owners, Developers, Land Owner, City Staff

**Pin Up Session** – 3-Day Design Team Charrette in January with CAC and COA presentations

### **Community Advisory Committee**

- 15 member committee

# COLONY PARK SUSTAINABLE COMMUNITY INITIATIVE

## Public Engagement-At-A-Glance

**University of Texas at Austin's Division of Diversity and Community Engagement efforts:**

- **Designed & administered Colony Park Community Survey**  
278 surveys collected
- **Coordinated Colony Park Project Area Block Walk**  
150 homes visited
- **Incorporated Academic Service-Learning**  
10 faculty from ACC/UT, 5 departments, Over 50 students
- **Conducted Community Mail-Out**  
6,000 packets prepared for Colony Park Project Area
- **Engaged Neighborhood Leadership**  
First Meet-n-Greet with 37 participants for Colony Park Neighborhood Association

# COLONY PARK SUSTAINABLE COMMUNITY INITIATIVE

## **Public Engagement-At-A-Glance**

**University of Texas at Austin's Division of Diversity and Community Engagement future activities:**

▪**Educate U: Community Forums**

- To support Design Team Planning Meetings 3 & 4
- Held every Wednesday/Saturday (1) prior to Feb 24 and April 14
- 1.5 hour meeting with discussion groups and presentation

▪**Empower U: Community Training Workshops**

- To provide training to Colony Park Project Area community leaders
- Series 1: March- May ; Series 2: June-August

▪**Culture U: Community Cultural Events**

- To increase Colony Park Project Area participation in cultural events and strengthen neighborhood cohesion

▪**Organize U: CPNA Strategic Planning**

- To provide the technical assistance needed to help neighborhoods develop the internal capacity necessary to create comprehensive neighborhood engagement & empowerment plans



# COLONY PARK SUSTAINABLE COMMUNITY INITIATIVE

## **City Department Coordination**

### **Technical Advisory Group**

- 25 City Department's
- Capital Metro

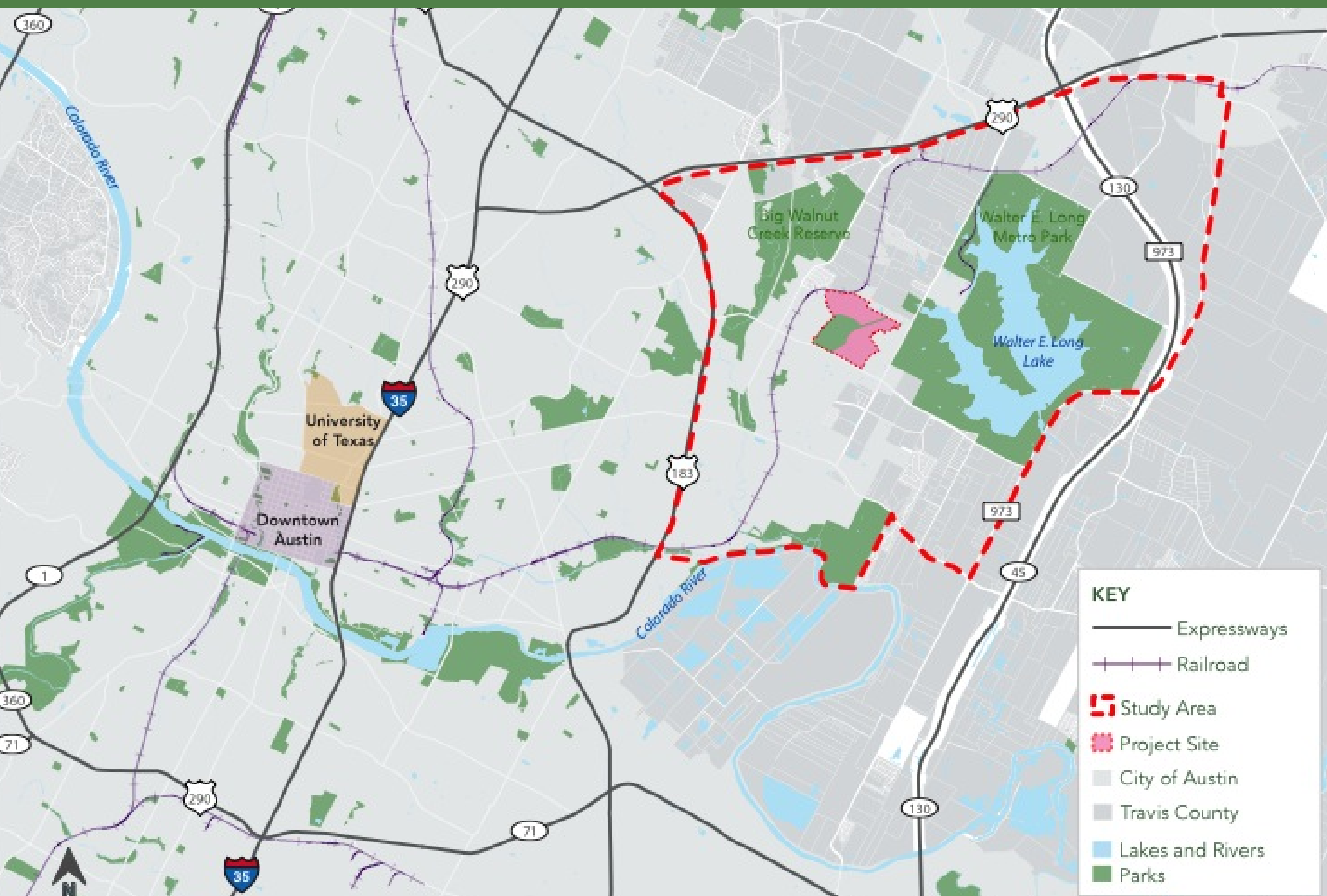
Design Team has been working with City Staff/Departments beginning in Fall 2013 and will continue through Fall 2014 as PUD, Preliminary Plan, Final Plat and Construction Documents for the 208 acres are processed through City Departments.

# COLONY PARK SUSTAINABLE COMMUNITY INITIATIVE

## **PARD**

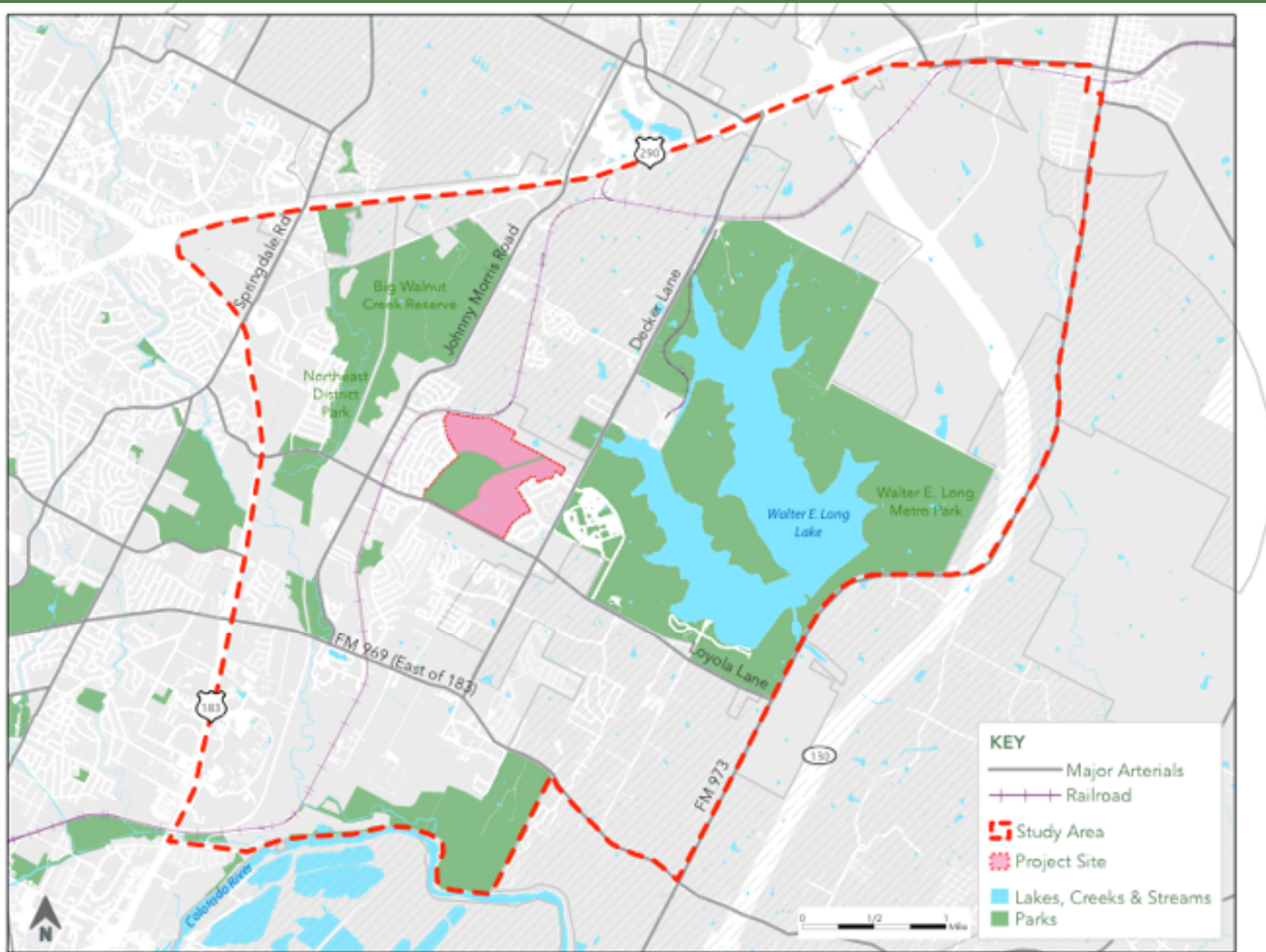
- October 2013 – Joined the Master Planning process of CPSCI
- Workshop #3, February 2014 – Input received from the community on park amenities preferences. Amenity List developed by PARD staff from work with CPNA in August 2013
- Workshop #4, April 14, 2014 – Draft Park Master Plan presented as a part of CPSCI Master Plan
- April – July 2014 – Master Plan refinements and final phasing recommendations

# STUDY AREA



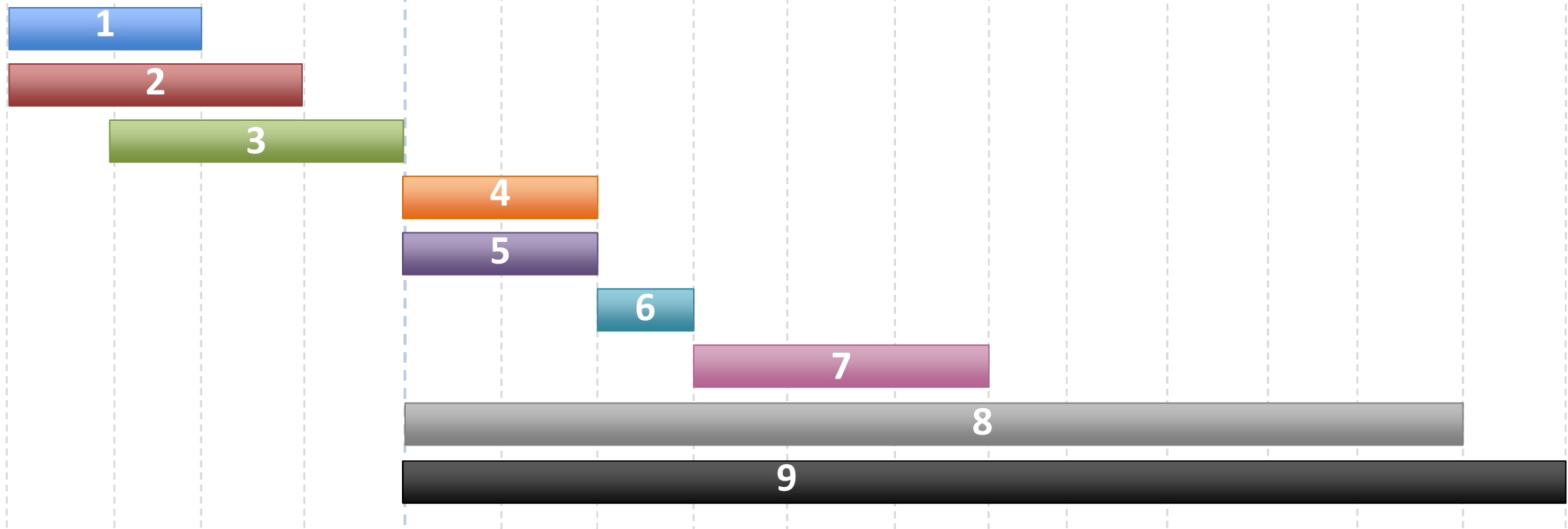


# PROJECT SITE



# 2013 | 2014

Sep Oct Nov Dec Jan Feb Mar Apr May Jun Jul Aug Sep Oct Nov Dec



1. Project Initiation
2. Existing Conditions, Evaluation and Analysis
3. Economic Analysis/Market Study
4. Vision
5. Scenario Planning
6. Draft Master Plan
7. Final Master Plan
8. Subdivision Approval
9. Construction Documents



# NEW RECREATION AMENITIES



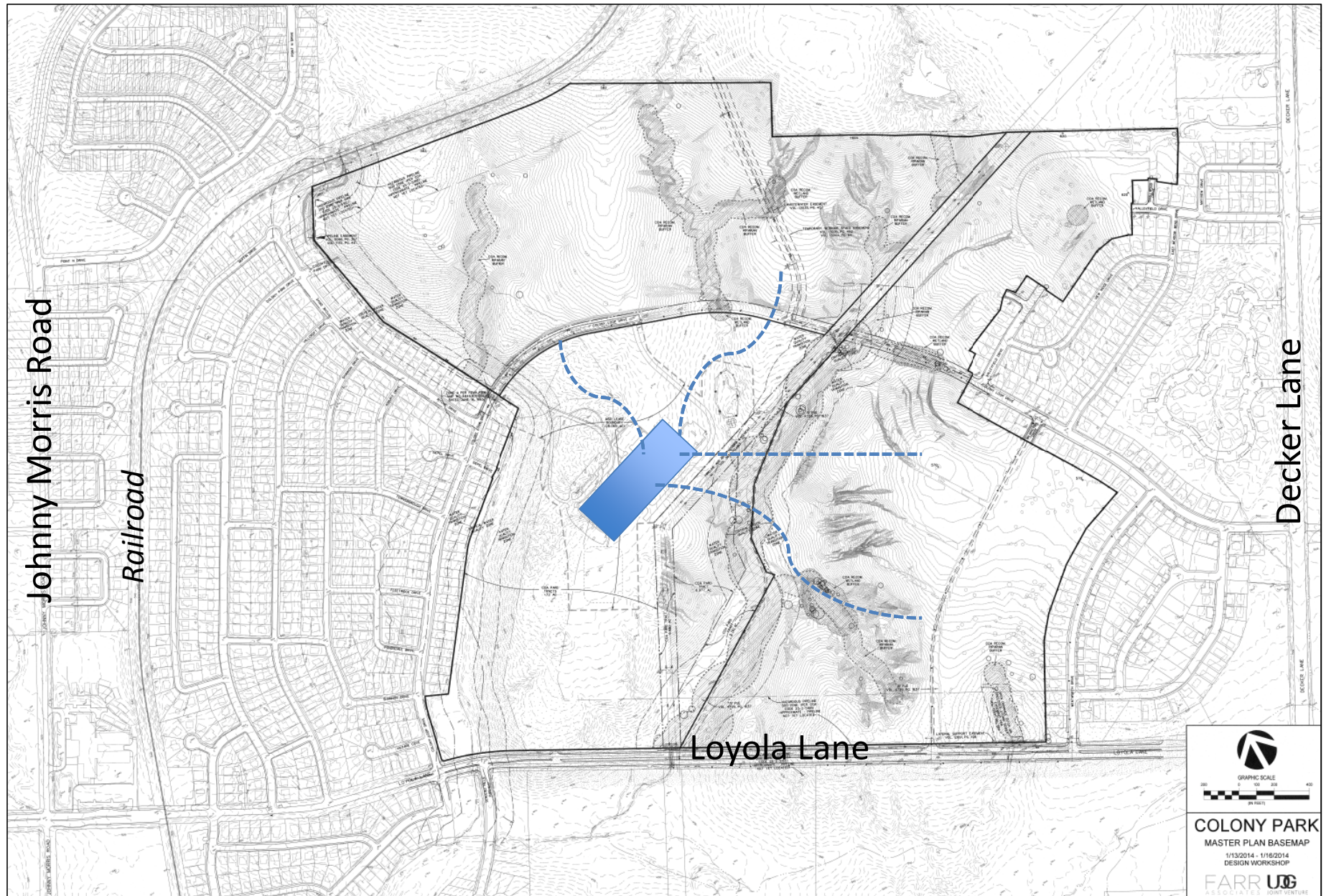


# PARKS WITHIN 3 MINUTE WALK





# SAFE ROUTES TO SCHOOL





# MASTER PLAN CONCEPTS



**Moonrise**

**Total Acreage: 301 Acres**  
**PARD Land: 93 Acres**  
**Constraints: 23 Acres**  
**Parks and Streets: 65 Acres**  
**NET BUILDABLE AREA:**  
**120 ACRES**



**Blue Stem**

**Total Acreage: 301 Acres**  
**PARD Land: 93 Acres**  
**Constraints: 23 Acres**  
**Parks and Streets: 61 Acres**  
**NET BUILDABLE AREA:**  
**124 ACRES**



**Five Hills**

**Total Acreage: 301 Acres**  
**PARD Land: 93 Acres**  
**Constraints: 23 Acres**  
**Parks and Streets: 60 Acres**  
**NET BUILDABLE AREA:**  
**125 ACRES**



# ALLOCATION OF OPEN SPACE



A blend of open space  
networks and  
standalone  
neighborhood parks



# PARK AMENITIES



# NEXT STEPS

April 14: Draft Master Plan Review

June 23: Master Plan Open House