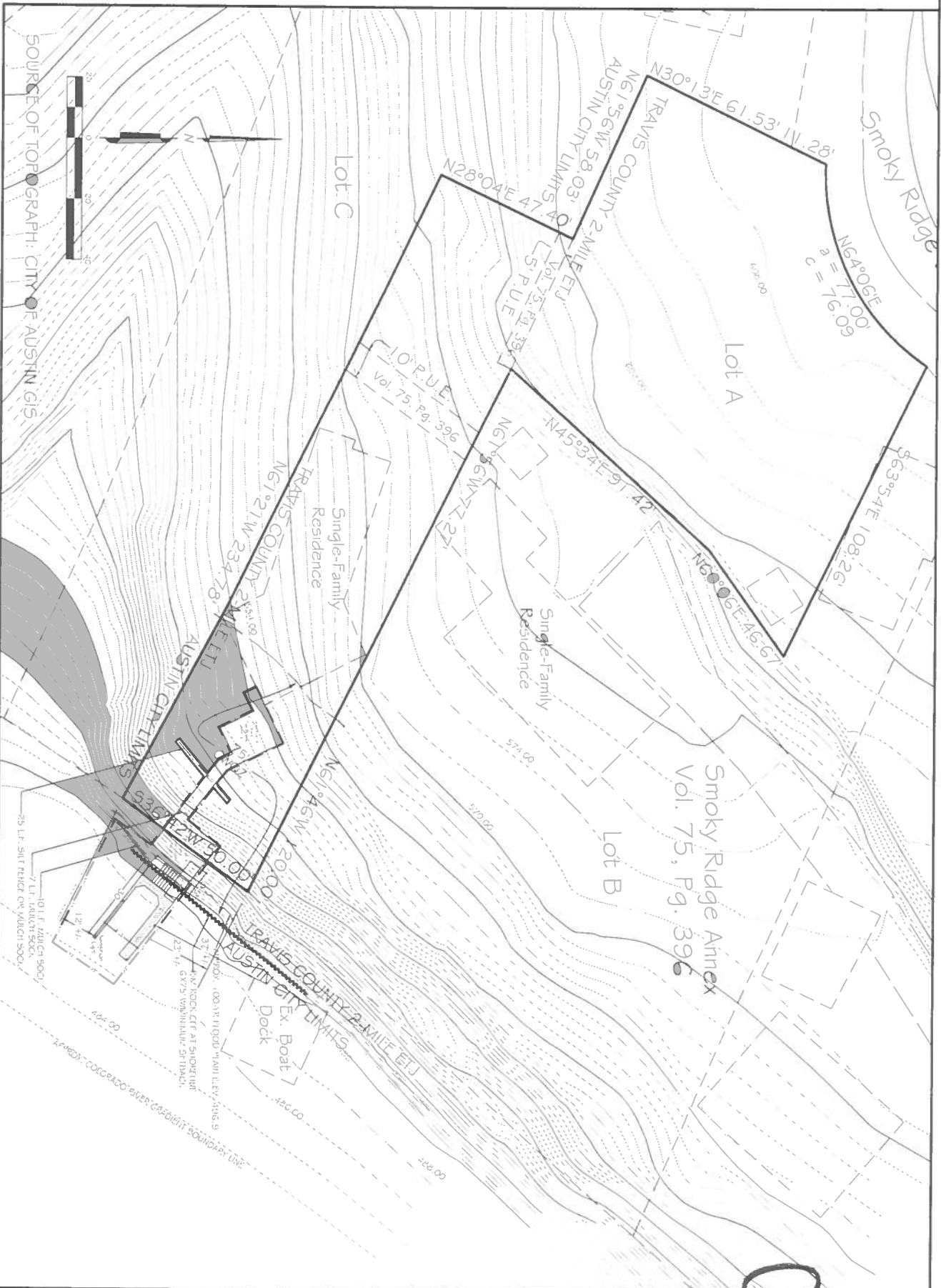




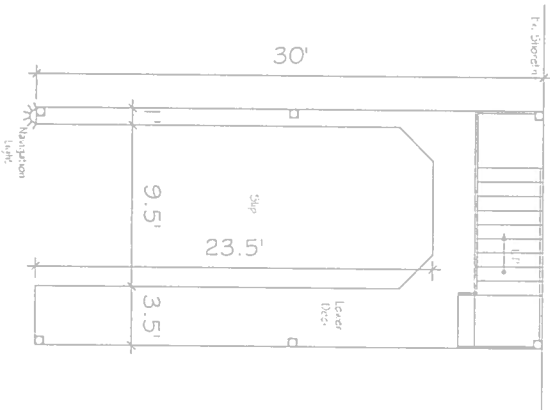
SOURCE OF TOPOGRAPHY: CITY OF AUSTIN GIS

NOTES:

1. A DOCK MUST BE CONTINUOUSLY LIGHTED WITH AMBER LIGHTS BETWEEN SUNSET AND SUNRISE EACH DAY.
2. A DOCK MUST HAVE AT LEAST TWO LIGHT STATIONS. THE LIGHT STATION MUST BE LOCATED ON THE END OF THE DOCK, AND ON THE SIDE THAT IS FARTHEST FROM AND PREVALENT TO THE SHORELINE. THE LIGHT MUST BE VISIBLE TO A PROPERLY APPROACHING WATERCRAFT.
3. NAVIGATION LIGHTS MUST HAVE A TWO-BLUE PATTERN, WITH TWO WORKING LIGHT BULBS MATED BETWEEN 7-1/2 AND 25 FEET ABOVE THE WATER SURFACE. LIGHT BULBS OR BLUE COURTES MUST BE AMBER, AND WHITE LIGHT MAY NOT EXIST. FROM A SWITCH OPERATED BY THE DOCK OWNER, THE LIGHTS WILL OPERATE AUTOMATICALLY DURING THE HOURS THAT THE DOCK IS REQUIRED TO BE LIGHTED.
4. ALL WORK SHALL OCCUR WITHIN THE LIMITS OF CONSTRUCTION AS SHOWN ON THE PLAN, AND THAT NO MATERIALS OR EQUIPMENT WILL BE DRIVEN TO THE SITE FROM THE LANDWARD SIDE OF THE PROJECT.
5. NO SHOOTING, IMPROVISED EXHAUST, FIRE, OR FIREWORKS SHALL BE ALLOWED ON THE PROJECT.
6. NO TREES GREATER THAN 6" IN DIAMETER WILL BE IMPACTED BY THE PROPOSED DOCK CONSTRUCTION.
7. CONTAINERS OF HAZARDOUS MATERIALS, FUEL, OIL, INFLAMMABLES, FRIGERATORS OR OTHER POLLUTANTS MAY NOT BE STORED ON DOCKS ENTERING INTO OR ADJACENT TO THE PROJECT.
8. THE PROPOSED DOCK MUST COMPLY WITH ALL REQUIREMENTS OF LOC 29-2-1172 (STRUCTURAL REQUIREMENTS), AND MUST COMPLY WITH CHAPTER 25-12 ARTICLE 1 (WATERWAY BUILDING CODE) AND THE BUILDING CODES (MAYNARD, DRIVE, AUSTIN TX, 78732).
9. THE PROPOSED DOCK IS AN ACCESSORY USE TO THE PRINCIPAL SHED/FRUIT PRODUCTION AT 3213 SMOKEY RIDGE.
10. REMAINING IMPROVEMENTS ARE PROHIBITED WITHIN THE SHORELINE SETBACK AREA EXCEPT FOR REMAINING WALLS, FENCES, WALKWAYS, BOATHOUSES, MARINAS OR A DRIVE TO ACCESS THE STRUCTURE'S DOCK 25-2-55 (BULK).
11. NO DOCKING IS PROPOSED WITH THIS SITE PLAN.
12. NO WATER OR WASTEWATER UTILITIES ARE PROPOSED WITH THIS DEVELOPMENT.
13. ALL WORK, ON THIS PROJECT, IS TO BE ACCOMPLISHED VIA BARGE OR LAND. CONSTRUCTION STAGING OR MATERIALS STORAGE MAY BE LOCATED ON LAND WITHIN THE LIMITS OF CONSTRUCTION.

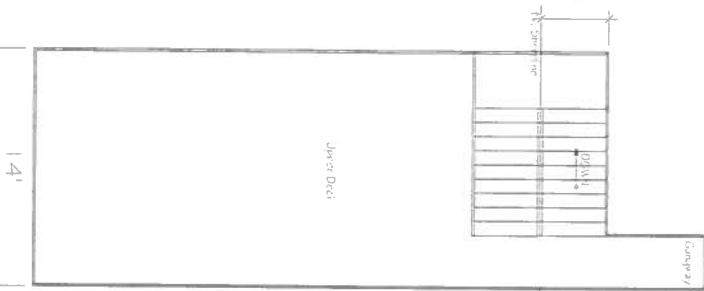
ATTENTION INSPECTOR NOTES:

1. COMPLIANCE WITH BUILDING CODE IS REQUIRED AND IS TO BE REVIEWED FOR COMPLIANCE DURING BUILDING CODE REVIEW.
2. THE BUILDING PERMIT, A SIGNED AND SEALED LETTER SHALL BE SUBMITTED TO THE CITY OF AUSTIN, PER THE LAND DEVELOPMENT CODE (2013), CHAPTER 25-12, ARTICLE 1 (WATERWAY BUILDING CODE) AND THE BUILDING CODES (MAYNARD, DRIVE, AUSTIN TX, 78732).
3. ENVIRONMENTAL INSPECTOR HAS THE AUTHORITY TO ADD LABORATORY PROPOSED/VIOLATION CONTROLS ON SITE TO THE PROJECT IN COMPLIANCE WITH THE CITY OF AUSTIN RULES AND REGULATIONS.



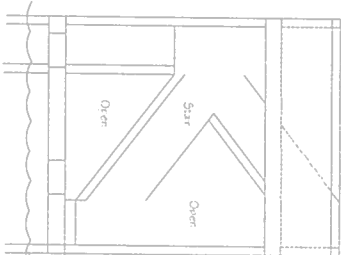
FLOOR PLAN LOWER DECK

Scale 1" = 3'



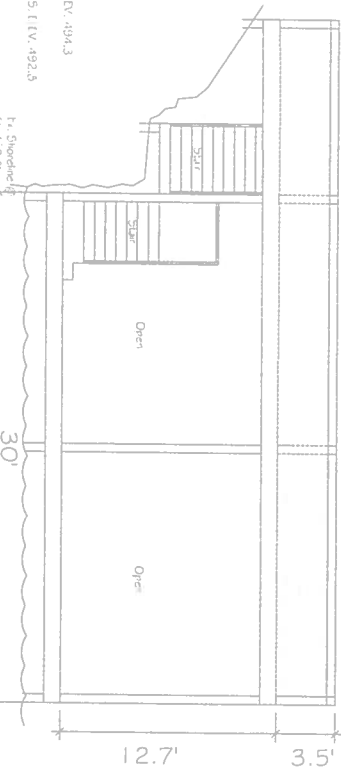
FLOOR PLAN UPPER DECK

Scale 1" = 3'



LAKESIDE ELEVATION

Scale 1" = 5'

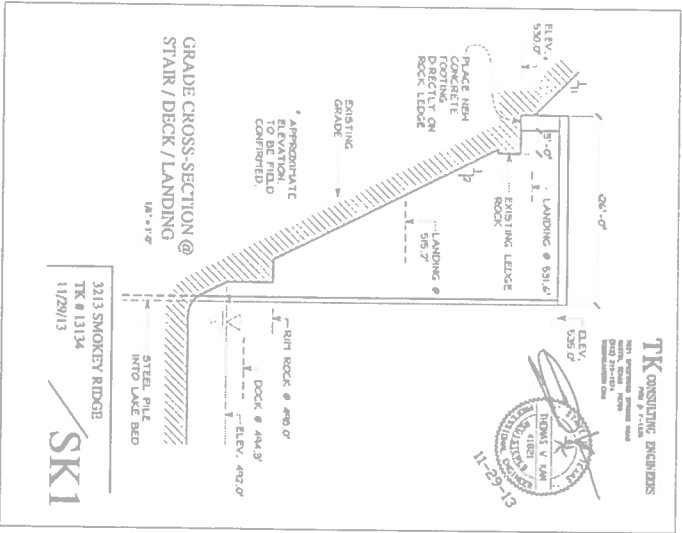


SIDE ELEVATION

Scale 1" = 5'

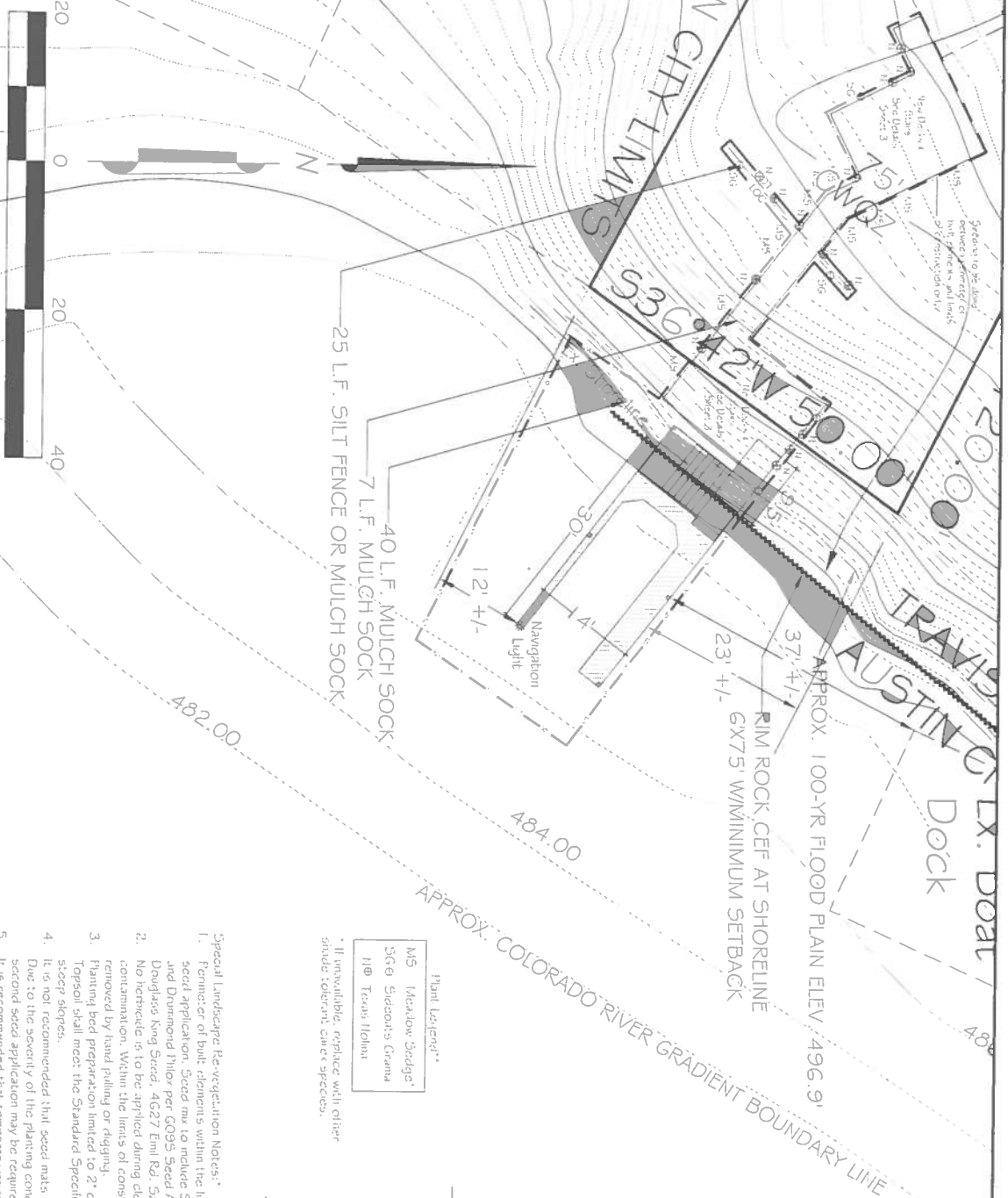
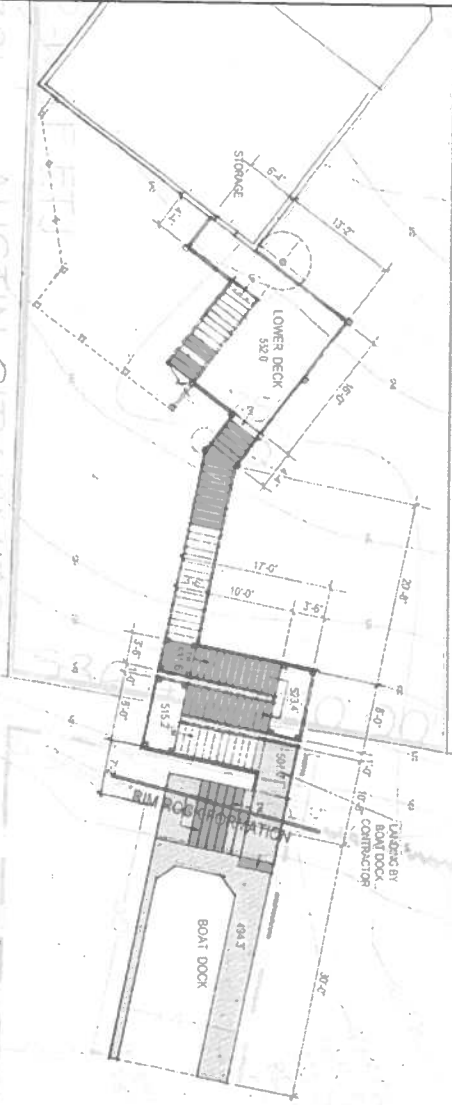


CIP/AS



SQUARE FOOTAGE CALCULATIONS

UPPER DECK	510
LOWER DECK & STAIRS	504
TOTAL	1,014



Plant Legend*

M5	Meadow Sedge*
SG6	Sievers Grama
H6	Texas Indigo

* If unavailable, replace with other shade tolerant creek species.

Plant List

Qty.	Common Name	Botanical Name	Size/Application Rate
1-4	Texas Indigo	<i>Nolina texana</i> *	1 Gal.
1-1	Meadow Sedge	<i>Carex pendulula</i>	1 Gal.
5	Sievers Grama	<i>Bouteloua curtipendula</i>	1 Gal.
0.1	Standing Cypress	<i>Ipomopsis rubra</i>	1lb./1,000 s.f.
0.1	Lanceleaf Coreopsis	<i>Coreopsis lanceolata</i>	1lb./1,000 s.f.
0.03	Black-eyed Susan	<i>Rudbeckia hirta</i>	1lb./1,000 s.f.
0.1	Drummond Phlox	<i>Phlox drummondii</i>	1lb./1,000 s.f.

* Nolina species: specified to revegetate like plants on existing site.

- Special Landscape Re-vegetation Notes:
1. Perimeter of built elements within the limits of construction to be re-vegetated with a hydro-mulch seed application. Seed mix to include Standing Cypress, Lanceleaf Coreopsis, Black-eyed Susan and Drummond Phlox per G095 Seed Application Rates and Methods. Seed to be supplied by Douglas King Seed, 4627 Enni Rd., San Antonio, Tx. 78219, or approved equal.
 2. No hardscape is to be applied during clearing or for weed eradication to prevent surface water contamination. Within the limits of construction, weed species listed in G095-A (Table 1) shall be removed by hand pulling or digging.
 3. Planting bed preparation limited to 2" of topsoil application on ledges and for pocket planting. Topsoil shall meet the Standard Specification Item No. G015.3 (A) No soil shall be applied to steep slopes.
 4. It is not recommended that seed mats be used as it would shade the seed and inhibit germination. Due to the severity of the planting conditions, a high mortality rate should be anticipated and a second seed application may be required.
 5. It is recommended that temporary irrigation be installed until plants are established by attaching a misting system to the built elements to maintain moisture levels and aid germination on slope. Planted areas shall be watered immediately with a minimum of 3 gallons of water per square yard, and shall be maintained in a moist condition favorable to germination and growth.
- *Supercedes Frosen Control Notes.

Typical deck wall no more than 30 percent excavation as required by Code.

All respondents for the adequacy of these plans remain with the engineer who prepared them. In approving these plans, the City of Austin may rely upon the engineer's seal and the seal of the design engineer.

UP 3/29

AUPPERLE COMPANY
Engineering, Planning & Development Services
10088 Circleview Drive, Austin, Texas 78733 512.329.8241
Texas Board of Professional Engineers Registration Number F-1994

3213 Smoky Ridge
Access Details & Landscaping Plan

3213 Smoky Ridge
DATE: Jan 23, 2014
SHEET: 3 of 3

SP-2013-0359805