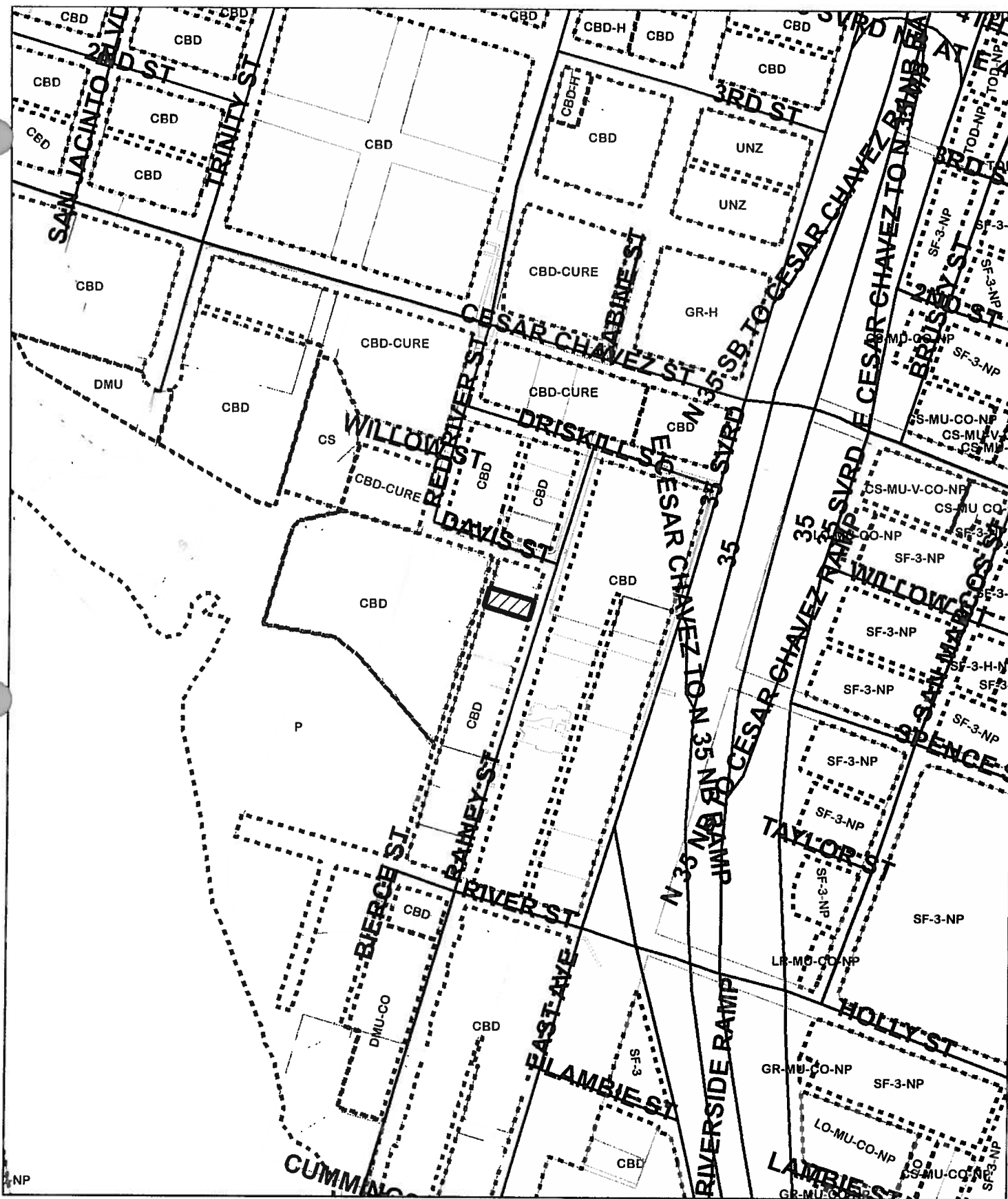




SITE PLAN

CASE#: SPC-2013-0420A
 ADDRESS: 88 Rainey Street
 CASE NAME: 88 Rainey
 MANAGER: Amanda Couch (974-2881)



 SUBJECT TRACT
 ZONING BOUNDARY



0 160 320 640 Feet

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

This product has been produced by the Planning and Development Review Department for the sole purpose of geographic reference. No warranty is made by the City of Austin regarding specific accuracy or completeness.

OPERATOR: Amanda Couch



CONJUGATE RESULTS

CONJUGATE RESULTS

1. An attorney general is asked to represent a corporation after the CEO of the corporation has been indicted for a crime. The attorney general declines the offer and the corporation is forced to hire a private attorney to represent it.
2. A member of a private bar association is asked to represent a client in a criminal case. The member declines the offer and the client is forced to hire a private attorney to represent it.
3. A member of a private bar association is asked to represent a client in a criminal case. The member declines the offer and the client is forced to hire a private attorney to represent it.
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10. A member of a private bar association is asked to represent a client in a criminal case. The member declines the offer and the client is forced to hire a private attorney to represent it.

COMPATIBILITY

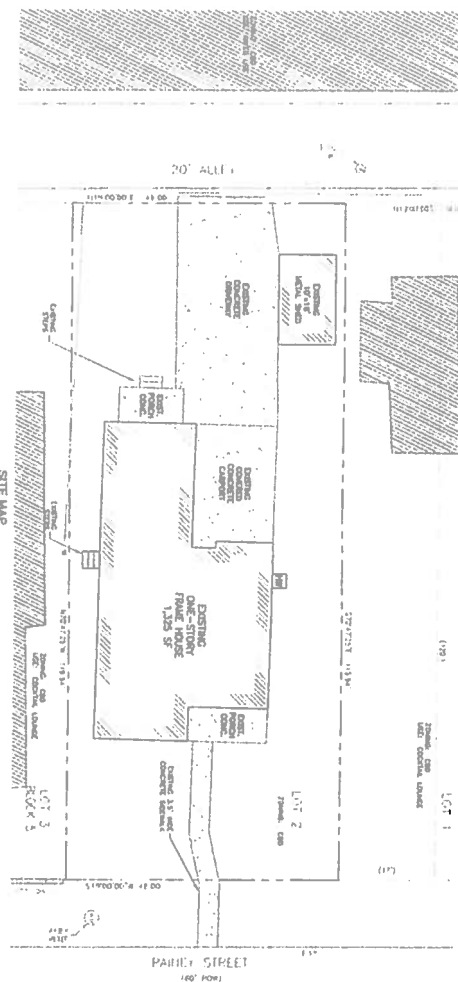
- [illegible]

FINE PRINT

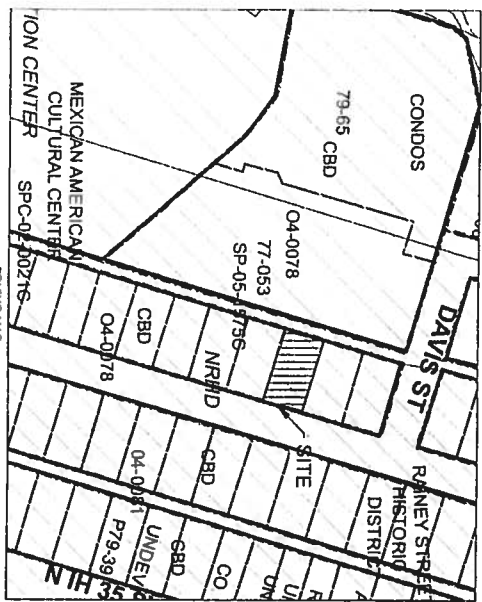
1. The first step in the evaluation process is to identify the problem. This involves gathering information about the situation and understanding the needs of the community.
2. Once the problem is identified, the next step is to develop a plan of action. This plan should outline the goals of the project and the steps that will be taken to achieve them.
3. The third step is to implement the plan. This involves putting the plan into action and working with the community to carry out the project.
4. The final step is to evaluate the results of the project. This involves assessing the impact of the project and determining whether the goals have been achieved.

THE FACING WITH DISABILITIES ACT

THE CITY OF AUSTIN HAS REVIEWED THIS PLAN FOR COMPLIANCE WITH CITY DEVELOPMENT REGULATIONS AND THE APPLICANT PROMISES OWNERS AND OCCUPANTS OF THE BUILDING ARE RESPONSIBLE FOR DETERMINING WHETHER THE PLAN COMPLIES WITH ALL OTHER CITY REGULATIONS AND RESTRICTIONS. THIS PLAN IS APPLICABLE TO THE PROPERTY AND ITS USE.



SITE AREA (±3 ZONES) =	3.757 SF	(0.112 AC)
PLATING (PAC) (±3 ZONES) =	1.138 SF	(0.032 AC)
EXISTING BUILDING COVERAGE =	1.138 SF	0.032 AC
FIRST FLOOR, WALKS, ETC.	1.138 SF	(0.033 AC)
TOTAL WALKWAYS COVER =	2.633 SF	(0.066 AC)
ADDITIONAL WALKWAYS COVER =	3.757 SF	(0.112 AC)
PROPOSED FLOOR AREA RATIO =	0.231	
ADDITIONAL FLOOR AREA RATIO =	81	
BUILDING HEIGHT =	1 STORY (13'-8")	



SURVEY INFO:

BARNEY MALE OF THE SOUTH AS PART OF LOT 2, BLOCK 8, PHASE 1, S
AND A SHERIFF SUBDIVISION OF PART OF OUTLOT 71 AND 72 DIVISION
OF LOT 171, PHASE 1, BLOCK 1, TRACT 1, TOWNSHIP 1 NORTH, RANGE
20 NORTH, SECTION 36, TARRANT COUNTY, TEXAS, ACCORDING TO THE MAP
RECORDS OF TARRANT COUNTY, TEXAS.
CERTAIN TRACT OF LAND AS COMPOSED OF TRACT 2 OF THE FIRST
SUBDIVISION BEING RECORDED IN VOLUME 528 PAGE 76 OF THE DEED
RECORDS OF TARRANT COUNTY, TEXAS.

SURVEYED BY:

HOLT CASBARI:
REGISTERED PROFESSIONAL LAND SURVEYOR
NO. 5388
HOLT CASBARI, INC.
1804 FORTWORTH ROAD
AUSTIN, TEXAS 78704
512 442-0880

LAND USE NOTES

- [illegible]

SITE PLAN RELEASE

FTL number: PC-013-0104 Division: 01
 CRI number: _____ application date: _____
 Agency: Chattanooga, TN
 Address of Patent Commission or
 Attorney or CRI Office: _____
 Date: _____ of _____ at the State City Court
 of _____

I, _____ of _____ County, Tennessee, do hereby certify that the above is a true and correct copy of the original as the same appears in the files of the Patent Commission or the Attorney or CRI Office.

 Notary Public for Tennessee

Date of Filing: _____
 Date of Receipt: _____
 Date: _____
 Date: _____
 Date: _____

SITE PLAN

88 RAINEY STREET
88 RAINEY ST., AUSTIN, TEXAS 78701

Shawmut Consulting Group, Ltd.
3001 Gore Cross Road
Suite 100
Austin, Texas 78748

Phone (512) 327-1180
Fax (512) 327-4862
Website www.shawmut.com

Bowman
CONSULTING



INTERESTED PARTY INFORMATION

Interested parties are specifically defined in section 25-1-131 of the City Code. To view the Code on-line, go to this link:
http://www.amlegal.com/austin_tx/.

Besides the applicant or owner listed in an application, a person can become an interested party if they communicate an interest to the City through the case manager and if they satisfy at least one of the following criteria: 1) they occupy a primary residence that is within 500 feet of the site of the proposed development; 2) they are the record owner of property within 500 feet of the site of the proposed development; or 3) they are an officer of an environmental or neighborhood organization that has an interest in the site of the proposed development or whose declared boundaries are within 500 feet of the site of the proposed development.

If a person satisfies the criteria to become an interested party, they must communicate an interest by either delivering a written statement to the Land Use Commission conducting the hearing or appearing and speaking for the record at the public hearing. A person may also provide a written statement to the Case Manager or by making telephone contact with the Case Manager. The communication must: 1) generally identify the issues of concern; 2) include the person's name, telephone phone number, and mailing address; and 3) if the communication is by telephone, be confirmed in writing.

Written comments concerning the site plan application may be submitted to the case manager on this form. Comments on a separate form should include the case number and the contact person listed on the notice.

Case Number: SPC-2013-0420A

Contact: Amanda Couch, 512-974-2881 or
Cindy Casillas, 512-974-3437

☒ I meet the requirements for and request to be an interested party
Note: All contact information is mandatory.

Name (please print)
Gordon Davis Sr

Telephone number

0211406 Austin, TX 78701

Address(es) affected by this application (Street, City, ZIP Code)

Mailing address (Street, City, ZIP Code)

Signature

Date

12/10/13

Comments:

Represents Rainey Neighbors Association

Mail comment forms to:

City of Austin

Planning and Development Review Department

Attn: Amanda Couch

P. O. Box 1088

Austin, TX 78767-1088

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Contact: Amanda Couch, 512-974-2881 or

Cindy Casillas, 512-974-3437

☒ I meet the requirements for and request to be an interested party
 Note: All contact information is mandatory.

Austin Brown ST. DE/P, LLC

832-209-1257

Telephone number

Name (please print) CURTIS BUCHER

91 RAINLEY ST.

Address(es) affected by this application (Street, City, ZIP Code)

3411 RICHMOND AVE. #200, HOUSTON, TX 77046

Mailing address (Street, City, ZIP Code)

C. B. B.

12/19/13

Date

Signature

Comments: PLEASE SEND NOTIFICATIONS REGARDING

THE STATUS OF THIS REQUEST.

Mail comment forms to:

City of Austin

Planning and Development Review Department

Attn: Amanda Couch

P. O. Box 1088

Austin, TX 78767-1088

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Case Number: SPC-2013-0420A

Contact: Amanda Couch, 512-974-2881 or

Cindy Casillas, 512-974-3437

☒ I meet the requirements for and request to be an interested party
Note: All contact information is mandatory.

Name (please print) Rainey Neighbors Association

Telephone number 512-971-173

80 Red River # 221 Austin, TX 78701

Address(es) affected by this application (Street, City, ZIP Code)

Name Jane

Mailing address (Street, City, ZIP Code)

Bonita White

Signature

12/19/13

Date

Comments:

The Rainey Neighbors Association
Comments are attached in
a letter dated Dec. 19, 2013.
Please contact Bonita White,
President, at the above phone
number for questions. Thanks!

Mail comment forms to:

City of Austin

Planning and Development Review Department

Attn: Amanda Couch

P. O. Box 1088

Austin, TX 78767-1088

December 19, 2013

City of Austin
Planning and Development Review Department
Attn: Amanda Couch
P. O. Box 1088
Austin, TX 78767-1088



Rainey Neighbors Association

Re: Case Number: SPC-2013-0420A

The Rainey Neighbors Association (RNA) wishes to provide the follow comments regarding the above referenced Case Number.

The approved Downtown Austin Plan (DAP) which includes the Rainey District calls for the Rainey area to become a high density, mixed use neighborhood. At this time the Rainey area is moving rapidly along the path to higher density based on the following completed or pending projects:

- The Villas of Town Lake Condominiums – 54 residences
- The Towers of Town Lake Condominiums – 183 residences
- Milago Condominiums – 240 residences
- The Shore Condominiums – 192 residences
- The Windsor on the Lake Apartments – 187 residences
- Skyhouse Apartments – 320 residences
- Millennium Apartments – 327 residences; construction preparation underway, completing 2015
- Waller Park Place – 500 + mix of condominiums and apartments; in planning, completion 2016

Additionally, the DAP calls for “the establishment of an infrastructure master plan to promote an adequate roadway, pathway and utility network”. At this point no such master plan has been developed and no public infrastructure improvements have been initiated to accommodate the vastly increased resident population. Of equal, and possibly more critical, importance there has been no action taken to deal with the large number of vehicles and pedestrians entering the area at night and on weekends to patronize the 10 cocktail lounges that now exist in a short two block stretch of Rainey Street.

The recently approved “conditional use” status now in effect for new cocktail lounges proposed for the Rainey District will require the reference project to provide for improvements to handle the dozens and possibly as many as one

Bonita White
Villas On Town Lake

Kathryn McMahon
Milago

Andre Suissa
The Shore

Lindy Cobb
Windsor on the Lake

Don Grillo
Towers of Town Lake

Ru...ally
Milago

Clif Steed
The Shore

Doug Kissner
Towers of Town Lake

Phyllis Fletcher
Villas On Town Lake

hundred customers, but only at the specific property at 88 Rainey Street. The larger issue of the incremental pedestrian and vehicular traffic associated with this new business beginning operation on Rainey Street is not addressed at all. The opening of this new cocktail lounge continues to moves a significant portion of our neighborhood towards becoming a de facto "entertainment district", which is contrary to the Downtown Austin Plan.

Our preference would be that this new business be one that derives more than 51% of its revenue from food sales and further that any music venue that might be provided at this site be completely enclosed and must meet the applicable sound ordinance for such. Please note that approximately 600 multifamily residences will be within 100 to 500 feet of this new business as well as a 322 room hotel. The RNA believes these preferences are reasonable given the heavily overweighed mix of cocktail lounges already concentrated on Rainey Street.

To summarize, it is the Rainey Neighbors Association's position that the City must take appropriate and fair actions to transition the district from an high density residential and bar neighborhood towards the DAP objective of a high density residential and mixed use neighborhood which possesses high quality pedestrian mobility and pathways, proper lighting, off street parking, and safe, effective connectivity into and out of the Rainey District.

To date the City's adherence to its' own approved plan for the Rainey District has been largely inadequate. The RNA is willing and eager to work with the City and all businesses, existing and pending, along with other area stakeholders in a constructive and proactive manner to help move all Rainey neighbors towards the vision of the Downtown Austin Plan.

Sincerely,

A handwritten signature in black ink that reads "Bonita White". The signature is written in a cursive, flowing style.

Bonita White, President

bonitafwhite@gmail.com

512-971-1735

